



Application for Planning Approval

Land Use Planning and Approvals Act 1993

APPLICATION NO.

DA2025/178

LOCATION OF AFFECTED AREA

10 LEMNOS PLACE, BRIGHTON

DESCRIPTION OF DEVELOPMENT PROPOSAL

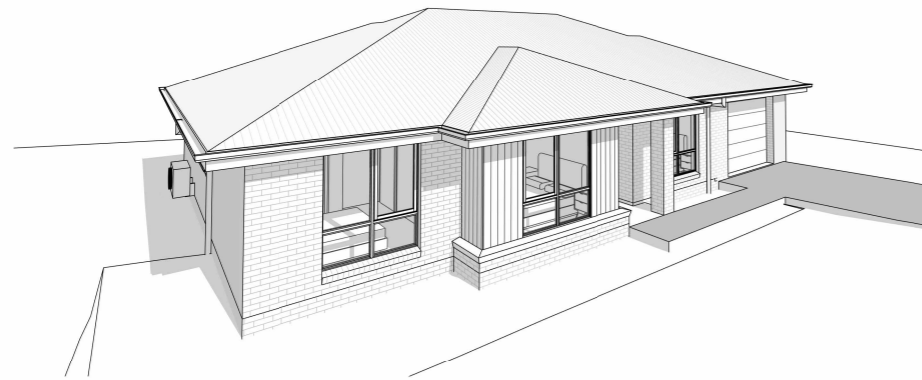
SINGLE DWELLING

A COPY OF THE DEVELOPMENT APPLICATION MAY BE VIEWED AT www.brighton.tas.gov.au AND AT THE COUNCIL OFFICES, 1 TIVOLI ROAD, OLD BEACH, BETWEEN 8:15 A.M. AND 4:45 P.M, MONDAY TO FRIDAY OR VIA THE QR CODE BELOW. ANY PERSON MAY MAKE WRITTEN REPRESENTATIONS IN ACCORDANCE WITH S.57(5) OF THE LAND USE PLANNING AND APPROVALS ACT 1993 CONCERNING THIS APPLICATION UNTIL 4:45 P.M. ON **17/11/2025**. ADDRESSED TO THE CHIEF EXECUTIVE OFFICER AT 1 TIVOLI ROAD, OLD BEACH, 7017 OR BY EMAIL AT development@brighton.tas.gov.au. REPRESENTATIONS SHOULD INCLUDE A DAYTIME TELEPHONE NUMBER TO ALLOW COUNCIL OFFICERS TO DISCUSS, IF NECESSARY, ANY MATTERS RAISED.

JAMES DRYBURGH
Chief Executive Officer



Brighton
going places

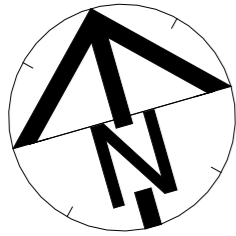


WH714427 - PROPOSED RESIDENCE (P & K GROUP PTY LTD)
 Lot 317, 10 Lemnos Place
 BRIGHTON

SHEET	DRAWING TITLE
01	SITE PLAN
01a	DRAINAGE PLAN
01b	SOIL & WATER MANAGEMENT PLAN
01c	SOIL & WATER MANAGEMENT NOTES
02	FLOOR PLAN
03	ELEVATIONS SHEET
03a	PERSPECTIVE VIEW
03b	INTERNAL ELEVATIONS - KITCHEN
03c	INTERNAL ELEVATIONS - WC & BATH
03d	INTERNAL ELEVATIONS - ENSUITE
03e	INTERNAL ELEVATIONS - LAUNDRY

Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED RESIDENCE (P & K GROUP PTY LTD) Lot 317, 10 Lemnos Place BRIGHTON	Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)	M TBC 151.75m ² 14.24m ² N2 7 N/A LOW LOW LOW	COVER SHEET	
						Date 19 September 2025 Scale Sheet WH714427 00/03

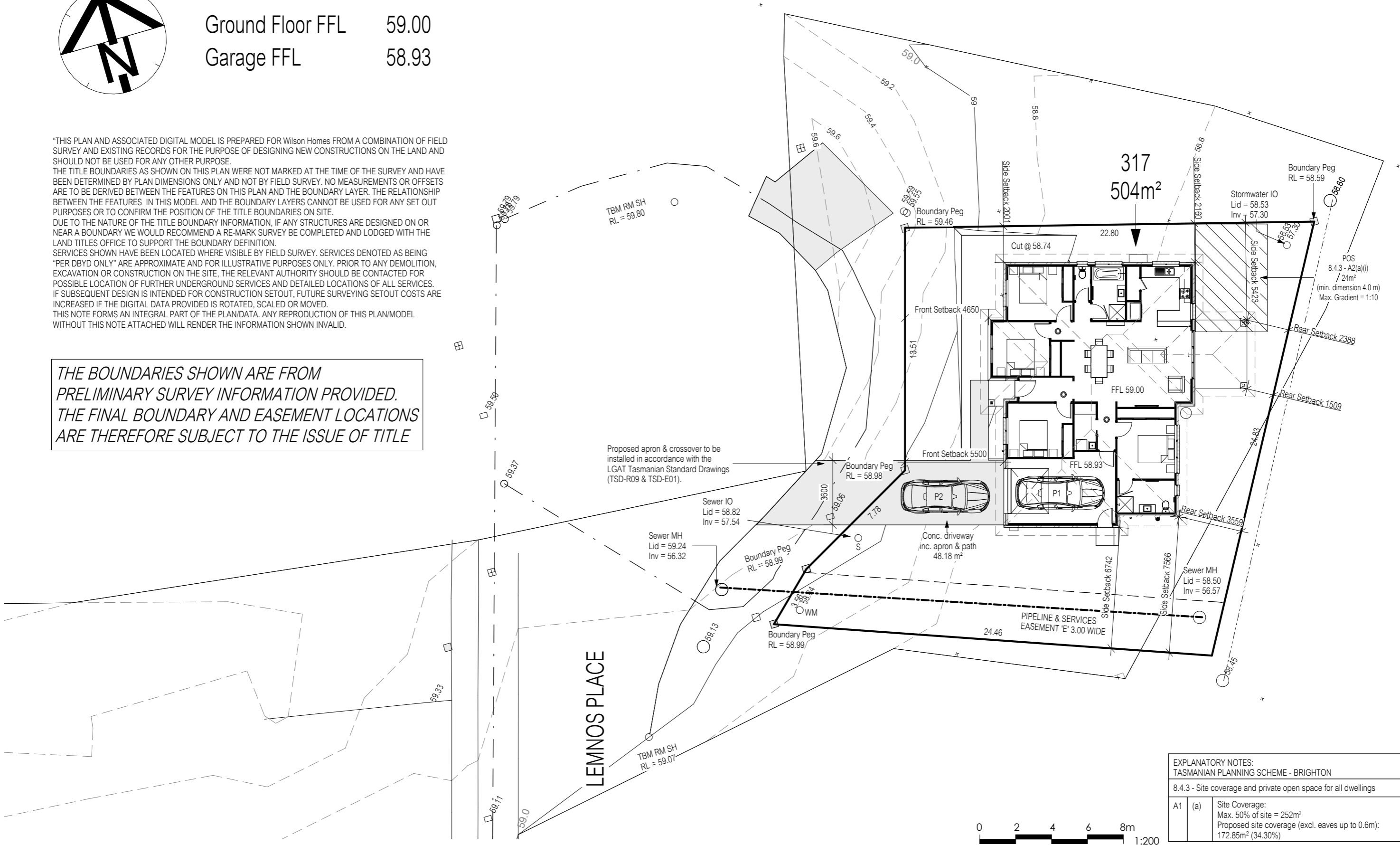
No.	Amendment	Date	Drawn	Checked	Sheet
	DA PLAN SET	23 Sep. 2025	CK	RJ	01-03



Ground Floor FFL 59.00
Garage FFL 58.93

"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR Wilson Homes FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.
DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.
SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER DBYD ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES. IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.
THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

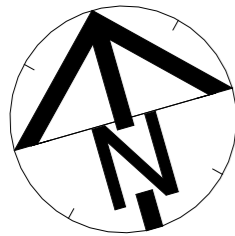
THE BOUNDARIES SHOWN ARE FROM PRELIMINARY SURVEY INFORMATION PROVIDED. THE FINAL BOUNDARY AND EASEMENT LOCATIONS ARE THEREFORE SUBJECT TO THE ISSUE OF TITLE



EXPLANATORY NOTES:	
TASMANIAN PLANNING SCHEME - BRIGHTON	
8.4.3 - Site coverage and private open space for all dwellings	
A1	(a) Site Coverage: Max. 50% of site = 252m² Proposed site coverage (excl. eaves up to 0.6m): 172.85m² (34.30%)

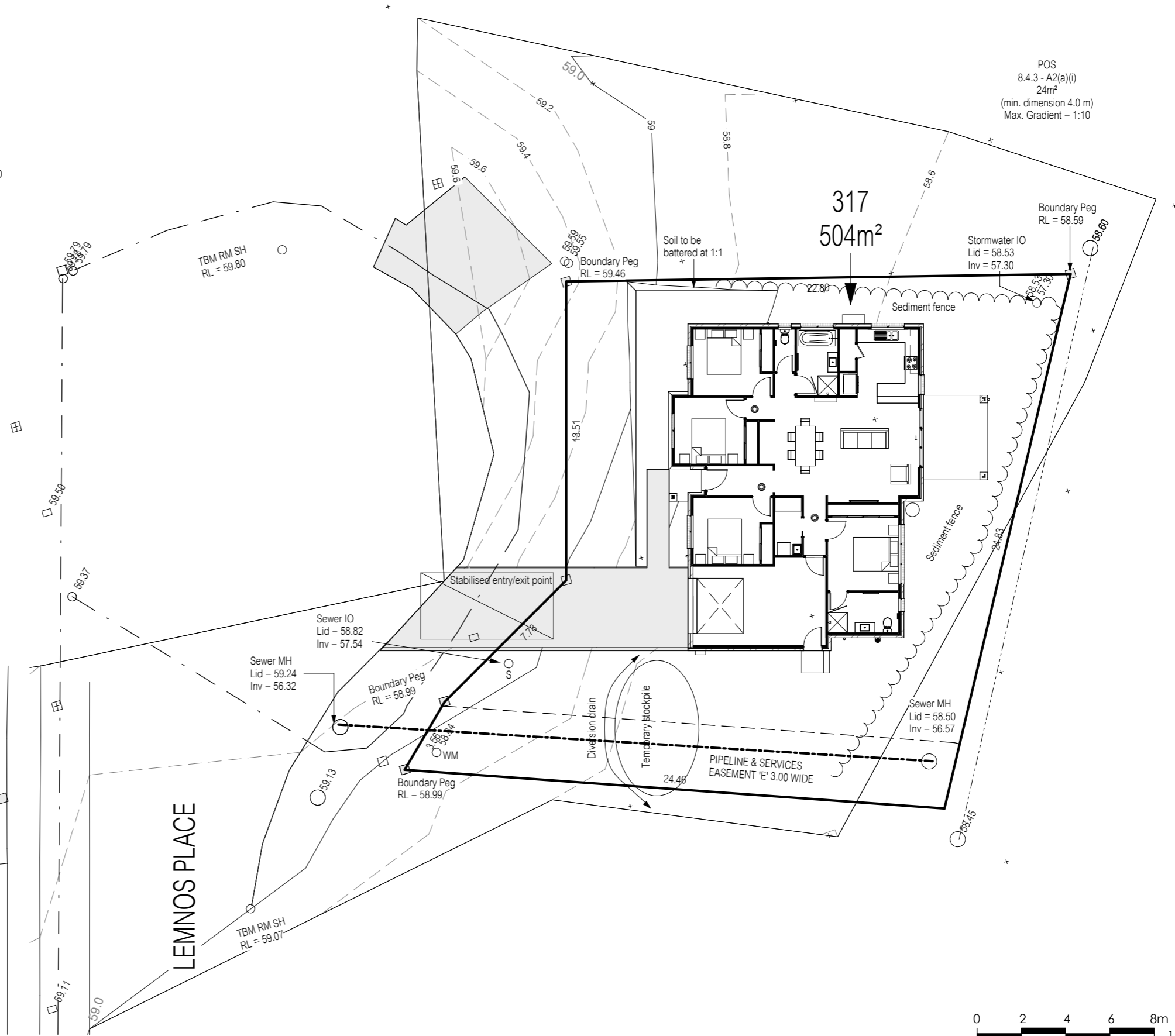


No.	Date	Int.	Amendment changes as per cover sheet	Notes	Designer:	Client / Project info		SITE PLAN Drawn RJ WH714427 Date 19 September 2025 Sheet Scale 1:200 01/03	
				<ul style="list-style-type: none"> Builder to verify all dimensions and levels on site prior to commencement of work All work to be carried out in accordance with the current National Construction Code. All materials to be installed according to manufacturers specifications. Do not scale from these drawings. No changes permitted without consultation with designer. 	ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED RESIDENCE (P & K GROUP PTY LTD) Lot 317, 10 Lemnos Place BRIGHTON			



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POS
 8.4.3 - A2(a)(i)
 24m²
 (min. dimension 4.0 m)
 Max. Gradient = 1:10



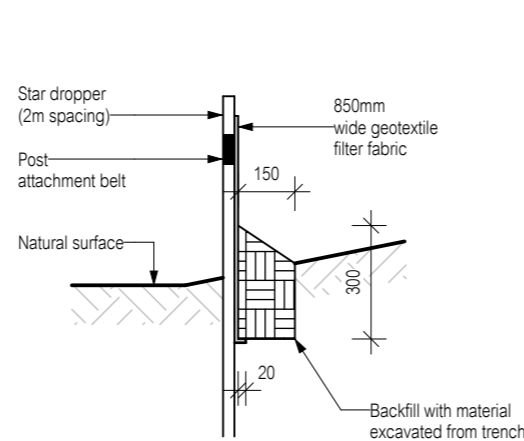
Soil classification: M Refer to Soil Report for nominated founding depth and description of founding material. All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3	- Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED RESIDENCE (P & K GROUP PTY LTD) Lot 317, 10 Lemnos Place BRIGHTON		SOIL & WATER MANAGEMENT PLAN	
			Drawn RJ WH714427 Date 23 September 2025 Sheet Scale 1:200			01b/03	

No.	Date	Int.
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NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site

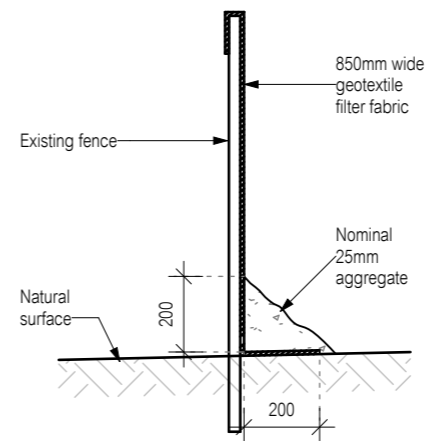
NOTES:
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
4. Stockpiles of clayey material to be covered with an impervious sheet.
5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid

NOTES:
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.



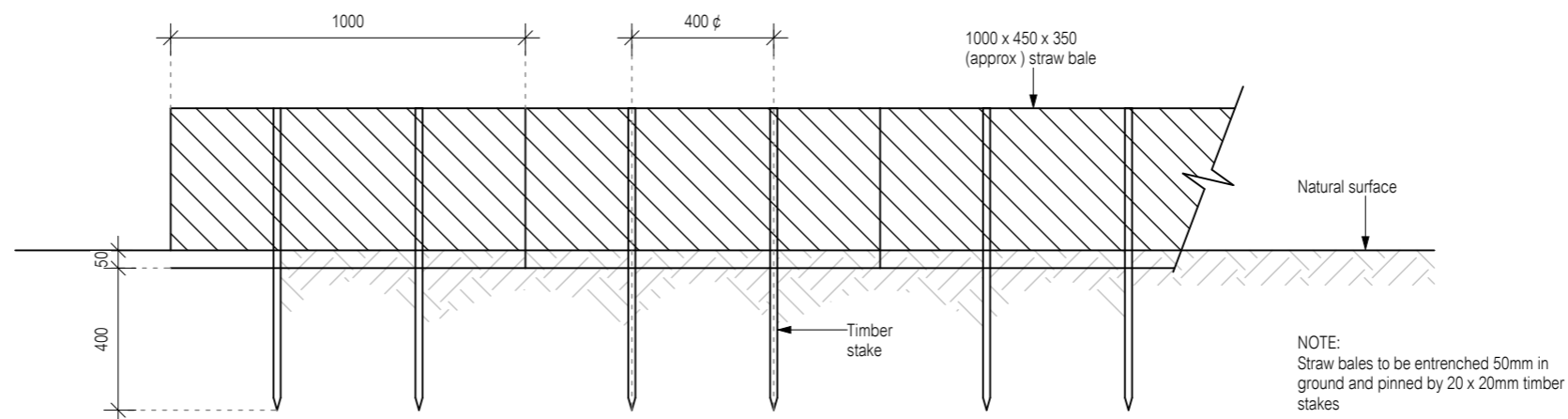
SILT STOP TYPE 1

TEMPORARY FENCE 1:20



SILT STOP TYPE 2

EXISTING FENCE 1:20





NOTE:
Straw bales to be entrenched 50mm in ground and pinned by 20 x 20mm timber stakes

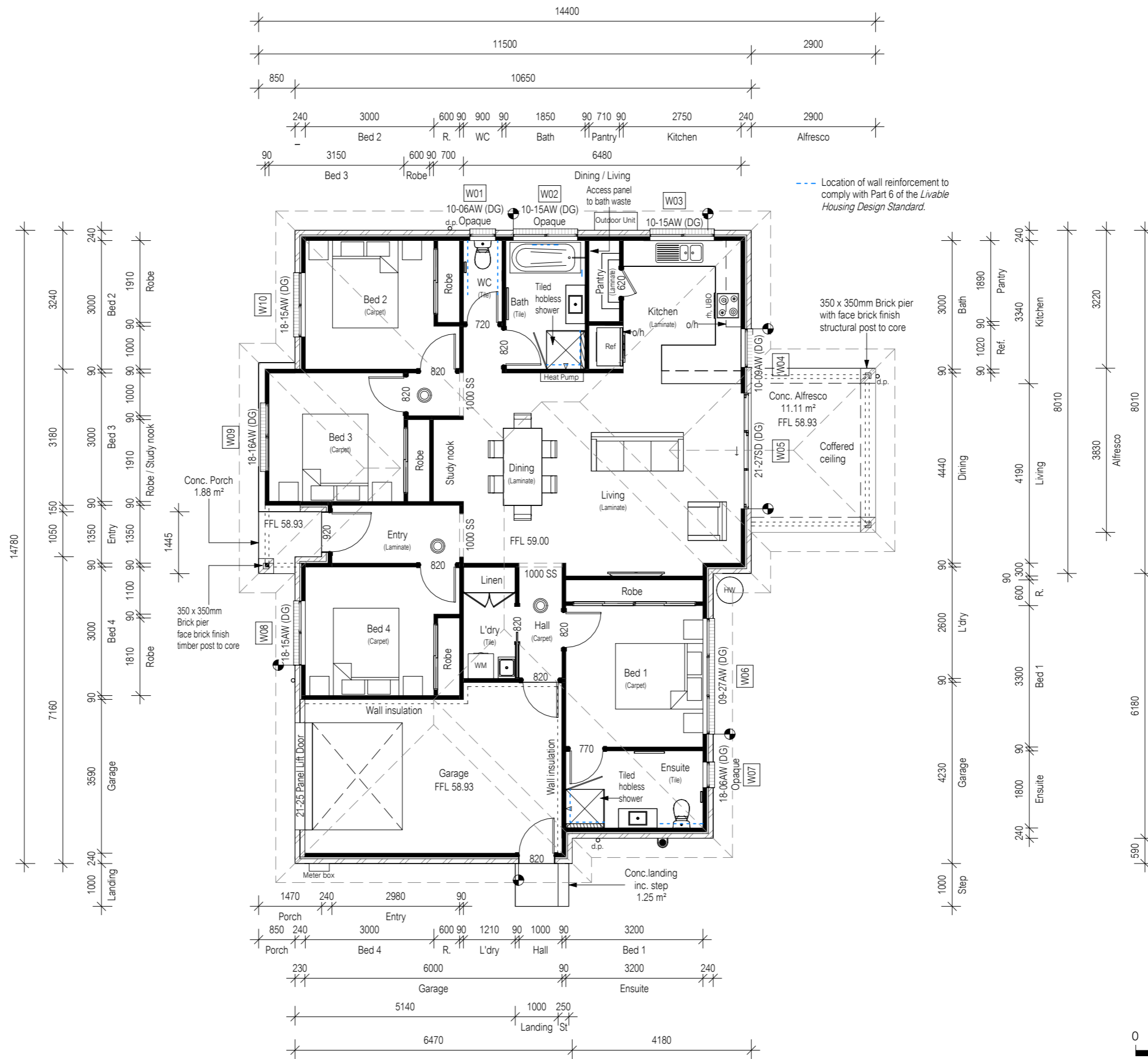
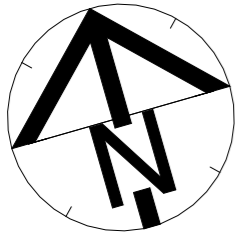
STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20



Soil classification: M		 - Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		SOIL & WATER MANAGEMENT NOTES	
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All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3					Date	23 September 2025	Sheet	
Amendment changes as per cover sheet					Scale	As indicated	01c/03	

No.	Date	Int.
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Floor Area = 151.75m²

Articulation joints

Smoke Alarm (interconnected where more than 1)

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

Notes

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Designer:

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Client / Project info

PROPOSED RESIDENCE (P & K GROUP PTY LTD)
Lot 317, 10 Lemnos Place
BRIGHTON



FLOOR PLAN

Drawn RJ WH714427

Date 19 September 2025 Sheet

Scale 1:100

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02/03

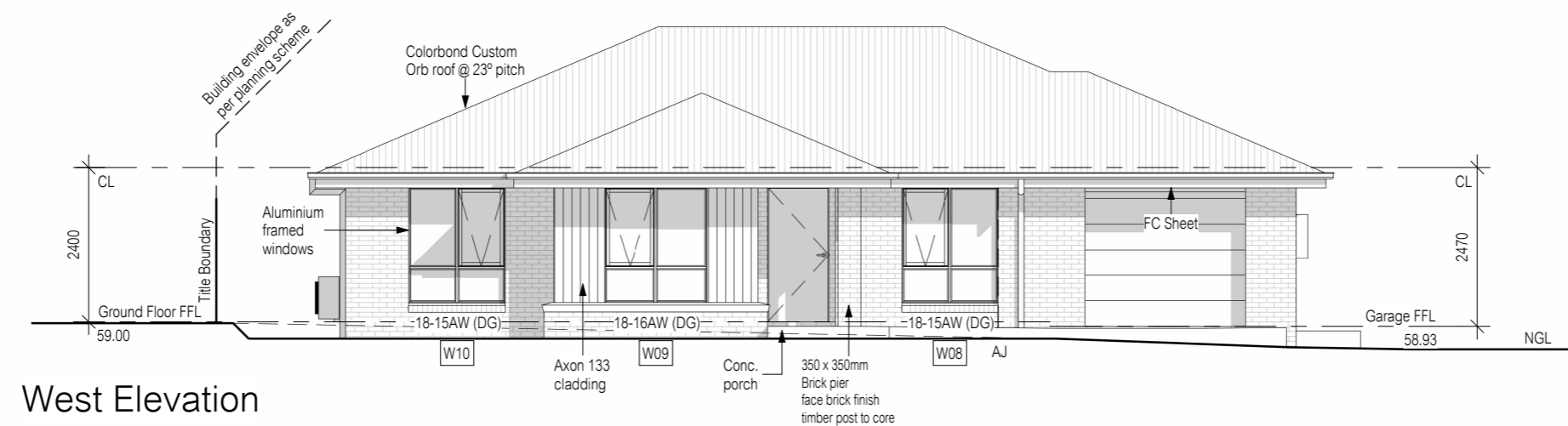
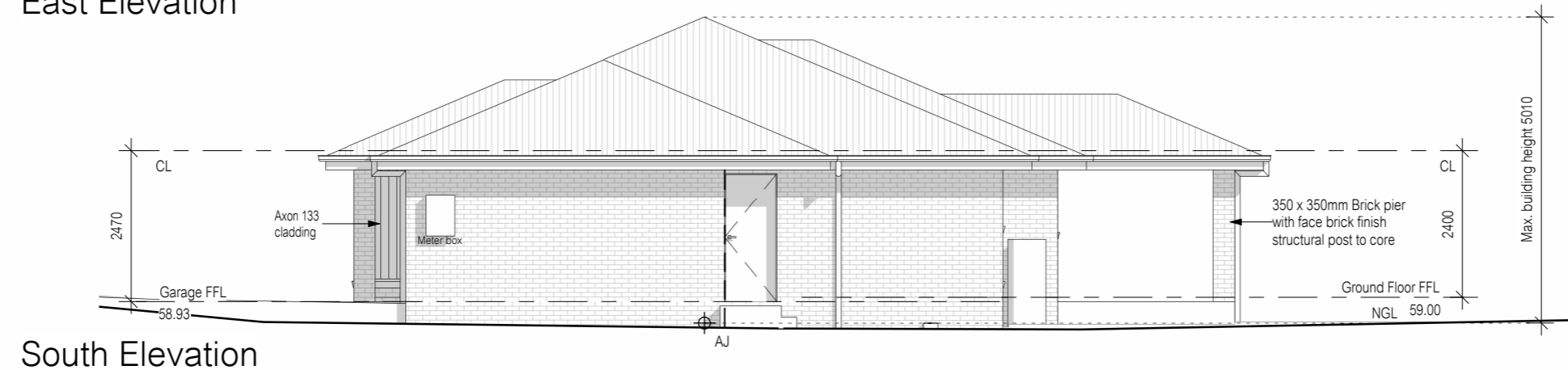
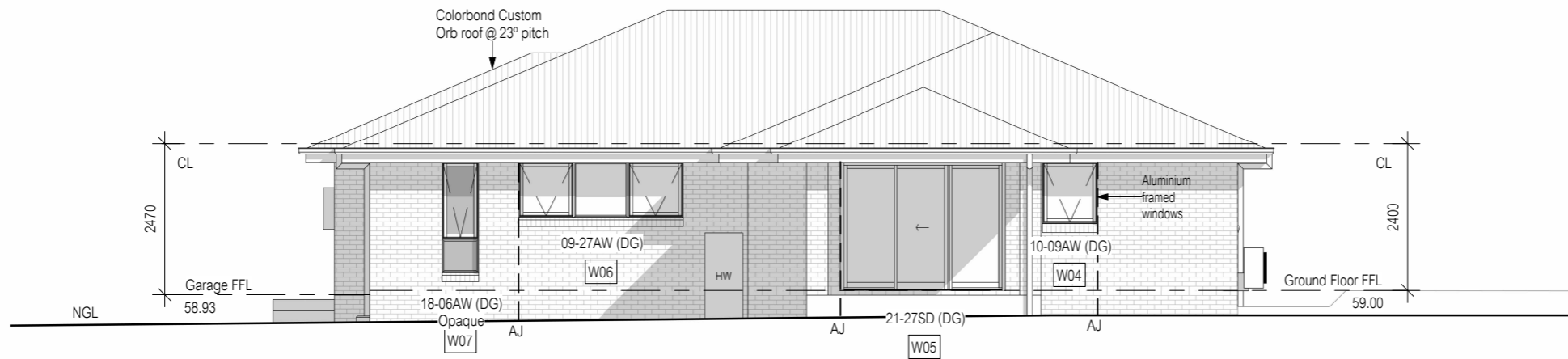
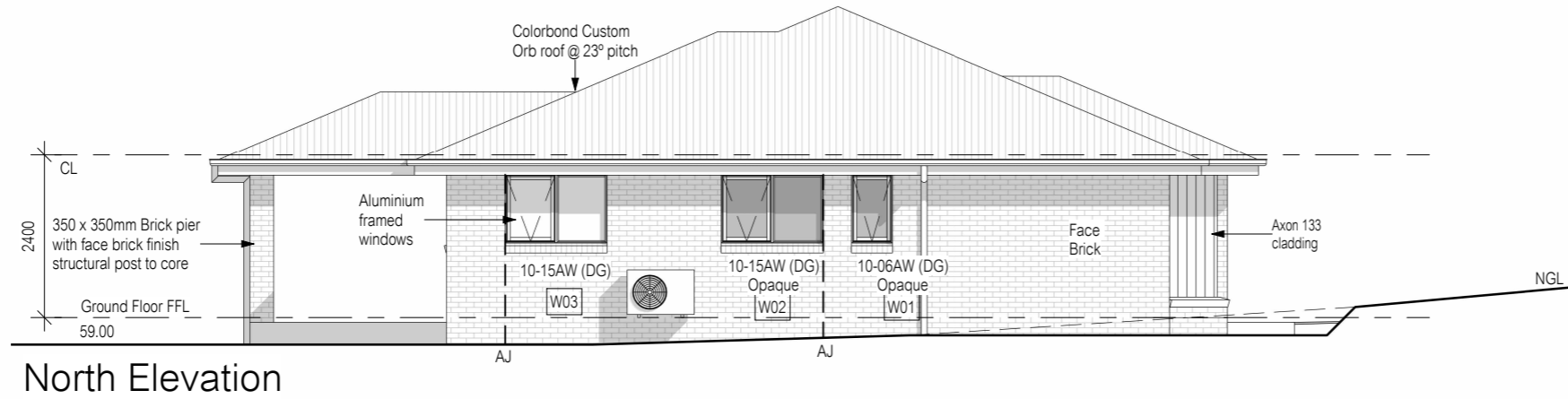
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Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

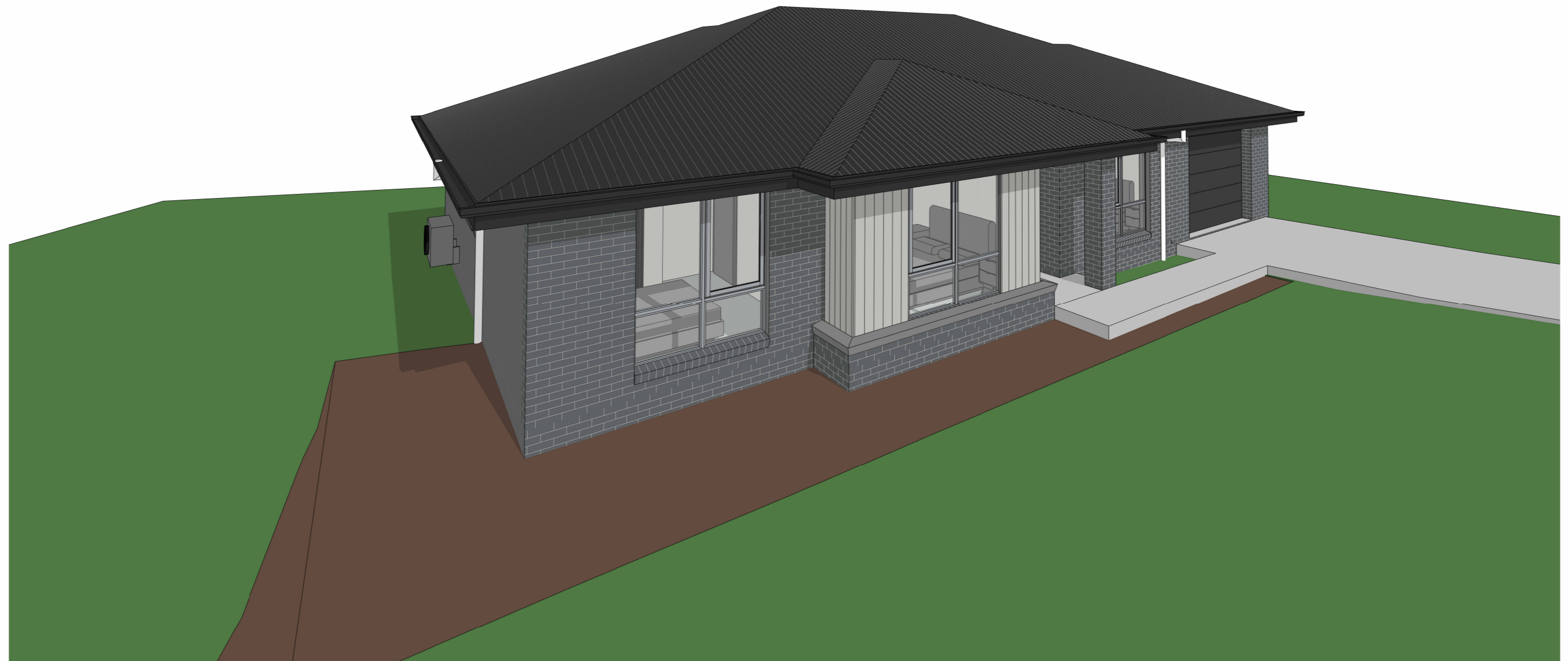
All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

Cladding to be installed as per W-CLAD-002 details provided by Wilson Homes.

Cladding above garage doors to be installed as per W-CLAD-GAR001 details provided by Wilson Homes.



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Client / Project info		
PROPOSED RESIDENCE (P & K GROUP PTY LTD) Lot 317, 10 Lemnos Place BRIGHTON		
		
ELEVATIONS SHEET		
Drawn	RJ	WH714427
Date	19 September 2025	Sheet
Scale	1:100	03/03
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No.	Date	Int.
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Amendment changes as per cover sheet

Shadows shown for stylisations purpose only

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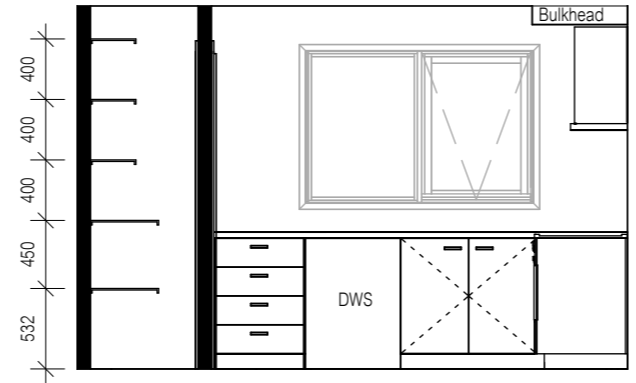
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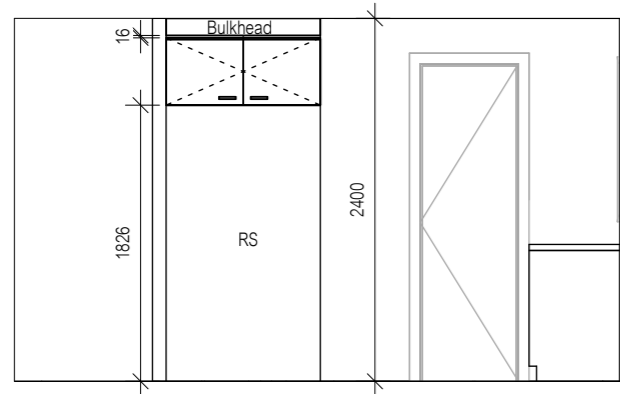
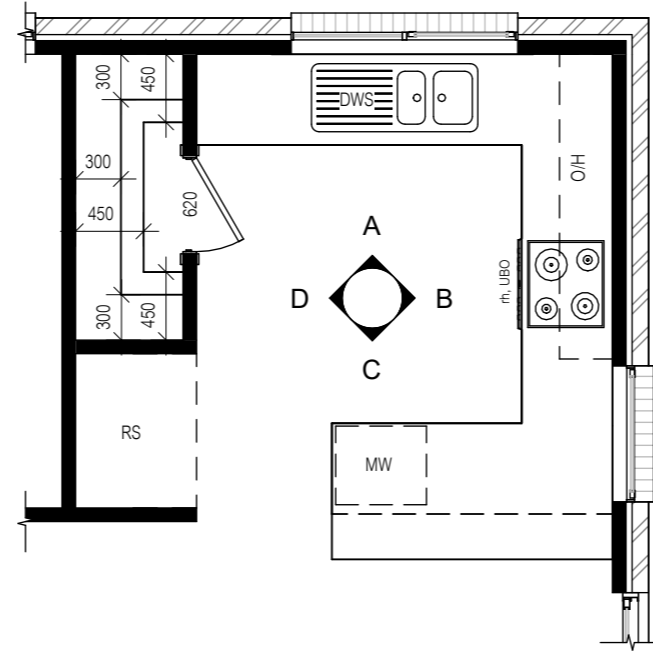
PERSPECTIVE VIEW		
Drawn	RJ	WH714427
Date	19 September 2025	Sheet
Scale		03a/03
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LEGEND:
 MWS - MICROWAVE SPACE
 DWS - DISHWASHER SPACE
 RS - REFRIGERATOR SPACE

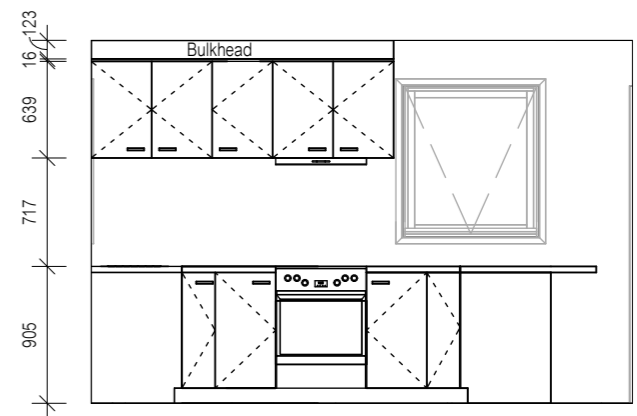
NOTE:
 - DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES



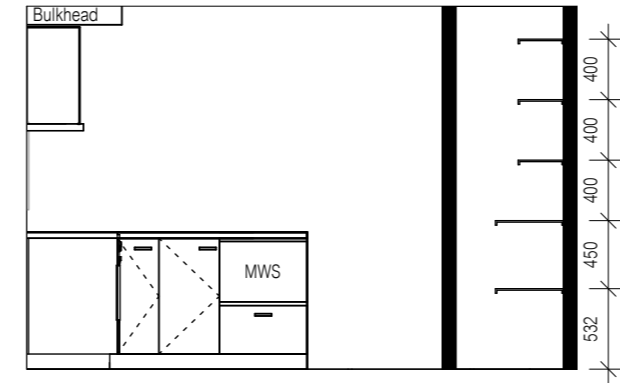
Kitchen Elevation A



Kitchen Elevation D



Kitchen Elevation B



Kitchen Elevation C

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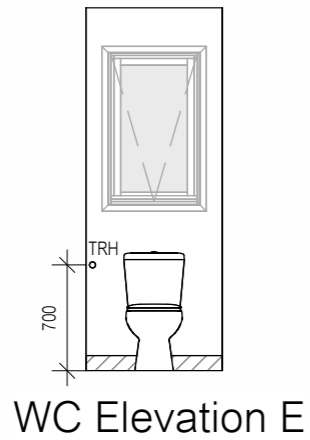
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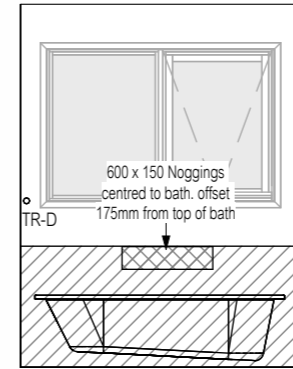


INTERNAL ELEVATIONS - KITCHEN	
Drawn	RJ WH714427
Date	22 September 2025 Sheet
Scale	1:50
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WC Elevation E

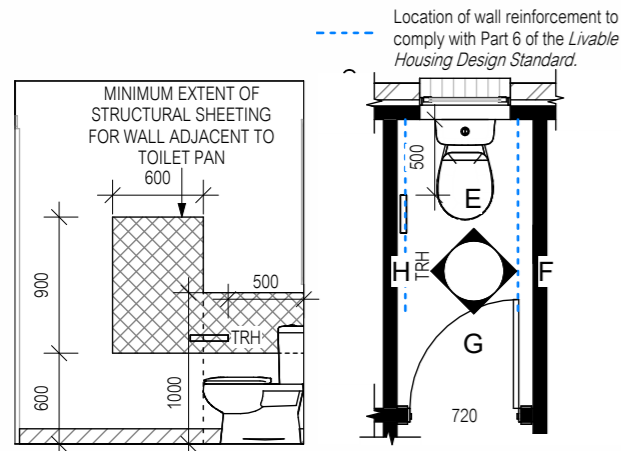


Bath Elevation A

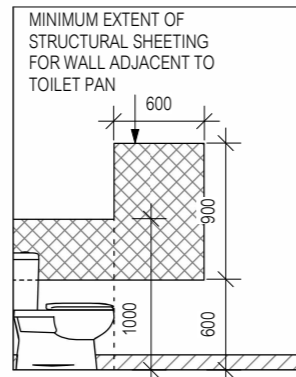
LEGEND

- RSHR - RAIL SHOWER
- ROSE - SHOWER ROSE
- ELBW - SHOWER ELBOW CONNECTION
- MIX - MIXER TAP
- HT - HOT TAP
- CT - COLD TAP
- HS - HOB SPOUT
- WS - WALL SPOUT
- SC - STOP COCK
- TRH - TOILET ROLL HOLDER
- TR-S - TOWEL RAIL-SINGLE
- TR-D - TOWEL RAIL-DOUBLE
- TL - TOWEL LADDER
- TR - TOWEL RACK
- TMB - TUMBLER HOLDER
- RNG - TOWEL RING
- RH - ROBE HOOK
- SHLF - SHELF

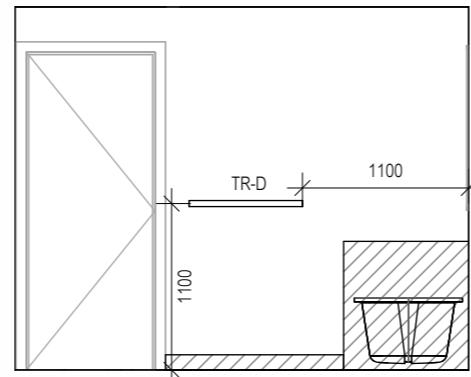
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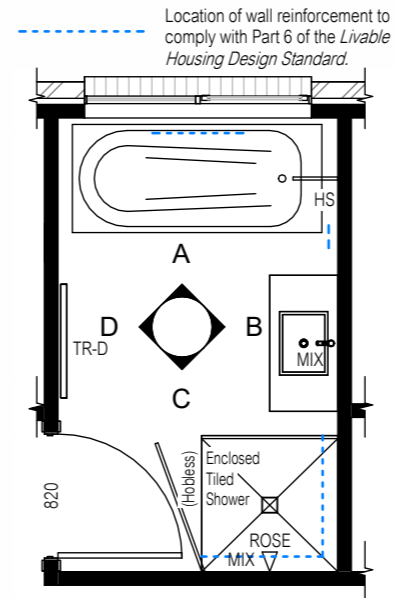
WC Elevation H



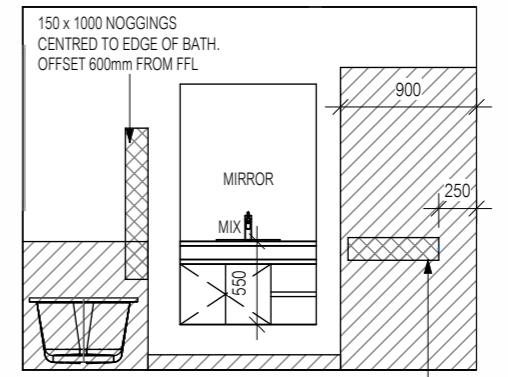
WC Elevation F



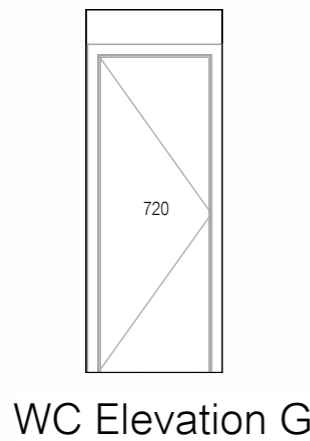
Bath Elevation D



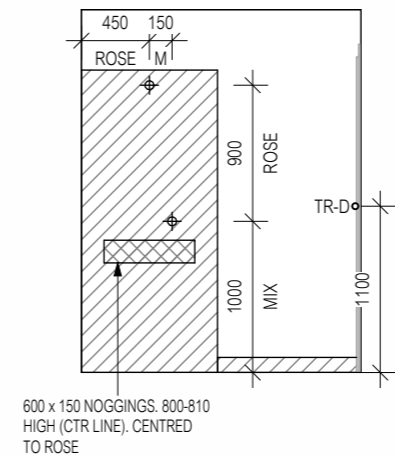
Bath Elevation B



600 x 150 NOGGINGS, 800-810 HIGH (CTR LINE), OFFSET 250mm FROM WALL



WC Elevation G



Bath Elevation C

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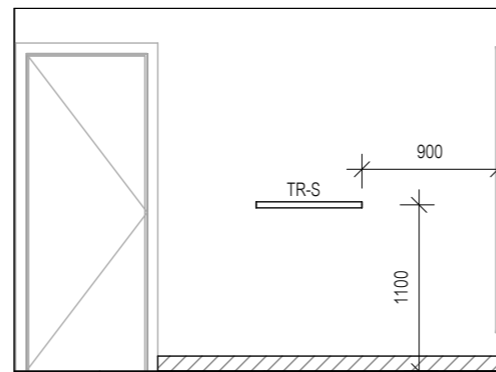
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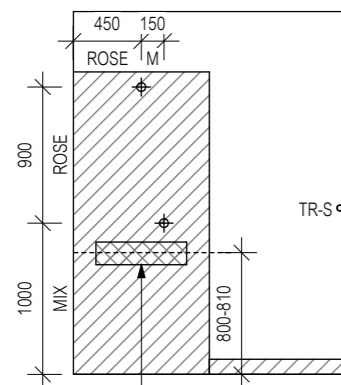
INTERNAL ELEVATIONS - WC & BATH	
Drawn	RJ WH714427
Date	22 September 2025 Sheet
Scale	1:50
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LEGEND	
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ROSE	- SHOWER ROSE
ELBW	- SHOWER ELBOW CONNECTION
MIX	- MIXER TAP
HT	- HOT TAP
CT	- COLD TAP
HS	- HOB SPOUT
WS	- WALL SPOUT
SC	- STOP COCK
TRH	- TOILET ROLL HOLDER
TR-S	- TOWEL RAIL-SINGLE
TR-D	- TOWEL RAIL-DOUBLE
TL	- TOWEL LADDER
TR	- TOWEL RACK
TMB	- TUMBLER HOLDER
RNG	- TOWEL RING
RH	- ROBE HOOK
SHLF	- SHELF

NOTE:
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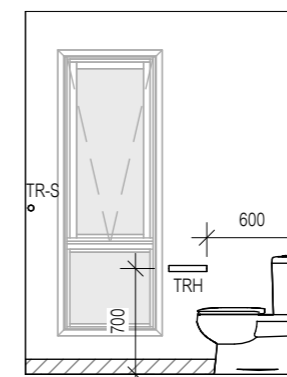
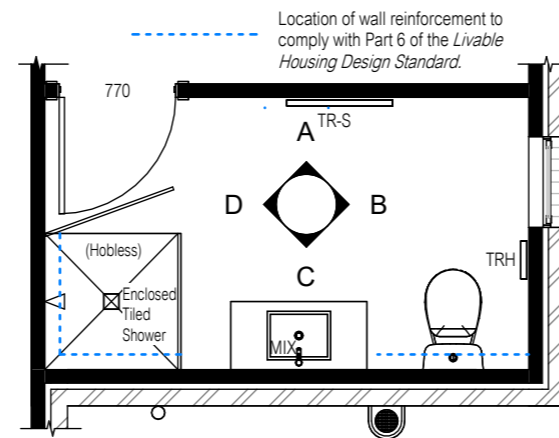


Ensuite Elevation A

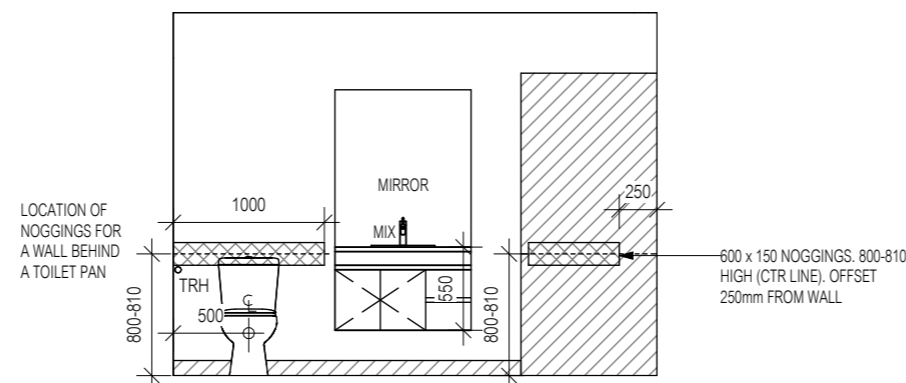


600 x 150 Noggings, 800-810 high (ctr line). Centred to rose

Ensuite Elevation D



Ensuite Elevation B



Ensuite Elevation C

No.	Date	Int.

Amendment changes as per cover sheet

Notes

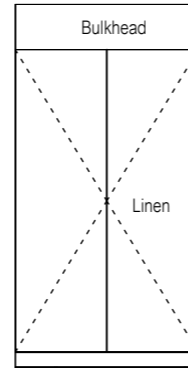
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Designer:
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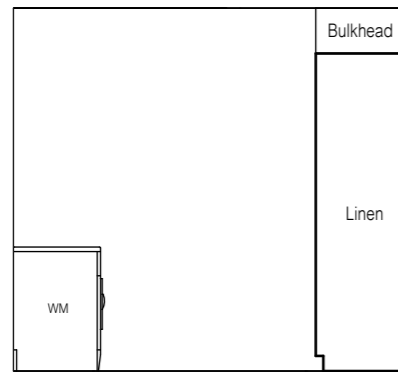
Client / Project info
PROPOSED RESIDENCE (P & K GROUP PTY LTD)
Lot 317, 10 Lemnos Place
BRIGHTON



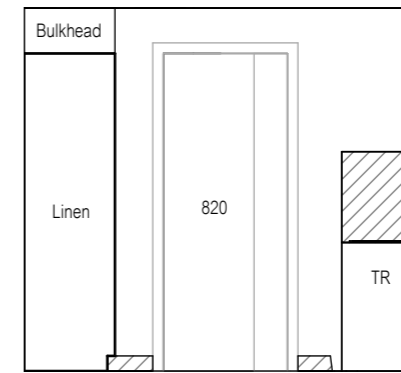
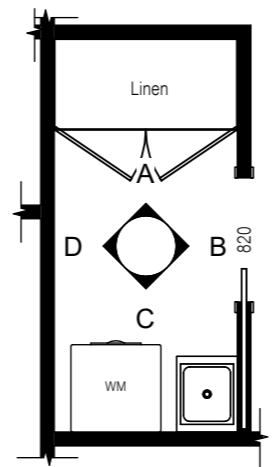
INTERNAL ELEVATIONS - ENSUITE		
Drawn	RJ	WH714427
Date	22 September 2025	Sheet
Scale	1:50	03d/03
Copyright ©		



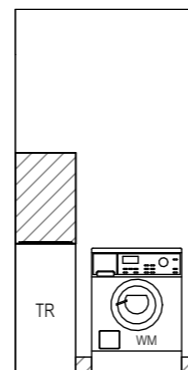
Laundry Elevation A



Laundry Elevation D



Laundry Elevation B



Laundry Elevation C

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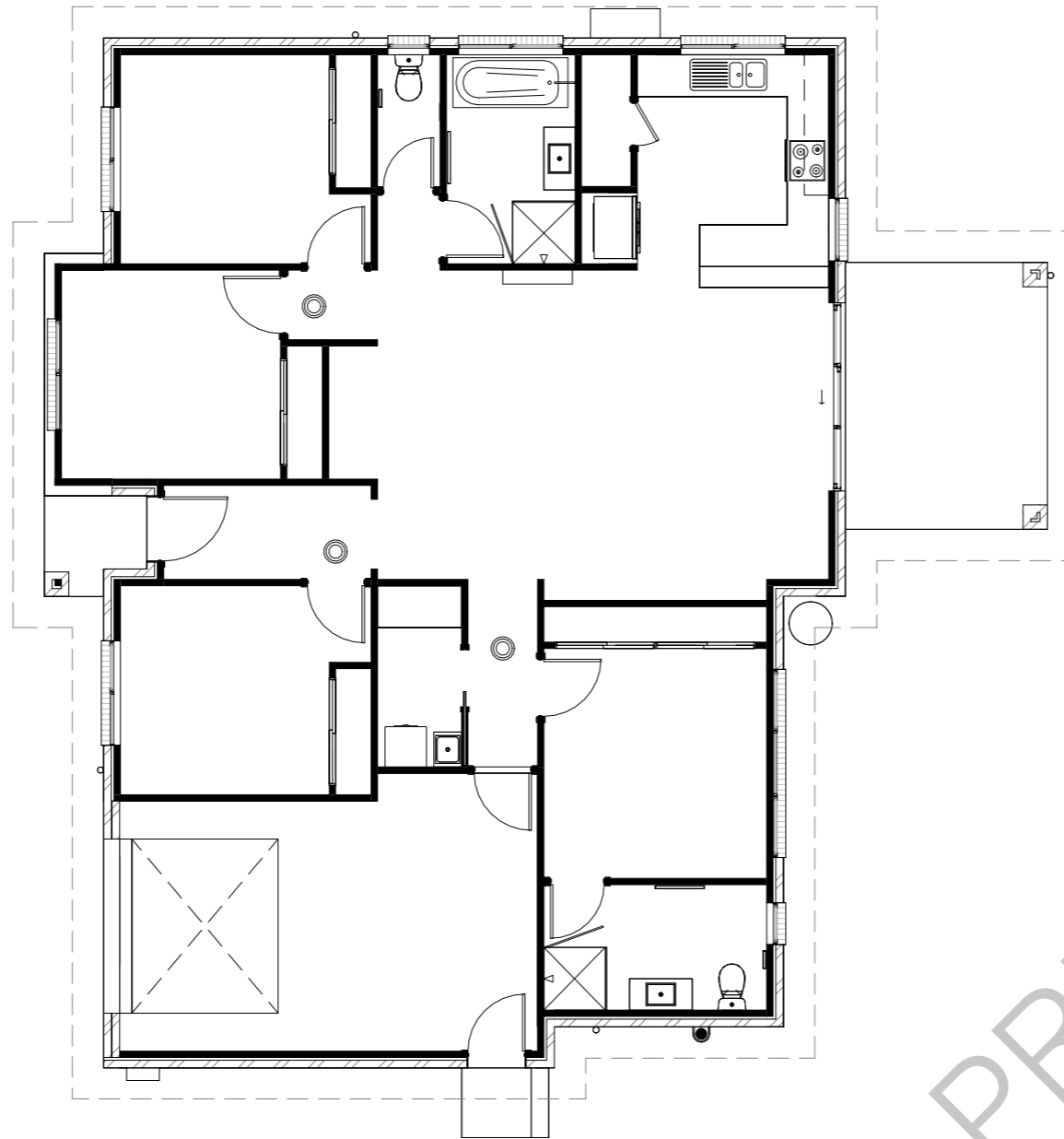
INTERNAL ELEVATIONS - LAUNDRY		
Drawn	RJ	WH714427
Date	22 September 2025	Sheet
Scale	1:50	03e/03
Copyright ©		

No.	Date	Int.	Amendment changes as per cover sheet

LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- △ SINGLE POWER POINT
- ◐ DOUBLE POWER POINT
- ◑ DOUBLE POWER POINT WITH USB
- ◒ WATER PROOF POWER POINT
- ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊚ TV CONNECTION POINT
- ▽ NBN/TELEPHONE CONNECTION POINT
- ⊞ SENSOR LIGHT
- ⊞ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊞ FLOOD LIGHT
- ⊞ CAT 6 CONNECTION POINT
- ⊞ TREAD LIGHTS (2W)
- ⊞ DUCTED VACUUM POINT
- ⊞ SECURITY SYSTEM KEYPAD
- ⊞ SECURITY SYSTEM SENSOR

ALL EXHAUST FANS:
 25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.



PRELIMINARY ONLY

Notes

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ELECTRICAL PLAN		
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Scale	1:100	09/03

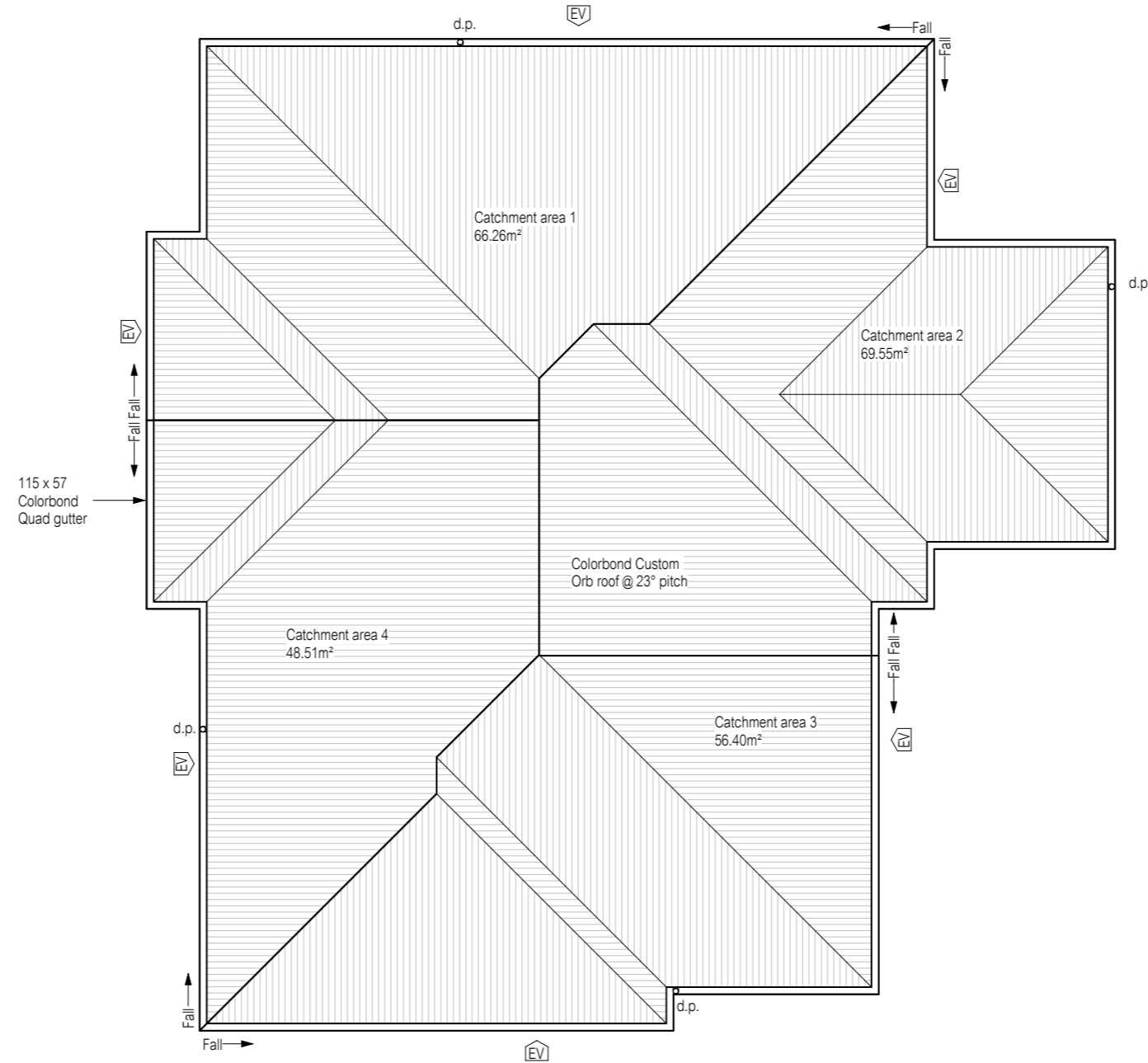
No.	Date	Int.	Amendment changes as per cover sheet

GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:
 Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.
 The acceptable overflow capacity must be 0.5 L/s/m.

Batten fixings:
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
 75 x 38 F8
 @ 900 Centre

Colorbond fixings:
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	191.76	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	198.93	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	240.71	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	83.2	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	77	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	3.13	Ac ÷ Acdp
Downpipes Provided	4	

Sarking to be cut / discontinuous along ridge line.
 Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:
 SEV2040W EAVE VENT (21,000mm²).
 6 VENTS EVENLY SPACED

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					Drawn RJ Date 22 September 2025 Scale 1:100	WH714427 Sheet 11/03			