

Development Applications

Notice is hereby given under Section 57(3) of the *Land Use Planning & Approvals Act 1993* that an application has been made to the Break O' Day Council for a permit for the use or development of land as follows:

DA Number	DA 2025 / 00210
Applicant	J Binns
Proposal	Residential – Construction of a New Shed and Demolition of an Existing Outbuilding
Location	23104 Tasman Highway, Falmouth

Plans and documents can be inspected at the Council Office by appointment, 32 – 34 Georges Bay Esplanade, St Helens during normal office hours or online at www.bodc.tas.gov.au.

Representations must be submitted in writing to the General Manager, Break O'Day Council, 32 -34 Georges Bay Esplanade, St Helens 7216 or emailed to admin@bodc.tas.gov.au, and referenced with the Application Number in accordance with section 57(5) of the abovementioned Act during the fourteen (14) day advertised period commencing on Saturday 17th January 2026 **until 5pm Monday 2nd February 2026.**

John Brown
GENERAL MANAGER

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "44.38m/s", WIND REGION "A4", TERRAIN CATEGORY "2.14", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: David Twentyman
Site Address: 23104 Tasman Highway, Falmouth TAS 7215

Main Building: Span: 8, Length: 9, Height: 3.2, Roof Pitch: 11 degrees
The length being comprised of 4 bays, the largest bay is 6m bays.
Front Garaport: Span: 8, Length: 6, Height: 3.2
Back Garaport: Span: 8, Length: 6, Height: 3.2
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 5036.44kg

INTERNAL PORTALS
Column: 2C30030
Rafter: 2C30030
Knee Brace: 2C25019
Knee Brace Length: 2000
Apex Brace: 2C25019
Apex Brace Length: 3600

END PORTALS
Column: C30030
Rafter: C30030
Knee Brace: NA
Knee Brace Length: NA
Apex Brace: NA
Apex Brace Length: NA
Endwall Mullion: C30030

LEFT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

RIGHT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: TH120100	Max Spacing: 900	Overlap: 10%
Side Wall Girts: TH120100	Max Spacing: 900	Overlap: 10%
Front End Wall Girts: TH120100	Max Spacing: 900	Overlap: 10%
Back End Wall Girts: TH120100	Max Spacing: 900	Overlap: 10%
Roof Purlins: TH120100	Max Spacing: 750	Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.0m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor
Frame Bolts: M16x45 Purlin Assembly Zinc (Mild)
Frame Screws: Frame Screw 14x14x22
Cross Bracing Strap: 32mm x 1.2 strap
Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Monolith
External Wall Sheets: Slate Grey
Roller Doors: Monolith
Flashings: Slate Grey
PA Doors: Monolith
Windows: Monolith

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

Occupational Health and Safety Regulations and with plans provided.

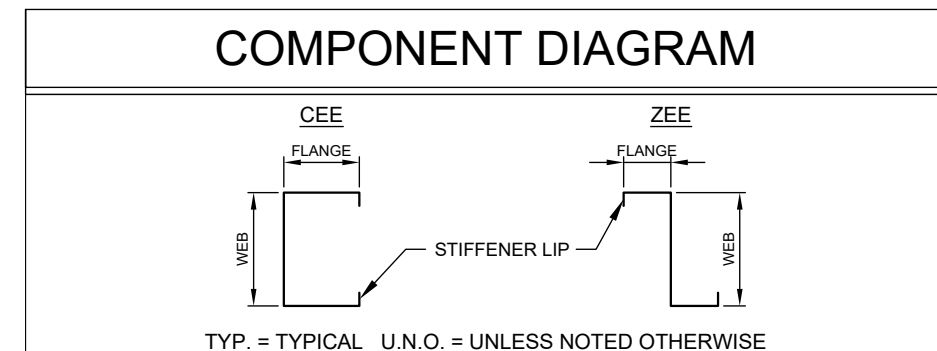
GENERAL

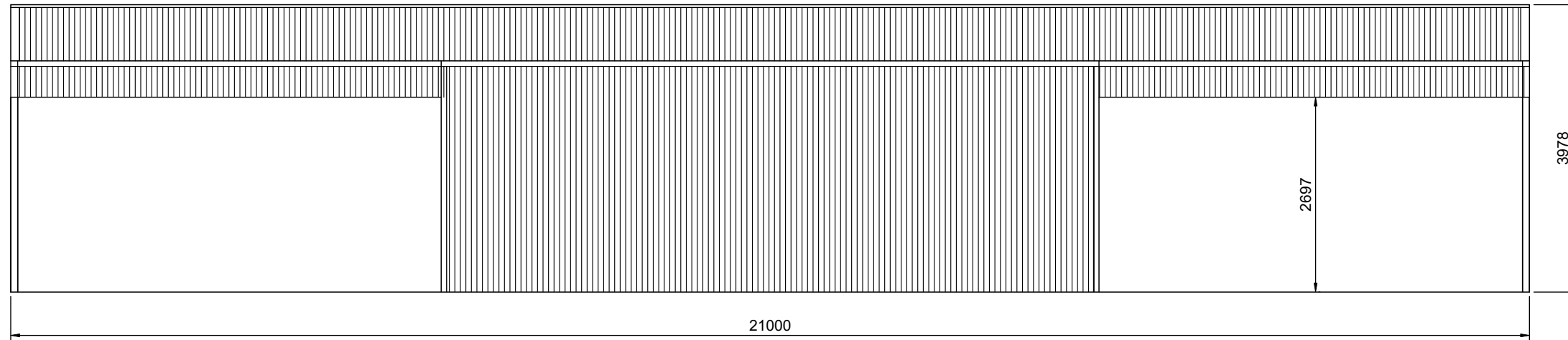
The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

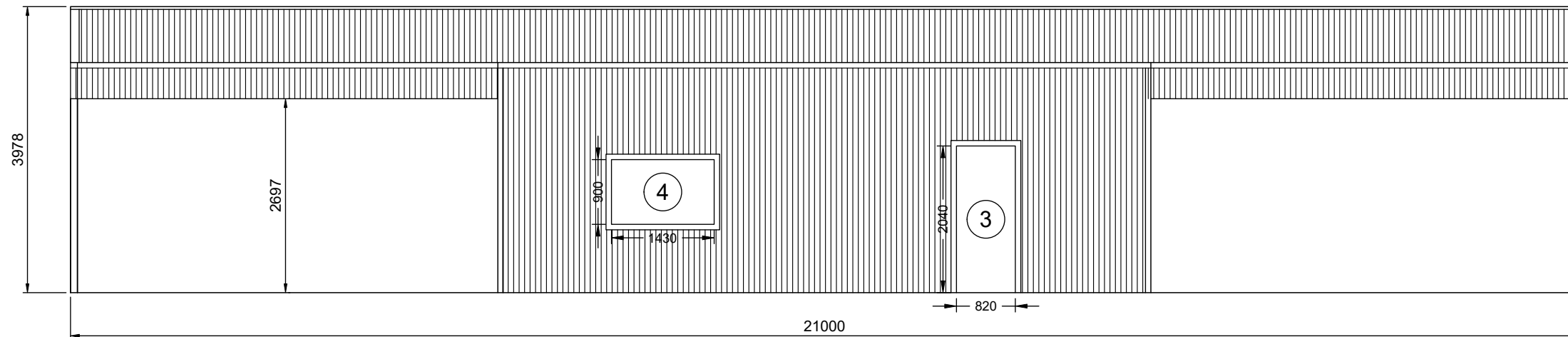
Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present.
- No other structure to be erected within 500mm of the gutters of this building.

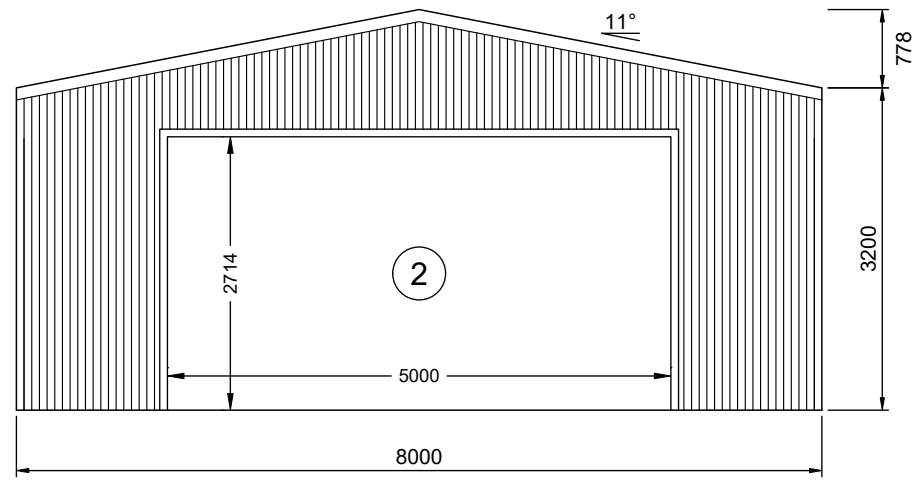




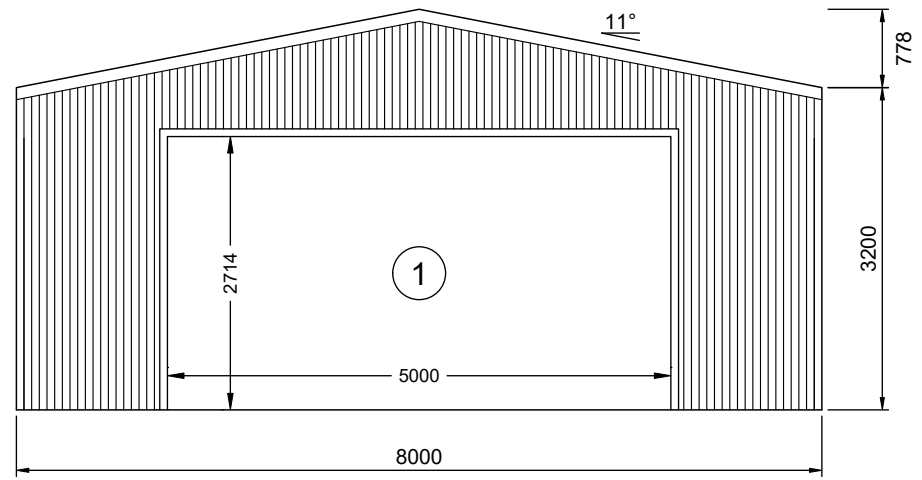
2 LEFT ELEVATION
2 SCALE: 1:75



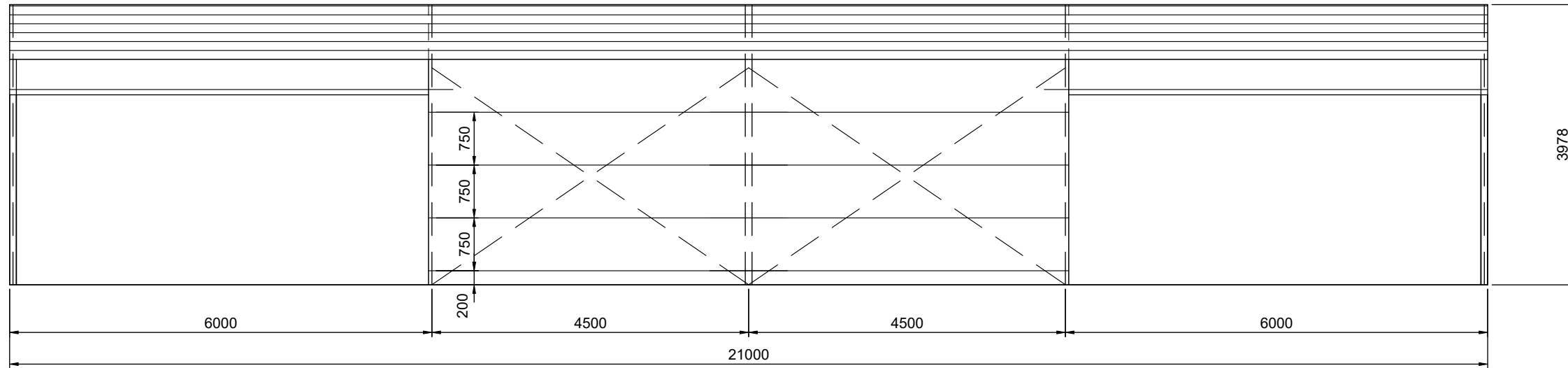
1 RIGHT ELEVATION
2 SCALE: 1:75



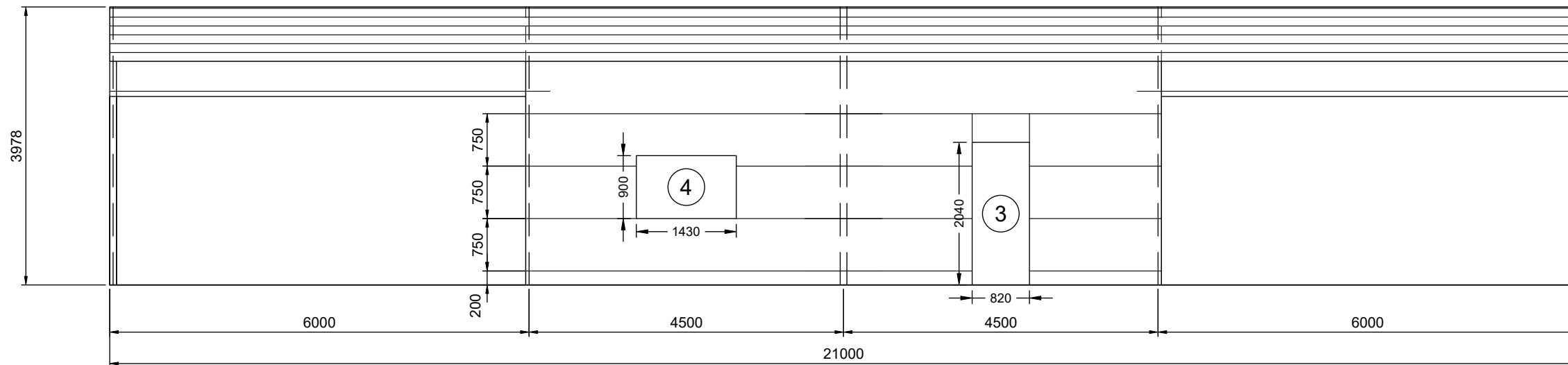
1 REAR ELEVATION
 3 SCALE: 1:75 FRAME #4



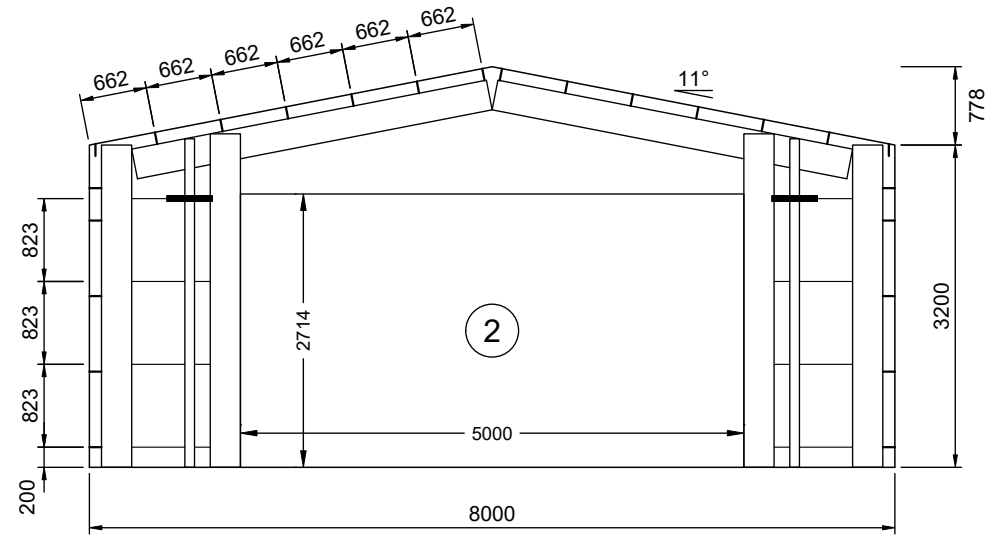
2 FRONT ELEVATION
 3 SCALE: 1:75 FRAME #2



2 LEFT ELEVATION
4 SCALE: 1:75

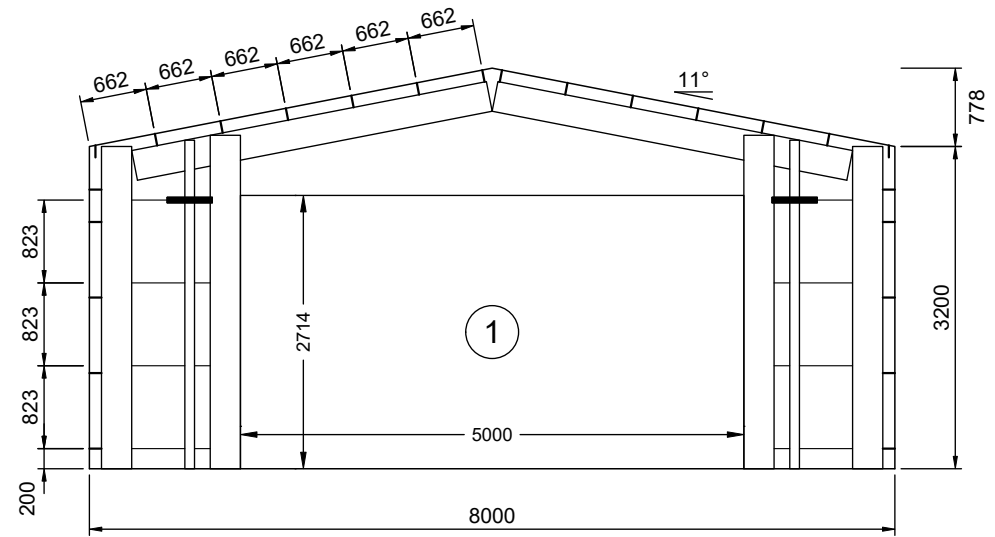


1 RIGHT ELEVATION
4 SCALE: 1:75



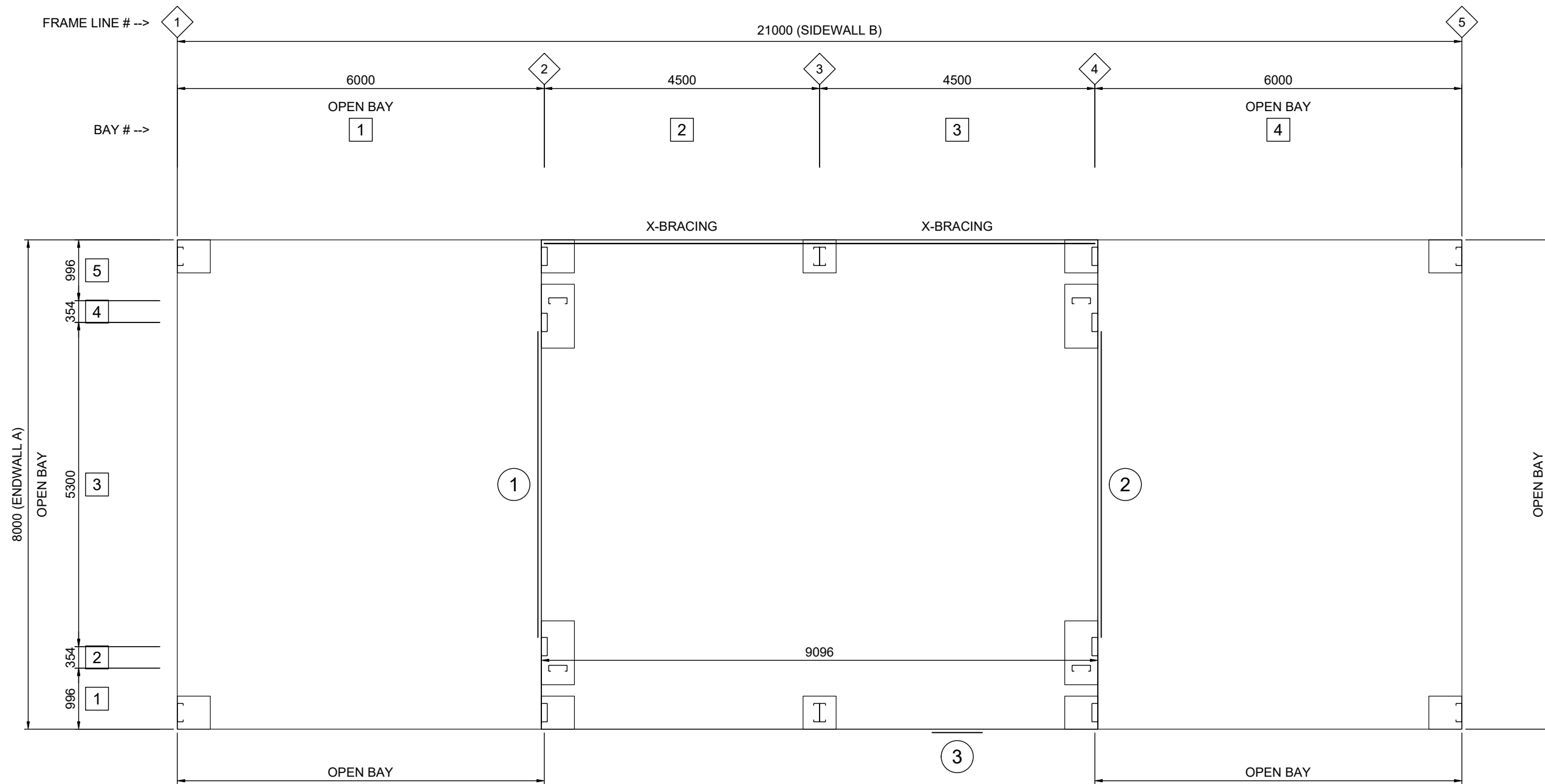
Notes: Main Building - Install first purlin at inner edge of haunch bracket, 717mm from outside of eave purlin.

1
5 **REAR ELEVATION**
SCALE: 1:75 FRAME #4

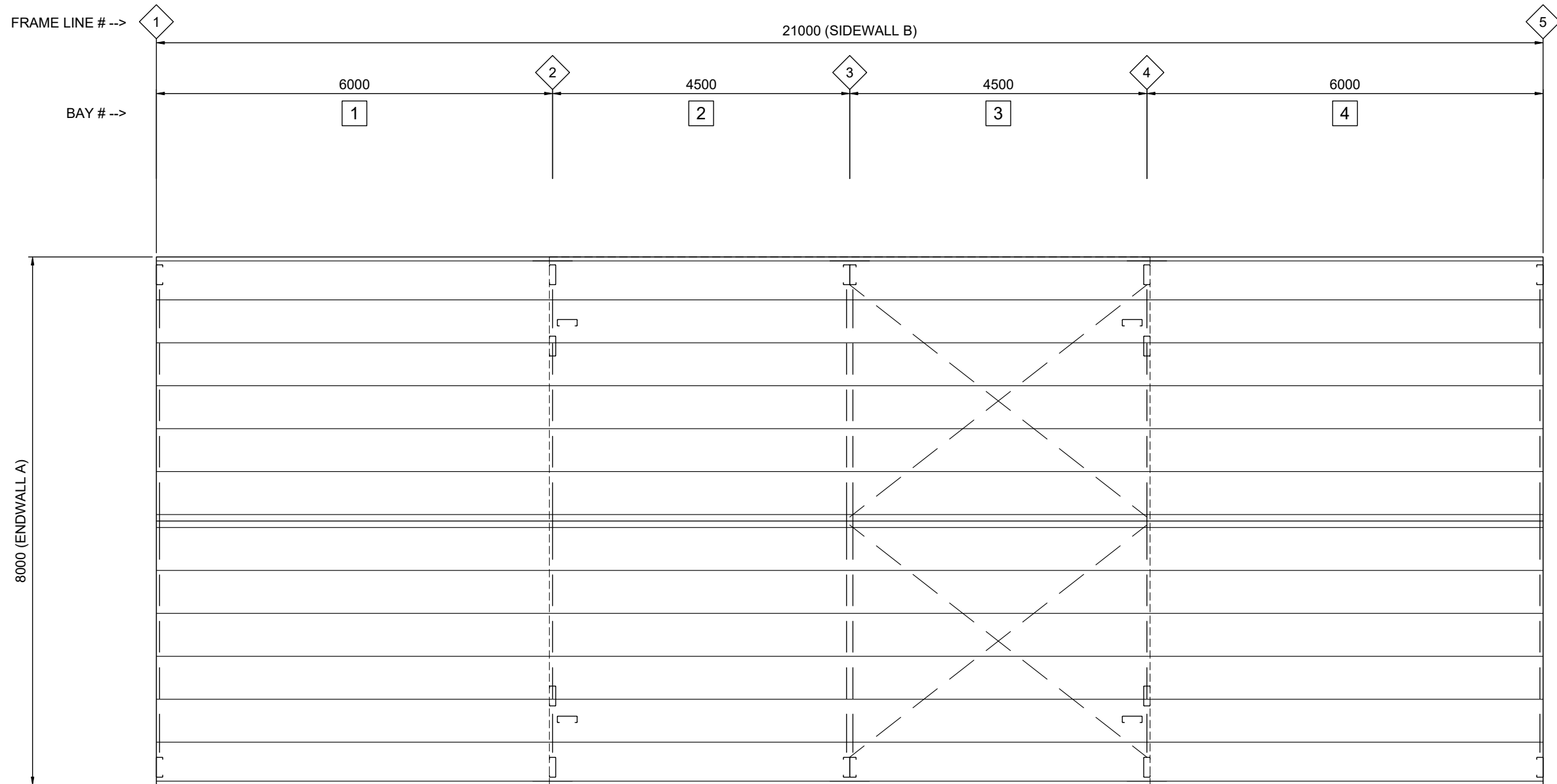


Notes: Main Building - Install first purlin at inner edge of haunch bracket, 717mm from outside of eave purlin.

2
5 **FRONT ELEVATION**
SCALE: 1:75 FRAME #2



1 FLOOR PLAN
6 SCALE: 1:75



1 ROOF FRAMING PLAN

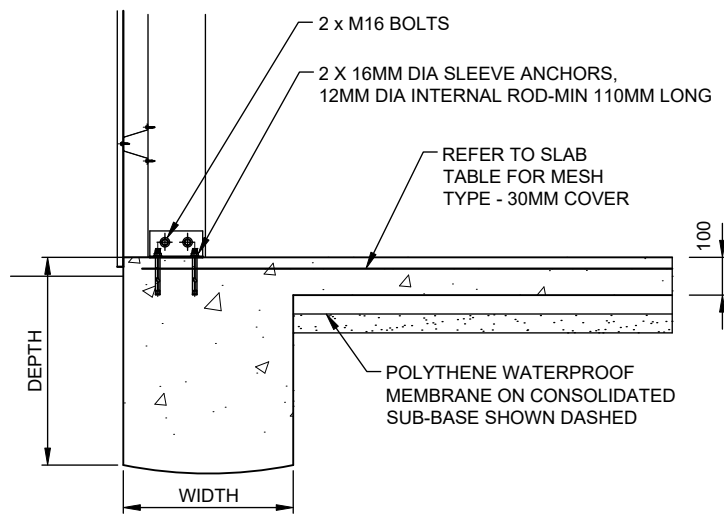
7 SCALE: 1:75

SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL
(100mm MINIMUM CONCRETE SLAB INCLUDED)

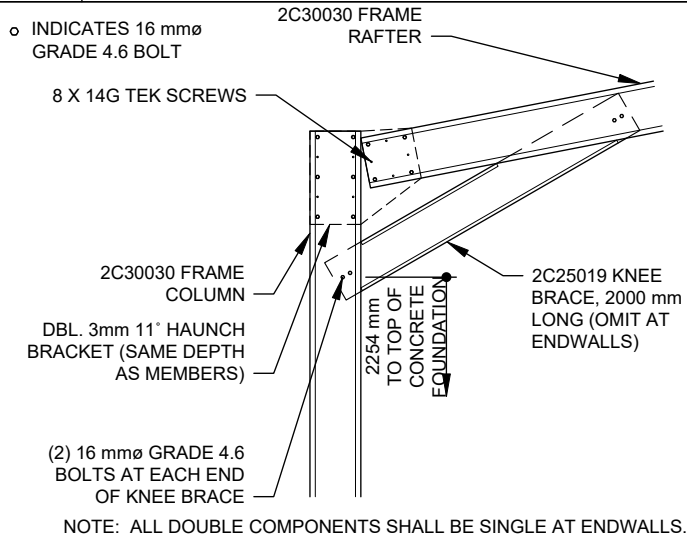
SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
				DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

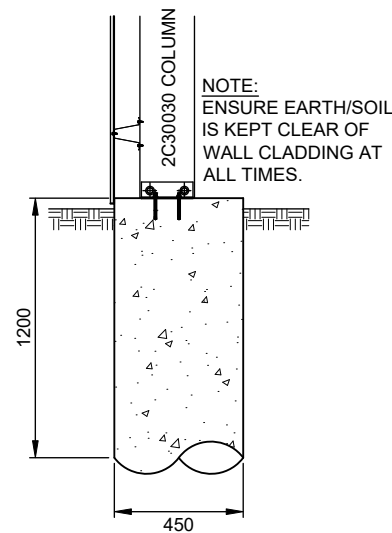
STRENGTH: 25mPa



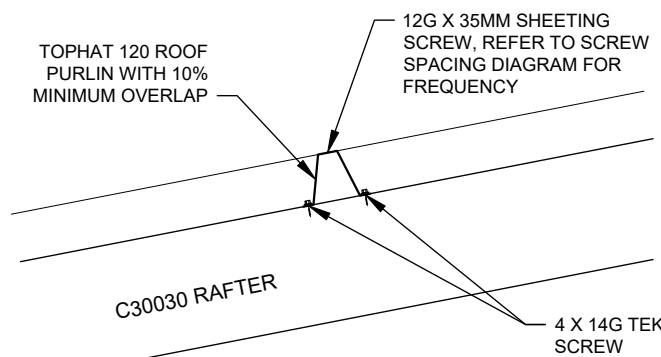
Y SLAB DETAIL



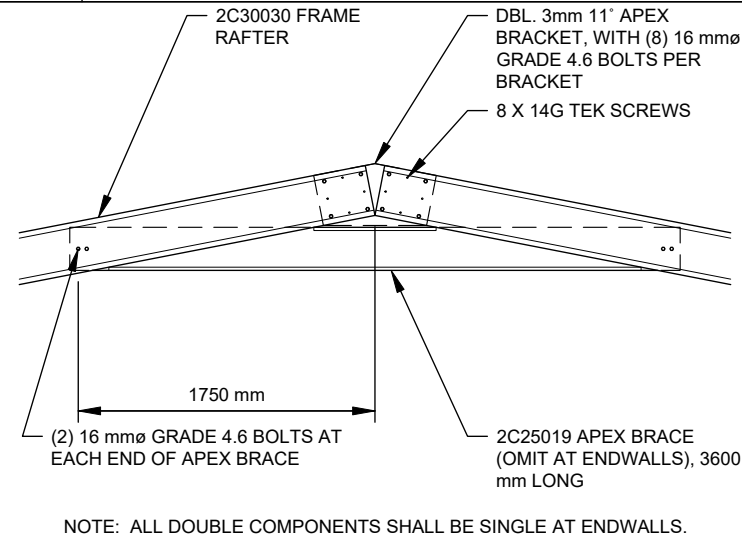
A HAUNCH CONNECTION



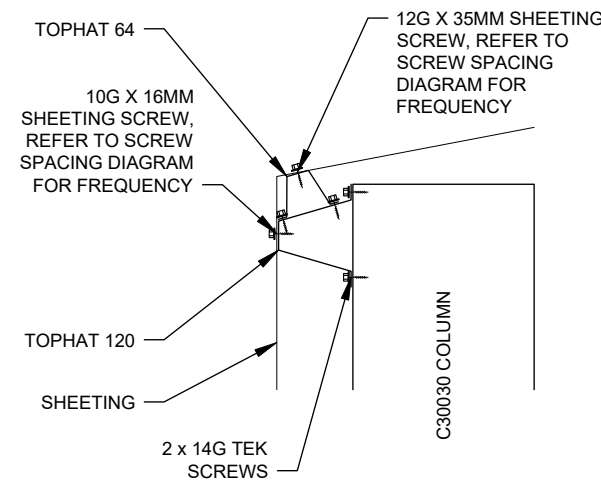
Z ALTERNATE PIER DETAIL



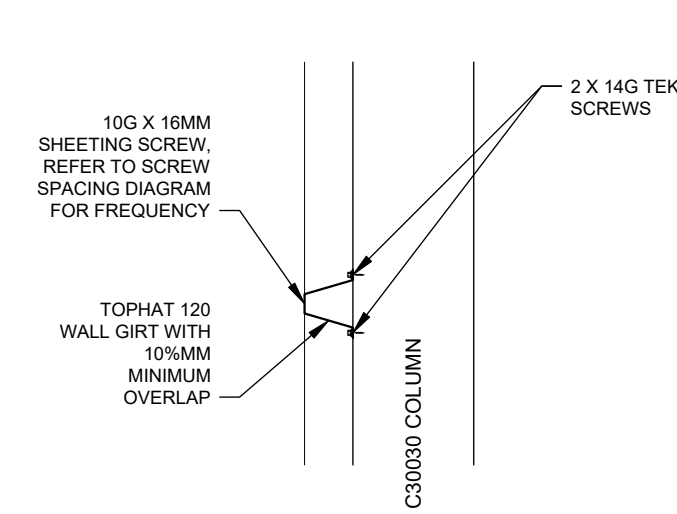
E PURLIN CONNECTION



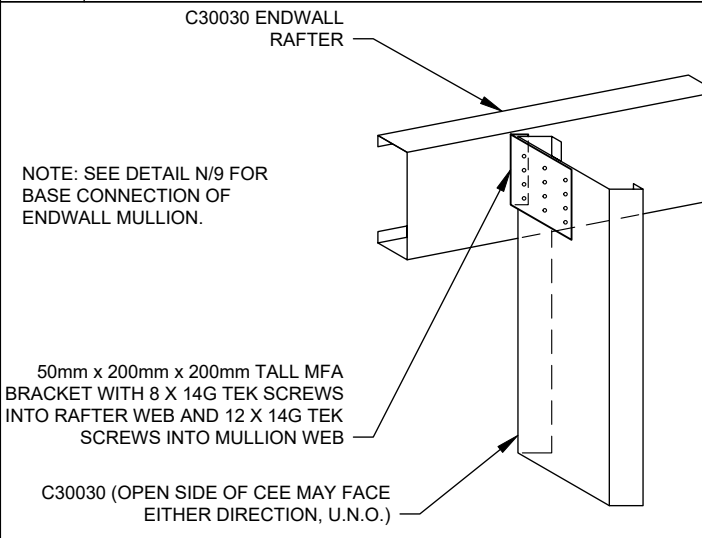
B APEX CONNECTION



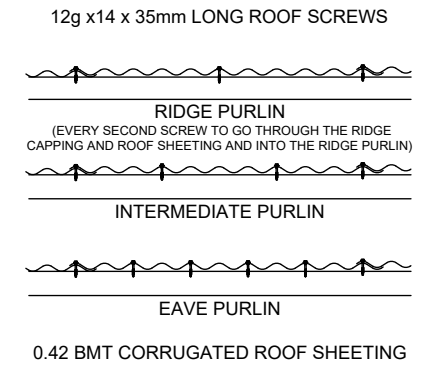
H EAVE CONNECTION



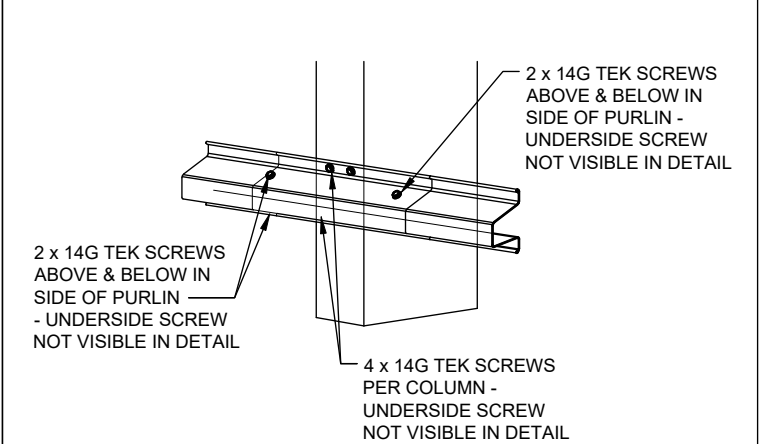
F GIRT CONNECTION



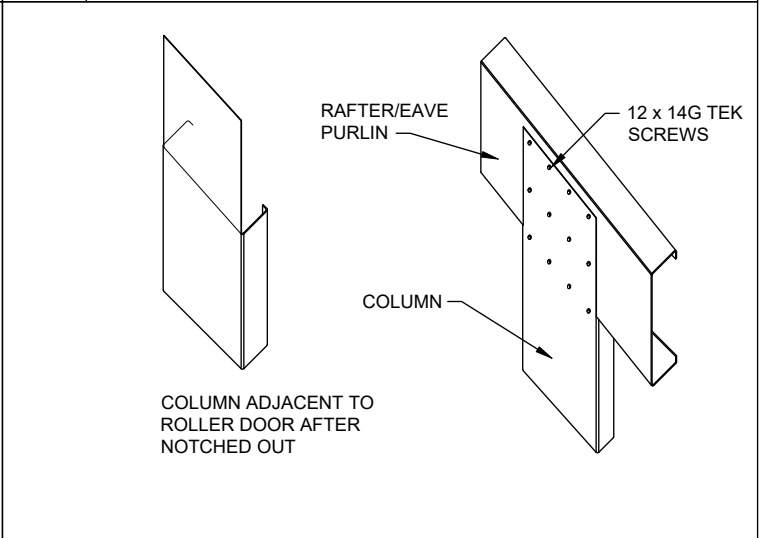
C1 ENDWALL MULLION TO RAFTER



I ROOF SHEETING

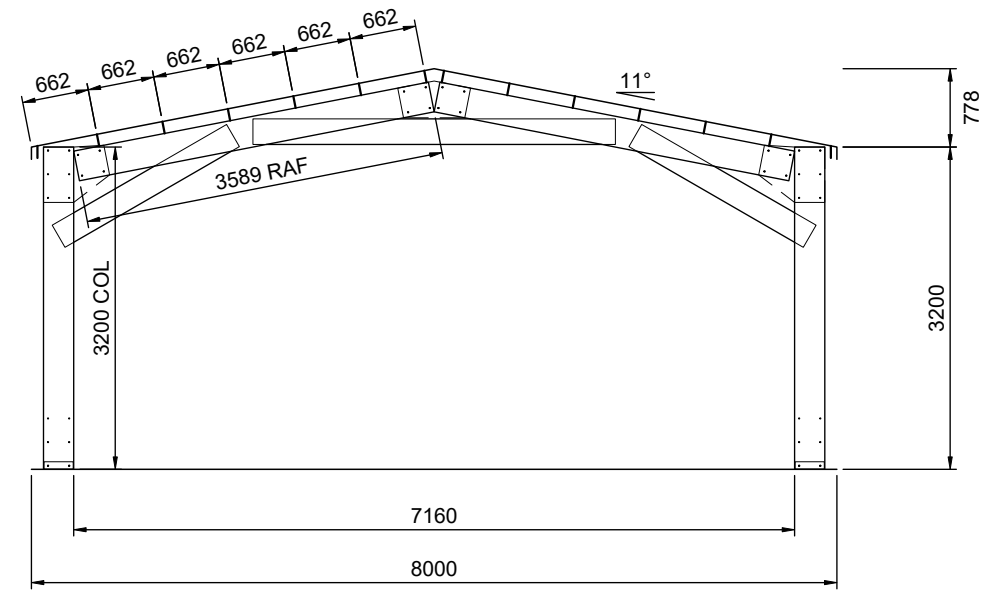


G TOP HAT CONNECTION



D ENDWALL MULLION ROTATED

R PA DOOR STYLE CONNECTION	S FLYBRACE		
N ENDWALL MULLION BASE	O ROTATED ENDWALL MULLION BASE	P ENDWALL GIRT BRACKET	Q END DOOR HEADER AND JAMB
J WALL SHEETING	K CORNER COLUMN BASE	L INTERNAL COLUMN BASE	M ROOF ONLY COLUMN BASE





Notes: Main Building - Install first purlin at inner edge of haunch bracket, 717mm from outside of eave purlin.

1
10 **ROOF ONLY FRAME CROSS-SECTION**
SCALE: 1:75 FRAMES 1, 3, 5



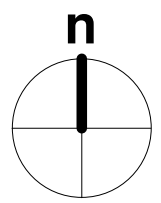
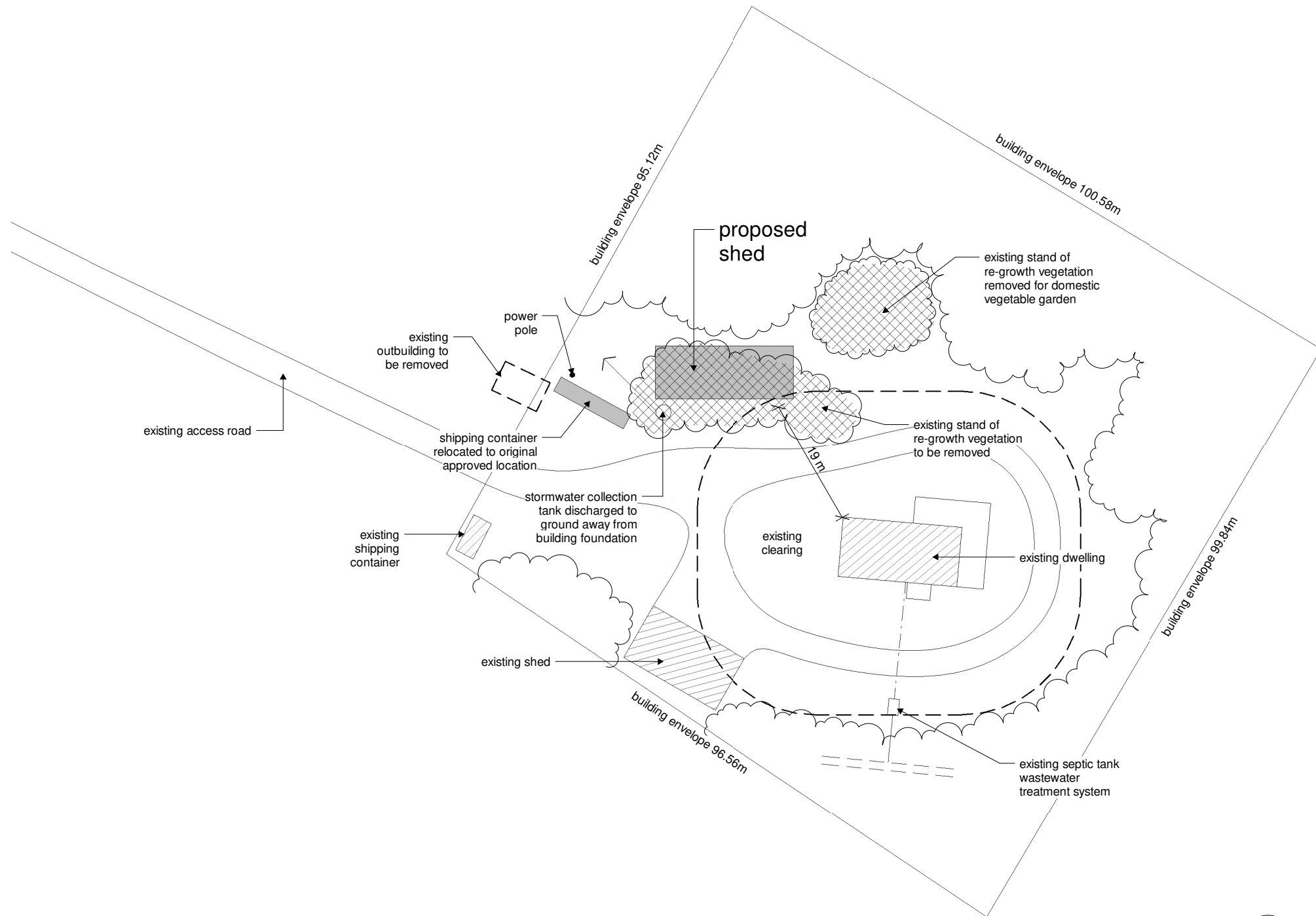
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Smeaton Grange, NSW, 2567
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Fax: 02 4648 7700
Email: sales@bestsheds.com.au



CIVIL & STRUCTURAL ENGINEERS
COMMERCIAL - INDUSTRIAL - RESIDENTIAL - FORENSIC - STEEL DETAILING
CAMILO PINEDA MORENO
Bend MIEAust RPEng
RPEQ 15562 TBP PE003976 (VIC)
Signature:  Date: 25.03.2025

Customer Name: David Twentyman
Site Address: 23104 Tasman Highway
Falmouth,
TAS, 7215

DATE 25-03-2025
JOB NO. 2729636458
SHEET 10 of 10



1 site plan
1 : 750

1	Revision 1	26.08.25
REV:	DESCRIPTION:	DATE:
PROJECT: proposed shed		
FOR: d. twentyman 23104 tasman hwy falmouth tasmania 7215		
DRAWING TITLE: site plan		
DRAWING NO: a02	DRAWN BY: JB	
	DATE: 13.01.26	
SCALE: 1 : 750	PROJECT: 0915TW	

 **jennifer binns**

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52 cecilia street st helens tasmania 7216



ACCREDITATION NO:
CC 1269L

proposed shed

david twentyman
23104 tasman highway falmouth tasmania 7215

planning compliance report

november 6 2025

jennifer binns building design
52 cecilia street st helens tasmania 7216
mail@jenniferbinnsdesign.com.au : 0439 765 452

INTRODUCTION

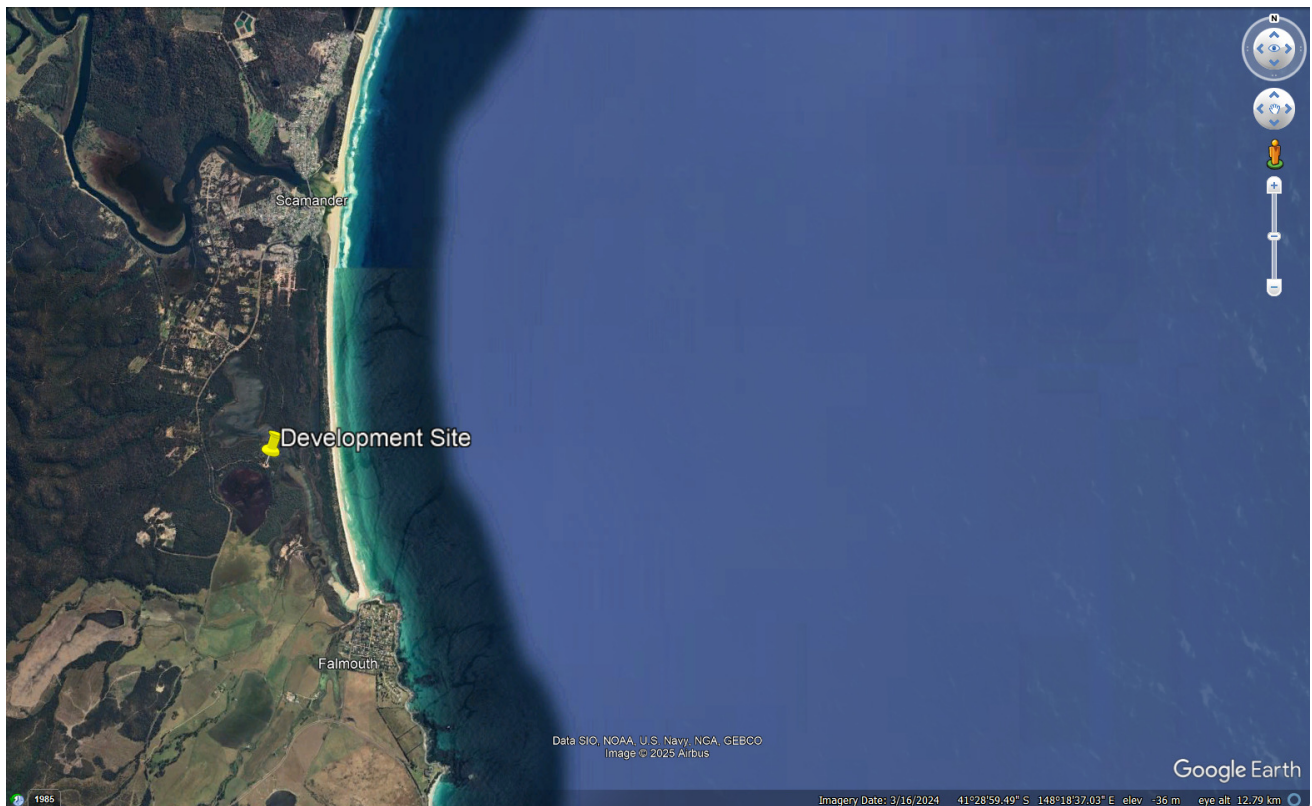
This report aims to demonstrate compliance with relevant planning standards for a shed for David Twentyman at 23104 Tasman Highway Falmouth (c.t 144373/1). The report aims to take into consideration the intent, values and objectives of the Tasmanian Planning Scheme and address all scheme standards applicable to this development.

The proposed development relies on **Performance Solutions** to satisfy relevant planning standards and this report is to be read in conjunction with drawings submitted for the development.

DEVELOPMENT SITE DETAILS

The development site is an established residential property adjacent to Hendersons Lagoon between Falmouth + Scamander. No alteration is proposed to the existing vehicle access and parking provisions and the proposed development is sited entirely within the designated building envelope. A small stand of vegetation is proposed to be removed to facilitate construction of the shed.

Zone: Landscape Conservation



DEVELOPMENT DETAILS

This application is for a steel kit shed adjacent to the existing dwelling.

Proposed shed area: 168 m²

APPLICABLE PLANNING CODES

The proposed shed is in the *Residential* use class which in the *Landscape Conservation Zone* is a *Permitted* use.

The following zone standards and codes of the Tasmanian Planning Scheme are applicable to the proposed development:

- **Zone 22.0 LANDSCAPE CONSERVATION ZONE**
- **Code C7.0 NATURAL ASSETS CODE**

Table 22.3 LANDSCAPE CONSERVATION USE STANDARDS

22.3.1 Community Meeting and Entertainment, Food Services and General Retail and Hire uses**Not Applicable**

The proposed development is a storage shed associated with a single dwelling.

22.3.2 Visitor Accommodation**Not Applicable**

The proposed development is in the *Residential* use class.

22.3.3 Discretionary Use**Not Applicable**

The proposed development is a permitted use.

Table 22.4 DEVELOPMENT STANDARDS

22.4.1 Site Coverage**Performance Solution**

The proposed shed is 168m² in area and brings the total building footprint on the site to 576m². The property is a large title with capacity to absorb runoff and the proposed shed is not within 100m of Hendersons lagoon. The buildings will not be visible from Tasman Highway and while a small stand of vegetation is proposed for removal the development is wholly within the building envelope on the sealed plan.

22.4.2 Building height, siting and exterior finishes**A1 Acceptable Solution**

The proposed shed is less than 6m in height.

A2 Acceptable Solution

The proposed shed is not within 10m of the property frontage.

A3 Acceptable Solution

The proposed shed is not within 20m of a side or rear boundary.

A4 Not Applicable

The proposed building does not have a sensitive use.

A5 Acceptable Solution

The proposed colours are Slate Grey and Monolith which have a LRV of less than 40%.

22.4.3 Access to a road**A1 Not Applicable**

The proposed development is not a dwelling.

22.4.4 Landscape protection**A1 Acceptable Solution**

The proposed shed is within the building envelope shown on the sealed plan.

A2 Acceptable Solution

The proposed shed is within the building envelope shown on the sealed plan.

Table 22.5 DEVELOPMENT STANDARDS FOR SUBDIVISION

Not Applicable

No subdivision of land is proposed.

Table C7.6 NATURAL ASSETS CODE DEVELOPMENT STANDARDS

C7.6.1 Buildings and works within a waterway and coastal protection area or a future coastal refugia area**Not Applicable**

The proposed shed is not within a waterway or coastal protection area.

C7.6.2 Clearance within a priority vegetation area**A1 Acceptable Solution**

The proposed vegetation removal is within the building envelope on the sealed plan.

Table C7.7 NATURAL ASSETS CODE DEVELOPMENT STANDARDS FOR SUBDIVISION

Not Applicable

No subdivision of land is proposed.