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## Application for Planning

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### *S.57 Land Use Planning and Approvals Act 1993*

The following application has been received:

Application No.: **DA2025293**

Location: **5-7 Cassia Drive, Ulverstone**

Proposal: **Consolidation of lots; and Residential - multiple dwellings x 4**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: [www.centralcoast.tas.gov.au](http://www.centralcoast.tas.gov.au) Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to [admin@centralcoast.tas.gov.au](mailto:admin@centralcoast.tas.gov.au) and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

**The representation must be made on or before 4 March 2026**

Date of Notification: **18 February 2026**

**CENTRAL COAST COUNCIL**

PO Box 220

49 King Edward Street

ULVERSTONE TASMANIA 7315

Ph: (03) 6429 8900

Email: [planning@centralcoast.tas.gov.au](mailto:planning@centralcoast.tas.gov.au)www: [centralcoast.tas.gov.au](http://centralcoast.tas.gov.au)

***Land Use Planning and Approvals Act 1993***  
***Tasmanian Planning Scheme – Central Coast***  
**PLANNING PERMIT APPLICATION**

CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	3/02/2026
Application No:	DA2025293
Doc ID:	544014

Office use only:

Zone:

Permit Pathway – NPR/Permitted/Discretionary

**Use or Development Site:**

Site Address

5, 7 Cassia Drive, Ulverstone

Certificate of  
Title Reference184084/79  
184084/78

Land Area

1210.8 m<sup>2</sup>

Heritage Listed Property

NO

YES

**Applicant(s)**

First Name(s)

Surname(s)

Company name  
(if applicable)

Lachlan Walsh Design

Contact No:

64248053

Postal Address:

PO Box 231, Devonport

Email address:

admin@lachlanwalshdesign.com

Please tick box to receive correspondence and any relevant information regarding your application via email.

**Owner(s)** (note – if more than one owner, all names must be indicated)

First Name(s)

Middle Names(s)

Surname(s)

Company name (if applicable)

NAK Developments (TAS) Pty Ltd

Postal Address:

**PERMIT APPLICATION INFORMATION**

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

**Proposed Use**

Unit Development

**Use Class**

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

**Proposed Development** (please submit all documentation in PDF format to [planning@centralcoast.tas.gov.au](mailto:planning@centralcoast.tas.gov.au) separating A4 documents & forms from A3 documents).

**Proposed unit development - refer to Development Application plans provided in this submission**

**The properties will be conjoined to create one property. It is intended to then strata the property**

**Value of the development** – (to include all works on site such as outbuildings, sealed driveways and fencing)


\$ 1,000,000 ..... Estimate/ Actual

Total floor area of the development **576.6** .....m<sup>2</sup>

**Declaration of Notice to Landowner**

**If land is NOT in the applicant's ownership**

I **Lachlan Walsh**, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant 

Date **10/12/2025**

**If the application involves land within a Strata Corporation**

I, declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

**If the application involves land owned or administered by the CENTRAL COAST COUNCIL**

Central Coast Council consents to the making of this permit application.

General Managers Signature \_\_\_\_\_ Date \_\_\_\_\_

**If the permit application involves land owned or administered by the CROWN**

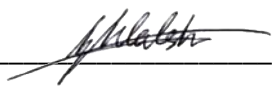
I, \_\_\_\_\_ the Minister  
 responsible for the land, consent to the making of this permit application.

Minister (Signature) \_\_\_\_\_ Date \_\_\_\_\_

*NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.*

**Applicants Declaration**

I/ we Lachlan Walsh  
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  Date 10/12/2025

<b>Office Use Only</b>	
Planning Permit Fee	\$ .....
Public Notice Fee	\$ .....
Permit Amendment / Extension Fee	\$ .....
No Permit Required Assessment Fee	\$ .....
<b>TOTAL</b>	<b>\$ .....</b>
Validity Date	

**CENTRAL COAST COUNCIL**  
**LAND USE PLANNING**

Received: 02/12/2025

Application No: DA2025293

Doc ID: 539347

**SEARCH OF TORRENS TITLE**

VOLUME 184084	FOLIO 79
EDITION 2	DATE OF ISSUE 15-Feb-2025

SEARCH DATE : 24-Nov-2025

SEARCH TIME : 12.10 PM

DESCRIPTION OF LAND

Town of ULVERSTONE  
 Lot 79 on Sealed Plan 184084  
 Derivation : Part of 1A-0R-16P Gtd. to Blanche Elizabeth Button  
 Prior CT 152584/1

SCHEDULE 1

M877076 TRANSFER to NAK DEVELOPMENTS (TAS) PTY LTD  
 Registered 07-May-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP184084 EASEMENTS in Schedule of Easements  
 SP184084 COVENANTS in Schedule of Easements  
 SP184084 FENCING PROVISION in Schedule of Easements

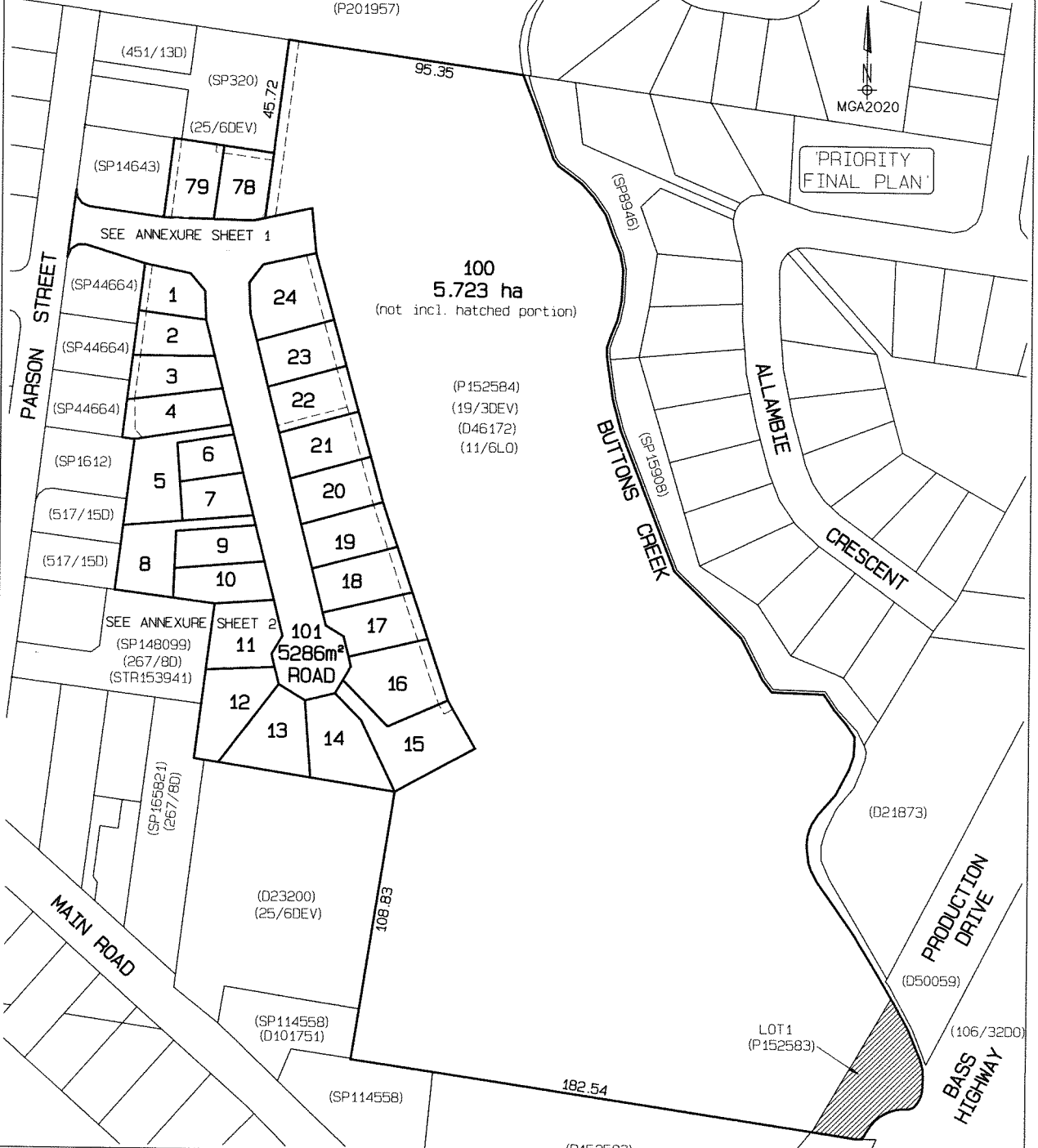
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER: NAK DEVELOPMENTS (TAS) PTY LTD (ACN 642 033 127) FOLIO REFERENCE: 152584/1</p>	<p><b>PLAN OF SURVEY</b> BY SURVEYOR RODNEY JAMES OICKENS OF POA SURVEYORS BURNIE</p>	<p>REGISTERED NUMBER <b>SP184084</b></p>
<p>GRANTEE: PART OF LOT 5898, 200AC, GRANTED TO CHARLES EDWARD BUTTON, (0A-2r-3p) PART OF 0A-2R-38P GRANTED TO ALFRED PAGE, PART OF 1A-0R-16P GRANTED TO BLANCHE ELIZABETH BUTTON</p>	<p>LOCATION <b>TOWN OF ULVERSTONE</b></p>	<p>APPROVED EFFECTIVE FROM 14 DEC 2022</p> <p><i>R. Oickens</i> Recorder of Titles</p>
<p>SCALE 1:1500 LENGTHS IN METRES</p>		

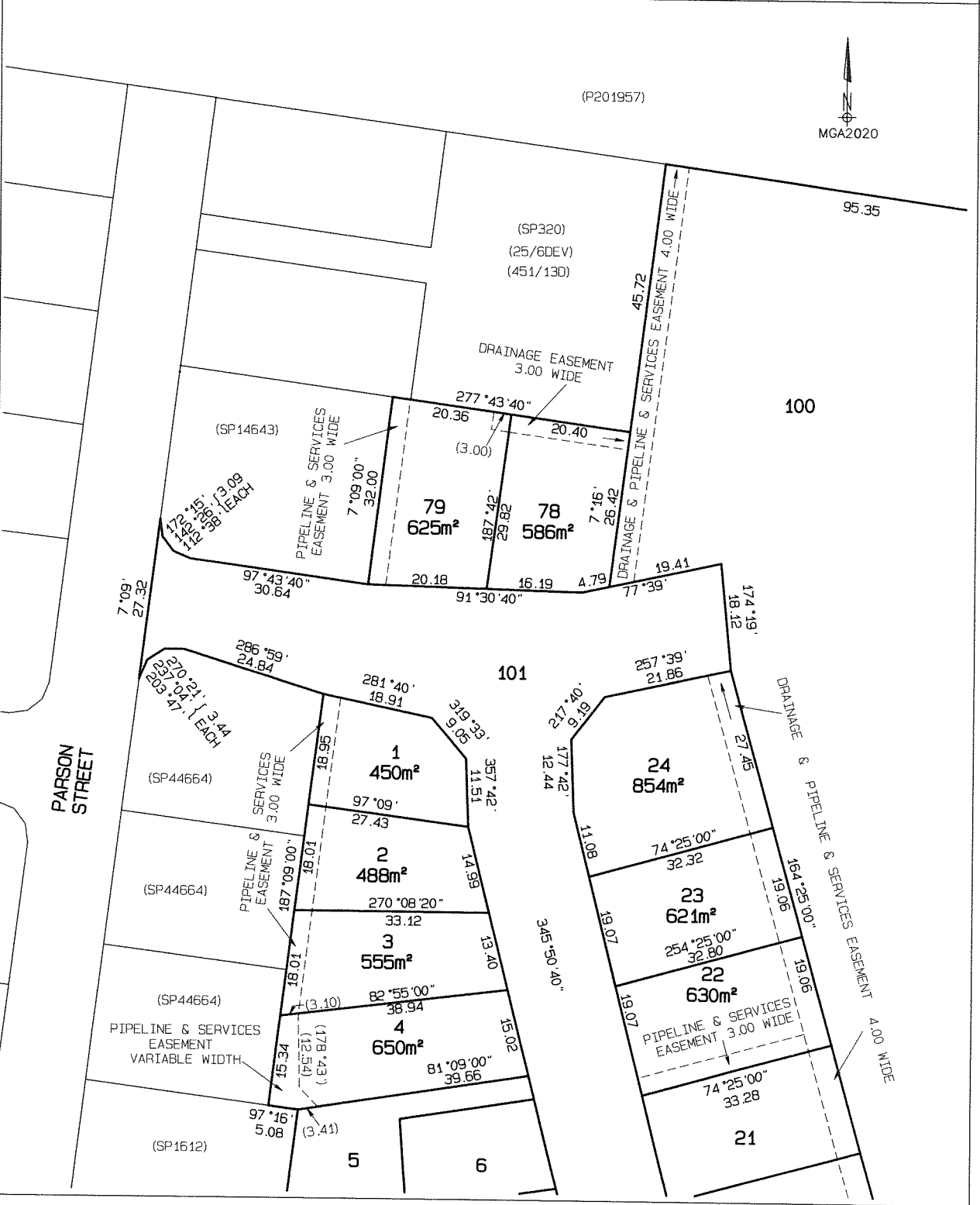
LOT 100 IS COMPILED FROM FR1525B4 AND THIS SURVEY

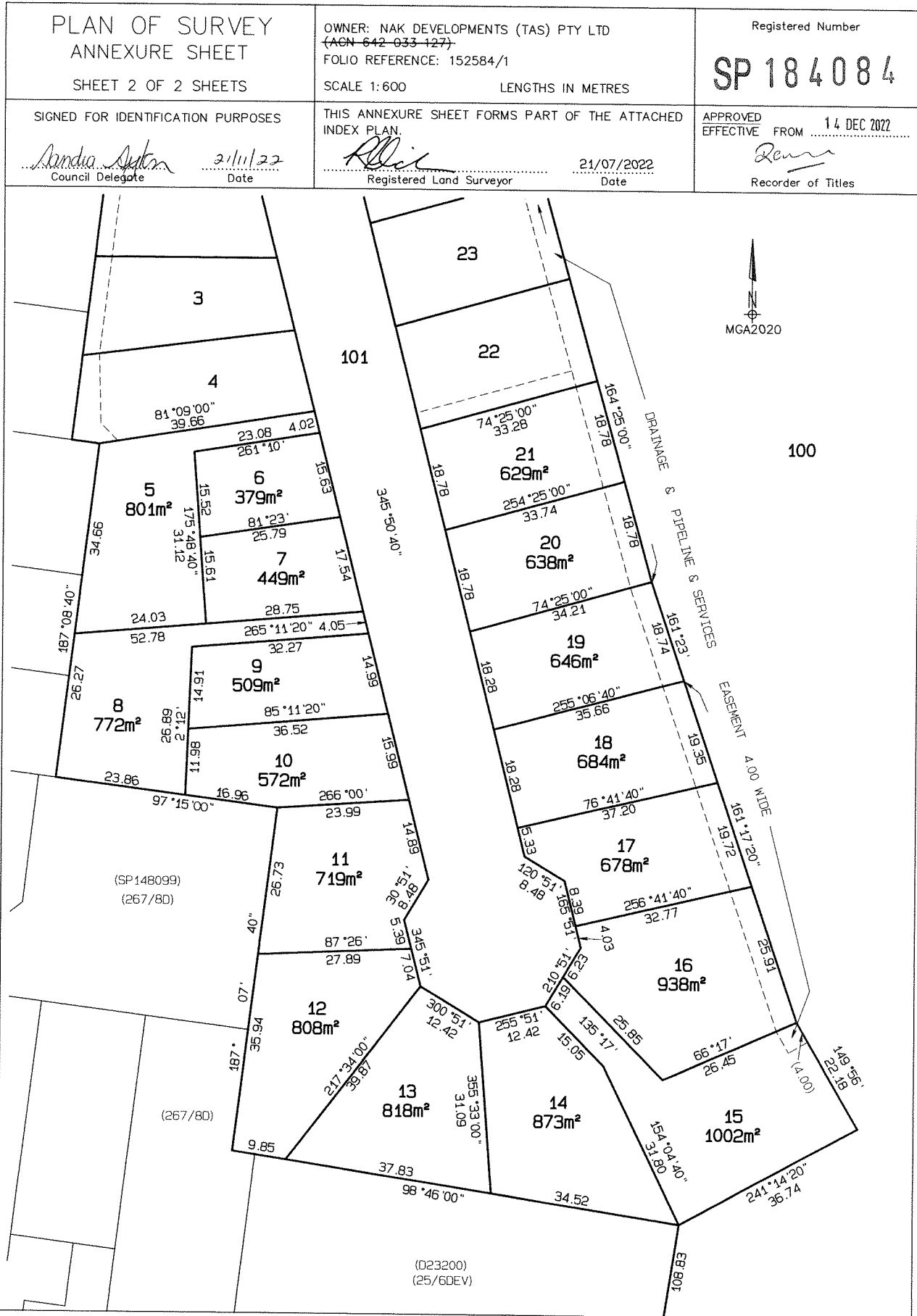
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



<p><i>R. Oickens</i> Registered Land Surveyor</p>	<p>21/07/2022 Date</p>	<p>47506 Ref No</p>
<p><i>Sandra Ayle</i> Council Delegate</p>		<p>21/11/22 Date</p>

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS</p>	<p>OWNER: NAK DEVELOPMENTS (TAS) PTY LTD (AGN 642-033-127) FOLIO REFERENCE: 152584/1 SCALE 1:600      LENGTHS IN METRES</p>	<p>Registered Number <b>SP184084</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>Sandra Nyl</i> 21/11/22 Council Delegate      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>R. Ellis</i> 21/07/2022 Registered Land Surveyor      Date</p>	<p>APPROVED EFFECTIVE FROM 14 DEC 2022 <i>[Signature]</i> Recorder of Titles</p>





<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</b>	<b>SP. 184084</b>

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**


Each of Lots 15 to 24 inclusive and Lot 100 ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked DRAINAGE & PIPELINE & SERVICES EASEMENT 4.00 WIDE shown on the Plan ("the Easement Land").

Each of Lots 1, 2, 3, 22 and 79 ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE shown on the Plan ("the Easement Land").

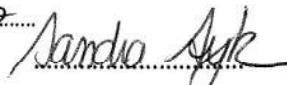
Lot 4 ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE & SERVICES EASEMENT VARIABLE WIDTH shown on the Plan ("the Easement Land").

Each of Lots 15 to 24 inclusive and Lot 100 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Central Coast Council over the land marked DRAINAGE & PIPELINE & SERVICES EASEMENT 4.00 WIDE on the Plan.

  
 \_\_\_\_\_  
 Director

  
 \_\_\_\_\_  
 Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: NAK Developments (Tas) Pty Ltd FOLIO REF: 152584/1 SOLICITOR & REFERENCE: Page Seager (DAS) 211202	PLAN SEALED BY: Central Coast Council DATE: 21/11/2022 DA2020071 REF NO.  Council Delegate
<b>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</b>	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 6 PAGES	Registered Number <b>SP.184084</b>
SUBDIVIDER: NAK Developments (Tas) Pty Ltd FOLIO REFERENCE: 152584/1	

Each of Lots 78 and 79 on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Central Coast Council over the land marked DRAINAGE EASEMENT 3.00 WIDE on the Plan.

#### FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (NAK Developments (Tas) Pty Ltd) shall not be required to fence.

#### COVENANTS

The owners of each lot on the Plan (excluding 100 and 101 on the plan) covenant with the Vendor (NAK Developments (Tas) Pty Ltd) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

1. Not without the prior written consent of the Vendor:
  - (a) to construct, or allow to be constructed, any kit home, relocatable dwelling or weatherboard dwelling on such lot;
  - (b) to construct any walls of any residential building on such lot from any material except brick, finished rendered surface or masonry, PROVIDED THAT the use of timber, non-brick or non-masonry materials not exceeding thirty percent (30%) of the total external wall area is permitted;
  - (c) to construct on any such lot, a dwelling which may be used other than as a single dwelling;
  - (d) to construct, or allow to be constructed, on any such lot which has an area greater than 550 square metres, a dwelling with a liveable floor area of less than 150 square metres, (which area shall not include patios, verandas and carports), except if the dwelling is one of a greater number of multiple dwellings on that lot (subject to covenant (c));

Director

Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 6 PAGES	Registered Number <b>SP 184084</b>
SUBDIVIDER: NAK Developments (Tas) Pty Ltd FOLIO REFERENCE: 152584/1	

- (e) to construct a primary façade on any residential building on such lot other than having a minimum of two different material finishes plus a minimum of 15% glass windows in each level of such residential building;
- (f) to clad the dwelling, or any outbuilding, on such lot in more than 30% of its external cladded surface from colorbond or such other galvanised steel product;
- (g) to construct a fence within 3 metres from the front boundary of such lot;
- (h) to construct, or allow to be constructed, along the boundaries of such lot, any boundary fence other than a fence constructed in accordance with the following:
  - i. no less than 1.5 metres and no greater than 1.8 metres in height above natural ground level and constructed of wind spray coloured Colorbond, with a concrete plinth
- (i) to construct any building above such lot at a height greater than 3.5 m above natural ground level;
- (j) to construct any hip and valley style roof on a building on such lot, that is visible from any public street adjoining such lot, unless it is in combination with 65% of another roof style (e.g. skillion, gable and flat parapet).

## DEFINITIONS

**“Drainage Easement”** means a right of drainage (including the right of construction of drains) for Central Coast Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Central Coast Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

Director



Director



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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 6 PAGES	Registered Number <b>SP184084</b>
SUBDIVIDER: NAK Developments (Tas) Pty Ltd FOLIO REFERENCE: 152584/1	

“Pipeline and Services Easement” is defined as follows:-

**FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY** for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

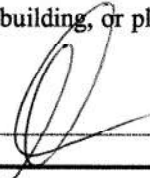
- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (a) without doing unnecessary damage to the Easement Land; and
  - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

**SECONDLY,** the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects,

Director



Director



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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 5 OF 6 PAGES	Registered Number <b>SP 184084</b>
SUBDIVIDER: NAK Developments (Tas) Pty Ltd FOLIO REFERENCE: 152584/1	

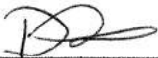
vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**Interpretation:**

**“Infrastructure”** means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

**“TasWater”** means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

  
 \_\_\_\_\_  
 Director


  
 \_\_\_\_\_  
 Director


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<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 6 OF 6 PAGES	Registered Number <b>SP 184084</b>
SUBDIVIDER: NAK Developments (Tas) Pty Ltd FOLIO REFERENCE: 152584/1	

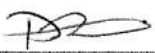
**EXECUTED by NAK Developments (Tas) Pty Ltd )**  
**(ACN 642 033 127), as registered proprietor of the land )**  
 comprised in Folio of the Register Volume 152584 Folio 1 )  
 pursuant to section 127 of the Corporations Act 2001 by: )

  
 .....  
 Director Signature


  
 .....  
 Director Full Name (print)

  
 .....  
 Director Signature

  
 .....  
 Director Full Name (print)

 \_\_\_\_\_ Director
 
 \_\_\_\_\_ Director

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

	<b>CENTRAL COAST COUNCIL</b> <b>LAND USE PLANNING</b>
Received:	02/12/2025
Application No:	DA2025293
Doc ID:	539346

SEARCH OF TORRENS TITLE

VOLUME 184084	FOLIO 78
EDITION 2	DATE OF ISSUE 15-Feb-2025

SEARCH DATE : 24-Nov-2025

SEARCH TIME : 12.11 PM

DESCRIPTION OF LAND

Town of ULVERSTONE  
 Lot 78 on Sealed Plan 184084  
 Derivation : Part of 1A-0R-16P Gtd. to Blanche Elizabeth Button  
 Prior CT 152584/1

SCHEDULE 1

M877076 TRANSFER to NAK DEVELOPMENTS (TAS) PTY LTD  
 Registered 07-May-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP184084 EASEMENTS in Schedule of Easements  
 SP184084 COVENANTS in Schedule of Easements  
 SP184084 FENCING PROVISION in Schedule of Easements

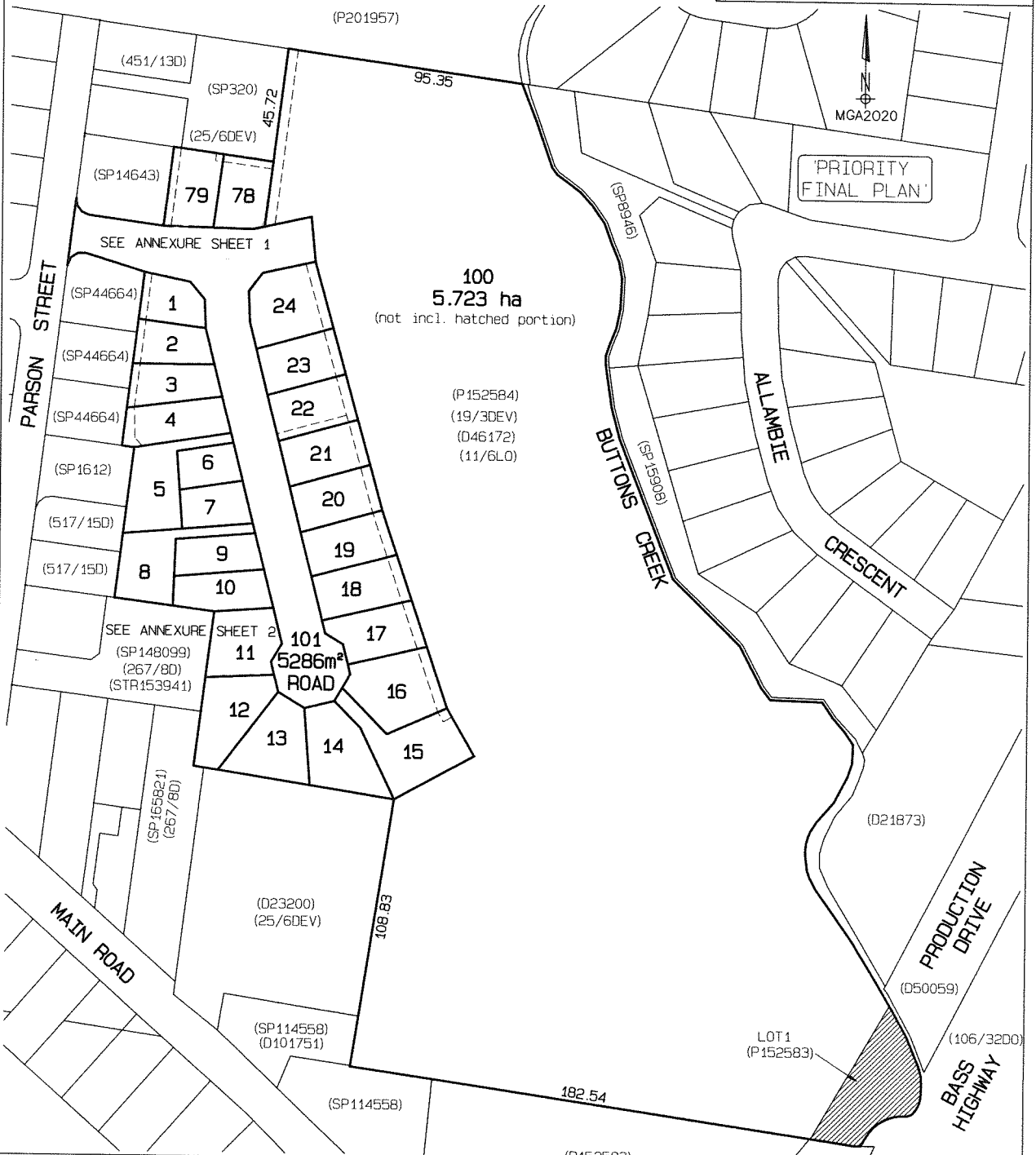
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER: NAK DEVELOPMENTS (TAS) PTY LTD (ACN 642 033 127) FOLIO REFERENCE: 152584/1</p> <p>GRANTEE: PART OF LOT 5898, 200AC, GRANTED TO CHARLES EDWARD BUTTON, (0A-2r-3p) PART OF 0A-2R-38P GRANTED TO ALFRED PAGE, PART OF 1A-0R-16P GRANTED TO BLANCHE ELIZABETH BUTTON</p>	<p><b>PLAN OF SURVEY</b> BY SURVEYOR RODNEY JAMES OICKENS OF POA SURVEYORS BURNIE</p> <p>LOCATION <b>TOWN OF ULVERSTONE</b></p> <p>SCALE 1:1500      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP184084</b></p> <p>APPROVED EFFECTIVE FROM 14 DEC 2022</p> <p><i>R. Oickens</i> Recorder of Titles</p>
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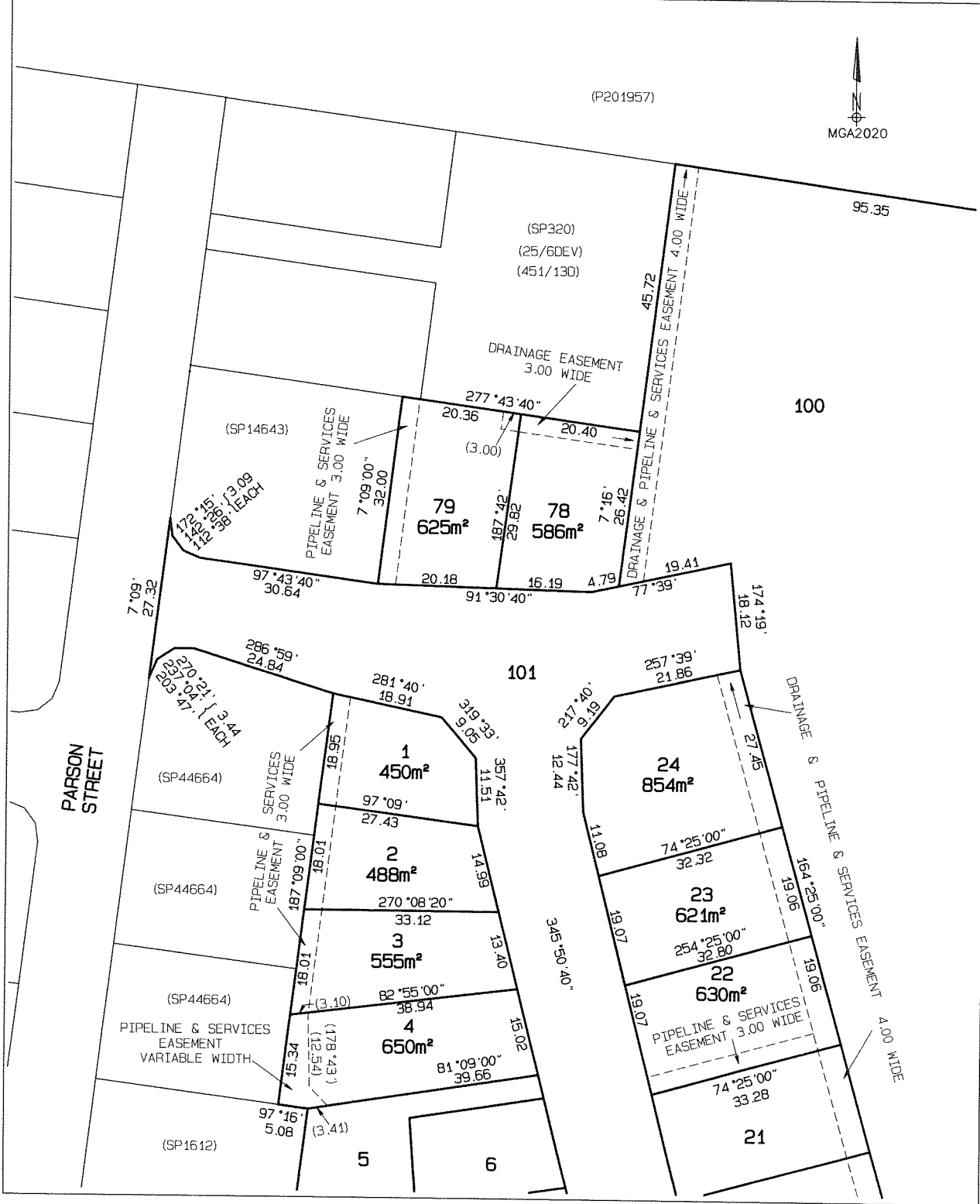
LOT 100 IS COMPILED FROM FR1525B4 AND THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

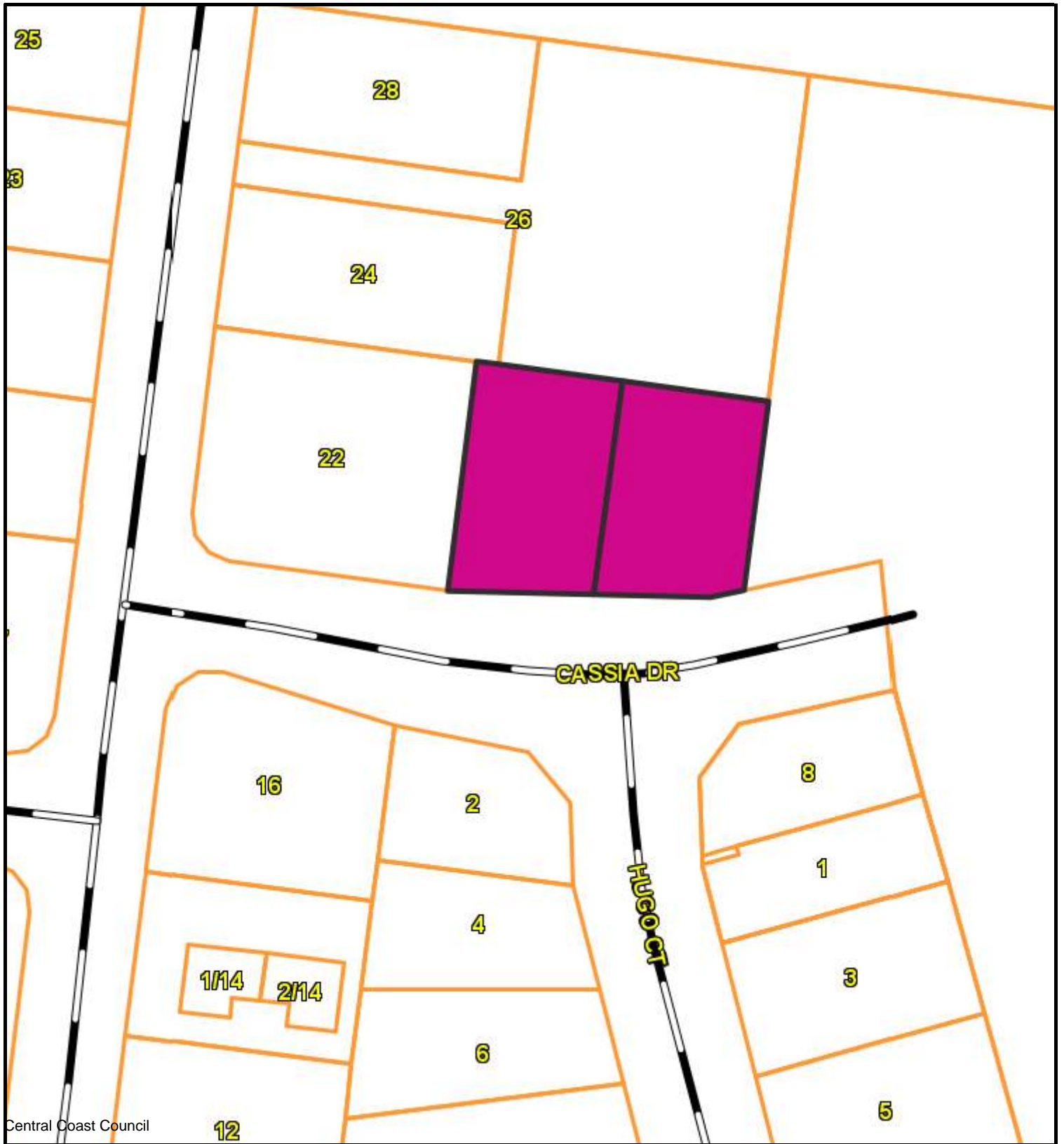


<p><i>R. Oickens</i> Registered Land Surveyor</p>	<p>21/07/2022 Date</p>	<p>47506 Ref No</p>	<p><i>Sandra Ayle</i> Council Delegate</p>	<p>21/11/22 Date</p>
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS</p>	<p>OWNER: NAK DEVELOPMENTS (TAS) PTY LTD (AGN 642-033-127) FOLIO REFERENCE: 152584/1 SCALE 1:600      LENGTHS IN METRES</p>	<p>Registered Number <b>SP184084</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>Sandra Nyl</i>      21/11/22 Council Delegate      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>R. Ellis</i>      21/07/2022 Registered Land Surveyor      Date</p>	<p>APPROVED EFFECTIVE FROM 14 DEC 2022 <i>[Signature]</i> Recorder of Titles</p>







Central Coast Council

CENTRAL COAST COUNCIL  
 19 King Edward St  
 Ulverstone  
 TAS 7315  
 Telephone: 03 6429 8900  
 admin@centralcoast.tas.gov.au



16-Feb-2026

**5 & 7 CASSIA DRIVE,  
 ULVERSTONE  
 DA2025293**

**IMPORTANT**

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

**Disclaimer**

This map is not a precise survey document  
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.  
 © The List 2025.  
 © Central Coast Council 2025.

**20 m**

Scale =  
**1:737.100**

# 5 & 7 CASSIA DRIVE, ULVERSTONE

## PROPOSED UNIT DEVELOPMENT

### NAK BUILDING GROUP

#### INDEX

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5	PARKING MANOEUVRE 2 of 2	2.1	04.02.2026
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8	ELEVATIONS 2 of 2 - UNITS 1 & 2	2.1	04.02.2026
9	DIMENSION FLOOR PLAN - UNIT 3 & 4	2.1	04.02.2026
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12	SCHEDULES	2.1	04.02.2026



 <b>CENTRAL COAST COUNCIL</b> LAND USE PLANNING	
Received:	5/02/2026
Application No:	DA2025293
Doc ID:	544236

5 CASSIA DRIVE SOIL CLASS = S  
 7 CASSIA DRIVE SOIL CLASS = P

PROJECT NO.  
**NK-24**



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 Tasmania Accreditation Number: CC 6162 E

DATE  
**04.02.2026**  
 DRAWINGS SET  
**BA**  
 REV. NO.  
**2.1**

LAND TITLE REFERENCE NUMBER  
**184084 / 78**  
 COUNCIL  
**CENTRAL COAST COUNCIL**  
 PROPERTY ZONE  
**GENERAL RESIDENTIAL**

GENERAL INFORMATION

CLIMATE ZONE  
**Zone 7**

DESIGNED WIND CATEGORY  
**N2**  
 SOIL CLASSIFICATION  
**P, S**  
 CORROSION CONTROL  
**Mid**  
 BUSH FIRE ATTACK LEVEL  
**Low**

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 - DO NOT SCALE DRAWINGS  
 - CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS  
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS  
 - ALL PRODUCTS NOTED IN DRAWINGS TO BE CONFIRMED BY CLIENT BEFORE PURCHASING AND/OR INSTALLING OF PRODUCT  
 - QUANTITIES INDICATED IN DRAWINGS ARE GUIDE ONLY, CONTRACTOR TO CALCULATE AND CONFIRM QUANTITY BEFORE START OF CONSTRUCTION  
 - CONDITIONS OF USE  
 This document may only be used by LWD's client (and any other person who LWD has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or replicated for any other purpose.

**NOTES**

CONTRACTOR RESPONSIBLE TO CHECK ALL DIMENSIONS ON SITE BEFORE START OF CONSTRUCTION, THIS INCLUDES DIMENSIONS FROM BOUNDARY, FLOOR PLAN DIMENSIONS, FINISH FLOOR HEIGHTS AND SITE RL'S. CONTRACTOR MAKE GOOD AT THEIR OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SET OUT.

FINISHED GROUND LEVELS AROUND BUILDING TO BE MINIMUM 150mm BELOW GROUND FLOOR SLAB AND GRADE AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1500mm.

**SOIL & WATER MANAGEMENT**

DOWN PIPES TO BE CONNECTED INTO COUNCIL STORM WATER OR TO SITE STORM WATER DISCHARGE AREA AS SOON AS ROOF IS INSTALLED.

EXCAVATED MATERIAL TO HAVE SEDIMENT CONTROL BARRIER TO BE INSTALLED DOWN-SLOPE. EXCAVATED MATERIAL TO BE REMOVED AT COMPLETION OF BUILDING WORKS AND/OR USED AS FILL ON SITE FOR ANY LOW POINTS.

CRUSHED ROCK TO BE APPLIED AT ENTRY TO SITE FOR SEDIMENT CONTROL AND TO PREVENT TRANSFERRING DEBRIS ONTO STREET. REAPPLY CRUSHED ROCK TO ENTRY IF EXCESSIVE SEDIMENT BUILD-UP OCCURS.

FINISHED GARDENBEDS ARE NOT TO FINISH UP TO OR OVER TOP OF WEEP HOLES, VENTS, LIGHT CLADDING (I.E. COLORBOND, WEATHERBOARDS) FLASHING MUST BE 50-100mm MIN. GAP FROM FINISH GARDEN BED TO BOTTOM OF CLADDING, VENTS, WEEPHOLES AND FLASHINGS

**SYMBOLS**

- WATER MAIN (Tas Water)
- STORM WATER MAIN (Council)
- SEWER MAIN (Tas Water)
- PROPOSED SEWER MAIN
- PROPOSED STORM WATER MAIN
- WM** WATER METER, INSTALLED BY TAS WATER AT DEVELOPERS COST
- PROPERTY CONNECTION POINT
- PROPOSED SITE REFERENCE LEVEL MARKER
- FH** FIRE HYDRANT
- TN.** TAS NETWORKS IN GROUND BOX
- ET** ELECTRICAL TURRET
- POWER METER BOX
- P.P.** POWER POLE / LIGHT POLE



**CENTRAL COAST COUNCIL LAND USE PLANNING**

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**SITE FINISH**

Code	Description	Area
DW.1	Driveway - Concrete Finish, (to be confirmed by client)	340.7 m <sup>2</sup>
S.GB1	Garden Beds - top soil to be added to all low-lying garden beds, top layer with medium to large 'White' coloured rocks, planting to be selected by client	39.6 m <sup>2</sup>

**AREA**

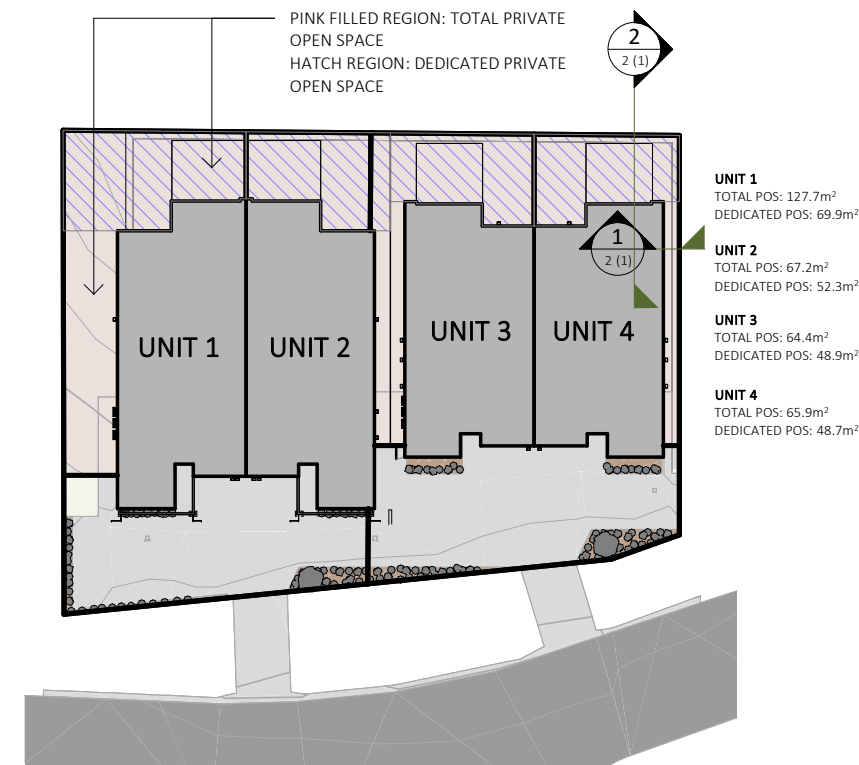
Location	Area	Squares
UNIT 1	154.3 m <sup>2</sup>	16.6
UNIT 2	154.3 m <sup>2</sup>	16.6
UNIT 3	131.9 m <sup>2</sup>	14.2
UNIT 4	131.9 m <sup>2</sup>	14.2
PROPERTY AREA		Note
1210.8 m <sup>2</sup>		Total
624.9 m <sup>2</sup>		5 Cassia Drv
585.8 m <sup>2</sup>		7 Cassia Drv

**RAILING SCHEDULE**

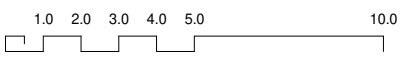
Code	Type	Length
f.C18	1.8m Colorbond Fence	124.2 m
	1800mm TIMBER SLAT 2	4.8 m

**SITE FIXTURES SCHEDULE**

CODE	SPECIFICATION
<b>Fence.1</b>	Colourbond fencing up to notated high, colour 'monument'
<b>Clothes line</b>	Hills 26m Woodland Gray Double Folding Clothesline, confirm with client
<b>Letterbox</b>	Sandleford Duval Timber-Look Pillar Letterbox, to be confirmed with client



**SITE PLAN**  
SCALE: 1:200



**OPEN AREA PER UNIT SITE PLAN**  
SCALE: 1:500

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**PAGE NO. 2**

**PROJECT PROPOSED UNIT DEVELOPMENT**

**LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE**

**CLIENT NAK BUILDING GROUP**

**PAGE TITLE SITE PLAN - PROPOSED**

**DRAWINGS SCALE As indicated**

**DRAWN BY J.van Ommen**

**CHECKED BY L. WALSH**

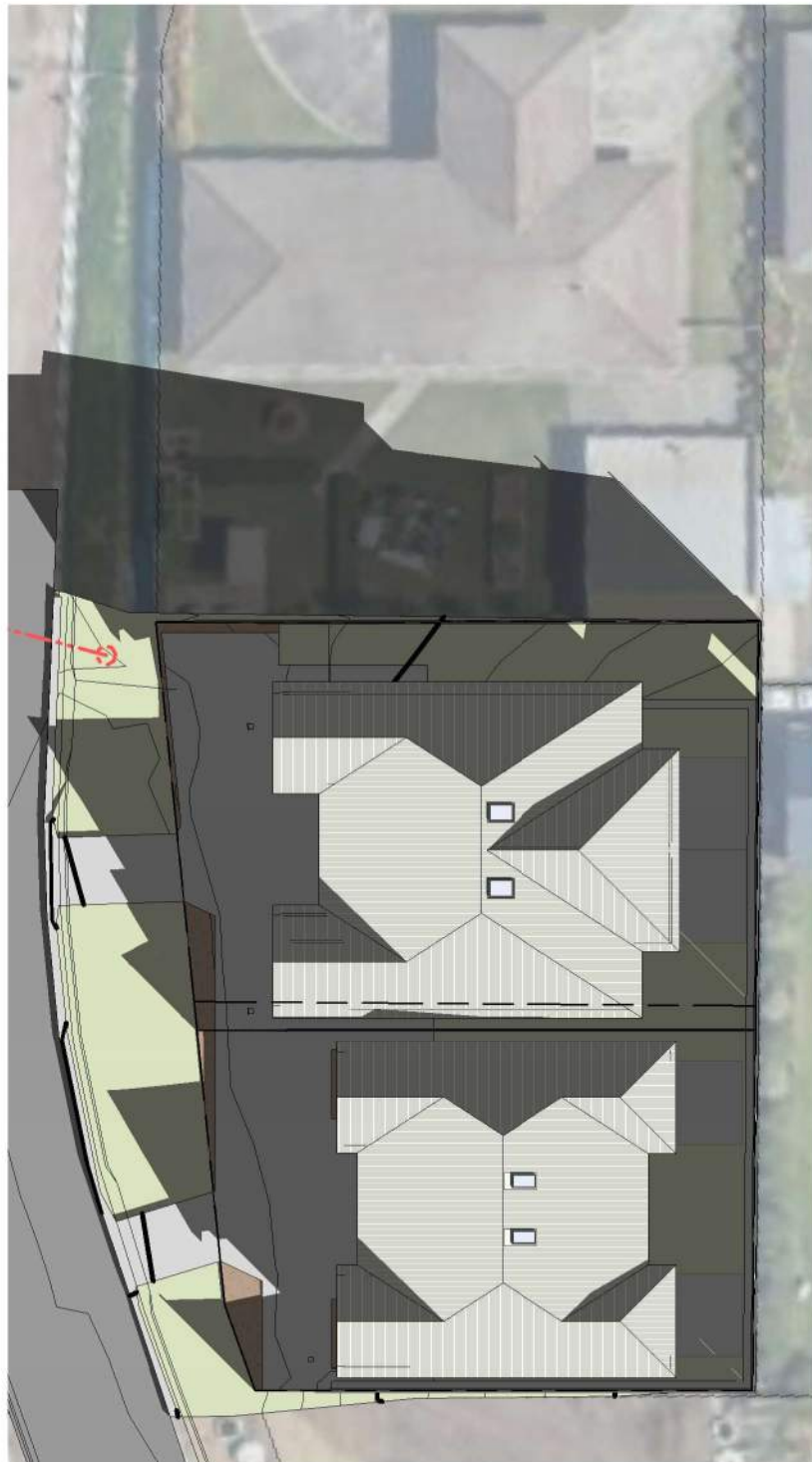
**ISSUE DATE 04.02.2026**

**DRAWINGS SET BA**

**REV. NO. 2.1**

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**PAGE NO. 2**



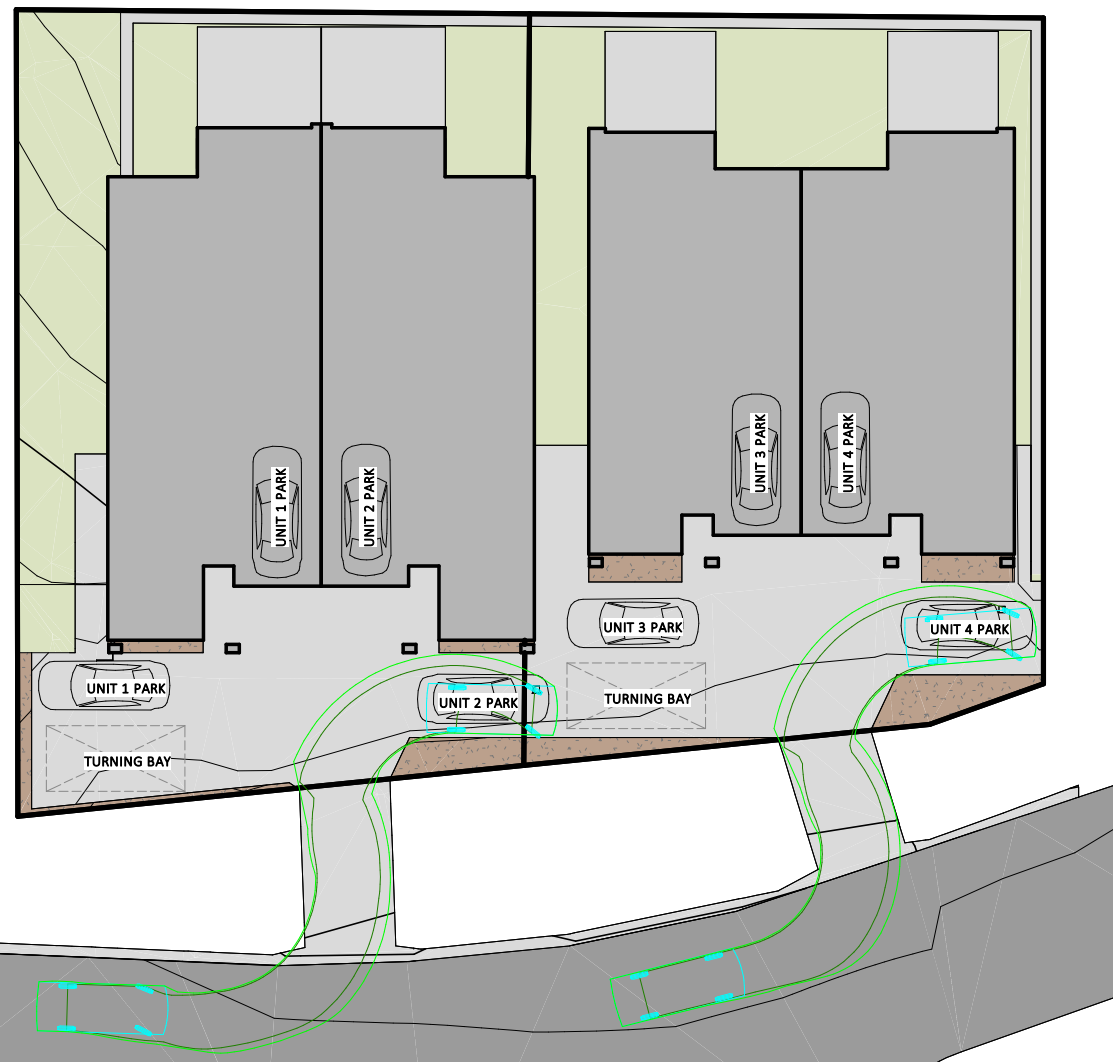
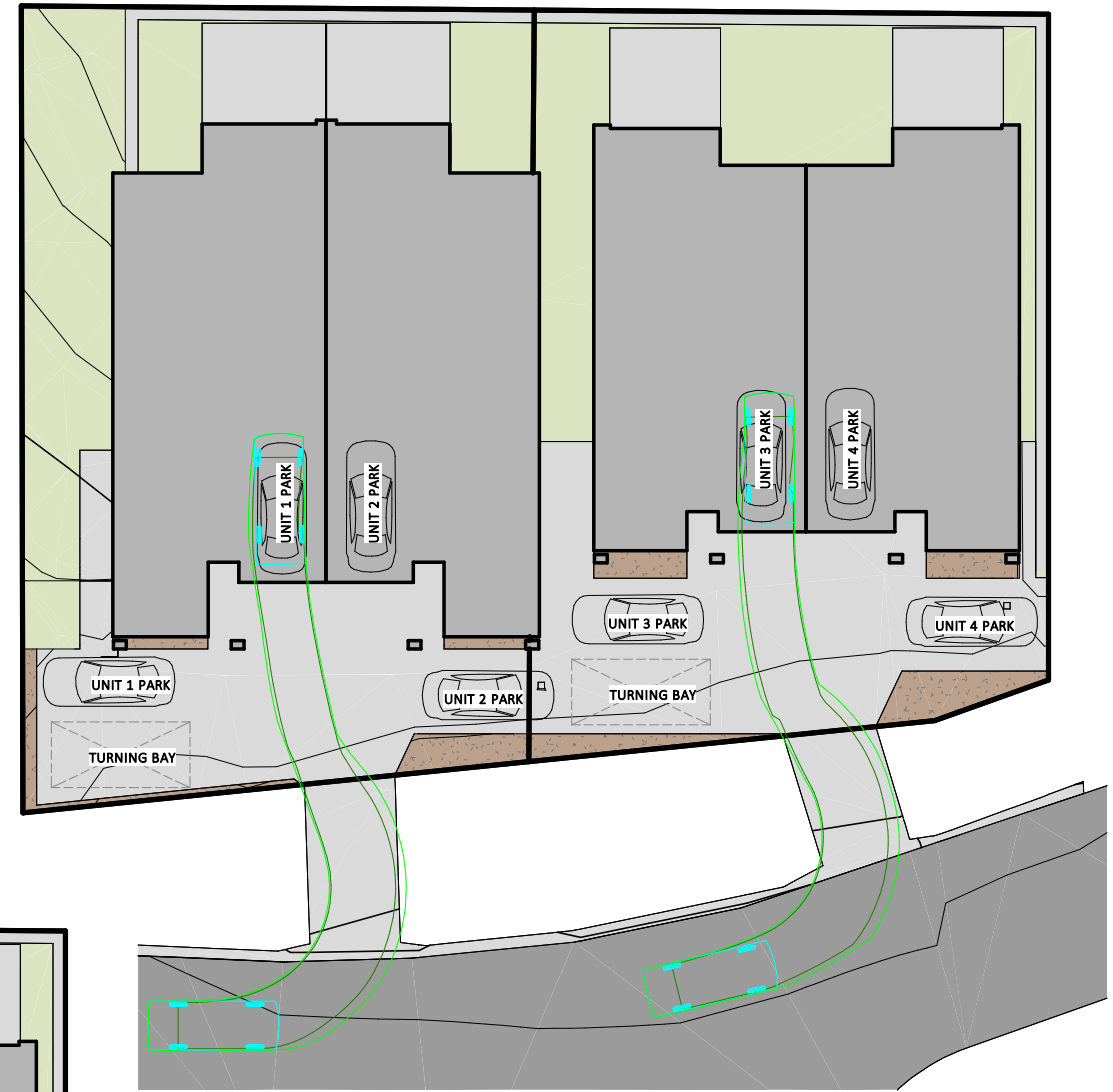
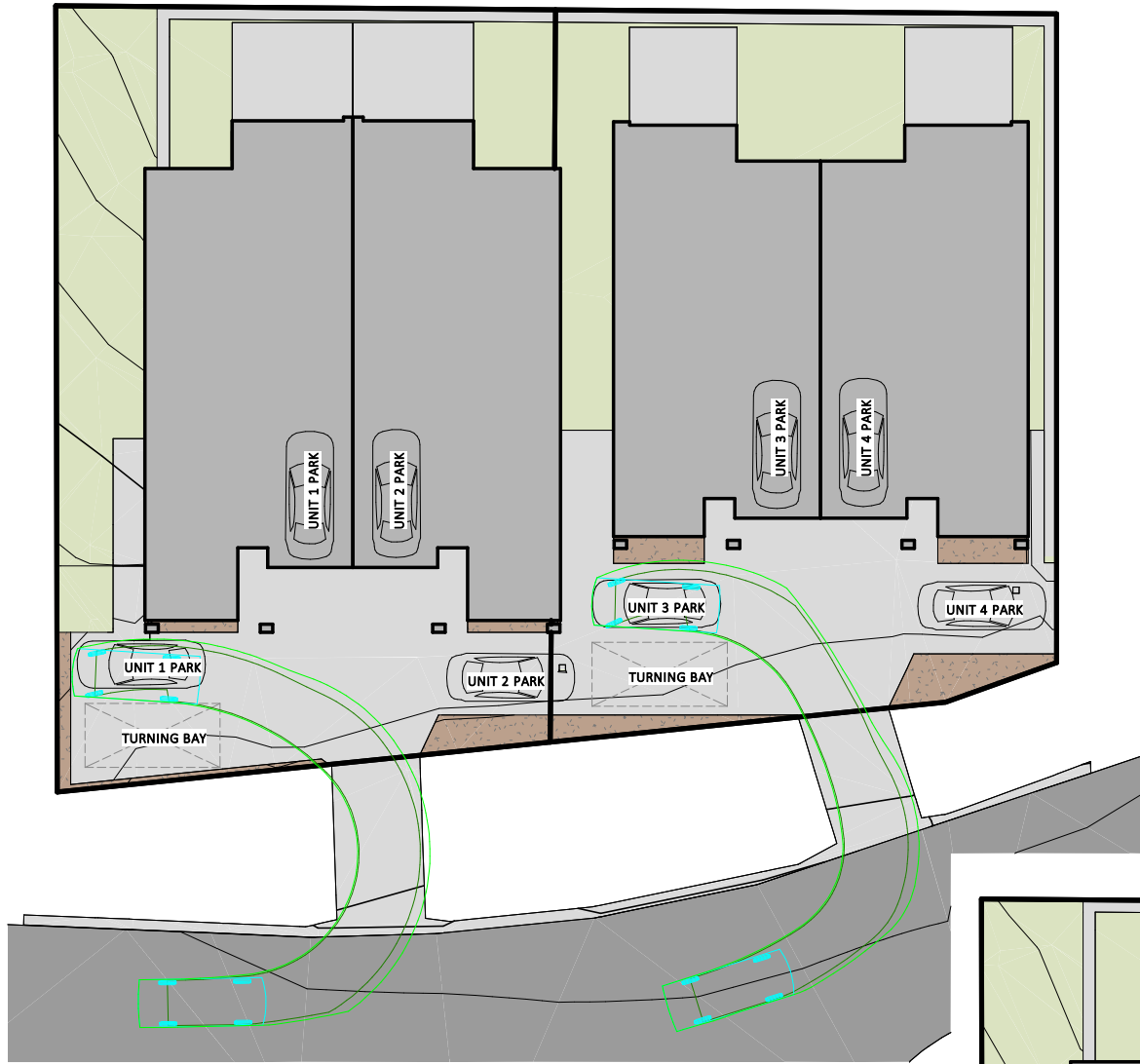
☉ SHADOW PLAN - 9am (21<sup>st</sup> June)  
 SCALE: 1:400



☉ SHADOW PLAN - 12noon (21<sup>st</sup> June)  
 SCALE: 1:400



☉ SHADOW PLAN - 3pm (21<sup>st</sup> June)  
 SCALE: 1:400



**NOTES**

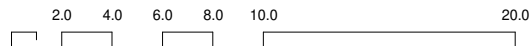
RIVEWAY RAMP GRADIENTS (25% max GRADE) AND PARKING BAY DIMENSIONS TO COMPLY WITH AS 2890

CARPARK MANOEUVRE TO COMPLY WITH AS 2890

PARKING MANOEUVRE DONE IN AUTOTURN SOFTWARE. VEHICLE SELECTED PASSENGER CAR B99 - 5.2m LENGTH, 1.94m WIDTH

**ENTRY PARKING MANOEUVRE**

SCALE: 1:300



<b>CENTRAL COAST COUNCIL</b> <b>LAND USE PLANNING</b>	
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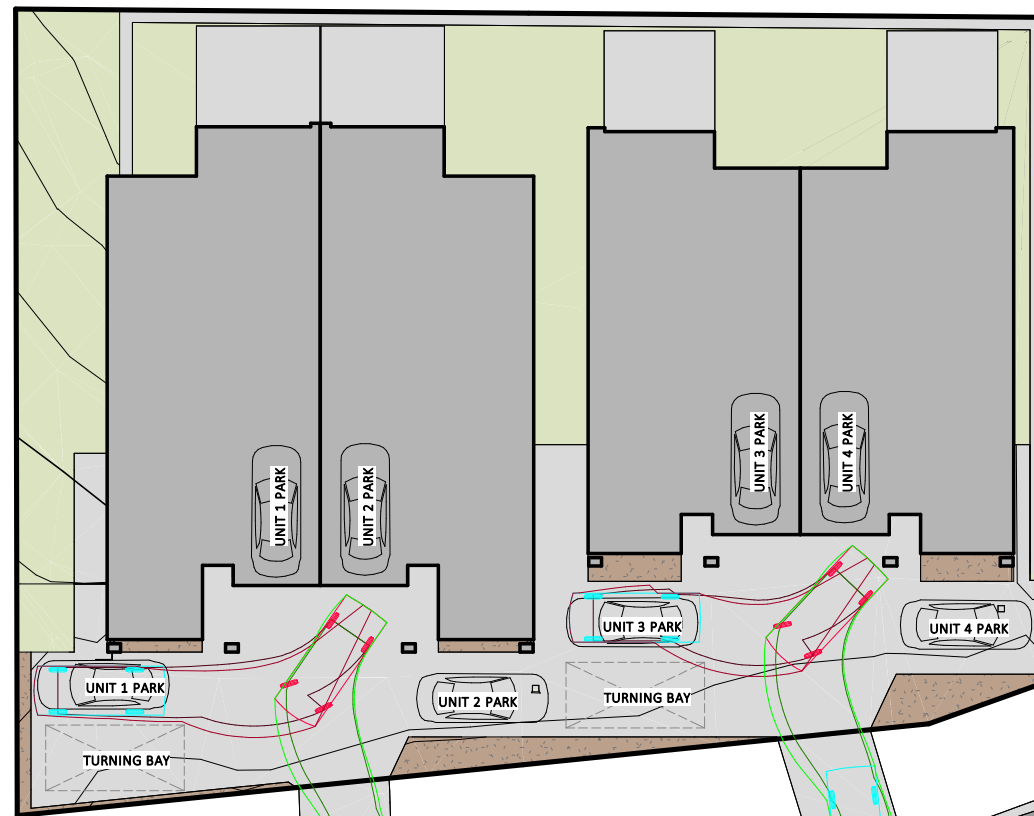
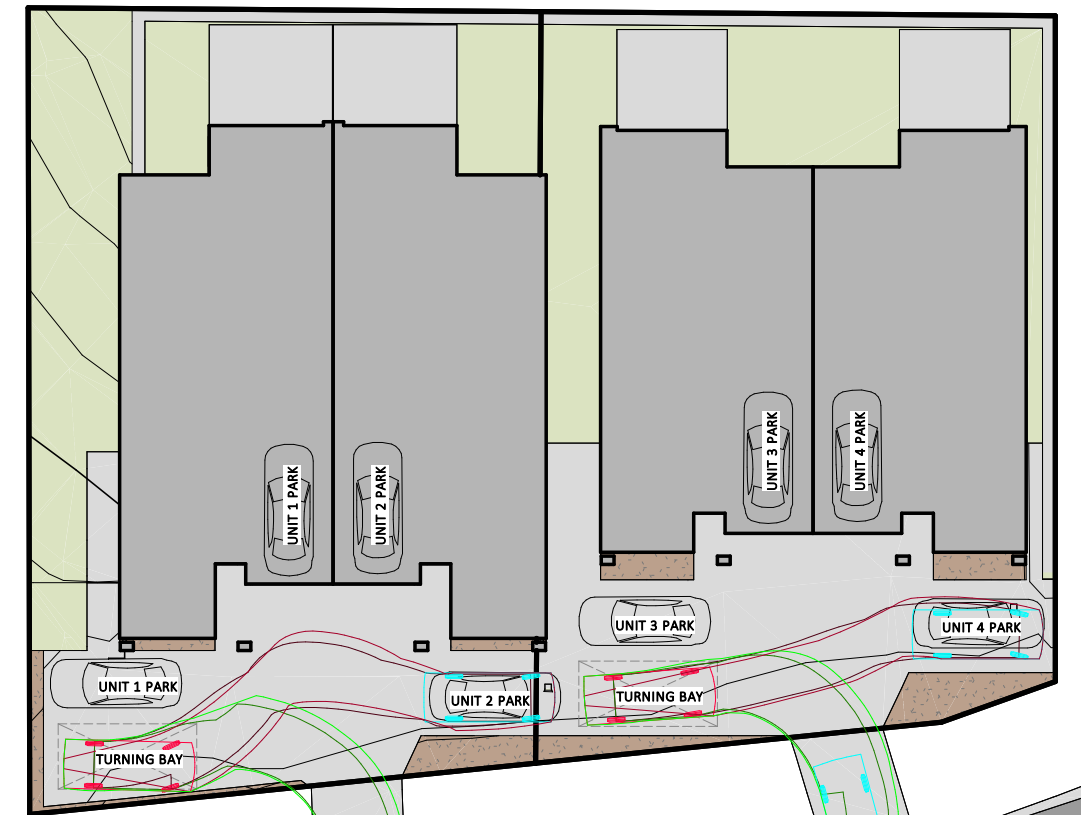
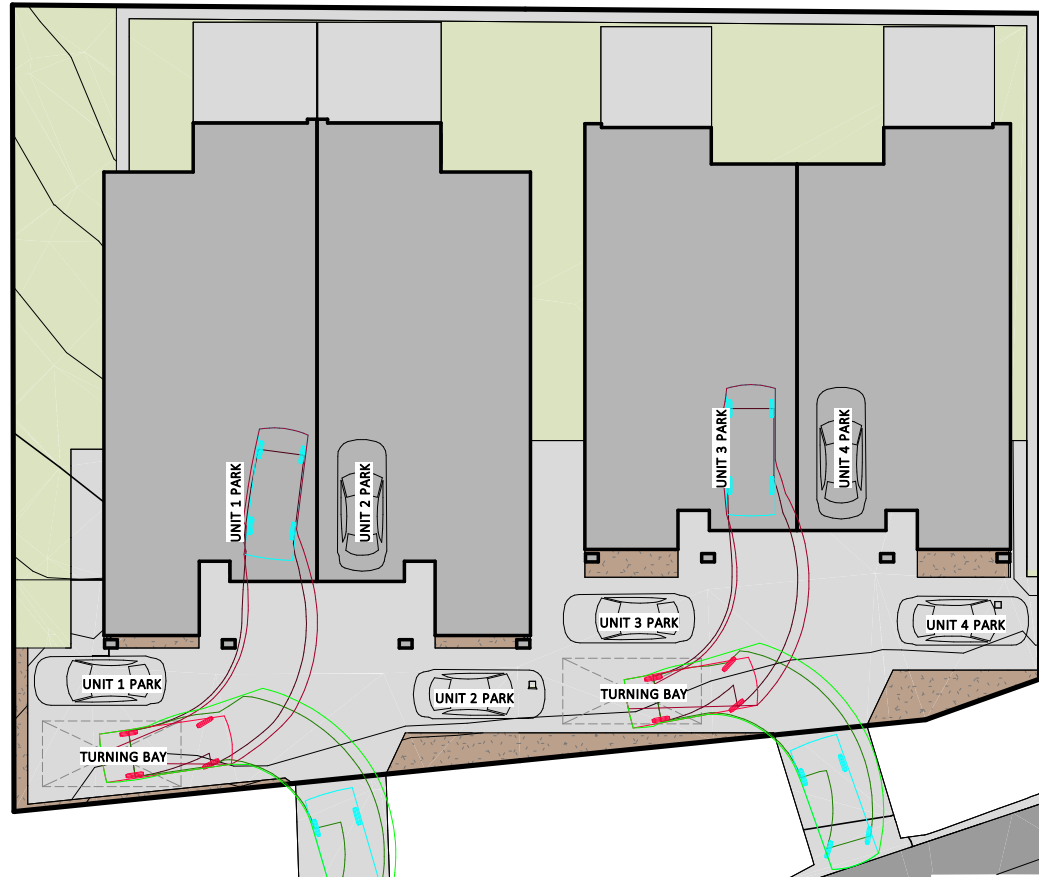
PAGE NO. **4**  
 PROJECT PROPOSED UNIT DEVELOPMENT  
 LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
 CLIENT NAK BUILDING GROUP

PAGE TITLE **PARKING MANOEUVRE 1 of 2**  
 DRAWINGS SCALE **1 : 300**

DRAWN BY **L.WALSH** CHECKED BY **L. WALSH**  
 ISSUE DATE **04.02.2026**  
 DRAWINGS SET **BA** REV. NO. **2.1**

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PAGE NO. **4**



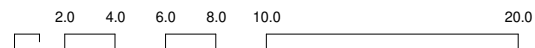
**NOTES**

RIVEWAY RAMP GRADIENTS (25% max GRADE) AND PARKING BAY DIMENSIONS TO COMPLY WITH AS 2890

CARPARK MANOEUVRE TO COMPLY WITH AS 2890  
 PARKING MANOEUVRE DONE IN AUTOTURN  
 SOFTWARE, VEHICLE SELECTED PASSENGER CAR B99 - 5.2m LENGTH, 1.94m WIDTH

**EXITING PARKING MANOEUVRE**

SCALE: 1:300



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PAGE NO. **5**  
 PROJECT PROPOSED UNIT DEVELOPMENT  
 LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
 CLIENT NAK BUILDING GROUP

PAGE TITLE **PARKING MANOEUVRE 2 of 2**  
 DRAWINGS SCALE **1 : 300**

DRAWN BY **L.WALSH** CHECKED BY **L. WALSH**  
 ISSUE DATE **04.02.2026**  
 DRAWINGS SET **BA** REV. NO. **2.1**

No.	DATE	DESCRIPTION	AMENDMENT
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PAGE NO. **5**

FLOOR FINISH SCHEDULE

Code	Description	Area
C-F	Concrete Float Finish, Clear Finish Concrete	35.1 m <sup>2</sup>
F.Cp	Carpet (selected by client) on Dunlop Foam Underlay	54.3 m <sup>2</sup>
F.Ti	Selected Tile with 3mm Joint Spacing, Mapei Kerabond (or similar) adhesive, ultracolor plus grout to selected colour	33.3 m <sup>2</sup>
F.VP	Selected Vinyl Flooring	106.3 m <sup>2</sup>

NOTES

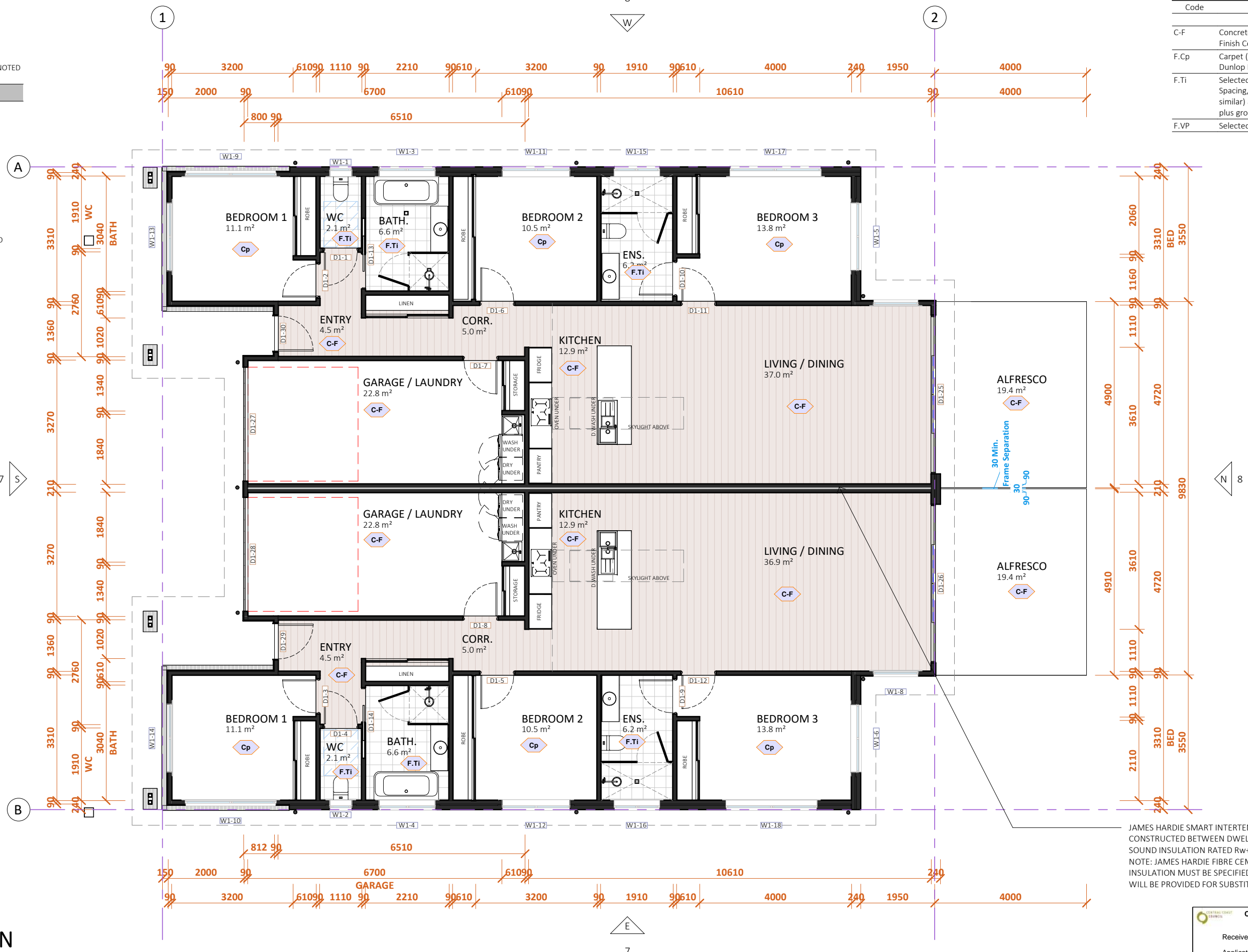
CHECK ALL WINDOW AND DOOR SCHEDULES TO CONFIRM OPENINGS IN FRAMED WALLS

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

SYMBOLS

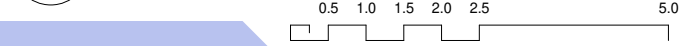
- FINISHED FLOOR LEVEL MARKER
- SITE REFERENCE LEVEL MARKER
- WALL DIMENSION (mm)
- OPENINGS DIMENSION (mm)
- GRID LINE
- ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)



JAMES HARDIE SMART INTERTENANCY FIRE WALL SYSTEM CONSTRUCTED BETWEEN DWELLINGS, RATED FRL 60/60/60 SOUND INSULATION RATED Rw+Ctr = 51  
NOTE: JAMES HARDIE FIBRE CEMENT PRODUCTS AND HARDIE FIRE INSULATION MUST BE SPECIFIED IN SYSTEM, NO PERFORMANCE WILL BE PROVIDED FOR SUBSTITUTION

CENTRAL COAST COUNCIL LAND USE PLANNING	
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UNIT 1 & 2  
FLOOR PLAN



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PAGE NO. **6**  
 PROJECT PROPOSED UNIT DEVELOPMENT  
 LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
 CLIENT NAK BUILDING GROUP

PAGE TITLE  
**DIMENSION FLOOR PLAN - UNIT 1 & 2**  
 DRAWINGS SCALE  
**1 : 100**  
CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY  
**J. van Ommen**  
 CHECKED BY  
**L. WALSH**  
 ISSUE DATE  
**04.02.2026**  
 DRAWINGS SET  
**BA**  
 REV. NO.  
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No.	DATE	DESCRIPTION	AMENDMENT
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PAGE NO. **6**

**NOTES**

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288

REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE.

ALL PRODUCTS & MATERIALS NOTED ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS, INSTRUCTIONS AND SPECIFICATIONS.

**FLASHING TO WALL OPENINGS**

ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS 2904. FLASHING TO BE INSTALLED WITH GLAZING MANUFACTURERS SPECIFICATIONS FOR BRICK VENEER OR LIGHT WEIGHT CLADDING CONSTRUCTION.

**SYMBOLS**

- 1.00m GROUND AND FLOOR LEVEL HEIGHT MARKER
- W1 WINDOW No. (REFER TO SCHEDULE)
- D1 DOOR No. (REFER TO SCHEDULE)
- A GRID LINE
- S** SLIDING WINDOW/DOOR
- A** AWNING WINDOW
- F** FIXED WINDOW
- OPAQUE WINDOW
- wr.1** WINDOW REVEAL 140mm

**CORROSION CONTROL**

RATING	LOCATION
<b>Low</b>	>1KM sheltered bays
<b>Mid</b>	>1KM breaking surf, or industrial areas or 50m from sheltered bays, extends to 10 to 50km
<b>High</b>	>200m from breaking surf, or industrial areas, or 50m from sheltered bays, extends to 1km
<b>Very High</b>	100 to 200m from breaking surf or within 200m from industrial areas (pH < 5)

Category is influenced by wind direction and topography, roof sheeting to comply with corrosion control NCC 7.2.2

**EXTERNAL WALL SCHEDULE**

Code	Model	Area
JH2	James Hardie Scyon - Linea Weatherboard	76.7 m <sup>2</sup>
Bv.P	240 Brick Veneer Pearl Exposed	206.6 m <sup>2</sup>

**ROOF FINISH SCHEDULE**

CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	322.3 m <sup>2</sup>

**GUTTER SCHEDULE**

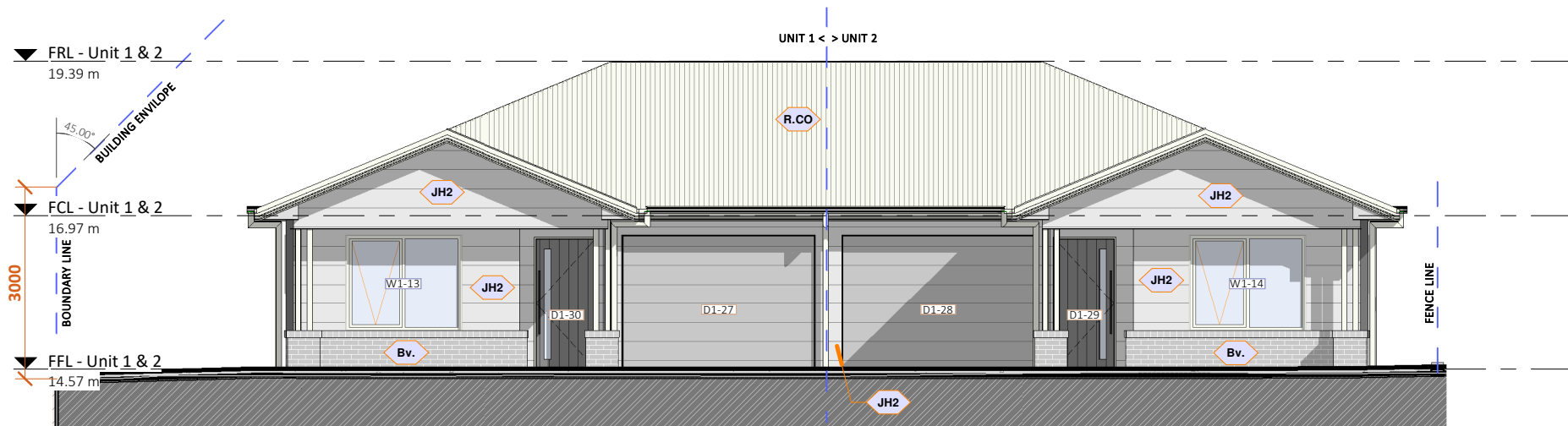
Code	Type	Colour	Length
G.T	Lysaght Trimline	CP Dover White	83.08 m

**FASCIA SCHEDULE**

Code	Model	Colour	Length
BC.140	Barge 140L x 75H	CP Dover White	12.84 m
CF	Novaline® Fascia	CP Dover White	77.70 m
RC	Ridge Capping	<varies>	58.20 m
VF	Valley Flashing	CP Dover White	22.44 m

**DOWNPIPES**

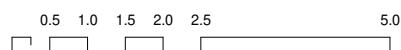
Type	Specification	Total
DP-90	90Ø PVC Downpipe, painted finish to match wall	9



SOUTH ELEVATION  
SCALE: 1:100



EAST ELEVATION  
SCALE: 1:100



**CENTRAL COAST COUNCIL LAND USE PLANNING**

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PAGE NO. **7**  
PROJECT PROPOSED UNIT DEVELOPMENT  
LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
CLIENT NAK BUILDING GROUP

PAGE TITLE ELEVATIONS 1 of 2 - UNITS 1 & 2  
DRAWINGS SCALE 1 : 100  
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CHECKED BY L. WALSH  
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# NOTES

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REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE.

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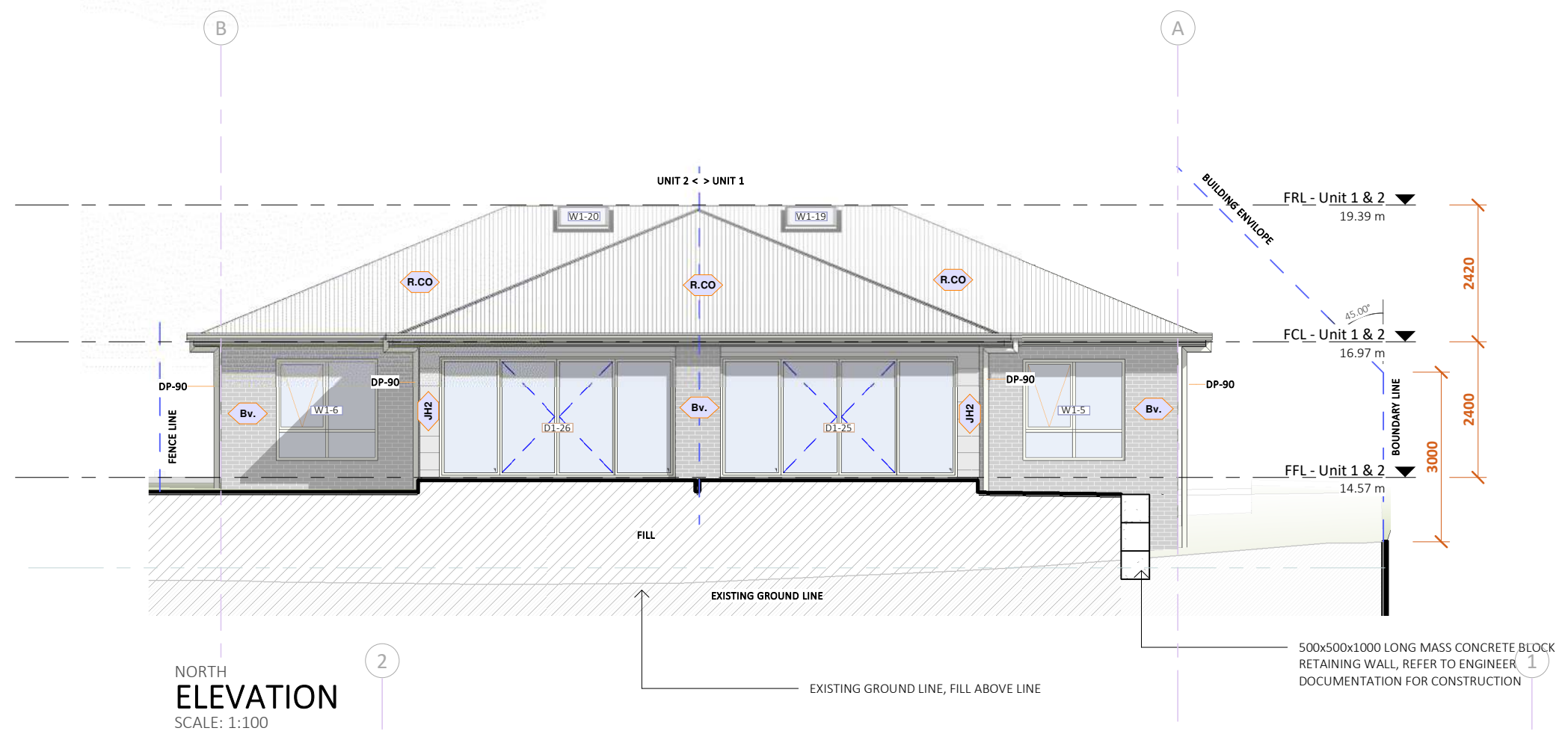
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## CORROSION CONTROL

RATING	LOCATION
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Category is influenced by wind direction and topography, roof sheeting to comply with corrosion control NCC 7.2.2



**NORTH ELEVATION**  
SCALE: 1:100



**WEST ELEVATION**  
SCALE: 1:100

## EXTERNAL WALL SCHEDULE

Code	Model	Area
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Type	Specification	Total
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**CENTRAL COAST COUNCIL**  
LAND USE PLANNING

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**NOTES**

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**SYMBOLS**

- FINISHED FLOOR LEVEL MARKER
- SITE REFERENCE LEVEL MARKER
- WALL DIMENSION (mm)
- OPENINGS DIMENSION (mm)
- GRID LINE
- ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)

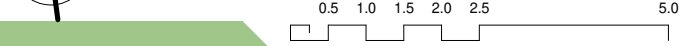
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F.Cp	Carpet (selected by client) on Dunlop Foam Underlay	54.3 m <sup>2</sup>
F.Ti	Selected Tile with 3mm Joint Spacing, Mapei Kerabond (or similar) adhesive, ultracolour plus grout to selected colour	33.3 m <sup>2</sup>
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JAMES HARDIE SMART INTERTENANCY FIRE WALL SYSTEM CONSTRUCTED BETWEEN DWELLINGS, RATED FRL 60/60/60  
 SOUND INSULATION RATED Rw+Ctr = 51  
 NOTE: JAMES HARDIE FIBRE CEMENT PRODUCTS AND HARDIE FIRE INSULATION MUST BE SPECIFIED IN SYSTEM, NO PERFORMANCE WILL BE PROVIDED FOR SUBSTITUTION

**UNIT 3 & 4 FLOOR PLAN**  
 SCALE: 1:100



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PAGE NO. **9**  
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 LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
 CLIENT NAK BUILDING GROUP

PAGE TITLE **DIMENSION FLOOR PLAN - UNIT 3 & 4**  
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 CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY **J. van Ommen**  
 CHECKED BY **L. WALSH**  
 ISSUE DATE **04.02.2026**  
 DRAWINGS SET **BA**  
 REV. NO. **2.1**

**CENTRAL COAST COUNCIL**  
 LAND USE PLANNING  
 Received: 5/02/2026  
 Application No: DA2025293  
 Doc ID: 544236

No.	DATE	DESCRIPTION	AMENDMENT
1	13.11.2025	Concept 1 - Client Review	
2	20.11.2025	Planning Application	
2.1	04.02.2026	RFI	

PAGE NO. **9**

**NOTES**

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288

REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE.

ALL PRODUCTS & MATERIALS NOTED ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS, INSTRUCTIONS AND SPECIFICATIONS.

**FLASHING TO WALL OPENINGS**

ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS 2904. FLASHING TO BE INSTALLED WITH GLAZING MANUFACTURERS SPECIFICATIONS FOR BRICK VENEER OR LIGHT WEIGHT CLADDING CONSTRUCTION.

**SYMBOLS**

- 1.00m GROUND AND FLOOR LEVEL HEIGHT MARKER
- W1 WINDOW No. (REFER TO SCHEDULE)
- D1 DOOR No. (REFER TO SCHEDULE)
- A GRID LINE
- S** SLIDING WINDOW/DOOR
- A** AWNING WINDOW
- F** FIXED WINDOW
- OPAQUE WINDOW
- wr.1** WINDOW REVEAL 140mm

**CORROSION CONTROL**

RATING	LOCATION
<b>Low</b>	>1KM sheltered bays
<b>Mid</b>	>1KM breaking surf, or industrial areas or 50m from sheltered bays, extends to 10 to 50km
<b>High</b>	>200m from breaking surf, or industrial areas, or 50m from sheltered bays, extends to 1km
<b>Very High</b>	100 to 200m from breaking surf or within 200m from industrial areas (pH < 5)

Category is influenced by wind direction and topography, roof sheeting to comply with corrosion control NCC 7.2.2

**EXTERNAL WALL SCHEDULE**

Code	Model	Area
JH2	James Hardie Scyon - Linea Weatherboard	55.4 m <sup>2</sup>
Bv.P	240 Brick Veneer Pearl Exposed	134.2 m <sup>2</sup>

**ROOF FINISH SCHEDULE**

CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	322.3 m <sup>2</sup>

**GUTTER SCHEDULE**

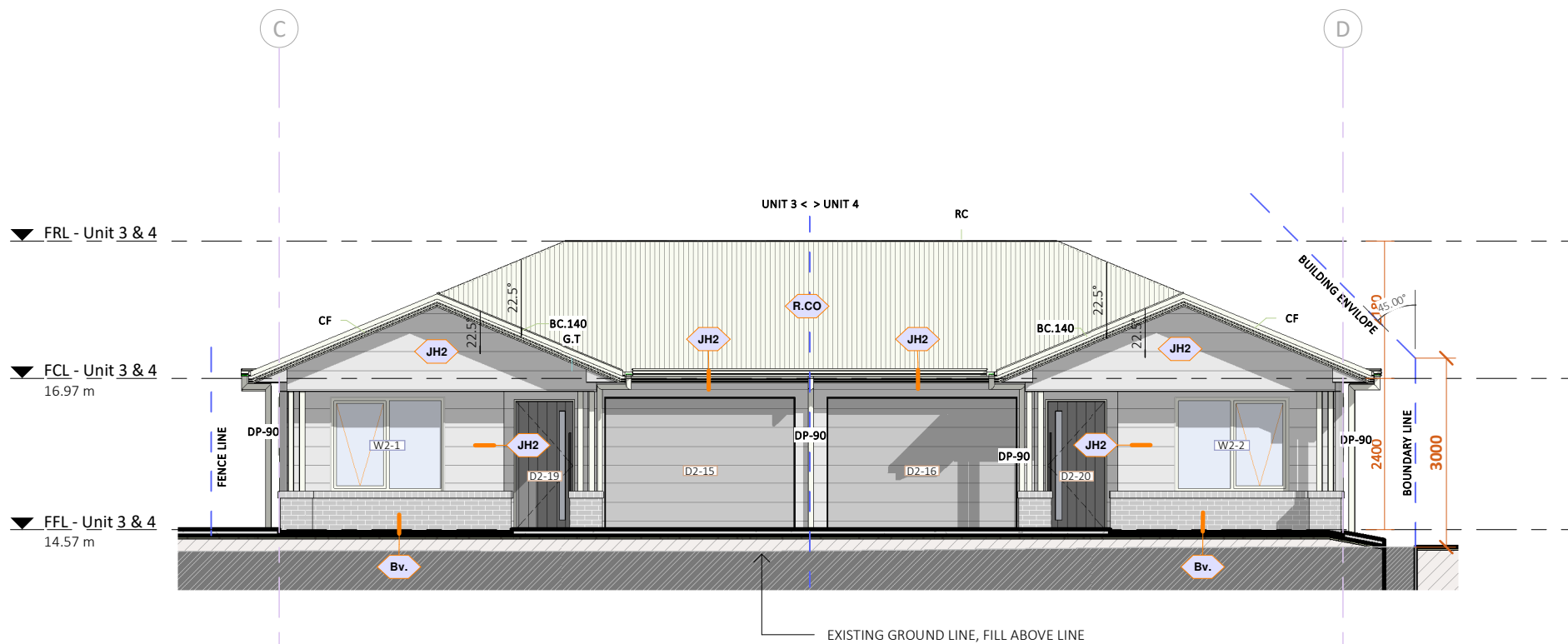
Code	Type	Colour	Length
G.T	Lysaght Trimline	CP Dover White	83.08 m

**FASCIA SCHEDULE**

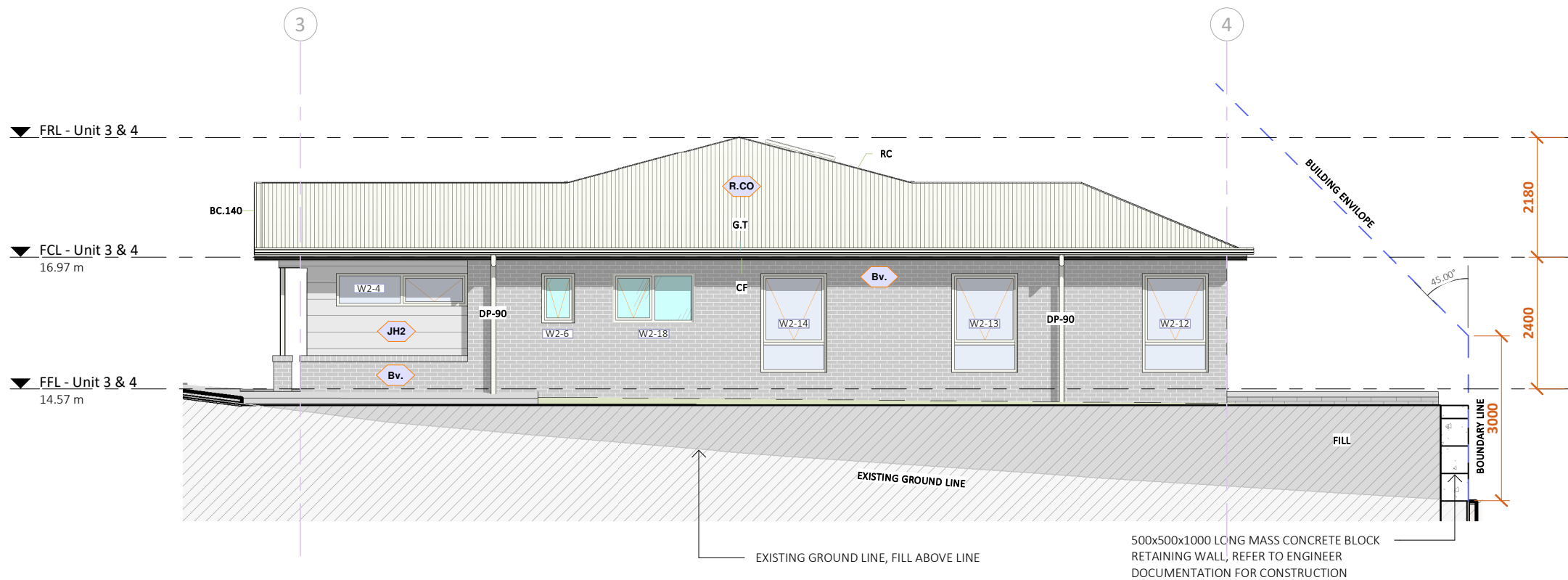
Code	Model	Colour	Length
BC.140	Barge 140L x 75H	CP Dover White	12.84 m
CF	Novaline® Fascia	CP Dover White	77.70 m
RC	Ridge Capping	<varies>	58.20 m
VF	Valley Flashing	CP Dover White	22.44 m

**DOWNPIPES**

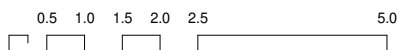
Type	Specification	Total
DP-90	90Ø PVC Downpipe, painted finish to match wall	9



**SOUTH ELEVATION**  
SCALE: 1:100



**EAST ELEVATION**  
SCALE: 1:100



**CENTRAL COAST COUNCIL**  
**LAND USE PLANNING**

Received: 5/02/2026  
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**LACHLAN WALSH DESIGN**  
PO Box 231, Devonport TAS, 7310  
www.lachlanwalshdesign.com  
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Phone: 6424 8053  
Tasmania Accreditation Number: CC 6162 E

PAGE NO. **10**  
PROJECT PROPOSED UNIT DEVELOPMENT  
LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
CLIENT NAK BUILDING GROUP

PAGE TITLE **ELEVATIONS 1 of 2 - UNIT 3 & 4**  
DRAWINGS SCALE **1 : 100**  
DRAWN BY **J.van Ommen**  
CHECKED BY **L. WALSH**  
ISSUE DATE **04.02.2026**  
DRAWINGS SET **BA**  
REV. NO. **2.1**

No. DATE DESCRIPTION AMENDMENT  
1 13.11.2025 Concept 1 - Client Review  
2 20.11.2025 Planning Application  
2.1 04.02.2026 RFI

PAGE NO. **10**

**NOTES**

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REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE.

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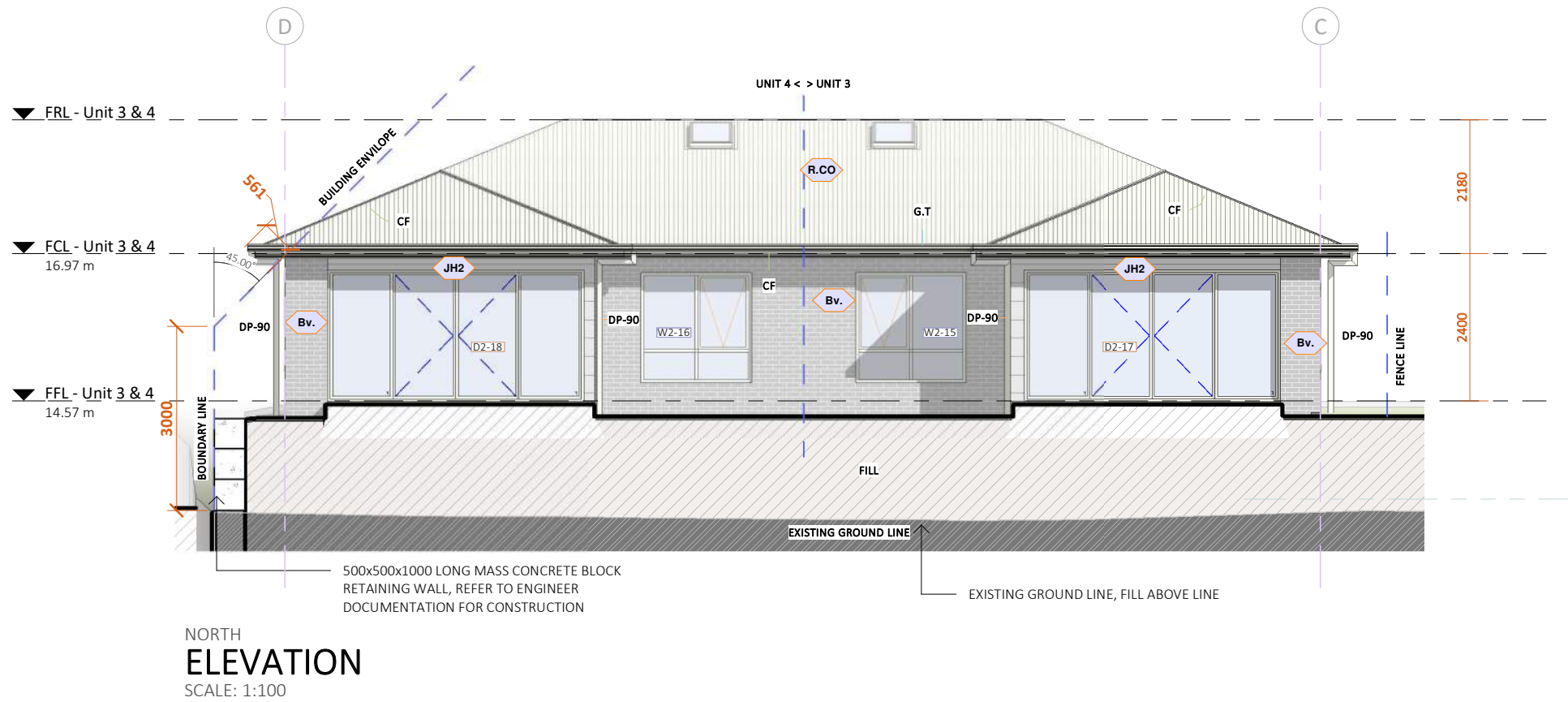
**SYMBOLS**

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- W1 WINDOW No. (REFER TO SCHEDULE)
- D1 DOOR No. (REFER TO SCHEDULE)
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- S** SLIDING WINDOW/DOOR
- A** AWNING WINDOW
- F** FIXED WINDOW
- OPAQUE WINDOW
- wr.1** WINDOW REVEAL 140mm

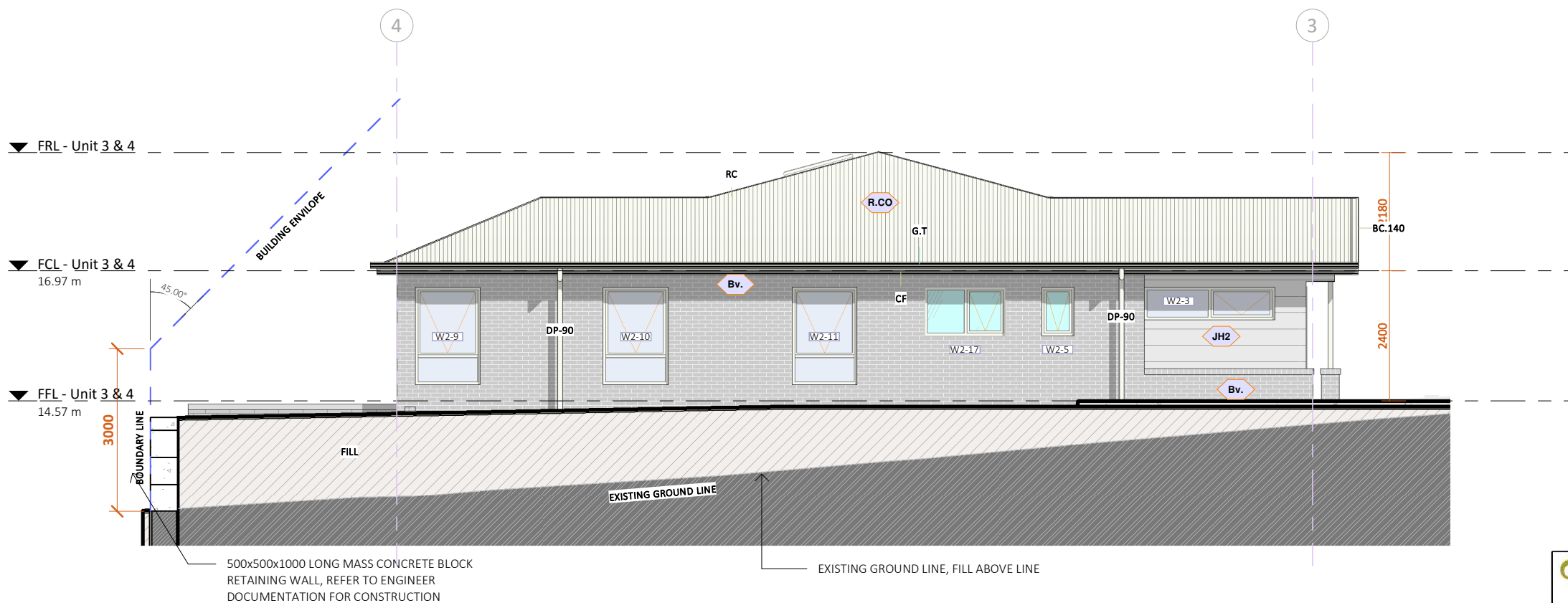
**CORROSION CONTROL**

RATING	LOCATION
<b>Low</b>	>1KM sheltered bays
<b>Mid</b>	>1KM breaking surf, or industrial areas or 50m from sheltered bays, extends to 10 to 50km
<b>High</b>	>200m from breaking surf, or industrial areas, or 50m from sheltered bays, extends to 1km
<b>Very High</b>	100 to 200m from breaking surf or within 200m from industrial areas (pH < 5)

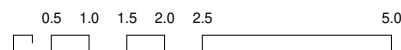
Category is influenced by wind direction and topography, roof sheeting to comply with corrosion control NCC 7.2.2



**NORTH ELEVATION**  
SCALE: 1:100



**WEST ELEVATION**  
SCALE: 1:100



EXTERNAL WALL SCHEDULE		
Code	Model	Area
JH2	James Hardie Scyon - Linea Weatherboard	55.4 m <sup>2</sup>
Bv.P	240 Brick Veneer Pearl Exposed	134.2 m <sup>2</sup>

ROOF FINISH SCHEDULE		
CODE	Roof Profile	Area
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GUTTER SCHEDULE			
Code	Type	Colour	Length
G.T	Lysaght Trimline	CP Dover White	83.08 m

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Code	Model	Colour	Length
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CF	Novaline® Fascia	CP Dover White	77.70 m
RC	Ridge Capping	<varies>	58.20 m
VF	Valley Flashing	CP Dover White	22.44 m

DOWNPIPES		
Type	Specification	Total
DP-90	90Ø PVC Downpipe, painted finish to match wall	9

**CENTRAL COAST COUNCIL**  
**LAND USE PLANNING**

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**LACHLAN WALSH DESIGN**  
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Phone: 6424 8053  
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**PAGE NO. 11**

PROJECT: PROPOSED UNIT DEVELOPMENT  
LOCATION: 5 & 7 CASSIA DRIVE, ULVERSTONE  
CLIENT: NAK BUILDING GROUP

PAGE TITLE: ELEVATIONS 2 of 2 - UNIT 3 & 4  
DRAWINGS SCALE: 1 : 100

CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY: J.van Ommen  
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PAGE NO. 11

# SCHEDULES

## WINDOW SCHEDULE

Mark	Height	Width	Head Height	Opening Type	Frame	Glazing	Hardware	W. Colour	Area
W1-1	900	600	2100	Awning	F1	G2	H1+H2	CP Dover White	0.54 m²
W1-2	900	600	2100	Awning	F1	G2	H1+H2	CP Dover White	0.54 m²
W1-3	900	1500	2100	Awning	F1	G2	H1+H2	CP Dover White	1.35 m²
W1-4	900	1500	2100	Awning	F1	G2	H1+H2	CP Dover White	1.35 m²
W1-5	1800	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	3.24 m²
W1-6	1800	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	3.24 m²
W1-7	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W1-8	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W1-9	600	2400	2100	Awning	F1	G1	H1+H2	CP Dover White	1.44 m²
W1-10	600	2400	2100	Awning	F1	G1	H1+H2	CP Dover White	1.44 m²
W1-11	1800	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	3.24 m²
W1-12	1800	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	3.24 m²
W1-13	1500	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	2.70 m²
W1-14	1500	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	2.70 m²
W1-15	600	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	0.72 m²
W1-16	600	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	0.72 m²
W1-17	600	2400	2100	Awning	F1	G1	H1+H2	CP Dover White	1.44 m²
W1-18	600	2400	2100	Awning	F1	G1	H1+H2	CP Dover White	1.44 m²
W1-19	1275	870		Skylight Fixed	F1	G1			1.11 m²
W1-20	1275	870		Skylight Fixed	F1	G1			1.11 m²
FFL - Unit 1 & 2: 20									35.88 m²

W2-1	1500	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	2.70 m²
W2-2	1500	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	2.70 m²
W2-3	600	2400	2100	Awning	F1	G1	H1+H2	CP Dover White	1.44 m²
W2-4	600	2400	2100	Awning	F1	G1	H1+H2	CP Dover White	1.44 m²
W2-5	900	600	2100	Awning	F1	G2	H1+H2	CP Dover White	0.54 m²
W2-6	900	600	2100	Awning	F1	G2	H1+H2	CP Dover White	0.54 m²
W2-7	2100	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.52 m²
W2-8	2100	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.52 m²
W2-9	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W2-10	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W2-11	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W2-12	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W2-13	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W2-14	1800	1200	2100	Awning	F1	G1	H1+H2	CP Dover White	2.16 m²
W2-15	1800	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	3.24 m²
W2-16	1800	1800	2100	Awning	F1	G1	H1+H2	CP Dover White	3.24 m²
W2-17	900	1500	2100	Awning	F1	G2	H1+H2	CP Dover White	1.35 m²
W2-18	900	1500	2100	Awning	F1	G2	H1+H2	CP Dover White	1.35 m²
W2-19	1275	665		Skylight Fixed	F1	G1			0.85 m²
W2-20	1275	665		Skylight Fixed	F1	G1			0.85 m²
FFL - Unit 3 & 4: 20									38.24 m²

Grand total: 40 74.11 m²

## WINDOW FINISH & HARDWARE

ALL GLAZED WINDOWS ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

### FRAME

#### CODE SPECIFICATION

- F.1** Aluminium Residential Window Frame, Powdercoat finish
- F.2** Aluminium Residential Window Frame, Powdercoat finish, + External Window Reveal refer to E. Window Trim Schedule

### GLAZING

#### CODE SPECIFICATION

- G.1** Double Glazed, Clear
- G.2** Double Glazed, Opaque

### HARDWARE

#### CODE SPECIFICATION

- H.1** Chain Winder 'Awning', 125mm max. opening for windows that are 2m or greater from finished ground, colour match window frame
- H.2** Flyscreen to open portion of window, type to be compliant to BAL rating is relevant to project
- H.3** Sliding Window Hardware by manufacturer

## DOOR SCHEDULE

Mark	Height	Width	Opening Type	Door Panel	Frame	Glazing	Colour	Hardware	Area
D1-1	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-2	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-3	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-4	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-5	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-6	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-7	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-8	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-9	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-10	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-11	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-12	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D1-13	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m²
D1-14	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m²
D1-15	2040	2090	Sliding Robe/Linen						4.26 m²
D1-16	2040	2090	Sliding Robe/Linen						4.26 m²
D1-17	2040	2190	Sliding Robe/Linen						4.47 m²
D1-18	2040	2190	Sliding Robe/Linen						4.47 m²
D1-19	2040	3290	Sliding Robe/Linen						6.71 m²
D1-20	2040	3290	Sliding Robe/Linen						6.71 m²
D1-21	2040	2090	Sliding Robe/Linen						4.26 m²
D1-22	2040	2090	Sliding Robe/Linen						4.26 m²
D1-23	2040	1320	Sliding Robe/Linen						2.69 m²
D1-24	2040	1320	Sliding Robe/Linen						2.69 m²
D1-25	2100	4100	External Glass Slider	D2	F3	G3	C1	H2	8.61 m²
D1-26	2100	4100	External Glass Slider	D2	F3	G3	C1	H2	8.61 m²
D1-27	2100	3000	Sectional Garage Door	D3					6.30 m²
D1-28	2100	3000	Sectional Garage Door	D3					6.30 m²
D1-29	2040	920	External Hinge	D5	F3		C1	H2	1.88 m²
D1-30	2040	920	External Hinge	D5	F3		C1	H2	1.88 m²
FFL - Unit 1 & 2: 30									103.22 m²

D2-1	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-2	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-3	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-4	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-5	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-6	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-7	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-8	2040	870	Hinge	D1	F1		C2	H1	1.77 m²
D2-9	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m²
D2-10	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m²
D2-11	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m²
D2-12	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m²
D2-13	2040	1990	Sliding Robe/Linen						4.06 m²
D2-14	2040	1990	Sliding Robe/Linen						4.06 m²
D2-15	2100	3000	Sectional Garage Door	D3					6.30 m²
D2-16	2100	3000	Sectional Garage Door	D3					6.30 m²
D2-17	2100	4100	External Glass Slider	D2	F3	G3	C1	H2	8.61 m²
D2-18	2100	4100	External Glass Slider	D2	F3	G3	C1	H2	8.61 m²
D2-19	2040	920	External Hinge	D5	F3		C1	H2	1.88 m²
D2-20	2040	920	External Hinge	D5	F3		C1	H2	1.88 m²
D2-21	2040	2090	Sliding Robe/Linen						4.26 m²
D2-22	2040	2090	Sliding Robe/Linen						4.26 m²
D2-23	2040	3090	Sliding Robe/Linen						6.30 m²
D2-24	2040	3090	Sliding Robe/Linen						6.30 m²
D2-25	2040	790	Hinge Robe/Linen						1.61 m²
D2-26	2040	790	Hinge Robe/Linen						1.61 m²

FFL - Unit 3 & 4: 26 87.35 m²  
Grand total: 56 190.57 m²

## DOOR FINISH & HARDWARE

ALL GLAZED DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

### FRAME

#### CODE SPECIFICATION

- F.1** HUME Timber Frame 'Hinge', Pre Primed, Paint finish colour to match wall
- F.2** HUME Timber Cavity Sliding Unit, Pre Primed, Paint finish colour to match wall
- F.3** Aluminium Door Frame, Powdercoat finish, colour 'Monument'
- F.4** Hume Smartrobe Track Assembly, colour to match wall

### DOOR PANEL

#### CODE SPECIFICATION

- D.1** HUME Timber Honeycomb Internal Door, Pre Primed, 35mm
- D.2** Aluminium Sliding, Powdercoat finish, colour 'Monument'
- D.3** Automatic Garage Door, Powdercoat finish, colour to match wall
- D.4** Aluminium Hinged, Powdercoat finish, colour 'Monument' Glass infill
- D.5** HUME Timber Solid Core External Door, Pre Primed, 35mm

### COLOUR & FINISH

#### CODE SPECIFICATION

- C.1** Powdercoat finish 'Dover White'
- C.2** Paint finish 'Vivid White'

### GLAZING

#### CODE SPECIFICATION

- G.1** Single Glazed, Clear
- G.2** Single Glazed, Opaque
- G.3** Double Glazed, Clear

### HARDWARE

#### CODE SPECIFICATION

- H.1** Susie Round Door Handle, Colour 'Black' (or similar Approved)
- H.2** Lever set & Lock by door supplier, colour to match door
- H.3** Milos Flush Pull Handle (252 x 44mm) colour 'Black' (or similar Approved)

**LACHLAN WALSH DESIGN**  
PO Box 231, Devonport TAS, 7310  
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PAGE NO. **12**

PROJECT PROPOSED UNIT DEVELOPMENT  
LOCATION 5 & 7 CASSIA DRIVE, ULVERSTONE  
CLIENT NAK BUILDING GROUP

PAGE TITLE **SCHEDULES**  
DRAWINGS SCALE  
CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO OBTAINING APPROVALS FOR ALL WORKS  
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DRAWN BY **J. van Ommen**  
CHECKED BY **L. WALSH**  
ISSUE DATE **04.02.2026**  
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CENTRAL COAST COUNCIL  
LAND USE PLANNING  
Received: 5/02/2026  
Application No: DA2025293  
Doc ID: 544236

**NOTE:**  
 PROVIDE CONTROL JOINTS IN BLOCKWORK AT  
 6m CENTRE'S AND/OR 3m FROM CORNER'S FOR  
 ALL BLOCKWORK. NOTE REQUIREMENT FOR  
 CONTROL JOINTS ON S106.  
 (REFER STANDARD STRUCTURAL DETAILS)

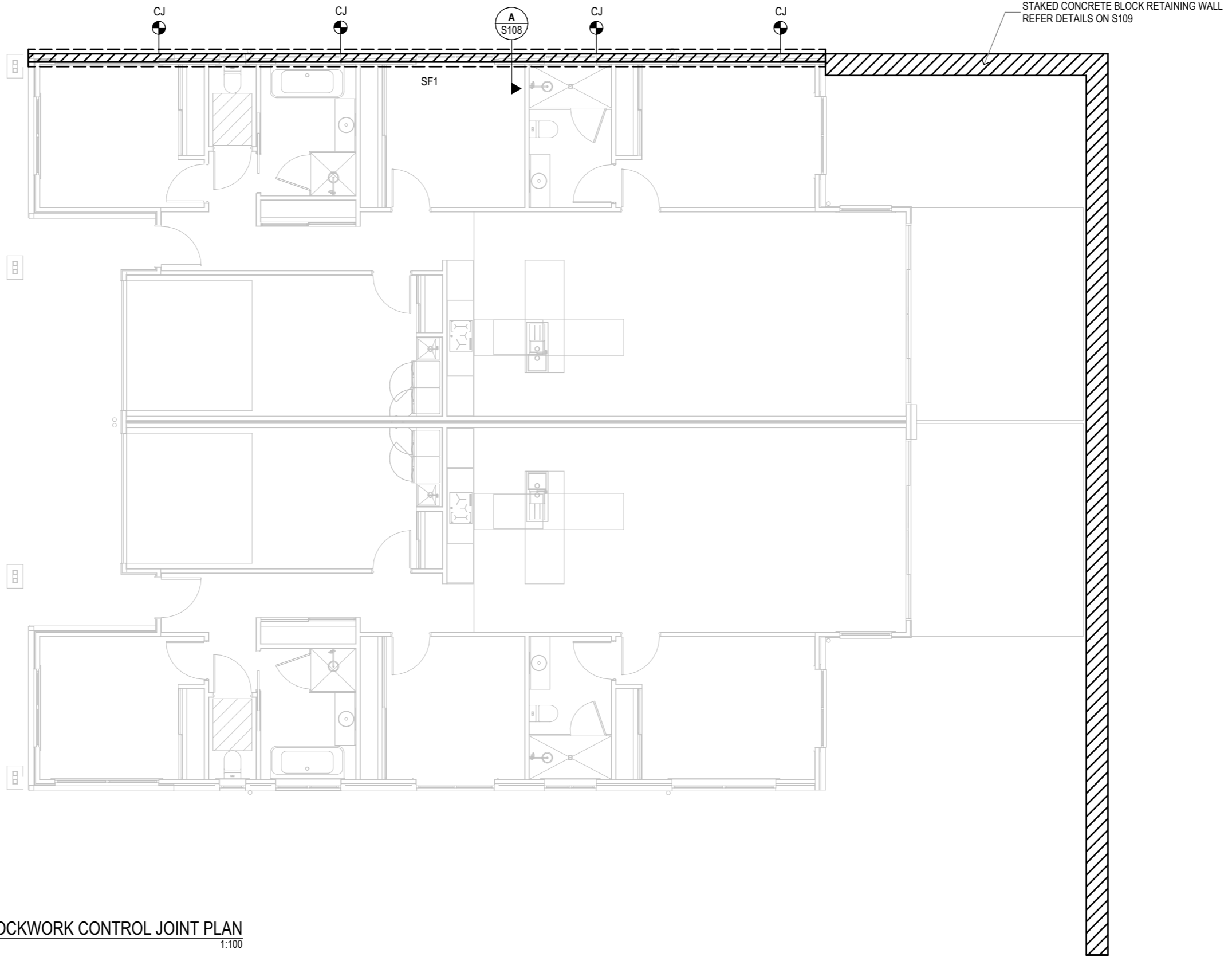
**IMPORTANT**  
 WORKS ARE TO BE IN ACCORDANCE  
 WITH THE APPLICABLE AUSTRALIAN  
 STANDARDS, CONSTRUCTION  
 CODES (NCC) & REQUIREMENTS OF  
 ANY RELEVANT LOCAL AUTHORITIES

SITE CLASSIFICATION: S  
 WIND CLASSIFICATION: N2

**LEGEND**  
 SF1: STRIP FOOTING;  
 REFER DETAILS ON S108

CJ: CONTROL JOINT  
 INSTALL AT NO MORE THAN  
 6m CRS AND/OR 3m FROM  
 CORNERS  
 REFER DETAILS

PRODUCTS AND SYSTEMS TO BE  
 INSTALLED AND / OR USED AS PER  
 MANUFACTURER'S INSTRUCTIONS



STRIP FOOTING, BLOCKWORK & BLOCKWORK CONTROL JOINT PLAN  
 1:100

**NOT FOR CONSTRUCTION**

**DEVELOPMENT APPROVAL**



SCALE: **1:100 (A3)**

REV	AMENDMENT	DATE
01	CLIENT REVIEW	02-02-2026

ISSUED BY:  
**Bavitha B L**

DRAWN BY:  
**BBL**

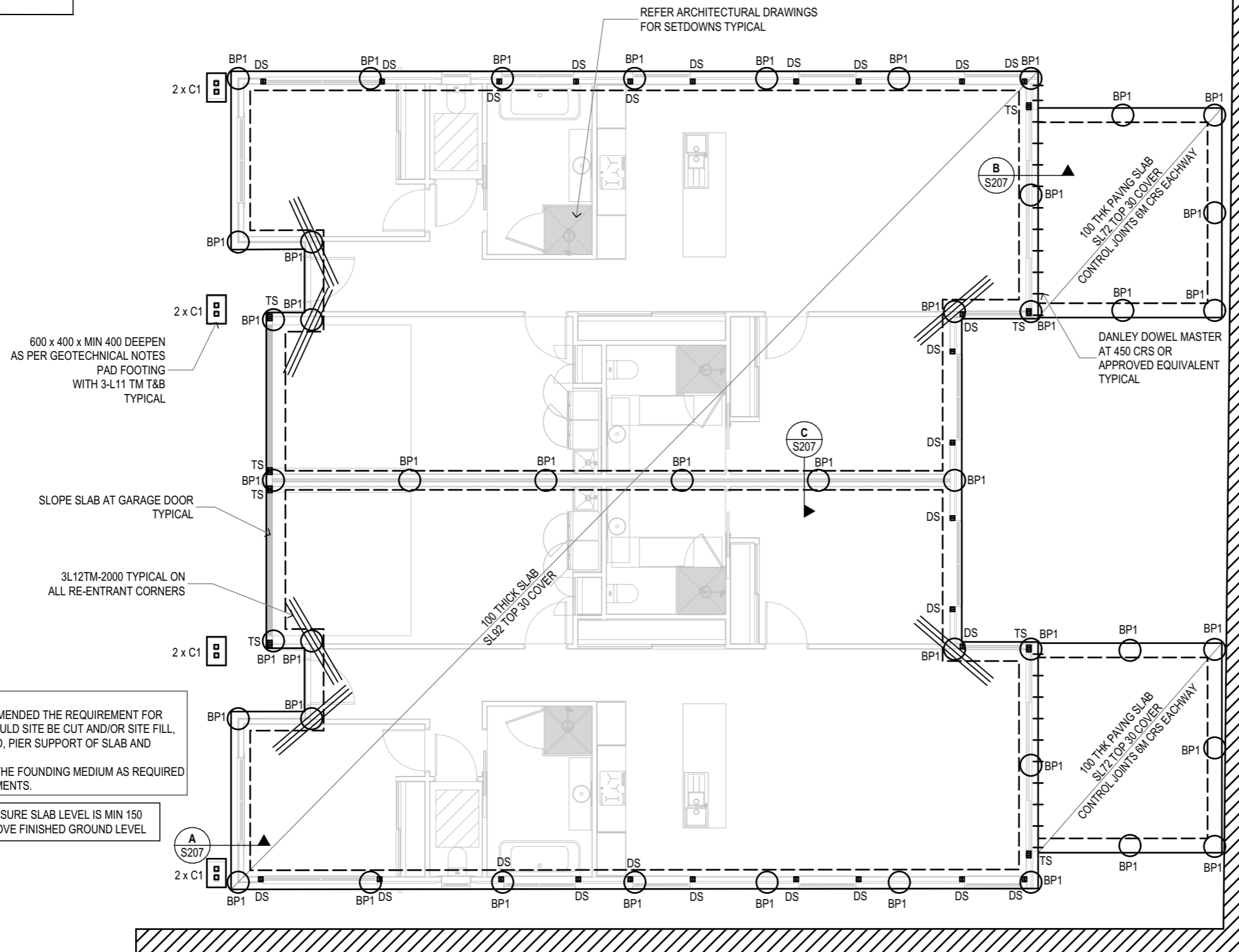
APPROVED BY:  
**LDINGEMANSE**

**STRIP FOOTING, BLOCKWORK & BLOCKWORK CONTROL JOINT PLAN**

DWG: **S101**      REV: **01**

PROJECT: **EE1445**

D:\CBM Sustainability Group\Elite Engineers - General\Exceed Projects\1445 NAK - Cassia Dr Ulverstone\WORKING FILE\UNIT-1 & 2\EE1445-ENG-REVIEW\_20260117.pln 02-02-2026



**GEOTECHNICAL NOTES**  
 REFER SITE ASSESSMENT REPORT  
 GL22282A LOT 78 BY GEOTON PTY  
 LTD DATED 15/06/2022

ALL RECOMMENDATIONS GIVEN IN THE REPORT ARE TO BE ADHERED TO AND ARE NOT REPEATED HERE

FOUNDING MEDIUM FOR ALL FOOTINGS SHOULD BE CLAYEY SAND (SC) - MEDIUM DENSE OR BETTER, ORANGE/BROWN ENCOUNTERED BELOW 0.6M FROM THE EXISTING GROUND SURFACE OR SAND (SP) - MEDIUM DENSE OR BETTER, GREY/DARK GREY ENCOUNTERED BELOW 0.2M FROM THE EXISTING GROUND SURFACE

NO STRUCTURE SHOULD BE FOUNDED ON FILL WITHOUT THE FOOTINGS EXTENDING THROUGH THE FILL TO THE NATURAL SOILS.

PROVIDE DRAINAGE AROUND ALL FOOTINGS AND FOUNDATIONS

SEEK ENGINEERING ADVICE IMMEDIATELY IF SUBSURFACE CONDITIONS DIFFER FROM WHAT IS OUTLINED IN THE REPORT

**IMPORTANT**  
 WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) & REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES

SITE CLASSIFICATION: 'P' 'S'  
 WIND CLASSIFICATION: N2

**LEGEND**

BP1: BORED PIER;  
 450Ø, MIN 1000 DEEP  
 REFER NOTE

C1: COLUMN;  
 89 x 3.5 SHS FIXED TO CONCRETE WITH 10PL BASE PLATE, 2-M16 HOLD DOWN BOLTS

TS: TRIPLE STUD;  
 DS: DOUBLE STUD;

**CONCRETE**  
 GRADE: N32  
 SLUMP: 80mm  
 BLINDING: N15

**SURFACE PREPARATION**  
 STRIP OFF EXISTING HARD SURFACES, TOP SOIL AND VEGETATION AS REQUIRED FOR NEW WORKS. PROOF ROLL SUBGRADE.

**DISTURBED SOIL**  
 INSTALL 450Ø BORED PIERS (MINIMUM 2000 DEEP REINFORCED WITH 1-N16 CENTRAL) WHERE SOIL HAS BEEN DISTURBED AND FAILS TO MEET 100kPa BEARING CAPACITY AND/OR WHERE TREE ROOTS ARE PRESENT

**BACKFILL COMPACTION**  
 BACKFILL TO THE UNDERSIDE OF SAND BLINDING WITH APPROVED BASE 'CLASS A' TO DSG SPEC R40. GRAVEL IS TO BE COMPACTED IN 150mm LAYERS TO 98% STANDARD MAXIMUM DRY DENSITY AND TESTED TO AS1289.

**SLAB & FOOTING PREPARATION**  
 POUR SLAB ON FORTECON MEMBRANE AND 50mm SAND BLINDING. SLAB AND FOOTINGS TO BE INSPECTED BY AN ENGINEER OR APPROVED PERSON PRIOR TO CONCRETE POUR.

**SLAB FINISH**  
 WHERE SLAB IS TO BE POLISHED, INCREASE NOMINATED THICKNESS BY 10mm, DOUBLE THE TOP LAYER OF MESH AND ENSURE 40 COVER. REFER ARCHITECT OR BUILDING DESIGNER FOR ALL FLOOR FINISHES AND ANY SET-DOWN REQUIREMENTS NOT NOTED HERE.

PRODUCTS AND SYSTEMS TO BE INSTALLED AND / OR USED AS PER MANUFACTURER'S INSTRUCTIONS

**NOTE:**  
 THE SITE CLASSIFICATION HAS RECOMMENDED THE REQUIREMENT FOR DEEPER FOUNDING OF FOOTINGS. SHOULD SITE BE CUT AND/OR SITE FILL, POOR BEARING MATERIAL BE REMOVED, PIER SUPPORT OF SLAB AND FOOTINGS MAY NOT BE REQUIRED.  
 ALL FOOTINGS SHALL BE FOUNDED IN THE FOUNDING MEDIUM AS REQUIRED IN THE SITE CLASSIFICATION REQUIREMENTS.

ENSURE SLAB LEVEL IS MIN 150 ABOVE FINISHED GROUND LEVEL

**SLAB & FOOTING PLAN**  
 1:100

**NOT FOR CONSTRUCTION**

**DEVELOPMENT APPROVAL**



SCALE: 1:100 (A3)

REV	AMENDMENT	DATE
01	CLIENT REVIEW	02-02-2026

ISSUED BY:  
**Bavitha B L**

DRAWN BY:  
**BBL**

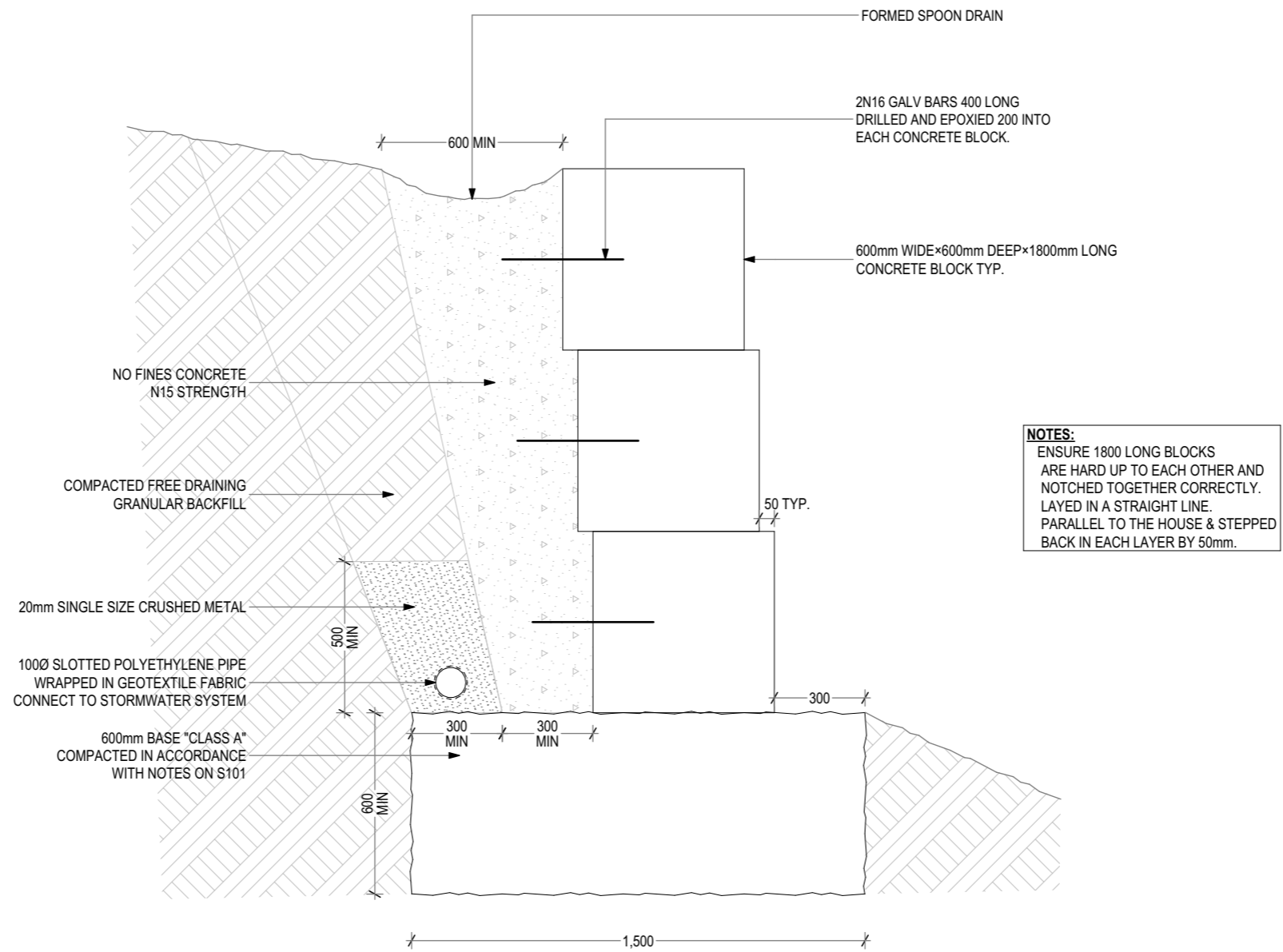
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**LDINGEMANSE**

**SLAB & FOOTING PLAN**

DWG: **S201**

PROJECT: **EE1445**

REV: **01**



**NOTES:**  
 ENSURE 1800 LONG BLOCKS ARE HARD UP TO EACH OTHER AND NOTCHED TOGETHER CORRECTLY. LAYED IN A STRAIGHT LINE. PARALLEL TO THE HOUSE & STEPPED BACK IN EACH LAYER BY 50mm.

**TYPICAL STAKED BLOCKS WALL DETAIL**  
 SCALE 1:20

**NOT FOR CONSTRUCTION**

**DEVELOPMENT APPROVAL**

**ENGINEERING FOR UNIT-1 & 2**  
 5 & 7 CASSIA DRIVE, ULVERSTONE, TAS 7315  
 NAK BUILDING GROUP

SCALE: **(A3)**

REV	AMENDMENT	DATE
01	CLIENT REVIEW	02-02-2026

ISSUED BY:  
**Bavitha B L**

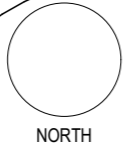
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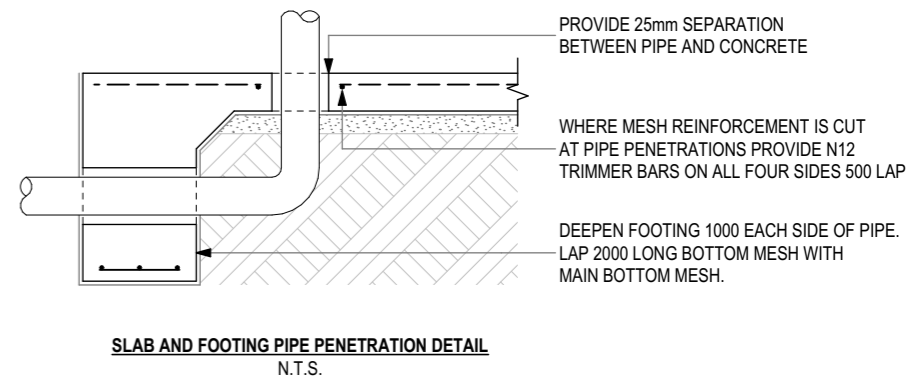
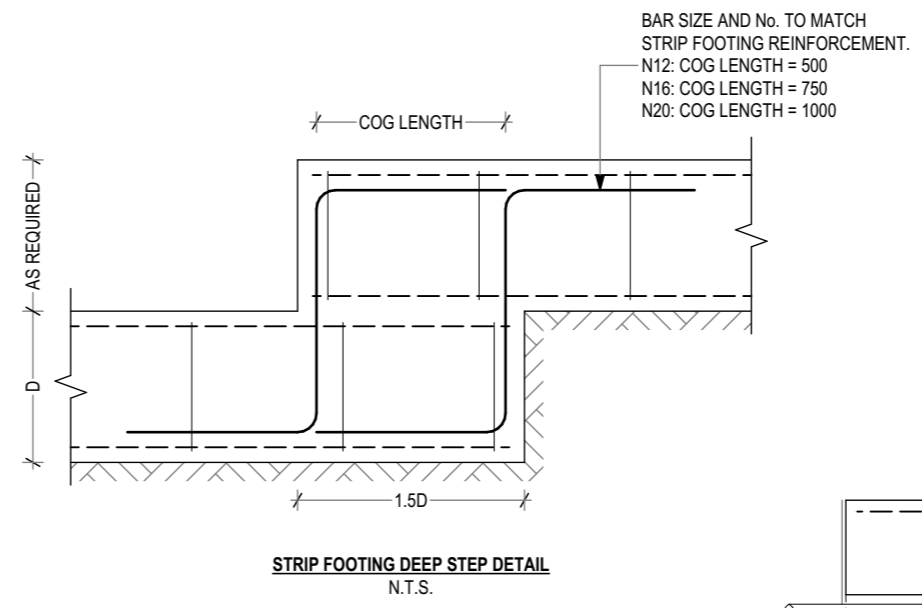
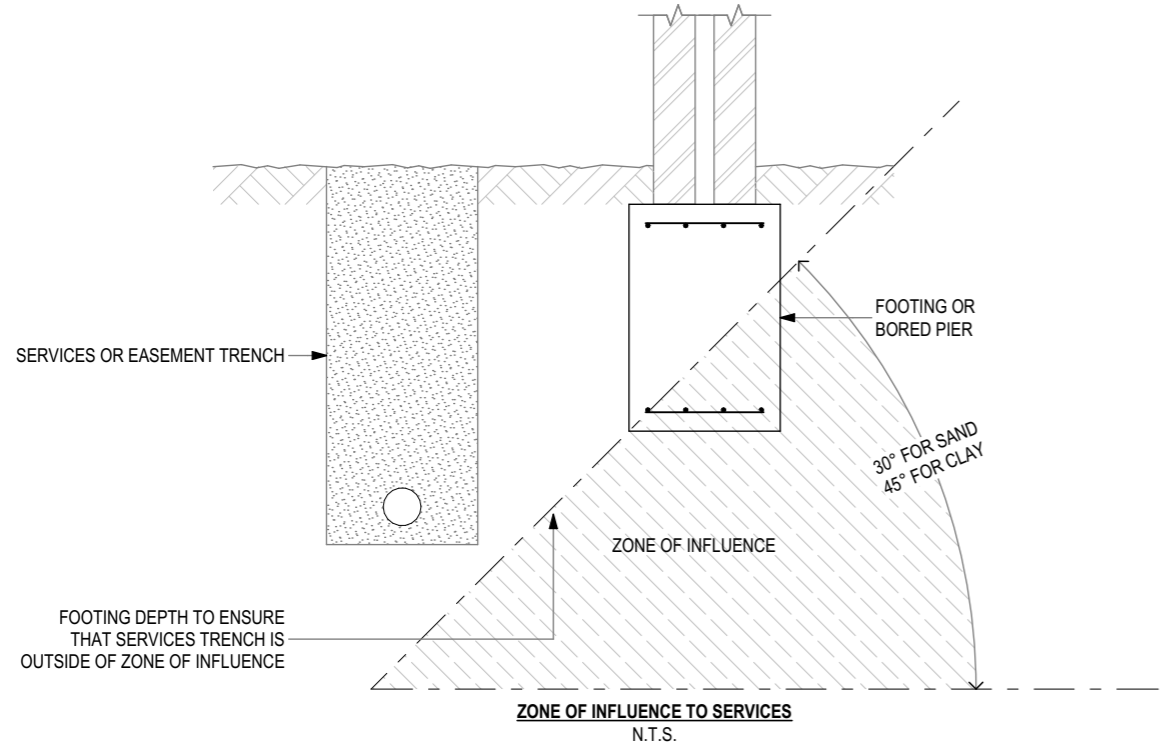
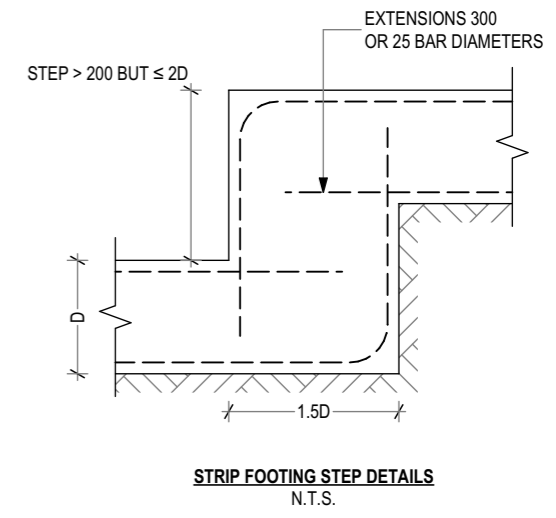
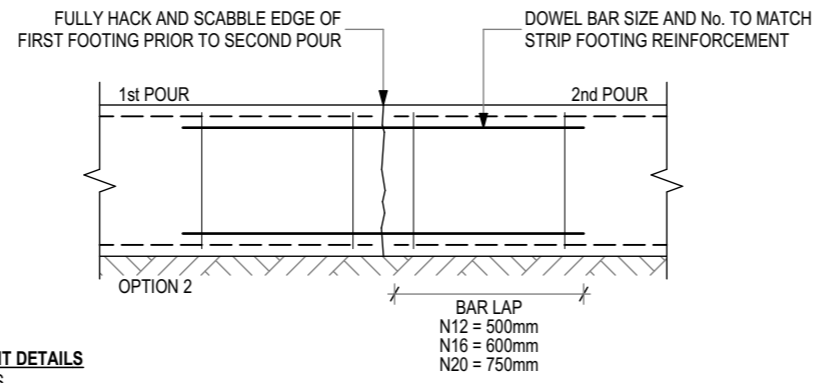
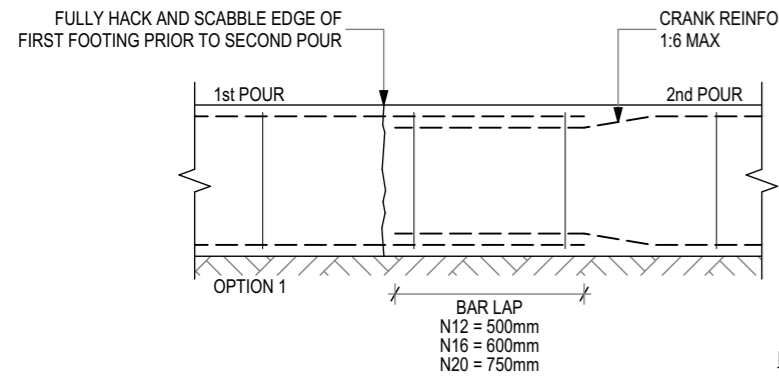
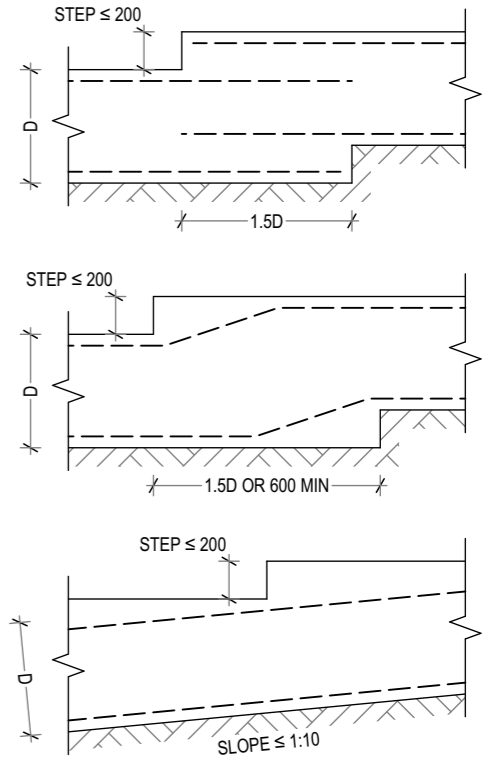
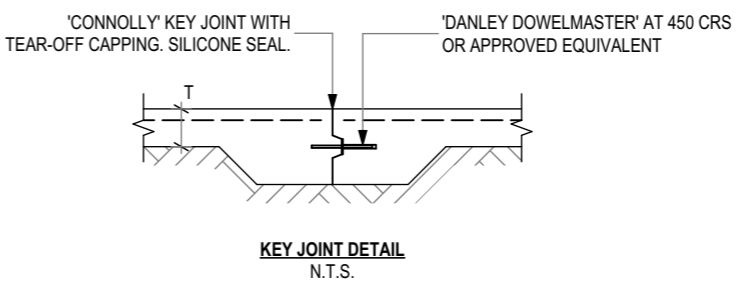
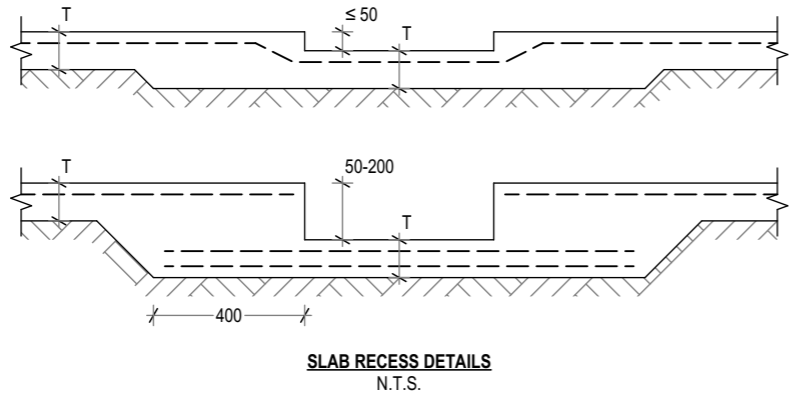
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**LDINGEMANSE**

**STANDARD STRUCTURAL DETAILS**

DWG: **S109**      REV: **01**

PROJECT: **EE1445**





**NOT FOR CONSTRUCTION**

**DEVELOPMENT APPROVAL**

**ENGINEERING FOR UNIT-1 & 2**  
 5 & 7 CASSIA DRIVE, ULVERSTONE, TAS 7315  
 NAK BUILDING GROUP

SCALE: **(A3)**

REV	AMENDMENT	DATE
01	CLIENT REVIEW	02-02-2026

ISSUED BY:  
**Bavitha B L**

DRAWN BY:  
**BBL**

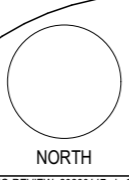
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**STANDARD STRUCTURAL DETAILS**


DWG: **S111**      REV: **01**

PROJECT: **EE1445**

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DRAWING TABLE		
SHEET	DESCRIPTION	REV
C100	COVER PAGE	02
C101	SITE STORMWATER PLAN	02
C102	UNDERGROUND DETENTION DETAIL	02
N1	CIVIL NOTES	02

 <b>CENTRAL COAST COUNCIL LAND USE PLANNING</b>	
Received:	3/02/2026
Application No:	DA2025293
Doc ID:	544011

IMPORTANT  
WORKS ARE TO BE IN ACCORDANCE WITH THE  
APPLICABLE AUSTRALIAN STANDARDS,  
CONSTRUCTION CODES (NCC) & REQUIREMENTS  
OF ANY RELEVANT LOCAL AUTHORITIES

DRAWINGS TO BE READ IN CONJUNCTION WITH  
ANY WRITTEN SPECIFICATIONS AND ASSOCIATED  
DOCUMENTATION PREPARED BY THE ARCHITECT  
OR BUILDING DESIGNER AND THE RELEVANT  
SUB-CONSULTANTS

BASE DRAWING(S) PREPARED AND PROVIDED BY:

- LACHLAN WALSH DESIGN NK-24

THE FOLLOWING ARE SURVEY DETAILS USED AS  
BASIS FOR DESIGN:

SURVEYOR: NA  
SURVEY REF: NA  
SURVEY DATE: NA  
COORDINATE SYSTEM:  
VERTICAL DATUM:

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER  
SCALED DIMENSIONS  
DIMENSIONS IN MILLIMETRES UNLESS NOTED  
OTHERWISE

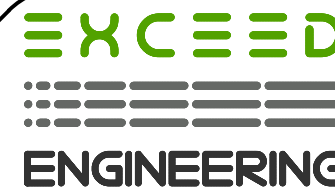
DOCUMENTATION IS SUBJECT TO STATUTORY  
APPROVALS

THIS DESIGN IS INTENDED TO BE BUILT ONLY ONCE  
AND ONLY ON THE SITE THAT THE DESIGN WAS  
PREPARED FOR

02	FOR APPROVAL	HR	HR	SD	SD	29/01/2026
01	FOR CLIENT REVIEW	HR	HR	SD	SD	19/12/2025
REV	DESCRIPTION	DRAFT	DES	CHKD	APP	DATE

PLOTTED: Jan 29, 2026 - 10:00am FILE: G:\Projects\EXCEED\1445 NAK - Cassia Dr Ulverstone\WORKING FILES\Civil\3D\IEE1445\_1.dwg

SHEET: A3



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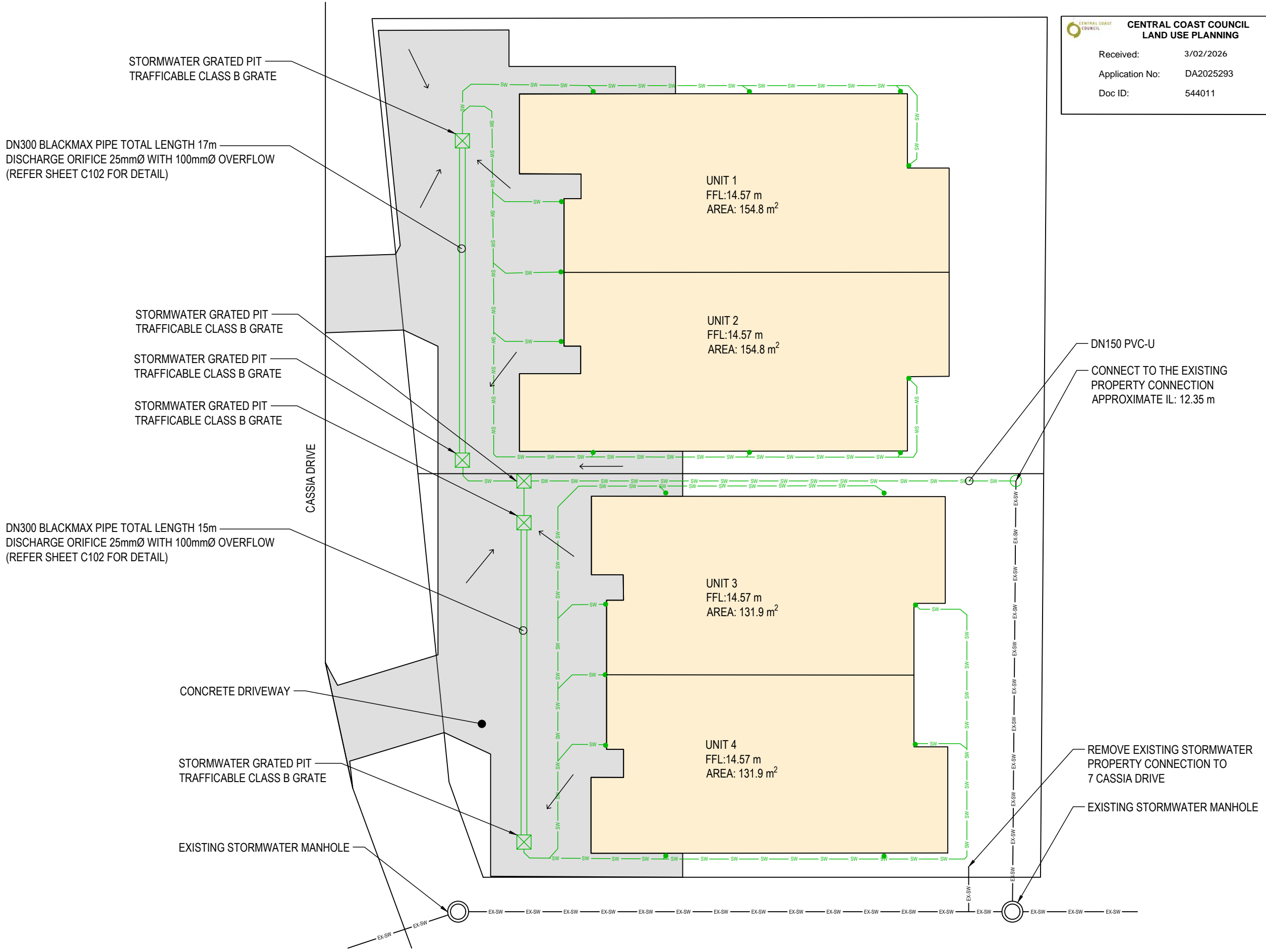
SITE STORMWATER DESIGN  
5 AND 7 CASSIA DRIVE, ULVERSTONE  
COVER PAGE

PROJECT #:	SHEET #:	REVISION #:
EE1445	C100	02

**CENTRAL COAST COUNCIL**  
**LAND USE PLANNING**

Received: 3/02/2026  
 Application No: DA2025293  
 Doc ID: 544011

- SOME ITEMS LISTED BELOW MAY NOT BE APPLICABLE
- PROPRIETARY CONCRETE STORMWATER PIT (TRAFFICABLE WHERE APPLICABLE) SIZED AS PER TABLE 7.5.2.1 OF AS3500.3
  - INSPECTION OPENING (IO)
  - MANHOLE
  - RAIN HEAD (REFER SPECIFICATION)
  - SURFACE FALL (MIN 1:100 UNLESS OTHERWISE SPECIFIED).
  - RL (TO VERTICAL DATUM)
  - NEW STORMWATER LINE DN100 @ 1:100 UNLESS OTHERWISE SPECIFIED
  - NEW AG DRAIN
  - NEW SWALE
  - NEW CHARGED STORMWATER LINE
  - EXISTING STORMWATER LINE
  - EXISTING SWALE
  - GRATED DRAIN
  - EVE/BOX GUTTER
- ADJACENT SURFACES TO BE FALLING AWAY FROM BUILDING
- IO TO BE INSTALLED AT MAJOR BENDS IN STORMWATER AND SEWER LINES AND ALL LOW POINTS IN DOWNPIPES
- ALL WORKS TO BE CARRIED OUT BY A LICENSED PLUMBER, PLUMBER / BUILDER TO TAKE LEVELS PRIOR TO CONSTRUCTION TO ENSURE DRAINAGE LINES CAN BE CONNECTED TO LEGAL POINTS OF DISCHARGE (CONNECTION POINTS)
- ALL DRAINAGE AND OVERFLOWS TO COMPLY WITH AS/NZ3500.
- PRODUCTS AND SYSTEMS TO INSTALLED AND/OR USED AS PER MANUFACTURERS INSTRUCTIONS
- IMPORTANT**  
 WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) AND REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES

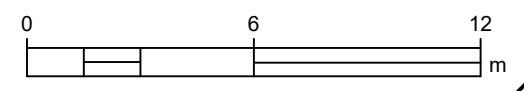


**THIS DRAWING MUST BE DISTRIBUTED IN FULL COLOUR**



BEWARE OF ALL UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THE DRAWING ARE APPROXIMATE ONLY AND NOT ALL MAY BE SHOWN. EXACT POSITIONS OF ALL UNDERGROUND SERVICES SHOULD BE LOCATED ONSITE AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

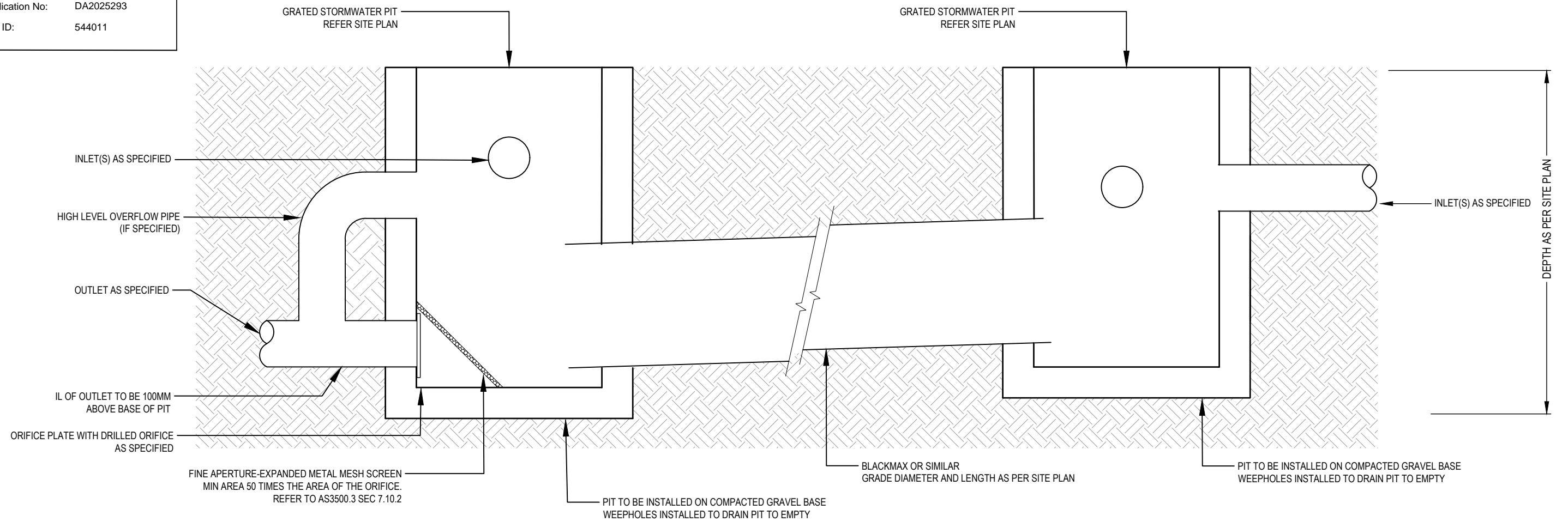
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REV	DESCRIPTION	DRAFT	DES	CHKD	APP	DATE



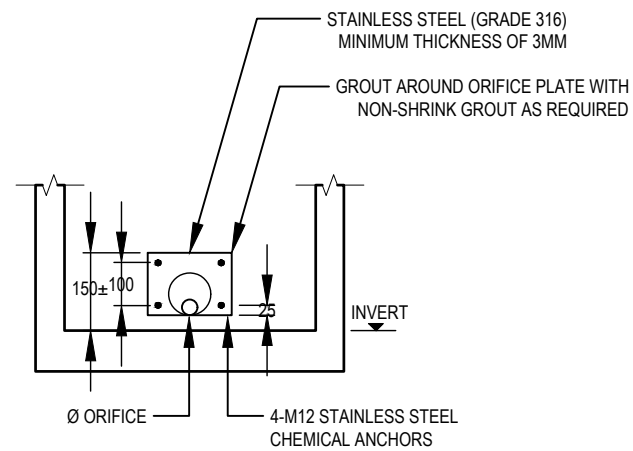
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SITE STORMWATER DESIGN  
 5 AND 7 CASSIA DRIVE, ULVERSTONE  
 SITE STORMWATER PLAN

PROJECT #: EE1445  
 SHEET #: C101  
 REVISION #: 02



**UNDERGROUND DETENTION DETAIL**  
N.T.S.



**TYPICAL ORIFICE PLATE DETAIL**  
N.T.S.

**MINIMUM PIPE COVER - FINISHED SURFACE TO TOP OF PIPE**  
AS/NZS 3500.3:2021 (TABLE 6.2.5)

LOCATION	MINIMUM COVER (mm)	
	DUCTILE IRON, GALVANIZED STEEL	PLASTICS
1 NOT SUBJECT TO VEHICULAR LOADING:		
(a) WITHOUT PAVEMENT IN AUSTRALIA -		
(i) FOR SINGLE DWELLINGS; OR	100	100
(ii) FOR OTHER THAN SINGLE DWELLINGS.	100	300
(b) WITH PAVEMENT OF BRICK OR UNREINFORCED CONCRETE.	100	300
2 SUBJECT TO VEHICULAR LOADING:	100 <sup>a</sup>	100
(a) OTHER THAN ROADS:		
(i) WITHOUT PAVEMENT.	300	450
(ii) WITH PAVEMENT OF -		
(A) REINFORCED CONCRETE FOR HEAVY VEHICULAR LOADING; OR	NIL <sup>a</sup>	100 <sup>a</sup>
(B) BRICK OR UNREINFORCED CONCRETE FOR LIGHT VEHICULAR LOADING.	NIL <sup>a</sup>	75 <sup>a</sup>
(b) ROADS -		
(i) SEALED; OR	600	600
(ii) UNSEALED.	600	750
3 SUBJECT TO CONSTRUCTION EQUIPMENT LOADING OR IN EMBANKMENT CONDITIONS.	600	750
4 LAND ZONE FOR AGRICULTURE USE.	600	600

**MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS**  
AS/NZS 3500.3:2021 (TABLE 7.5.2.1)

DEPTH TO INVERT OF OUTLET	RECTANGULAR		CIRCULAR
	WIDTH	LENGTH	DIAMETER
≤ 450	350	350	-
≤ 600	450	450	600
> 600 ≤ 900	600	600	900
> 900 ≤ 1200	600	900	1000

**GENERAL**

- G1 NO ATTEMPT HAS BEEN MADE TO LOCATE ALL SERVICES. ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS ARE SHOWN. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY(S) SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICE AND DETAILED LOCATIONS OF ALL SERVICES. ALL EXISTING SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES IS TO BE MADE GOOD AT THE CONTRACTOR'S EXPENSE.
- G2 NOMINATION OF PROPRIETARY ITEMS DOES NOT INDICATE EXCLUSIVE PREFERENCE BUT INDICATES THE REQUIRED PROPERTIES OF THE ITEM. SIMILAR ALTERNATIVES HAVING THE REQUIRED PROPERTIES MAY BE OFFERED FOR APPROVAL. INSTALL PROPRIETARY ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- G3 REFER ANY DISCREPANCY TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK.
- G4 DO NOT OBTAIN DIMENSIONS BY SCALING FROM THE DRAWINGS. DIMENSIONS ARE IN MILLIMETRES AND LEVELS ARE IN METRES U.N.O.
- G5 THE DATUM FOR ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G6 ALL CODES REFERENCED IN THESE DOCUMENTS WILL BE THE LATEST EDITION AVAILABLE UNLESS NOTED OTHERWISE.
- G7 WHERE ANY COMMON TRENCHING IS REQUIRED, THE FOLLOWING CLEARANCE DISTANCES (BARREL TO BARREL) MUST BE MAINTAINED FROM EXISTING OR PROPOSED SERVICES:  
HORIZONTALLY:  
300mm ALONG A LENGTH GREATER THAN 2 METRES.  
500mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.  
150mm MINIMUM ALONG A LENGTH LESS THAN 2 METRES.  
VERTICALLY:  
150mm MINIMUM  
300mm MINIMUM FROM ANY MAIN GREATER THAN 200mm DIA.  
ELECTRICAL CABLES SHOULD BE LOCATED ON THE OPPOSITE SIDE OF THE STREET. WHERE THIS IS NOT POSSIBLE A 400mm MINIMUM DISTANCE MUST BE OBSERVED OF WHICH 300mm SHOULD BE IN NATURAL AND UNDISTURBED MATERIAL.
- G8 THE SCOPE OF WORKS ARE SHOWN IN THESE DOCUMENTS AND THE SPECIFICATION. IT IS EXPECTED THE CONTRACTOR WILL RESOLVE ALL ISSUES UNCOVERED ON SITE THAT ARE NOT DETAILED IN CONJUNCTION WITH THE SUPERINTENDENT.
- G9 CLEARANCE REQUIREMENTS AS FOLLOWS UNLESS NOTED OTHERWISE: - -  
GAS MAIN - 500mm HORIZONTAL; 300mm VERTICAL  
GAS HOUSE CONNECTIONS - 300mm HORIZONTAL; 150mm VERTICAL  
TELSTRA / NBN - 600mm HORIZONTAL; 150mm VERTICAL  
TASNETWORKS HV / LV CABLES - 450mm  
STORMWATER - 600mm HORIZONTAL; 150mm VERTICAL  
TASWATER SEWER MAIN - 600mm HORIZONTAL; 500mm VERTICAL

**WATER SENSITIVE URBAN DESIGN / ENVIRONMENTAL**

- E1 CONSTRUCTION SHALL COMPLY WITH ALL ENVIRONMENTAL AND LEGISLATIVE REQUIREMENTS.
- E2 ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH 'SOIL & WATER MANAGEMENT ON BUILDING & CONSTRUCTION SITES' GUIDELINES AVAILABLE FROM EPA/NRM SOUTH, COMPRISING THE FOLLOWING:  
FACT SHEET 1: SOIL & WATER MANAGEMENT ON LARGE BUILDING & CONSTRUCTION SITES  
FACT SHEET 2: SOIL & WATER MANAGEMENT ON STANDARD BUILDING & CONSTRUCTION SITES  
FACT SHEET 3: SOIL & WATER MANAGEMENT PLANS  
FACT SHEET 4: DISPERSIVE SOILS - HIGH RISK OF TUNNEL EROSION  
FACT SHEET 5: MINIMISE SOIL DISTURBANCE  
FACT SHEET 6: PRESERVE VEGETATION  
FACT SHEET 7: DIVERT UP-SLOPE WATER  
FACT SHEET 8: EROSION CONTROL MATS & BLANKETS  
FACT SHEET 9: PROTECT SERVICE TRENCHES & STOCKPILES  
FACT SHEET 10: EARLY ROOF DRAINAGE CONNECTION  
FACT SHEET 11: SCOUR PROTECTION - STORM WATER PIPE OUTFALLS & CHECK DAMS  
FACT SHEET 12: STABILISED SITE ACCESS  
FACT SHEET 13: WHEEL WASH  
FACT SHEET 14: SEDIMENT FENCES & FIBRE ROLLS  
FACT SHEET 15: PROTECTION OF STORM WATER PITS  
FACT SHEET 16: MANAGE CONCRETE, BRICK & TILE CUTTING  
FACT SHEET 17: SEDIMENT BASINS  
FACT SHEET 18: DUST CONTROL  
FACT SHEET 19: SITE RE-VEGETATION
- E2 CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EACH SITE DISTURBANCE AND SITE DISTURBANCE SHALL BE STAGED WHERE POSSIBLE
- E4 WORK SHALL BE RESTRICTED TO THE WELL-DEFINED WORKS ZONES
- E5 A SOIL RETENTION SYSTEM (E.G., GRAVEL SHAKEDOWN ZONE) SHALL BE PROVIDED AT ALL SITE ACCESS
- E6 ANY SOIL MATERIAL TRACKED OFF-SITE ONTO ROADWAYS SHALL BE IMMEDIATELY REMOVED

- E7 ALL CHEMICAL STORAGE SHALL BE MANAGED (E.G., BUNDED) IN ACCORDANCE WITH WORKCOVER OR EPA GUIDELINES
- E8 THE EXTENT OF CUT AND FILLS SHALL BE MINIMISED. CUT AND FILL BATTER GRADES SHALL IDEALLY BE AT 1:3
- E9 DISTURBED SOIL AREAS SHALL BE EFFECTIVELY MANAGED BY STAGING, MINIMISING AREA EXPOSED AT ANY ONE TIME, AND MINIMISING THE EXPOSURE TIMEFRAME OF EACH
- E10 SEDIMENT FILTERS (E.G., SEDIMENT FENCE) SHALL BE USED TO FILTER ALL 'SHEET FLOW' RUNOFF FROM DISTURBED AREAS AND STOCKPILES TO PREVENT SEDIMENT FROM ENTERING STORMWATER SYSTEMS
- E11 TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE CATCHMENT THEY ARE SERVICING IS STABILISED (FOR GRASS THIS WILL MEAN 70% GROUND COVER).
- E12 ALL SOIL LOADED TRUCKS LEAVING OR ENTERING THE SITE SHALL BE TARPED
- E13 TOPSOIL SHALL BE RE-SPREAD OVER ALL EXPOSED SOIL SURFACES WHERE VEGETATION IS REQUIRED. A MAXIMUM DEPTH OF 50MM SHALL BE PLACED ON SLOPES STEEPER THAN 1:3 AND A MINIMUM DEPTH OF 100MM SHALL BE PLACED ON SLOPES LESS THAN 1:3
- E14 AN NPK 11-34-11 FERTILISER OR SIMILAR AS APPROPRIATE SHALL BE APPLIED AT A RATE OF 200-400KG/HA. CARE IS TO BE TAKEN TO AVOID ANY FERTILISER DIRECTLY ENTERING WATERCOURSES.
- E15 SCARIFYING OR DIRECT DRILLING SHOULD BE USED TO IMPROVE SEED STRIKE RATES
- E16 REVEGETATION WORKS SHALL BE MAINTAINED/ENHANCED (E.G., RESEEDING, FERTILISING, WATERING) UNTIL A MINIMUM OR 70% GROUND COVER IS ESTABLISHED
- E17 NO TREES TO BE REMOVED WITHOUT THE APPROVAL OF THE SUPERINTENDENT REPRESENTATIVE
- E18 MINIMISE AIR POLLUTION INCLUDING DUST AND NOISE THAT MIGHT INTERFERE WITH NEIGHBOURING PROPERTIES

**STORMWATER**

- SW1 ALL STORM WATER PLUMBING & DRAINAGE TO COMPLY WITH A.S 3500.3:2021 STORM WATER DRAINAGE.
- SW2 WHERE RELEVANT, REFER TO IPWEA/LGAT TASMANIAN STANDARD DRAWINGS ISSUED MAY 2020
- SW3 ALL DRAINAGE WORKS SHALL BE SUBJECT TO THE TESTS PRESCRIBED BY THE AUTHORITIES HAVING JURISDICTION OVER THE VARIOUS SERVICES. ANY SECTION FAILING SUCH TESTS SHALL BE REMOVED AND PROPERLY INSTALLED AT THE CONTRACTOR'S EXPENSE.

**WATER**

- W1 ALL WATER SUPPLY CONSTRUCTION TO:  
WATER SUPPLY CODE OF AUSTRALIA (WSA 03-2011-3.1 VERSION MRWA EDITION V2.0) - PART 2: CONSTRUCTION  
WATER SERVICES ASSOCIATION OF AUSTRALIA - TASWATER SUPPLEMENT  
TASWATER'S STANDARD DRAWINGS TWS-W-0002 SERIES  
WATER METERING POLICY/METERING GUIDELINES  
TASWATER'S STANDARD DRAWINGS TWS-W-0003 - FOR PROPERTY SERVICE CONNECTIONS - CAGE FOR WATER METER ASSEMBLY  
BOUNDARY BACKFLOW CONTAINMENT REQUIREMENTS AND AS3500.1:2021. ANY DEPARTURES FROM THESE STANDARDS REQUIRES THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE LOCAL WATER AUTHORITY WORKS SUPERVISOR.

**WORK HEALTH AND SAFETY**

- WHS1 ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH:  
RELEVANT WORK HEALTH AND SAFETY LEGISLATION  
RELEVANT SAFE WORK AUSTRALIA CODES OF PRACTICE  
SITE SPECIFIC SAFETY PLANS  
IF THE CONTRACTORS PROPOSES AN ALTERNATIVE DESIGN, A SAFETY RISK ASSESSMENT SHOULD BE UNDERTAKEN AND SUBMITTED TO THE SUPERINTENDENT FOR REVIEW

**EARTHWORKS**

- EW1 EARTHWORKS SHALL BE IN ACCORDANCE WITH THIS SPECIFICATION AND AS 3798.
- EW2 AREAS OF FILL  
REMOVE TOP SOIL AND ORGANIC MATERIAL  
PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:  
98% STANDARD DRY DENSITY UNDER BUILDING  
100% STANDARD DRY DENSITY UNDER ROADS AND CARPARKS  
REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE  
PLACE FILL AS SPECIFIED AND COMPACT WITHIN 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE
- EW3 AREAS OF CUT  
REMOVE TOP SOIL AND ORGANIC MATERIAL B. PROOF ROLL SUBGRADE IN ACCORDANCE WITH AS1289 TO:  
98% STANDARD DRY DENSITY UNDER BUILDINGS  
100% STANDARD DRY DENSITY UNDER ROADS AND CAR PARKS  
REMOVE ANY SOFT SPOTS AND COMPACT WITH 2% OF OPTIMUM MOISTURE CONTENT TO STANDARD DRY DENSITY AS STATED ABOVE

**ROAD WORKS**


- WERE RELEVANT, REFER TO IPWEA/ LGATS TASMANIAN SUBDIVISION STANDARD DRAWINGS ISSUED - MAY 2020.

**SURVEY**

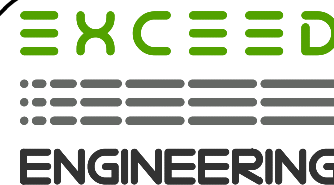
- SU1 SURVEY DETAILS ON COVER PAGE
- SU2 PROPERTY BOUNDARY OVERLAYS, WHERE SUPPLIED, VARY IN ACCURACY BUT ARE GENERALLY TO 0.5m. THEREFORE A LAND SURVEY, AS DEFINED UNDER THE SURVEYING ACT 2002, SHOULD BE UNDERTAKEN BEFORE ANY CONSTRUCTION ACTIVITY IS CARRIED OUT ON OR NEAR THE LAND BOUNDARIES DEPICTED BY THIS MODEL.
- SU3 SURVEY CONTROL INFORMATION IS REGARDED AS SUITABLE FOR THE SURVEY AND CORRECT AT THE TIME OF SURVEY. BUT SHOULD BE VERIFIED BEFORE BEING USED FOR ANY PURPOSE.
- SU4 NO DESIGN SHOULD BE UNDERTAKEN OUTSIDE OF SURVEY EXTENTS. IF DESIGN EXCEEDS SURVEY EXTENTS, ADDITIONAL SURVEY DATA SHOULD BE ACQUIRED.
- SU5 UNDERGROUND SERVICES: THE LOCATION OF ALL EXISTING UNDERGROUND SERVICES SHOWN ARE APPROXIMATE ONLY. EXCEED TAKES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE LOCATION & DEPTH/ INVERT LEVEL OF ALL EXISTING UNDERGROUND SERVICES. IN CONJUNCTION WITH THE RELEVANT SERVICE AUTHORITY & ANY CONFLICTS WITH THE PROPOSED DESIGN/ PIPE ALIGNMENT ARE TO BE RESOLVED PRIOR TO CONSTRUCTION

**SEWERAGE**

- S1 ALL SEWER WORKS TO BE IN ACCORDANCE WITH WSA SEWER CODE AND TAS WATER STANDARDS AND SUPPLEMENTS. ANY MODIFICATIONS TO THESE STANDARDS REQUIRES APPROVAL FROM SUPERINTENDENT AND TAS WATER.
- S2 ALL NEW LIVE SEWER CONNECTIONS TO EXISTING TAS WATER SEWERAGE INFRASTRUCTURE TO BE COMPLETED BY TAS WATER UNLESS OTHERWISE AGREED AND APPROVED AT OWNERS EXPENSE.
- S3 ALL DRAINAGE WORKS TO BE INSPECTED AND TESTED IF REQUIRED. CONTRACTOR IS RESPONSIBLE FOR ORGANISING INSPECTIONS AT BUT NOT LIMITED TO THE FOLLOWING STAGES;  
TRENCHING AND PIPEWORK BEDDING  
PIPE INSTALLED AND PRIOR TO BACKFILLING  
AFTER BACKFILLING  
SHOULD ANY INSPECTIONS OR TESTING FAIL TO MEET THE REQUIREMENTS PRESCRIBED BY THE STATUTORY AUTHORITY THE SECTION FAILING THE TESTING/INSPECTION SHOULD BE REMOVED AND REINSTALLED TO MEET THE STATUTORY REQUIREMENTS AND DIRECTIONS PROVIDED. COST OF REINSTALLATION IS AT CONTRACTORS EXPENSE.
- S4 TRENCHES ARE TO BE EXCAVATED AND BACKFILLED IN ACCORDANCE WITH THE DESIGN DRAWINGS AND TAS WATER STANDARDS. ELECTROMAGNETIC METAL IMPREGNATED TAPE SHOULD BE INSTALLED IN ALL NON METALLIC PIPE TRENCHES
- S5 ALL MANHOLES ARE TO BE PRECAST CONCRETE MINIMUM 1050ID AND INSTALLED IN ACCORDANCE WITH WSA AND TAS WATER STANDARDS. MANHOLE COVERS TO BE HEAVY DUTY CLASS D GATIC COVERS AND SURROUNDS IN TRAFFICABLE AREAS AND MEDIUM DUTY CLASS B GATIC COVERS AND SURROUNDS IN NON TRAFFICABLE AREA.
- S6 THE CONTRACTOR IS RESPONSIBLE FOR THE PRODUCTION OF ALL AS CONSTRUCTED DRAWINGS AND DOCUMENTATION. AS CONSTRUCTION DOCUMENTATION SHOULD BE IN ACCORDANCE WITH TAS WATER REQUIREMENTS AND STANDARDS AND BE CERTIFIED BY CHARTERED OR REGISTERED ENGINEER.
- S7 ALL REDUNDANT SECTIONS OF PIPE TO BE FILLED WITH "LIQUIFILL" GRADE PC.1 0.5-2.0MPa OR APPROVED EQUIVALENT

 <b>CENTRAL COAST COUNCIL</b> <b>LAND USE PLANNING</b>	
Received:	3/02/2026
Application No:	DA2025293
Doc ID:	544011

02	FOR APPROVAL	HR	HR	SD	SD	29/01/2026
01	FOR CLIENT REVIEW	HR	HR	SD	SD	19/12/2025
REV	DESCRIPTION	DRAFT	DES	CHKD	APP	DATE



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SITE STORMWATER DESIGN  
5 AND 7 CASSIA DRIVE, ULVERSTONE  
CIVIL NOTES

PROJECT #: EE1445 SHEET #: N1 REVISION #: 02

# ENGINEERING STATEMENT

10 February 2026

<b>To</b>	Lachlan Walsh Design
<b>From</b>	Exceed Engineering
<b>Project Number/Title</b>	EE1445 / Cassia Drive
<b>Re</b>	Retaining Walls

In response to queries regarding compliance with Clause 7.10 of the Planning Scheme, the following is provided:

The proposed retaining walls for unit development at 5 & 7 Cassia Drive, Ulverstone, are considered to comply with the intent of Clause 7.10 of the Planning Scheme.



The retaining walls are structurally independent and have been designed such that they do not impose loads onto, or rely on support from, adjoining properties. The design ensures that the zone of influence associated with the retaining walls remains wholly within the subject site and does not extend into adjoining land.

As a result, the works will not create any line of influence extending beyond the subject site, nor will they result in any unreasonable or detrimental impact on neighbouring properties.

The retaining wall construction and footing arrangement are detailed on Drawing S109.

**Engineering statement prepared by:**

Liam Dingemans BE(Civil) MIEAUST CPENG NER APEC Engineer IntPE(Aus) RPEQ GAICD

	 <b>Liam Dingemans</b>
	MIEAust, CPEng, NER, APEC, Engineer IntPE (AUS) Chartered Professional Engineer Membership No. 2862528  TAS: Accredited Certifier Engineer Civil/Structural CC5339H VIC: Registered Building Practitioner Civil/Structural PE0000074 NSW: Accredited Certifier Engineer Civil/Structural BDC1952 QLD: Registered Professional Engineer Civil/Structural RPEQ16265 WA: Registered Building Engineering Practitioner (Individual) Civil/Structural BEP125



# TECHNICAL MEMORANDUM

<b>Date</b>	19/11/2025
<b>Project Number/Title</b>	EE1445 – 5 and 7 Cassia Drive, Ulverstone
<b>Re</b>	Site stormwater management

## Background

This memorandum has been prepared to document and explain the stormwater management strategy for the proposed residential development at 5 and 7 Cassia Drive, Ulverstone, within the Central Coast Council local government area.

The purpose of this memo is to demonstrate that the proposed on-site stormwater detention (OSD) system has been designed in accordance with Central Coast Council Stormwater Requirements – Section 5.3 Design Objectives, and that post-development stormwater discharges will not adversely impact the downstream drainage system.

## Site Description and Proposed Development

The subject site currently comprises two existing allotments, which are proposed to be redeveloped to accommodate four residential units with associated concrete driveway access. The developed impervious area will be 79.1% of total site area. The existing average site slope approximately 1:30.

The site currently drains to an existing stormwater connection, which is retained as the legal point of discharge for the proposed development.

## Applicable Stormwater Design Requirements

Stormwater management for the development has been designed to comply with Central Coast Council – Section 5.3 Design Objectives, which require that the on-site detention system:

- Limits peak discharge to that generated by a 40% impervious site for a 5% AEP event
- Accommodates the maximum runoff volume generated by the actual developed imperviousness for a 5% AEP event
- Accommodates runoff volumes up to the 1% AEP event, unless suitable overland flow paths are provided
- Ensures no increase in downstream peak flows up to and including the 1% AEP event



- Drains down within 72 hours

## Hydrological Modelling Approach

Hydrological modelling and detention analysis were undertaken using InfoDrainage, adopting the Laurenson runoff calculation method.

The following parameters were adopted for the site with reference to ARR Data Hub:

- Initial Loss (IL): 9 mm
- Continuing Loss (CL): 3.6 mm/hr

It is noted that these relatively low loss values result in comparatively higher runoff volumes, even under existing conditions, which is also exacerbated by the relatively high site slope.

## Storm Events Analysed

The following storm events and durations were assessed as part of the design:

- 5% AEP – compliance with Council PSD requirements
- 1% AEP – verification of system capacity and overflow behaviour

Storm durations ranging from 5 minutes to 120 minutes were analysed using multiple temporal patterns to identify the critical storm events.

## Permissible Site Discharge Assessment

The PSD is defined as the peak discharge generated by the site developed to 40% imperviousness during a 5% AEP storm event.

The analysis determined that the allowable PSD for the subject site is **24 L/s** for the 5% AEP event. This value was subsequently adopted as the controlling discharge limit for the post-development condition.

The existing site generates comparatively high runoff due to a combination of low loss values, an urbanised catchment context, and a relatively steep average site slope of approximately 1:30. These characteristics contribute to short runoff concentration times and elevated peak flows during short-duration storm events.

## Developed Site Runoff Conditions

Under post-development conditions, the site will comprise four residential units and associated concrete driveway areas, resulting in a developed impervious area of approximately 79.1%. Although the development substantially increases the impervious fraction of the site, the finished surface grading reduces the effective site slope to approximately 1:100 across most areas.



Hydrological modelling of the developed site without detention indicates a peak discharge of **28.5 L/s** for the 5% AEP event, which exceeds the allowable PSD of 24 L/s. Accordingly, on-site stormwater detention is required to ensure compliance with Council requirements and to prevent adverse impacts on the downstream drainage system.

### **Proposed On-Site Detention System**

To manage post-development stormwater runoff and comply with Central Coast Council requirements, an underground on-site detention system is proposed at the front of the site. The system comprises two DN300 Blackmax pipe detention elements, each fitted with a 25 mm diameter orifice and overflow.

Units 1 and 2 and the associated driveway area discharge to a 17 m long DN300 pipe, while Units 3 and 4 and their associated driveway area discharge to a separate 15 m long DN300 pipe. Outflows from both systems combine at a downstream pit and are conveyed to the existing stormwater connection servicing the site.

### **Detention System Performance**

With the proposed detention system in place, the peak discharge is reduced to **14.5 L/s** for the critical 10-minute **5% AEP storm** (Temporal Pattern 8), satisfying the PSD requirement. For the **1% AEP event**, the critical 10-minute storm (Temporal Pattern 5) results in a total peak outflow of **22.3 L/s**, with the runoff managed by the detention system.

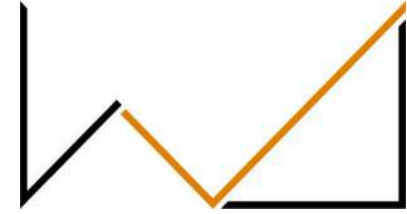
### **Conclusion**

Based on the stormwater modelling undertaken, the proposed on-site detention system limits post-development peak discharges to within the permissible site discharge for the 5% AEP event and accommodates flows up to the 1% AEP event. Accordingly, the proposed stormwater management design satisfies the stormwater requirements of Central Coast Council.





Received: 02/12/2025  
Application No: DA2025293  
Doc ID: 539350



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24/11/2025

Central Coast Council

## Application for Proposed Works - Multiple Dwelling Development – 5,7 Cassia Drive, Ulverstone

Dear Permit Authority,

We wish to apply for a planning permit for a proposed Multiple Dwelling Development at the address of 5 & 7 Cassia Drive, Ulverstone.

Please see on the following page, our response to the Tasmanian Planning Scheme requirements relevant to this application.

If you have any other questions regarding this application, please don't hesitate to contact our office.

Kind Regards,

Kirsten Walsh

**Administration – Lachlan Walsh Design**

# Response to Tasmanian Planning Scheme Requirements – Multiple Dwelling Development – 5,7 Cassia Drive, Ulverstone

## 8.0 General Residential Zone

### 8.4 Development Standards for Dwellings

#### 8.4.1 Residential density for multiple dwellings

**Objective:**

That the density of multiple dwellings:

- a) Makes efficient use of land for housing; and
- b) Optimises the use of infrastructure and community services

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1 Multiple dwellings must have a site area per dwelling of not less than 325m<sup>2</sup>.</p>	<p>P1 Multiple dwellings must only have a site area per dwelling that is less than 325m<sup>2</sup>, if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> <li>a) is compatible with the density of existing development on established properties in the area; or</li> <li>b) provides for a significant social or community benefit and is:               <ul style="list-style-type: none"> <li>(i) wholly or partly within 400m walking distance of a public transport stop; or</li> </ul> </li> </ul>	<p><b>Refer to P1:</b> The proposed development is not predicted to exceed the capacity of the existing infrastructure services, and will provide social &amp; community benefit, by the addition of housing in the community.</p> <p>The proposed development is within 400m walking distance of a Commercial Zone.</p>

	(ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone	
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### 8.4.2 Setbacks and building envelope for all dwellings

**Objective:**

The siting and scale of dwellings:

- c) provides reasonably consistent separation between dwellings and their frontage within a street;
- d) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- e) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- f) provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> <li>a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the</li> </ul>	<p>P1</p> <p>A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</p>	<p><b>Complies with A1</b></p>

<p>site;</p> <p>b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;</p> <p>c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.</p>		
<p>A2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <p>a) 5.5m, or alternatively 1m behind the building line;</p> <p>b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</p>	<p>P2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</p>	<p>LWD Response</p> <p><b>Complies with A2</b></p>

<p>A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <ul style="list-style-type: none"> <li>a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by: <ul style="list-style-type: none"> <li>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and</li> <li>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and</li> </ul> </li> <li>b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling: <ul style="list-style-type: none"> <li>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or</li> <li>(ii) does not exceed a total length of 9m or one third the length of the</li> </ul> </li> </ul>	<p>P3 The siting and scale of a dwelling must:</p> <ul style="list-style-type: none"> <li>a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: <ul style="list-style-type: none"> <li>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</li> <li>(ii) overshadowing the private open space of a dwelling on an adjoining property;</li> <li>(iii) overshadowing of an adjoining vacant property; and</li> <li>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;</li> </ul> </li> <li>b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</li> <li>c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</li> </ul>	<p>LWD Response <b>Complies with A3</b></p>
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side boundary (whichever is the lesser).	(i) an adjoining property; or  (ii) another dwelling on the same site.	
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### 8.4.3 Site coverage and private open space for all dwellings

#### Objective:

That dwellings are compatible with the amenity and character of the area and provide:

- a) for outdoor recreation and the operational needs of the residents;
- b) opportunities for the planting of gardens and landscaping; and
- c) private open space that is conveniently located and has access to sunlight.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>Dwellings must have:</p> <ul style="list-style-type: none"> <li>a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and</li> <li>b) for multiple dwellings, a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</li> </ul>	<p>P1</p> <p>Dwellings must have:</p> <ul style="list-style-type: none"> <li>a) site coverage consistent with that existing on established properties in the area;</li> <li>b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate: <ul style="list-style-type: none"> <li>(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and</li> </ul> </li> </ul>	<p><b>Complies with A1</b></p>

	<ul style="list-style-type: none"><li>(ii) operational needs, such as clothes drying and storage; and</li><li>c) reasonable space for the planting of gardens and landscaping.</li></ul>	
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<p>A2</p> <p>A dwelling must have private open space that:</p> <ul style="list-style-type: none"> <li>a) is in one location and is not less than: <ul style="list-style-type: none"> <li>(i) 24m<sup>2</sup>; or</li> <li>(ii) 12m<sup>2</sup>, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</li> </ul> </li> <li>b) has a minimum horizontal dimension of not less than: <ul style="list-style-type: none"> <li>(i) 4m; or</li> <li>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</li> </ul> </li> <li>c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</li> <li>d) has a gradient not steeper than 1 in 10.</li> </ul>	<p>P3</p> <p>A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and is:</p> <ul style="list-style-type: none"> <li>a) conveniently located in relation to a living area of the dwelling; and orientated to take advantage of sunlight.</li> </ul>	<p>LWD Response</p> <p><b>Complies with A2</b></p>
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### 8.4.4 Sunlight to private open space of multiple dwellings

**Objective:**

That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):</p> <ul style="list-style-type: none"> <li>a) The multiple dwelling is contained within a line projecting (see Figure 8.4) <ul style="list-style-type: none"> <li>(i) at a distance of 3m from the northern edge of the private open space; and</li> <li>(ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal;</li> </ul> </li> <li>b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and</li> <li>c) this Acceptable Solution excludes that part of a multiple dwelling consisting of: <ul style="list-style-type: none"> <li>(i) an outbuilding with a building height not more than 2.4m; or</li> </ul> </li> </ul>	<p>P1</p> <p>A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 or P2 of clause 8.4.3 of this planning scheme.</p>	<p><b>Complies with A1</b></p>

(ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.		
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#### 8.4.5 Width of openings for garages and carports for all dwellings

##### Objective:

To reduce the potential for garage or carport openings to dominate the primary frontage.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p>	<p>P1</p> <p>A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.</p>	<p><b>Complies with A1</b></p>

#### 8.4.6 Privacy for all dwellings

##### Objective:

To provide a reasonable opportunity for privacy for dwellings.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p>	<p>P1</p> <p>A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:</p>	<p><b>Not Applicable</b></p>

<ul style="list-style-type: none"> <li>a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</li> <li>b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</li> <li>c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m: <ul style="list-style-type: none"> <li>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</li> <li>(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>a) a dwelling on an adjoining property or its private open space; or</li> <li>b) another dwelling on the same site or its private open space.</li> </ul>	
<p><b>A2</b></p> <p>A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <ul style="list-style-type: none"> <li>a) the window or glazed door: <ul style="list-style-type: none"> <li>(i) is to have a setback of not less than 3m from a side boundary;</li> <li>(ii) is to have a setback of not less than 4m from a rear boundary;</li> </ul> </li> </ul>	<p><b>P2</b></p> <p>A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <ul style="list-style-type: none"> <li>a) a window or glazed door, to a habitable room of another dwelling; and</li> <li>b) the private open space of another dwelling.</li> </ul>	<p>LWD Response</p> <hr/> <p><b>Not Applicable</b></p>

<p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p> <p>b) the window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform</p>		
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<p>transparency of not more than 25%.</p>		
<p>A3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <ul style="list-style-type: none"> <li>a) 2.5m; or</li> <li>b) 1m if: <ul style="list-style-type: none"> <li>(i) it is separated by a screen of not less than 1.7m in height; or</li> <li>(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.</li> </ul> </li> </ul>	<p>P3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.</p>	<p>LWD Response</p> <p><b>Not Applicable</b></p>

### 8.4.7 Frontage fences for all dwellings

**Objective:**

The height and transparency of frontage fences:

- a) provides adequate privacy and security for residents;
- b) allows the potential for mutual passive surveillance between the road and the dwelling; and
- c) is reasonably consistent with that on adjoining properties.

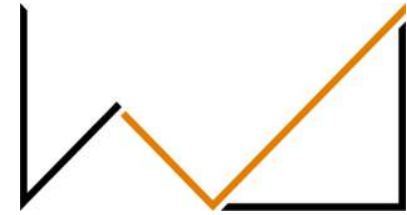
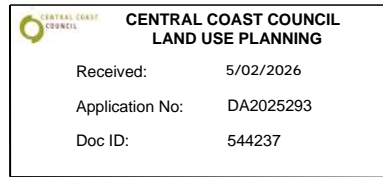
Acceptable Solutions	Performance Criteria	LWD Response
<p>A1 No Acceptable Solution. <sup>1</sup></p>	<p>P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:</p> <ul style="list-style-type: none"> <li>a) provide for security and privacy while allowing for passive surveillance of the road; and</li> <li>b) be compatible with the height and transparency of fences in the street, having regard to:               <ul style="list-style-type: none"> <li>(i) the topography of the site; and</li> <li>(ii) traffic volumes on the adjoining road.</li> </ul> </li> </ul>	<p><b>Not Applicable</b></p>

### 8.4.8 Waste storage for multiple dwellings

**Objective:**

To provide for the storage of waste and recycling bins for multiple dwellings.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m<sup>2</sup> per dwelling and is within one of the following locations:</p> <ul style="list-style-type: none"> <li>a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or</li> <li>b) a common storage area with an impervious surface that:               <ul style="list-style-type: none"> <li>(i) has a setback of not less than 4.5m from a frontage;</li> <li>(ii) is not less than 5.5m from any dwelling; and</li> <li>(iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.</li> </ul> </li> </ul>	<p>P1</p> <p>A multiple dwelling must have storage for waste and recycling bins that is:</p> <ul style="list-style-type: none"> <li>a) capable of storing the number of bins required for the site;</li> <li>b) screened from the frontage and any dwellings; and:</li> <li>c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise.</li> </ul>	<p><b>Complies with A1</b></p>



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04/02/2025

Central Coast Council

## Response to Request for Further Information DA2025293 - Boundary Adjustment, Residential - multiple dwellings x 4 - 5-7 Cassia Drive, ULVERSTONE

Dear Permit Authority,

Please see below, our response to the Request for Further Information received 4/12/2025 regarding the application DA2025239.

*1. - It is unclear in the application as to what the boundary adjustment entails, can you please provide a site plan with existing and with the proposed boundary adjustment as this will determine how the application is assessed. If you have any questions, please don't hesitate to contact our office.*

**Response** – Please see the updated application form submitted

*2 - It is noted that Visitor parking is not denoted within the property boundaries as required by C2.0 Parking and Sustainable Transport Code, justification needs to be provided.*

**Response** – Please see our written response below

**3** - Please provide a calculation for site coverage this needs to include driveways and non-permeable surfaced areas.

**Response** – Please see the updated Development Application design plans provided

**4** - Please provide a calculation that reflects the site area per dwelling.

**Response** - Please see the updated Development Application design plans provided

**5** - The Eastern elevation of Unit 4 Shows windows to a habitable room with a floor height of greater than 1m above existing ground with a boundary setback of less than 3m from the side boundary. This will require justification against the performance criteria P2.

**Response** - Please see our written response below

**6** - The proposed plans show the retaining walls are within 1.5m of the boundary and will require assessment against 7.10 of the planning scheme.

*The site plan depicts retaining walls on the North and East of the Site. Due to the setback to boundary, the retaining wall will be reliant on Section 7.0 General Provisions, 7.10 'Development Not Required to be Categorised into a Use Class of the planning scheme. Plans and documentation demonstrating that there would be no unreasonable detrimental impact on adjoining uses or amenity of the surrounding area is required.*

*Under General Provision 7.10 to demonstrate no 'unreasonable detrimental impact on adjoining uses or amenity of the surrounding area' – we will need to see plans and documentation showing the level of impact on any adjoining properties, particularly the lot to the East demonstrating any impact to the existing or future use of that site and adjoining uses near that boundary. This can be provided via a statement by an engineer addressing 7.10*

**Response** – Please see the engineering documentation provided

**Infrastructure Services –**

**Point 7 - Crossover requirements-** *If the applicant intends to combine the lots into one and proceed with the submitted plan, they will need to remove one of the proposed crossovers. Council only permits either:*

*a. two crossovers at 3.6 m each, or*

*b. one crossover at 6 m.*

*The proposed plan currently shows two 6 m wide crossovers, which is not acceptable*

**Response -** Please see the updated Development Application design plans provided which show 2 x 3.6m crossovers and updated parking manoeuvres suitable for the crossovers

**Point 8 - Stormwater Connection**

*If the development is proposed on two separate lots, they must use separate stormwater connections for each lot. The submitted plan only shows one stormwater connection, which is not compliant.*

**Response –** As the property is to be conjoined, there will only be a requirement for one property connection

**Point 9 – Increased Impervious Area**

*The proposal increases the impervious area of the site. The applicant should be advised that the development must comply with Council's Stormwater Management Policy.*

**Response -** Please see the engineering documentation provided

Response to Request for Further Information DA2025293 - Boundary Adjustment, Residential - multiple dwellings x 4 - 5-7 Cassia Drive, ULVERSTONE

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

Objective:

That an appropriate level of car parking spaces are provided to meet the needs of the use.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>The number of on-site car parking spaces must be no less than the number specified in Table 2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:</p> <ul style="list-style-type: none"> <li>a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</li> <li>b) the site is contained within a parking precinct plan and subject to clause C2.7;</li> <li>c) The site is subject to Clause C2.5.5; or</li> <li>d) It relates to an intensification of an existing use or development or a change of use where:</li> </ul>	<p>P1</p> <p>The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:</p> <ul style="list-style-type: none"> <li>a) The availability of off-street public car parking spaces within reasonable walking distance of the site;</li> <li>b) The ability of multiple users to share spaces because of: <ul style="list-style-type: none"> <li>i. Variations in car parking demand over time; or</li> <li>ii. Efficiencies gained by consolidation of car parking spaces;</li> </ul> </li> <li>c) the availability and frequency of public transport within reasonable walking distance of the <u>site</u>;</li> </ul>	<p><b>Refer to P1.1:</b></p> <p>The proposal does not include a dedicated visitor car parking space on the site. Instead, visitor parking demand is intended to be met through on-street parking directly adjoining the frontage. The development satisfies the Performance Criteria of P1.1 for the following reasons:</p> <ul style="list-style-type: none"> <li>a) <b>Availability of off-street public car parking within reasonable walking distance</b> The surrounding road network provides substantial capacity for on-street parking immediately adjacent to the site. This parking is within an easy and safe walking distance for visitors, and currently operates with low utilisation. There are no competing high-demand uses in the vicinity that would limit availability.</li> </ul>

<p>i. The number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or</p> <p>ii. The number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:  <math display="block">N = A + (C - B)</math> N = Number of on-site car parking spaces  A = Number of existing on site car parking spaces  B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1  C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1</p>	<p>d) the availability and frequency of other transport alternatives;  e) any <u>site</u> constraints such as existing buildings, slope, drainage, vegetation and landscaping;  f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;  g) the effect on <u>streetscape</u>; and  h) any assessment by a <u>suitably qualified person</u> of the actual car parking demand determined having regard to the scale and nature of the <u>use</u> and <u>development</u>.</p>	<p><b>b) Ability for multiple users to share parking spaces</b>  Visitor demand for the four dwellings is low and intermittent. Variations in visitor arrival times ensure that parking demand does not peak simultaneously, allowing the available on-street parking to comfortably absorb short-stay visitor needs without conflict.</p> <p><b>c) Availability and frequency of public transport</b>  Public transport services are available within reasonable walking distance of the site, providing an alternative means of access for residents and visitors and assisting in reducing reliance on on-site visitor car parking.</p> <p><b>d) Availability of other transport alternatives</b>  The area supports pedestrian and cycling access, offering practical transport alternatives for visitors. This further reduces pressure on on-site visitor parking provision.</p> <p><b>e) Site constraints</b>  The site is constrained by vehicle manoeuvrability requirements that prevent the safe and efficient inclusion of an additional on-site visitor parking space. Providing such a space would</p>
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		<p>compromise safe circulation and conflict with turning movements within the development.</p> <p><b>f) Availability, accessibility and safety of on-street parking</b>  The street frontage provides a long, unobstructed section of kerb that allows for safe, readily accessible on-street parking. The street is low-traffic, residential in nature, and has no road-safety or visibility impediments that would make on-street parking unsuitable for visitors.</p> <p><b>g) Effect on streetscape</b>  A visitor parking space on-site would require additional hardstand area, adversely impacting the residential character and landscaping opportunities of the development. Using on-street parking avoids unnecessary visual and environmental impacts while maintaining the intended streetscape quality.</p> <p><b>h) Assessment of actual parking demand</b>  The development comprises four dwellings, each having two dedicated on-site parking spaces. Based on the scale and residential nature of the proposal, visitor parking demand is expected to be low. The surrounding on-street parking capacity is more than sufficient to meet</p>
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	<p><b>P1.2</b> The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:</p> <ul style="list-style-type: none"> <li>a) The nature and intensity of the use and car parking required</li> <li>b) The size of the dwelling and the number of bedrooms; and</li> <li>c) The pattern of parking in the surrounding area</li> </ul>	<p>this occasional demand without creating parking pressure or amenity impacts.</p> <p><b>Conclusion – P1.1</b> The proposal meets the reasonable parking needs of the development, and the use of on-street parking for visitors satisfies the Performance Criteria of P1.1.</p> <p><b>Refer to P1.2</b> Each dwelling is provided with <b>two (2) private on-site parking spaces</b>, which meets and exceeds the reasonable needs of typical dwelling use and satisfies the Performance Criteria for the following reasons:</p> <p><b>a) Nature and intensity of the use</b> The dwellings are standard residential units, where the provision of two spaces per dwelling appropriately accommodates the expected number of vehicles per household. This level of provision is consistent with common residential demand patterns and avoids overspill onto the street.</p> <p><b>b) Size of the dwelling and number of bedrooms</b> The size and layout of each dwelling reasonably align with a two-car household, and the provision of two spaces ensures sufficient parking allocation relative to the number of bedrooms.</p>
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		<p><b>c) Pattern of parking in the surrounding area</b>  The surrounding residential area has a demonstrated capacity for overflow or visitor parking, with significant available kerbside space. There is no evidence of existing parking saturation or conflict that would limit the ability of visitors to safely park on the street if required.</p> <p><b>Conclusion – P1.2</b>  The development provides sufficient on-site parking to meet the reasonable needs of future residents and is consistent with the character and parking behaviour of the surrounding residential area.</p>
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#### 8.4.6 Privacy for all dwellings

**Objective:**

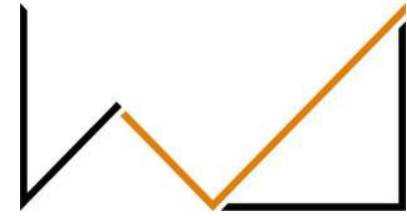
To provide a reasonable opportunity for privacy for dwellings.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1  A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p>	<p>P1  A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:</p>	<p><b>Not Applicable</b></p>

<p>a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</p>	<p>a) a dwelling on an adjoining property or its private open space; or</p> <p>b) another dwelling on the same site or its private open space.</p>	
<p>A2</p> <p>A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>a) the window or glazed door:</p> <p>(i) is to have a setback of not less than 3m from a side boundary;</p> <p>(ii) is to have a setback of not less than 4m from a rear boundary;</p>	<p>P2</p> <p>A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <p>a) a window or glazed door, to a habitable room of another dwelling; and</p> <p>b) the private open space of another dwelling.</p>	<p>LWD Response</p> <p><b>Refer to P1 which shows compliance:</b></p> <p>The proposal complies with Performance Criterion P1 for the following reasons:</p> <ol style="list-style-type: none"> <li>1. Although the finished floor level of the proposed dwelling is more than 1 m above the natural ground level, it does not exceed 1 m above the highest point of the proposed retaining wall located along the eastern boundary. This ensures that the elevation of the</li> </ol>

<p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p> <p>b) the window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform</p>		<p>habitable room does not create any elevated sightlines above the proposed boundary treatment.</p> <p>2. The subject boundary is proposed to contain substantial privacy screening measures, consisting of:</p> <ul style="list-style-type: none"> <li>o A proposed retaining wall constructed along the full length of the eastern boundary; and</li> <li>o A proposed 1.8 m high solid Colorbond fence positioned on top of the retaining wall.</li> </ul> <p>Combined, the proposed retaining wall and fence form a robust, opaque screening structure of significant height, preventing any potential overlooking.</p> <p>3. While the habitable room is located within 1.5 m of the boundary, all viewing angles toward the adjoining property are effectively blocked by the proposed retaining wall and fence. As a result:</p> <ul style="list-style-type: none"> <li>o No views are available toward the neighbouring dwelling; and</li> <li>o No overlooking of adjoining private open space can occur.</li> </ul> <p>4. The intent of P1 is to ensure that elevated structures are designed to minimise overlooking. In this case, the proposal achieves this through:</p> <ul style="list-style-type: none"> <li>o Proposed structural screening,</li> </ul>
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<p>transparency of not more than 25%.</p>		<ul style="list-style-type: none"> <li>○ Appropriate alignment of the dwelling relative to boundary conditions, and</li> <li>○ A finished floor level that remains visually contained behind the proposed boundary wall and fence.</li> </ul> <p><b>Conclusion</b>  Despite the finished floor level being more than 1m above natural ground level, the dwelling remains visually screened by the proposed boundary retaining wall and the proposed 1.8 m Colorbond fence above it. These permanent structures ensure that the habitable room does not create any opportunity for overlooking.</p> <p>Therefore, the proposed dwelling meets the requirements of Performance Criterion P1 by providing suitable screening and protecting the privacy of adjoining residential land.</p>
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**Original sent to council: 24/11/2025**

**This revision: 11/02/2026**

Central Coast Council

## **Application for Proposed Works - Multiple Dwelling Development – 5,7 Cassia Drive, Ulverstone**

Dear Permit Authority,

We wish to apply for a planning permit for a proposed Multiple Dwelling Development at the address of 5 & 7 Cassia Drive, Ulverstone.

Please see on the following page, our response to the Tasmanian Planning Scheme requirements relevant to this application.

If you have any other questions regarding this application, please don't hesitate to contact our office.

Kind Regards,

Kirsten Walsh

**Administration – Lachlan Walsh Design**

# Response to Tasmanian Planning Scheme Requirements – Multiple Dwelling Development – 5,7 Cassia Drive, Ulverstone

## 8.0 General Residential Zone

### 8.4 Development Standards for Dwellings

#### 8.4.1 Residential density for multiple dwellings

**Objective:**

That the density of multiple dwellings:

- a) Makes efficient use of land for housing; and
- b) Optimises the use of infrastructure and community services

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1 Multiple dwellings must have a site area per dwelling of not less than 325m<sup>2</sup>.</p>	<p>P1 Multiple dwellings must only have a site area per dwelling that is less than 325m<sup>2</sup>, if the development will not exceed the capacity of infrastructure services and:</p> <ul style="list-style-type: none"> <li>a) is compatible with the density of existing development on established properties in the area; or</li> <li>b) provides for a significant social or community benefit and is:               <ul style="list-style-type: none"> <li>(i) wholly or partly within 400m walking distance of a public transport stop; or</li> </ul> </li> </ul>	<p><b>Refer to P1:</b> The proposed development is not predicted to exceed the capacity of the existing infrastructure services, and will provide social &amp; community benefit, by the addition of housing in the community.</p> <p>The proposed development is within 400m walking distance of a Commercial Zone.</p>

	(ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone	
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### 8.4.2 Setbacks and building envelope for all dwellings

**Objective:**

The siting and scale of dwellings:

- c) provides reasonably consistent separation between dwellings and their frontage within a street;
- d) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- e) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- f) provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> <li>a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the</li> </ul>	<p>P1</p> <p>A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</p>	<p><b>Complies with A1</b></p>

<p>site;</p> <p>b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;</p> <p>c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.</p>		
<p>A2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <p>a) 5.5m, or alternatively 1m behind the building line;</p> <p>b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</p>	<p>P2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</p>	<p>LWD Response</p> <p><b>Complies with A2</b></p>

<p><b>A3</b> A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <p>a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and</p> <p>b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or</p> <p>(ii) does not exceed a total length of 9m or one third the length of the</p>	<p><b>P3</b> The siting and scale of a dwelling must:</p> <p>a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <p>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; and</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;</p> <p>b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</p> <p>c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</p>	<p><b>Complies with P3</b> The proposed dwelling is unable to fully comply with Acceptable Solution A3; however, it has been assessed against Performance Criterion P3 and is considered to achieve its intent.</p> <p>The siting and scale of the dwellings have been designed to ensure there is no unreasonable loss of amenity to adjoining properties. Shadow diagrams and supporting plans demonstrate that the proposal will not result in an unreasonable reduction in sunlight to habitable rooms (other than bedrooms) or private open space of adjoining dwellings. Overshadowing impacts are limited and are consistent with those expected within an established residential area, and the proposal does not unreasonably overshadow any adjoining vacant property.</p> <p>The scale, bulk and proportions of the dwelling have been designed to minimise visual impacts when viewed from adjoining properties. The built form is compatible with surrounding development and does not present an unreasonable or dominant visual presence.</p> <p>Appropriate separation between dwellings on adjoining properties is provided, consistent with the established pattern of development in the area. In addition, the proposal will not cause an unreasonable reduction in sunlight to any existing</p>
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<p>side boundary (whichever is the lesser).</p>	<p>(i) an adjoining property; or</p> <p>(ii) another dwelling on the same site.</p>	<p>solar energy installation on an adjoining property or another dwelling on the same site, as demonstrated by the submitted shadow diagrams.</p> <p>Although the proposal does not strictly comply with the building envelope requirements of A3, the performance-based assessment confirms that the objectives of Clause 8.4.2 are met. The development responds appropriately to site conditions and achieves an outcome consistent with the intent of Performance Criterion P3.</p>
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### 8.4.3 Site coverage and private open space for all dwellings

**Objective:**

That dwellings are compatible with the amenity and character of the area and provide:

- a) for outdoor recreation and the operational needs of the residents;
- b) opportunities for the planting of gardens and landscaping; and
- c) private open space that is conveniently located and has access to sunlight.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>Dwellings must have:</p> <ul style="list-style-type: none"> <li>a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and</li> <li>b) for multiple dwellings, a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the</li> </ul>	<p>P1</p> <p>Dwellings must have:</p> <ul style="list-style-type: none"> <li>a) site coverage consistent with that existing on established properties in the area;</li> <li>b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate:</li> </ul>	<p><b>Complies with A1</b></p>

<p>finished ground level (excluding a garage, carport or entry foyer).</p>	<ul style="list-style-type: none"><li>(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and</li><li>(ii) operational needs, such as clothes drying and storage; and</li><li>c) reasonable space for the planting of gardens and landscaping.</li></ul>	
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<p>A2</p> <p>A dwelling must have private open space that:</p> <ul style="list-style-type: none"> <li>a) is in one location and is not less than: <ul style="list-style-type: none"> <li>(i) 24m<sup>2</sup>; or</li> <li>(ii) 12m<sup>2</sup>, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</li> </ul> </li> <li>b) has a minimum horizontal dimension of not less than: <ul style="list-style-type: none"> <li>(i) 4m; or</li> <li>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</li> </ul> </li> <li>c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</li> <li>d) has a gradient not steeper than 1 in 10.</li> </ul>	<p>P3</p> <p>A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and is:</p> <ul style="list-style-type: none"> <li>a) conveniently located in relation to a living area of the dwelling; and orientated to take advantage of sunlight.</li> </ul>	<p>LWD Response</p> <p><b>Complies with A2</b></p>
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### 8.4.4 Sunlight to private open space of multiple dwellings

**Objective:**

That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 8.4.3, must satisfy (a) or (b), unless excluded by (c):</p> <ul style="list-style-type: none"> <li>a) The multiple dwelling is contained within a line projecting (see Figure 8.4) <ul style="list-style-type: none"> <li>(i) at a distance of 3m from the northern edge of the private open space; and</li> <li>(ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal;</li> </ul> </li> <li>b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and</li> <li>c) this Acceptable Solution excludes that part of a multiple dwelling consisting of: <ul style="list-style-type: none"> <li>(i) an outbuilding with a building height not more than 2.4m; or</li> </ul> </li> </ul>	<p>P1</p> <p>A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 or P2 of clause 8.4.3 of this planning scheme.</p>	<p><b>Complies with A1</b></p>

(ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling.		
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#### 8.4.5 Width of openings for garages and carports for all dwellings

##### Objective:

To reduce the potential for garage or carport openings to dominate the primary frontage.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</p>	<p>P1</p> <p>A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.</p>	<p><b>Complies with A1</b></p>

#### 8.4.6 Privacy for all dwellings

##### Objective:

To provide a reasonable opportunity for privacy for dwellings.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p>	<p>P1</p> <p>A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:</p>	<p><b>Not Applicable</b></p>

<p>a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</p>	<p>a) a dwelling on an adjoining property or its private open space; or</p> <p>b) another dwelling on the same site or its private open space.</p>	
<p>A2</p> <p>A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>a) the window or glazed door:</p> <p>(i) is to have a setback of not less than 3m from a side boundary;</p> <p>(ii) is to have a setback of not less than 4m from a rear boundary;</p>	<p>P2</p> <p>A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <p>a) a window or glazed door, to a habitable room of another dwelling; and</p> <p>b) the private open space of another dwelling.</p>	<p>LWD Response</p> <hr/> <p><b>Not Applicable</b></p>

<p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p> <p>b) the window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform</p>		
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<p>transparency of not more than 25%.</p>		
<p>A3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <ul style="list-style-type: none"> <li>a) 2.5m; or</li> <li>b) 1m if: <ul style="list-style-type: none"> <li>(i) it is separated by a screen of not less than 1.7m in height; or</li> <li>(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.</li> </ul> </li> </ul>	<p>P3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.</p>	<p>LWD Response</p> <p><b>Not Applicable</b></p>

### 8.4.7 Frontage fences for all dwellings

**Objective:**

The height and transparency of frontage fences:

- a) provides adequate privacy and security for residents;
- b) allows the potential for mutual passive surveillance between the road and the dwelling; and
- c) is reasonably consistent with that on adjoining properties.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1 No Acceptable Solution. <sup>1</sup></p>	<p>P1 A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:</p> <ul style="list-style-type: none"> <li>a) provide for security and privacy while allowing for passive surveillance of the road; and</li> <li>b) be compatible with the height and transparency of fences in the street, having regard to:               <ul style="list-style-type: none"> <li>(i) the topography of the site; and</li> <li>(ii) traffic volumes on the adjoining road.</li> </ul> </li> </ul>	<p><b>Not Applicable</b></p>

### 8.4.8 Waste storage for multiple dwellings

**Objective:**

To provide for the storage of waste and recycling bins for multiple dwellings.

Acceptable Solutions	Performance Criteria	LWD Response
<p>A1</p> <p>A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m<sup>2</sup> per dwelling and is within one of the following locations:</p> <ul style="list-style-type: none"> <li>a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or</li> <li>b) a common storage area with an impervious surface that:               <ul style="list-style-type: none"> <li>(i) has a setback of not less than 4.5m from a frontage;</li> <li>(ii) is not less than 5.5m from any dwelling; and</li> <li>(iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.</li> </ul> </li> </ul>	<p>P1</p> <p>A multiple dwelling must have storage for waste and recycling bins that is:</p> <ul style="list-style-type: none"> <li>a) capable of storing the number of bins required for the site;</li> <li>b) screened from the frontage and any dwellings; and:</li> <li>c) if the storage area is a common storage area, separated from any dwellings to minimise impacts caused by odours and noise.</li> </ul>	<p><b>Complies with A1</b></p>