



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054998

PROPOSAL: Additions & Alterations (Single Dwelling)
(Retrospective)

LOCATION: 65 Elinga Street, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01/04/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01/04/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01/04/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



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Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Retrospective Renovation

Location:

Address 65 Elinga St
Suburb/Town Howrah Postcode 7018

Current Owners/s:

Applicant:

Personal Information Removed

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION DECLARATION



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Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

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DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 60494	FOLIO 303
EDITION 7	DATE OF ISSUE 05-Mar-2025

SEARCH DATE : 21-Aug-2025

SEARCH TIME : 01.51 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 303 on Diagram 60494 (formerly being 480-1D)
 Derivation : Part of 730 Acres Granted to F. Butler & J.M. Browne
 Prior CT 2021/59

SCHEDULE 1

E28211 TRANSFER to ROWAN FRANCIS GORDON and CHANTELL CHRISTINE GORDON Registered 13-Nov-2015 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 BENEFITING EASEMENT: Right of drainage over the Drainage Easement shown passing through Lot 302 and the Drainage Easement marked A.B. on Diagram No. 60494
 BURDENING EASEMENT: Right of drainage (appurtenant to Lots 304-306 on Diagram No. 60494) over the Drainage Easement shown passing through the said land within described
 E406356 MORTGAGE to HSBC Bank Australia Limited Registered 05-Mar-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

DIAGRAM FROM ACTUAL SURVEY

480/1 D
40'

Separate Titles Issued Program No. 119 (Sec. 101)

TOWN OF HOWRAH

The Perpetual Trustees Executors Agency
Co of Tas Ltd 1000-15
No. of APPLICATION PE of 730 ac. gr. to F. Butler & J.M. Browne.

For L.T.O. Use Only.

Filed by S. G. D. White M.A.

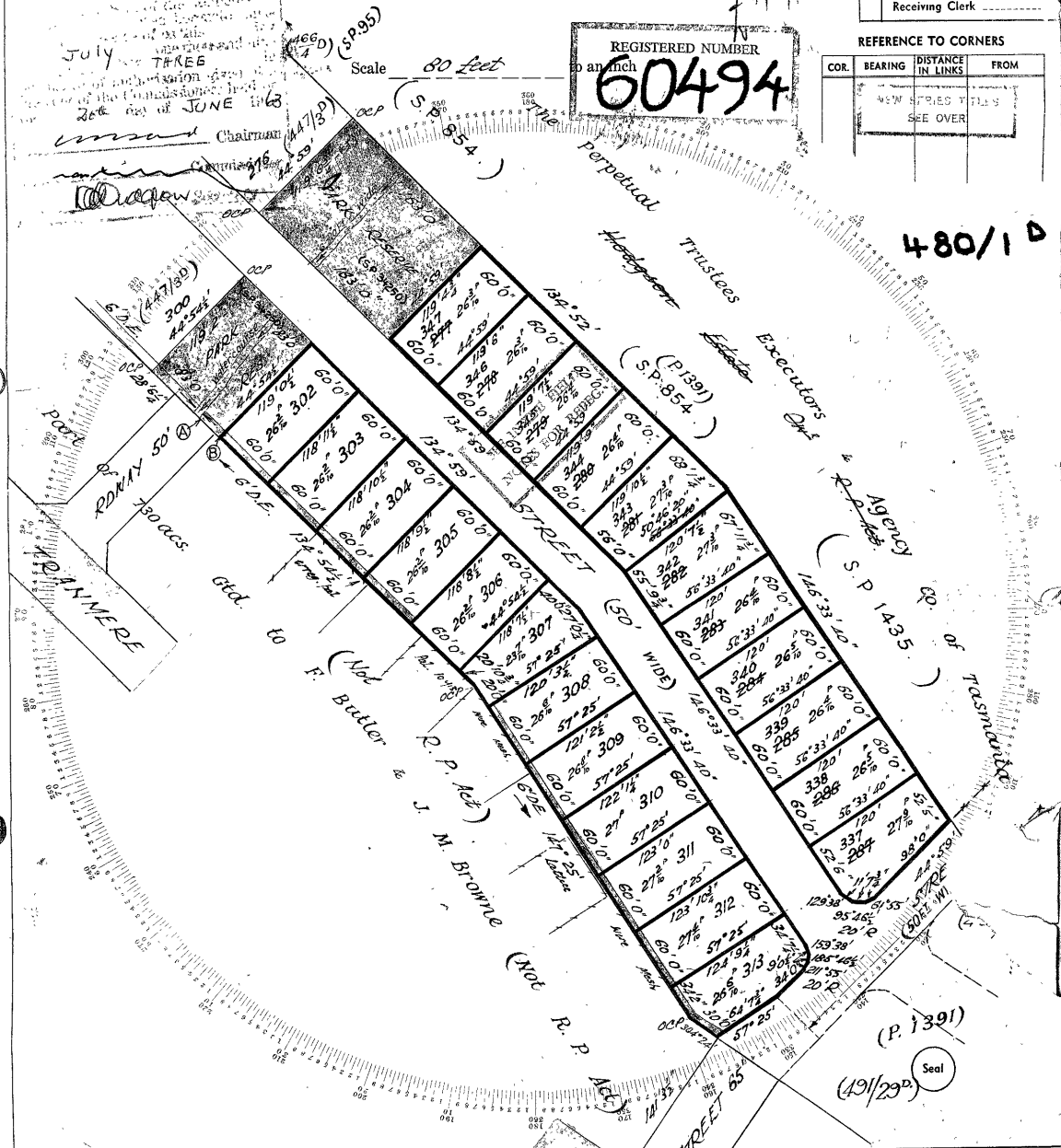
Lodged at the Lands Titles Office on 17/7/63 at 2-00 Receipt No. 45328 Receiving Clerk

REGISTERED NUMBER
60494

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE IN LINKS	FROM
			NEW STRIPED TILES SEE OVER

ALL INFORMATION TO BE WRITTEN WITHIN THIS SPACE



To be filled in by Surveyor:
Survey commenced
Survey finished 28.2.63
Error of close 1 in

Office examination:
Plotted by ER
Examined as to boundaries ER
Mathematically checked ER
Entered on Card by ER

I, Edward Mulhearn Lilley of Abart, Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

E. Lilley
Authorised Surveyor.

Dated this 28th day of Feb., 1963

APPROVAL BY LOCAL AUTHORITY

WEST ELEVATION
LICENSE NUMBER: 337666325
OFFICE@WESTELEVATION.COM.AU
0433 062 839
WWW.WESTELEVATION.COM.AU

PROJECT:

65 ELINGA ST, HOWRAH

RETROSPECTIVE RENOVATION

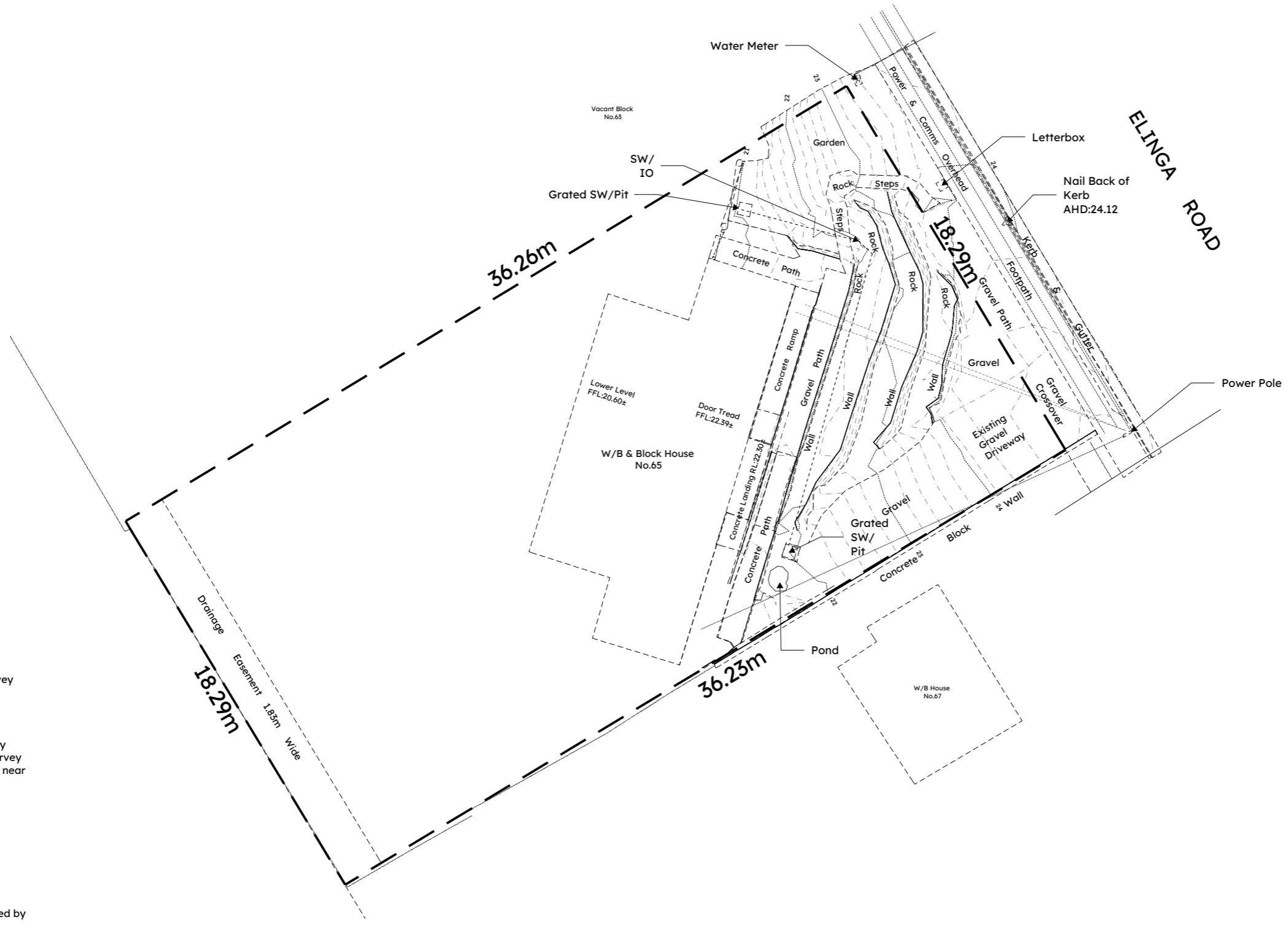
PROJECT NUMBER: J1204

DRAWING NUMBER:

A00	COVER PAGE
A01	EXISTING SITE PLAN
A02	PROPOSED SITE PLAN
A03A	EXISTING/AS-CONSTRUCTED GROUND FLOOR PLAN
A03B	PROPOSED UNAPPROVED GROUND FLOOR PLAN
A04A	EXISTING/AS-CONSTRUCTED ROOF PLAN
A04B	PROPOSED ROOF PLAN
A05A	EXISTING/AS-CONSTRUCTED ELEVATIONS
A05B	EXISTING/AS-CONSTRUCTED ELEVATIONS CONT
A06A	PROPOSED UNAPPROVED ELEVATIONS
A06B	PROPOSED ELEVATIONS CONT
A07	EXTERNAL UNAPPROVED PROPOSED PERSPECTIVES



Site Area: 663m²
 Total House Area (excluding eaves): 113.05m²
 17.05% of Site covered by roofed areas

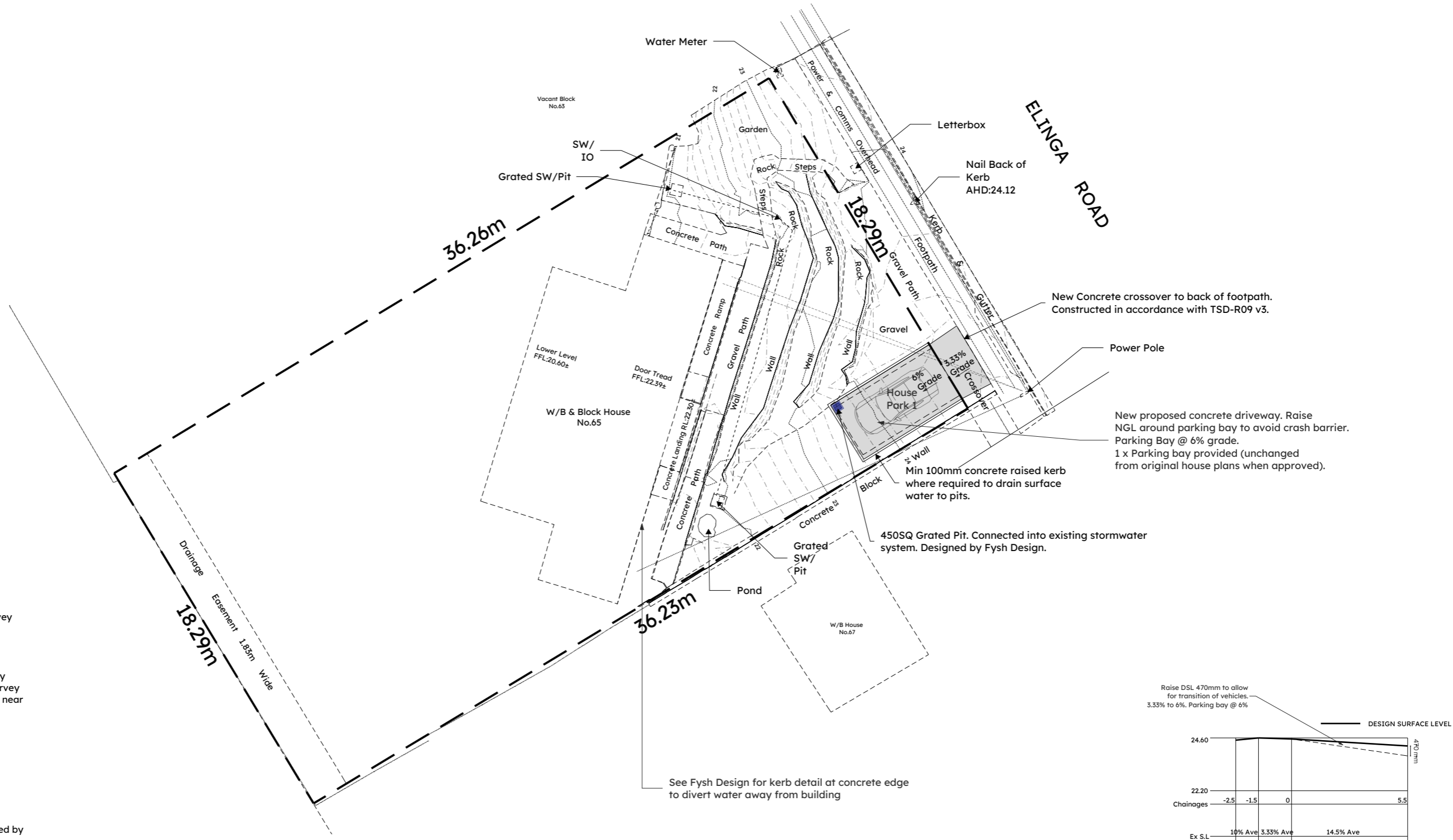


1. Only that detail apparent on site at the time of survey has been located by this plan. Other features and services may exist on, under or over the site.
2. Boundaries are compiled from title surveys and may vary from original survey dimensions. A Remark Survey is recommended prior to any works occurring on or near the boundaries.
3. Underground services exist in this area. It is the responsibility of the developer to determine the location of these services prior to the commencement of site works.
4. This plan has been prepared for the purpose required by the client and depicts only those features specifically requested. Not all features on the site are necessarily shown on this plan.
5. This plan is not to be redistributed, reproduced, copied or used for any other purpose without the express permission of Lark & Creese Pty Ltd.

1 EXISTING SITE PLAN
 SCALE: 1:200

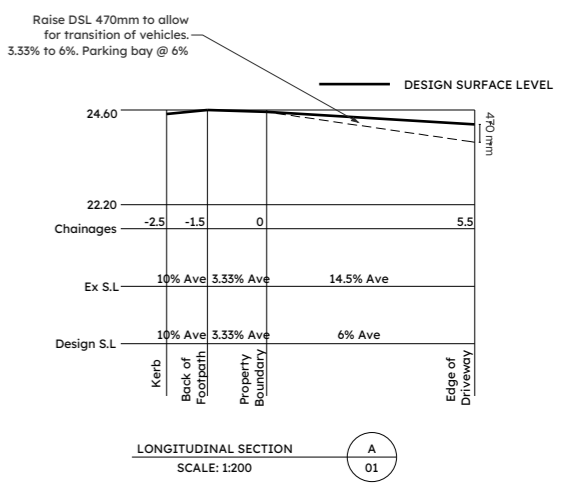


Site Area: 663m²
 Total House Area (excluding eaves): 113.05m²
 17.05% of Site covered by roofed areas
 Concrete Driveway Area: 16.45m²



1. Only that detail apparent on site at the time of survey has been located by this plan. Other features and services may exist on, under or over the site.
2. Boundaries are compiled from title surveys and may vary from original survey dimensions. A Remark Survey is recommended prior to any works occurring on or near the boundaries.
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1 PROPOSED SITE PLAN
 SCALE: 1:200





CORROSION PROTECTION

Builder must implement corrosion protection. Exposed steel should be hot dipped galvanised. Fixings and connectors should be at minimum galvanised or stainless steel where required.

Steel framing as per NCC 2019 Part 3.4.2.2 & Table 3.4.4.2

Metal roof cladding as per NCC 2019 Part 3.5.1.3 & Table 3.5.1.1a

STRUCTURAL



Engineers documentation to take precedence over details contained in this document. Where discrepancies are identified, designer and engineer are to be notified prior to commencement of work.

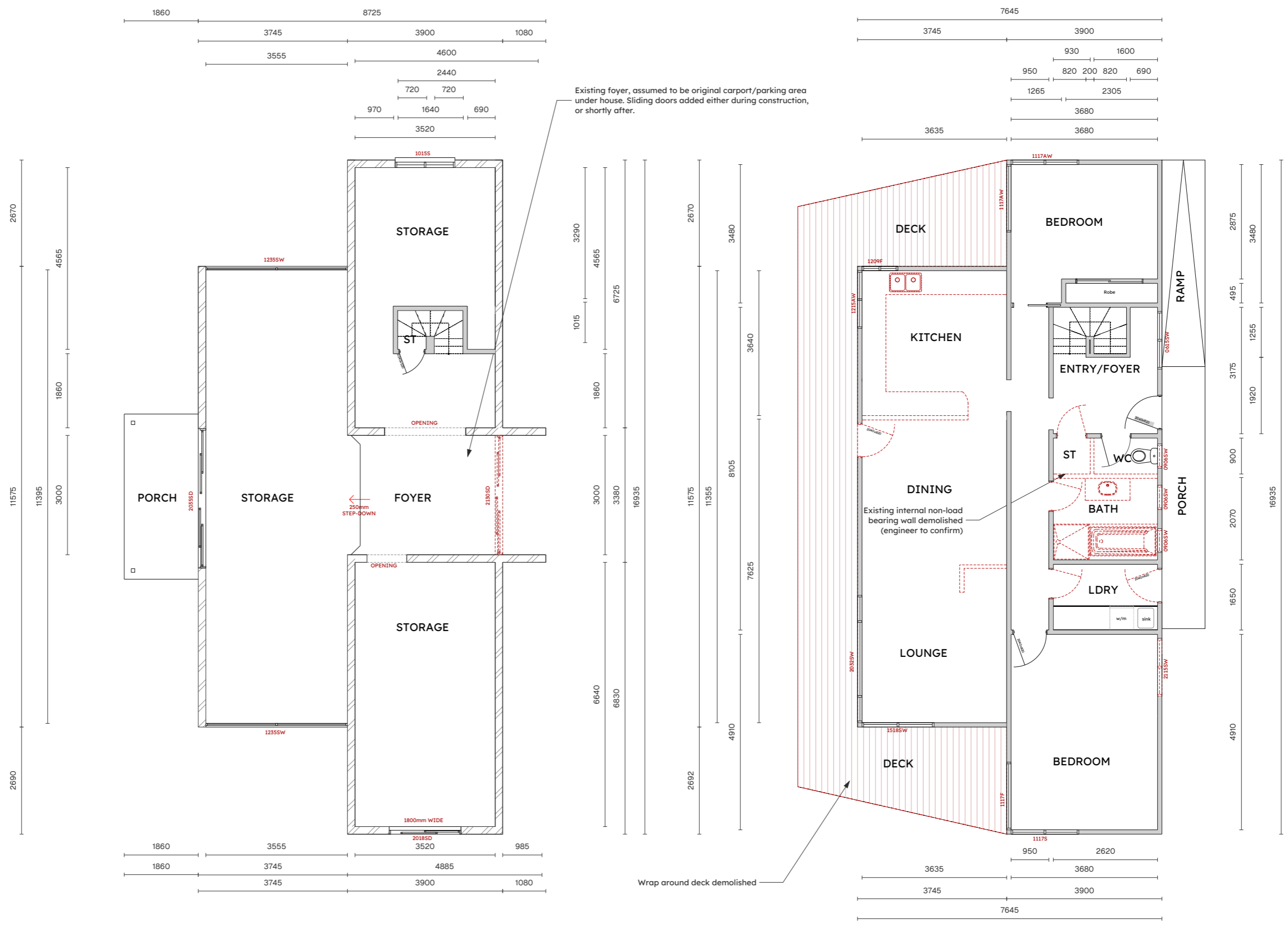
TRUSSES BY OTHERS

Truss plans by others. Truss tie downs and strap bracing to be specified by truss manufacturer.

STAIRS & RAMPS

Construction in accordance with NCC Part 11.2. Barriers and handrails in accordance with NCC Part 11.3. See elevations for handrail location

-  Denotes 90mm walls
-  Denotes areas that have been demolished



PROPOSED GROUND FLOOR PLAN
FLOOR AREA 113.05m²

PROPOSED FIRST FLOOR PLAN
FLOOR AREA 109.42m²
DECK AREA 7.11m²

3a EXISTING/AS - CONSTRUCTED GROUND FLOOR PLAN
SCALE: 1:100



CORROSION PROTECTION

Builder must implement corrosion protection. Exposed steel should be hot dipped galvanised. Fixings and connectors should be at minimum galvanised or stainless steel where required.

Steel framing as per NCC 2019 Part 3.4.2.2 & Table 3.4.4.2

Metal roof cladding as per NCC 2019 Part 3.5.1.3 & Table 3.5.1.1a

STRUCTURAL


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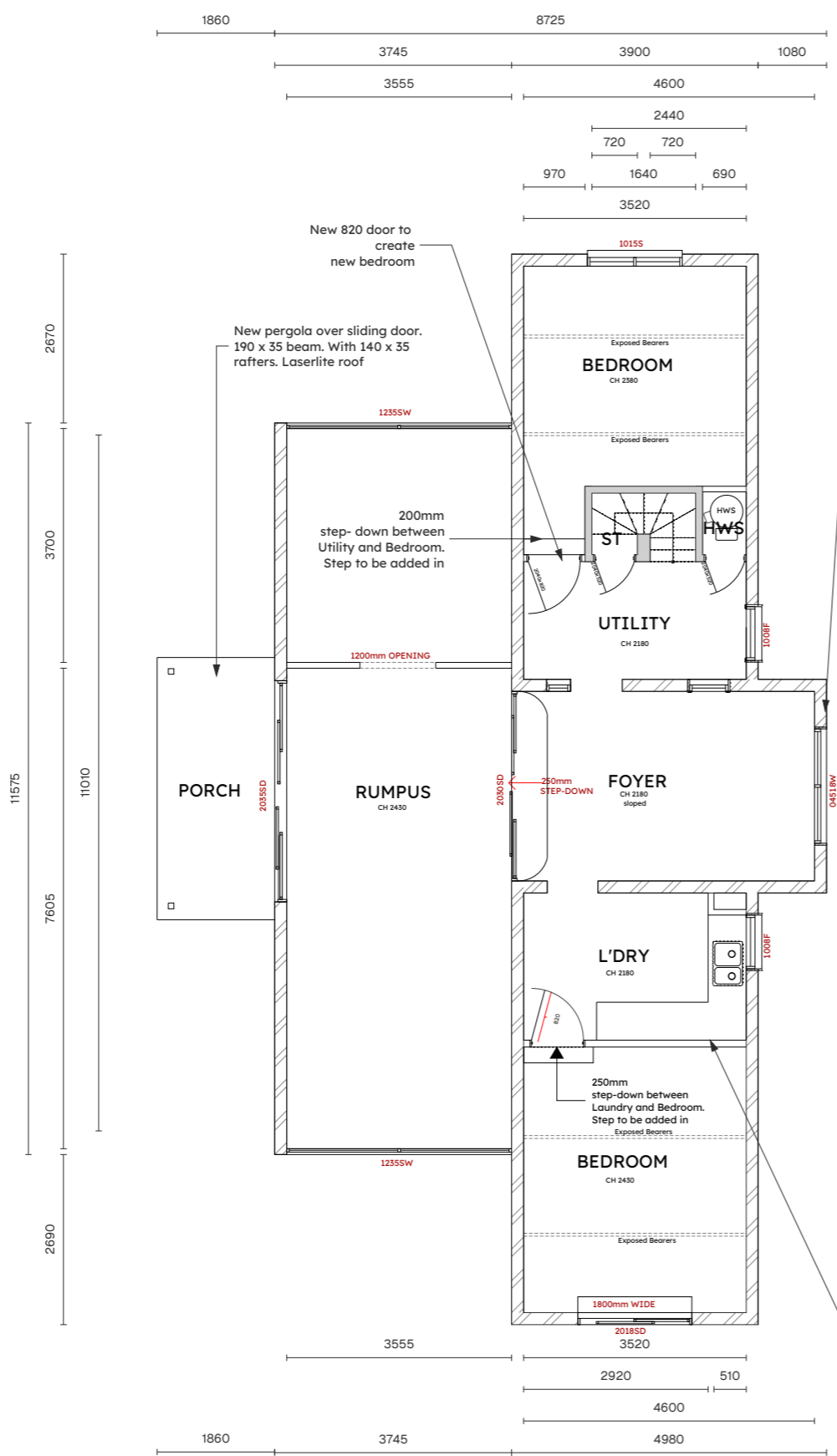
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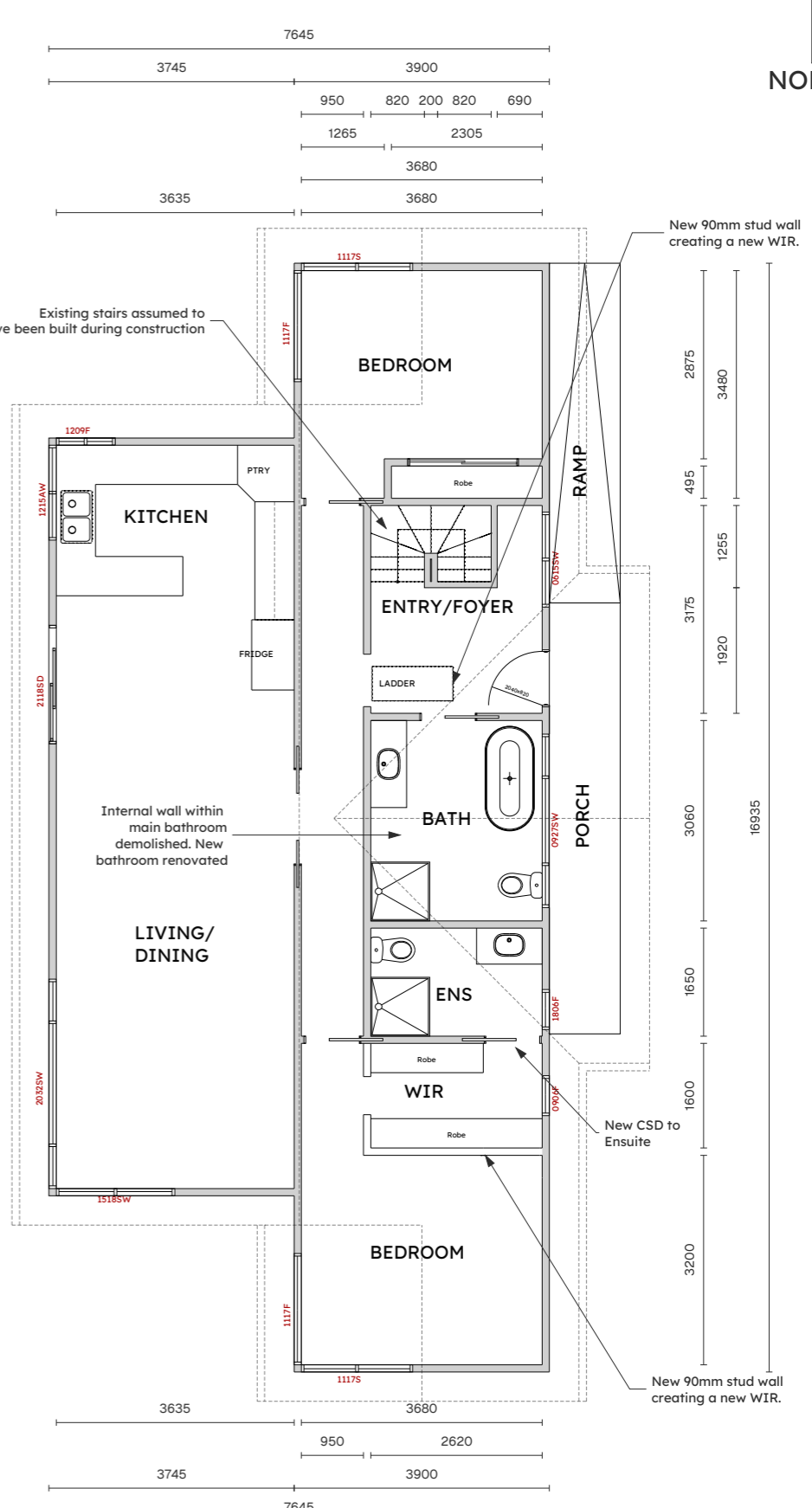
 Denotes new 90mm walls



PROPOSED GROUND FLOOR PLAN
FLOOR AREA 113.05m²

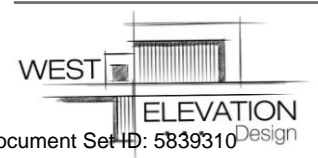
Block wall infilled between blade walls. Sliding door demolished and replaced with 04518AW window

New 90mm stud wall to create new bedroom.



PROPOSED FIRST FLOOR PLAN
FLOOR AREA 109.42m²
DECK AREA 7.11m²

3b PROPOSED UNAPPROVED GROUND FLOOR PLAN
SCALE: 1:100



West Elevation Design
Telephone: 0433 062 839
Email: office@westelevation.com.au
Website: www.westelevation.com.au

BUILDING CLASSIFICATION: 1a - Dwelling
WIND CLASSIFICATION: N2
SOIL CLASSIFICATION: N/A

CLIENT : Chantell Gordon
PROJECT ADDRESS : 65 Elinga St, Howrah
DATE: 21/08/2025

CHECKED: GD





ALL PLUMBING TO BE IN ACCORDANCE WITH AS3500

BOX GUTTERS, SUMPS, RAIN WATER HEAD OVERFLOWS & DOWNPIPES TO COMPLY WITH NCC & AS/NZS 3500.3:2021 3.3.7 & 3.7.8

SEWER & STORMWATER TO MAINS CONNECTIONS, PLUMBER TO VERIFY LOCATION ON SITE

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - 2021.3.7.5.2.1

MINIMUM GRADIENT ON PIPES AS PER AS3500 7.3.5
DN90 = 1:100
DN100 = 1:100

MINIMUM GRADIENT ON SEWER PIPES AS PER AS3500:2021 4.4
DN65 = 1:40
DN100 = 1:60
DN 150 = 1:100

ROOFWATER DRAINAGE:



Refer to NCC HP 7.4 Gutters and Downpipes for more details

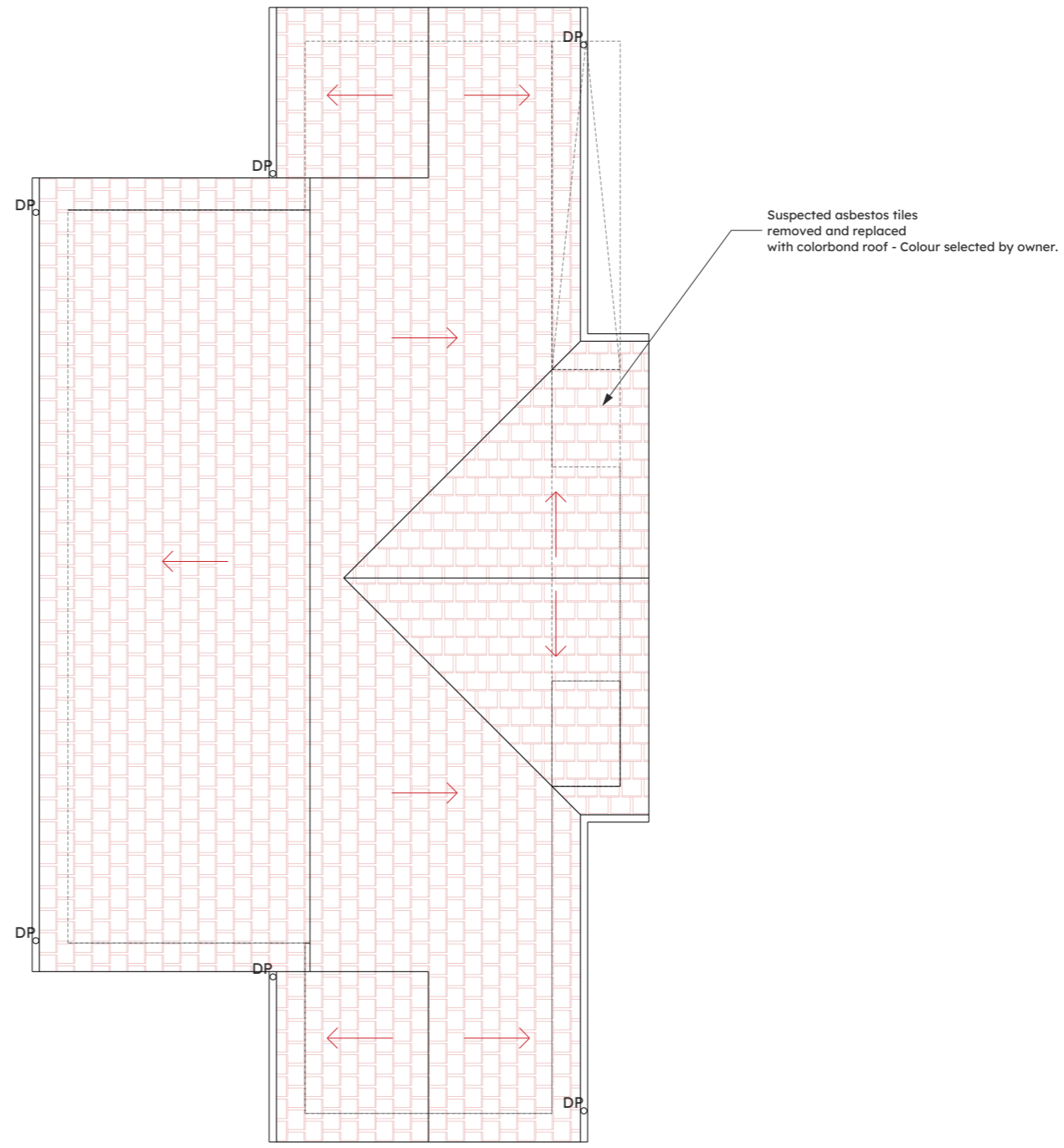
Rainfall intensity (Hobart) - eaves gutters - 86ml/hour (1 in 20 years)
- valley/box gutters - 120ml/hour (1 in 100 years)

Size of downpipes (max.12m spacings) - 90mm dia. min.
Size of eaves gutter (min 1:500 fall) - 115D min.
Size of box gutter (min 1:100 fall), not more than 12.5 % pitch.
Valley gutters - 400mm min.width not less than 150mm roof covering overhang each side of the gutter or not more than 12.5 % - must be designed as a box gutter.

Number of downpipes/spreader pipes required - 0 minimum

*DP denotes Downpipe
*SP denotes Spreader to lower roof
*All RH's (rainwater heads) to be fitted with overflow protectors and to be set 25mm below freeboard of box gutter for additional protection Min. dimensions 400 width x 150 length x100 depth

-  Denotes Tiled Roofing Area
-  Denotes 90mm downpipe



4a **EXISTING/ AS - CONSTRUCTED ROOF PLAN**
SCALE: 1:100



ALL PLUMBING TO BE IN ACCORDANCE WITH AS3500

BOX GUTTERS, SUMPS, RAIN WATER HEAD OVERFLOWS & DOWNPIPES TO COMPLY WITH NCC & AS/NZS 3500.3:2021 3.3.7 & 3.7.8

SEWER & STORMWATER TO MAINS CONNECTIONS, PLUMBER TO VERIFY LOCATION ON SITE

ALL STORMWATER PITS TO BE DESIGNED IN ACCORDANCE WITH AS3500 - 2021.3.7.5.2.1

MINIMUM GRADIENT ON PIPES AS PER AS3500 7.3.5

DN90 = 1:100

DN100 = 1:100

MINIMUM GRADIENT ON SEWER PIPES AS PER AS3500:2021 4.4

DN65 = 1:40

DN100 = 1:60

DN 150 = 1:100

ROOFWATER DRAINAGE:

Refer to NCC HP 7.4 Gutters and Downpipes for more details

Rainfall intensity (Hobart) - eaves gutters - 86ml/hour (1 in 20 years)

- valley/box gutters - 120ml/hour (1 in 100 years)

Size of downpipes (max.12m spacings) - 90mm dia. min.

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Valley gutters - 400mm min.width not less than 150mm roof covering overhang each side of the gutter or not more than 12.5 % - must be designed as a box gutter.


Number of downpipes/spreader pipes required - 0 minimum

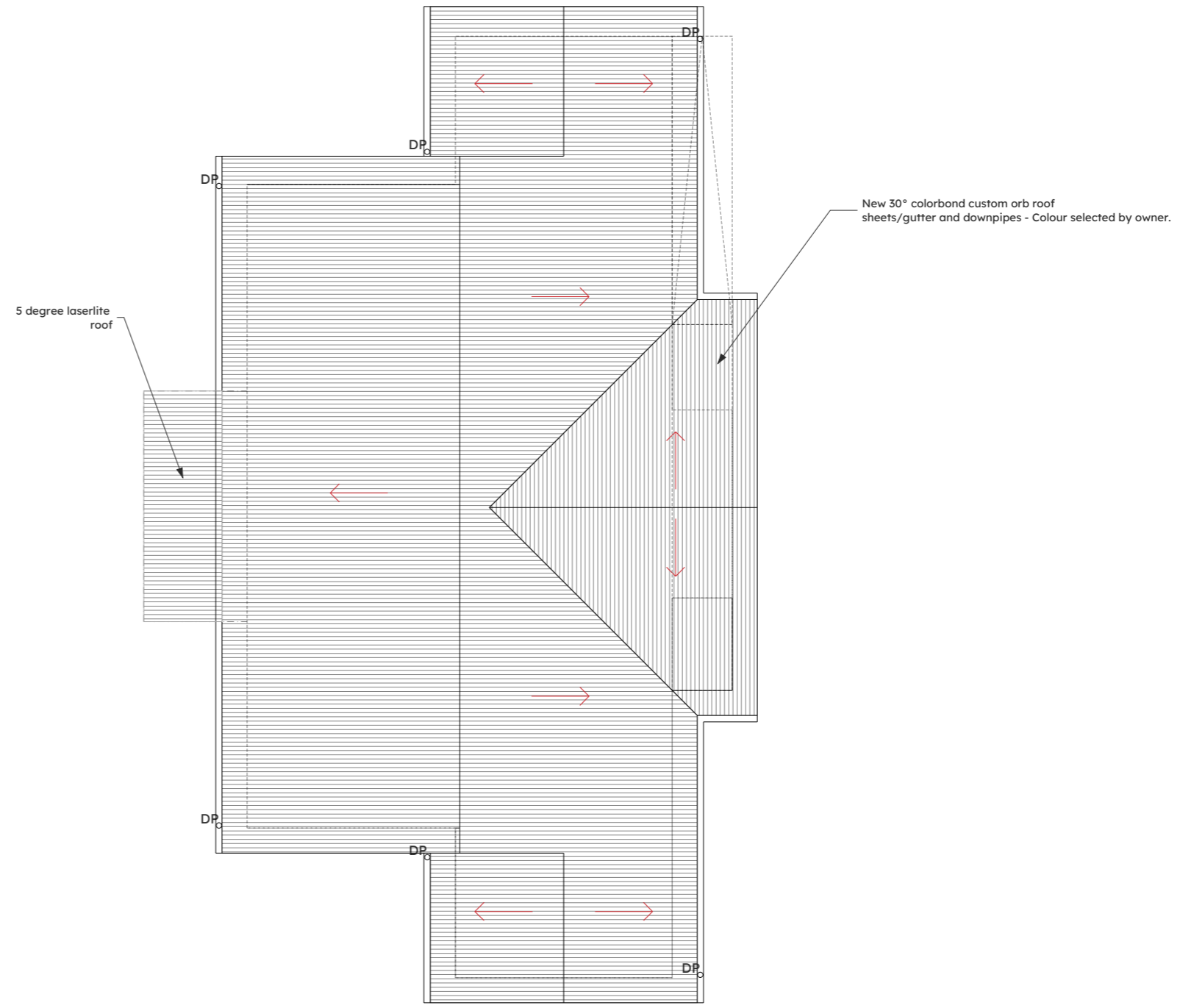
*DP denotes Downpipe

*SP denotes Spreader to lower roof

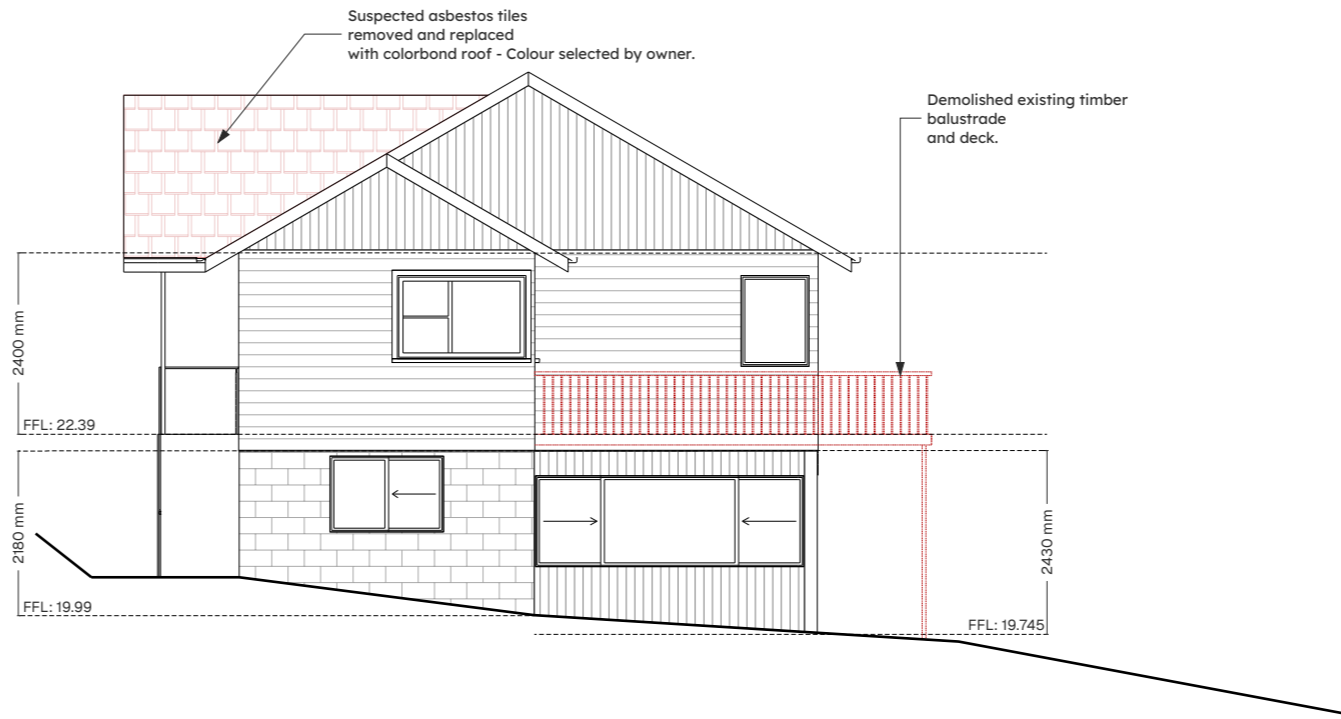
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 Denotes Tiled Roofing Area

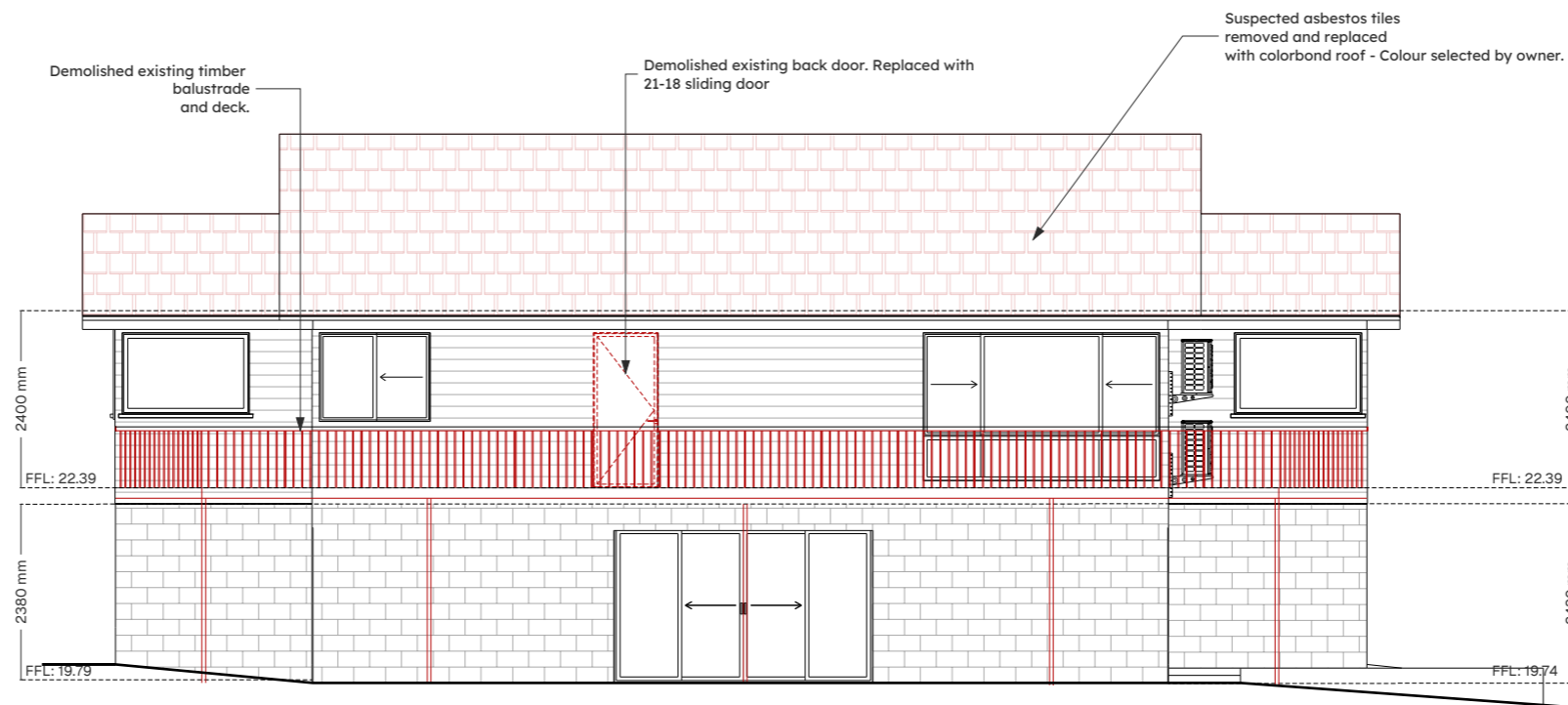
 Denotes 90mm downpipe



4b PROPOSED ROOF PLAN
SCALE: 1:100



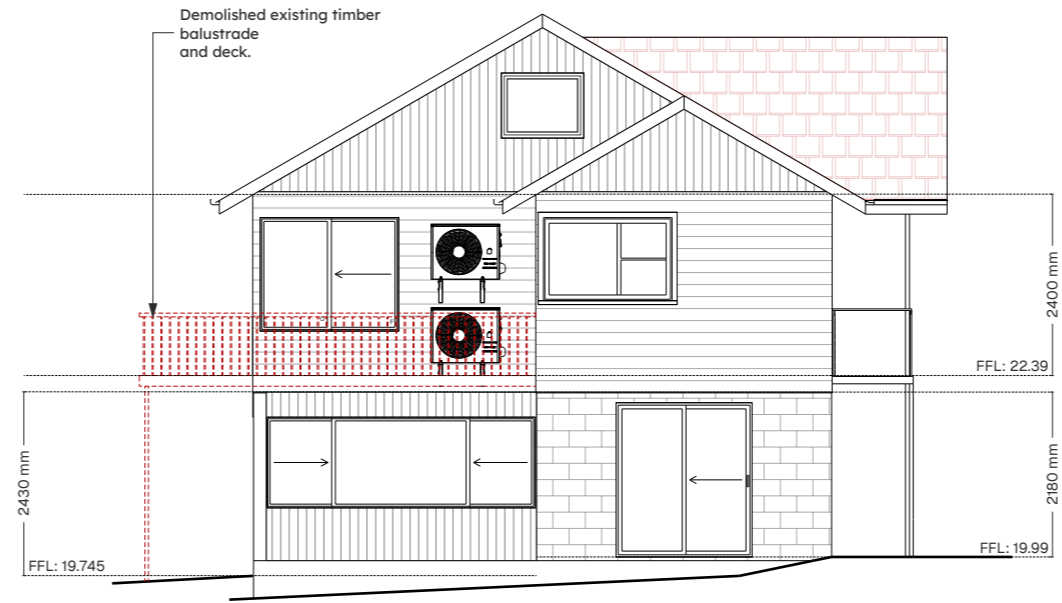
NORTH - ELEVATION



WEST - ELEVATION

EXISTING/AS-CONSTRUCTED

5a EXISTING/ AS - CONSTRUCTED ELEVATIONS
SCALE: 1:100

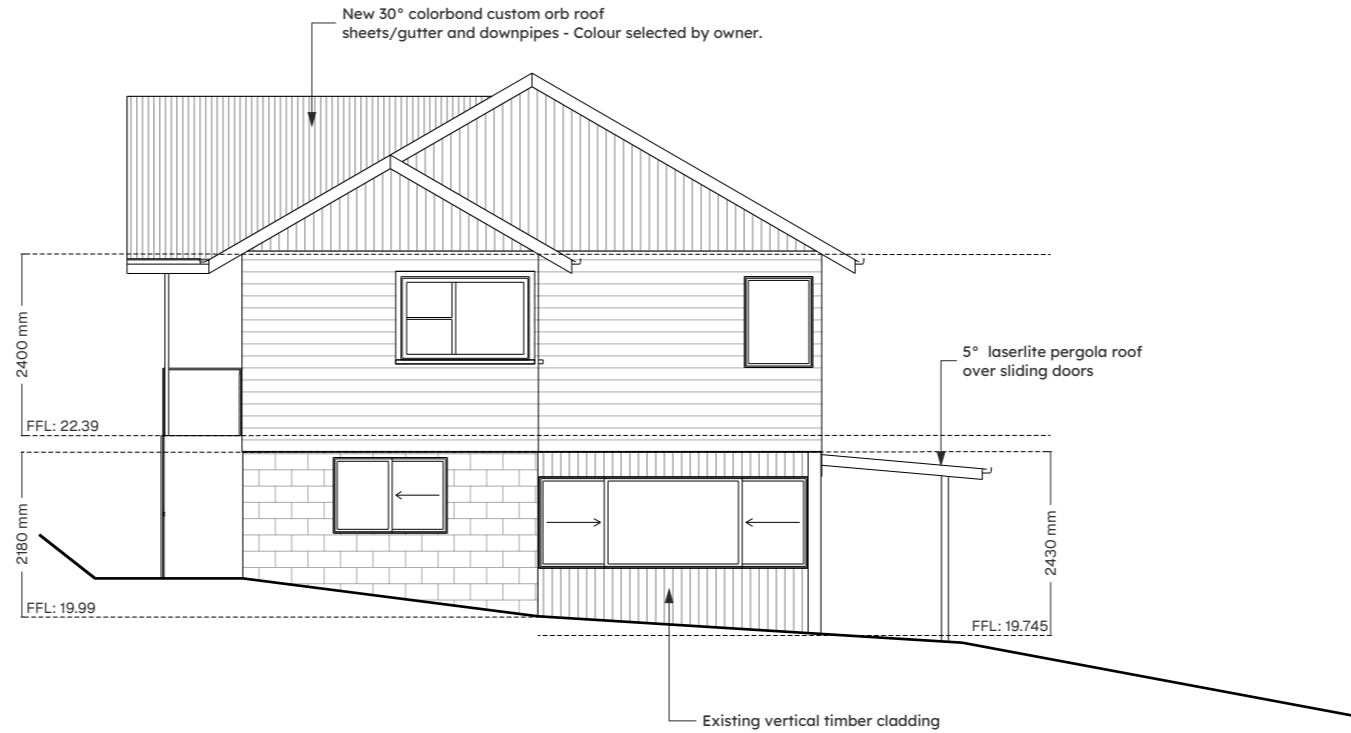


SOUTH - ELEVATION

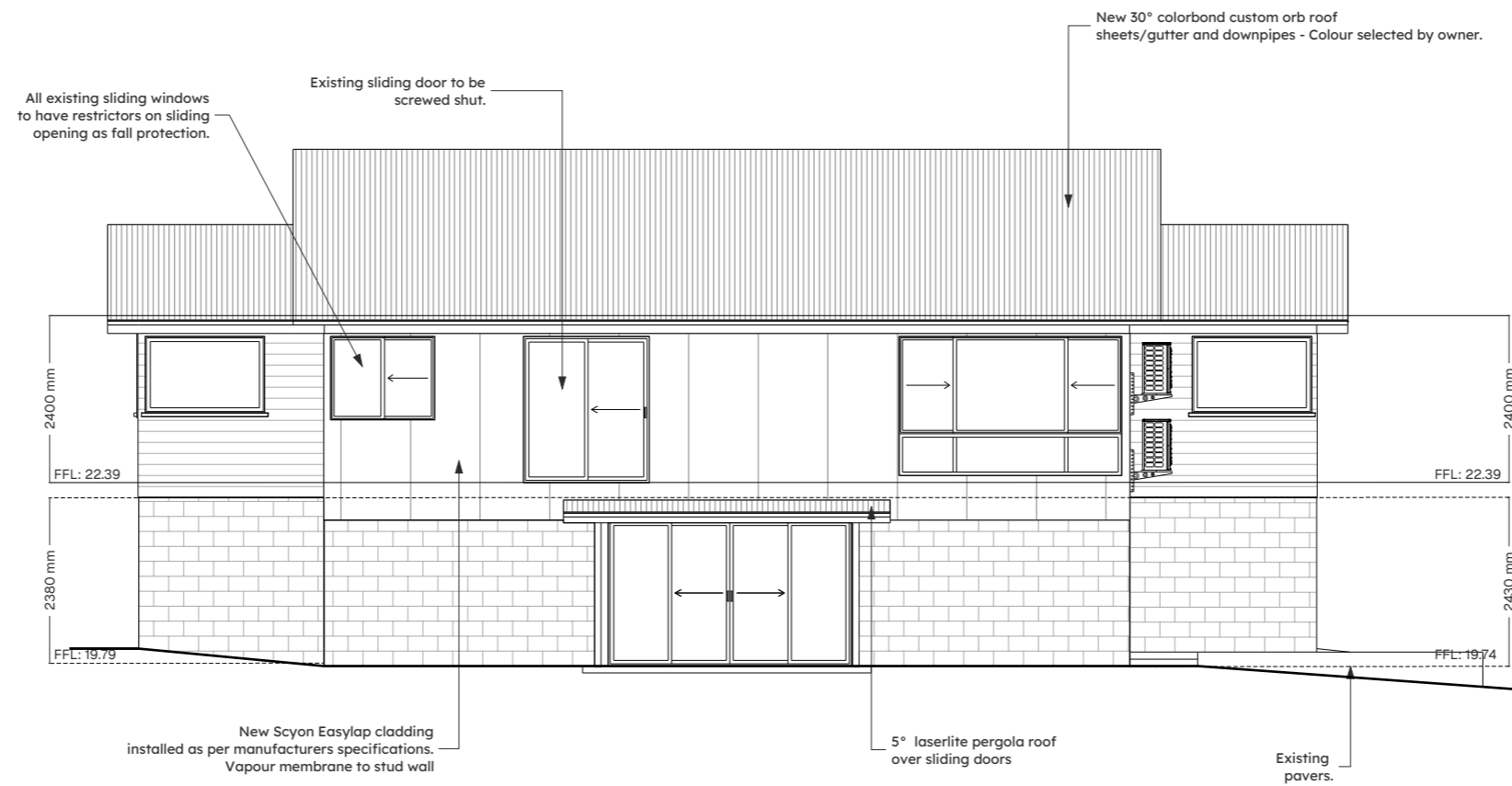


EAST - ELEVATION

5b EXISTING AS - CONSTRUCTED ELEVATIONS
SCALE: 1:100

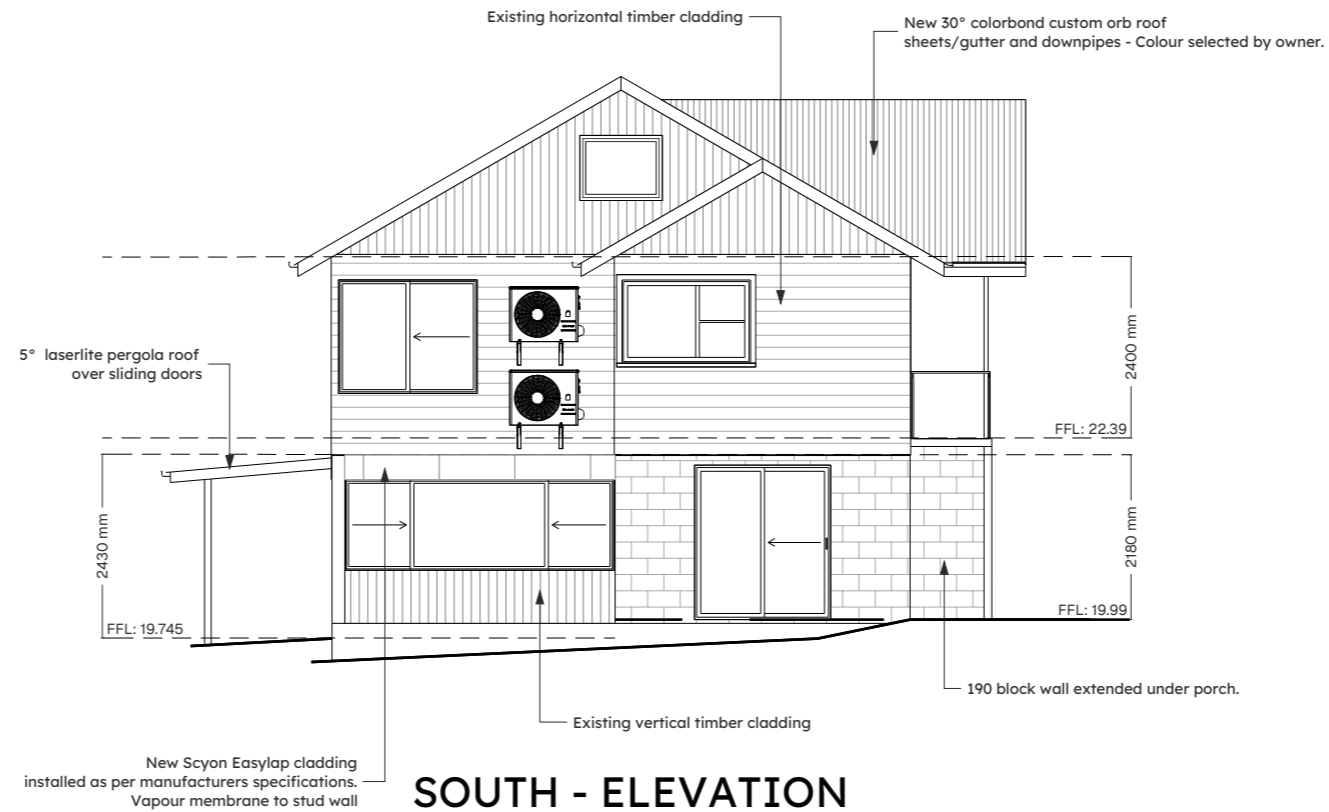


NORTH - ELEVATION

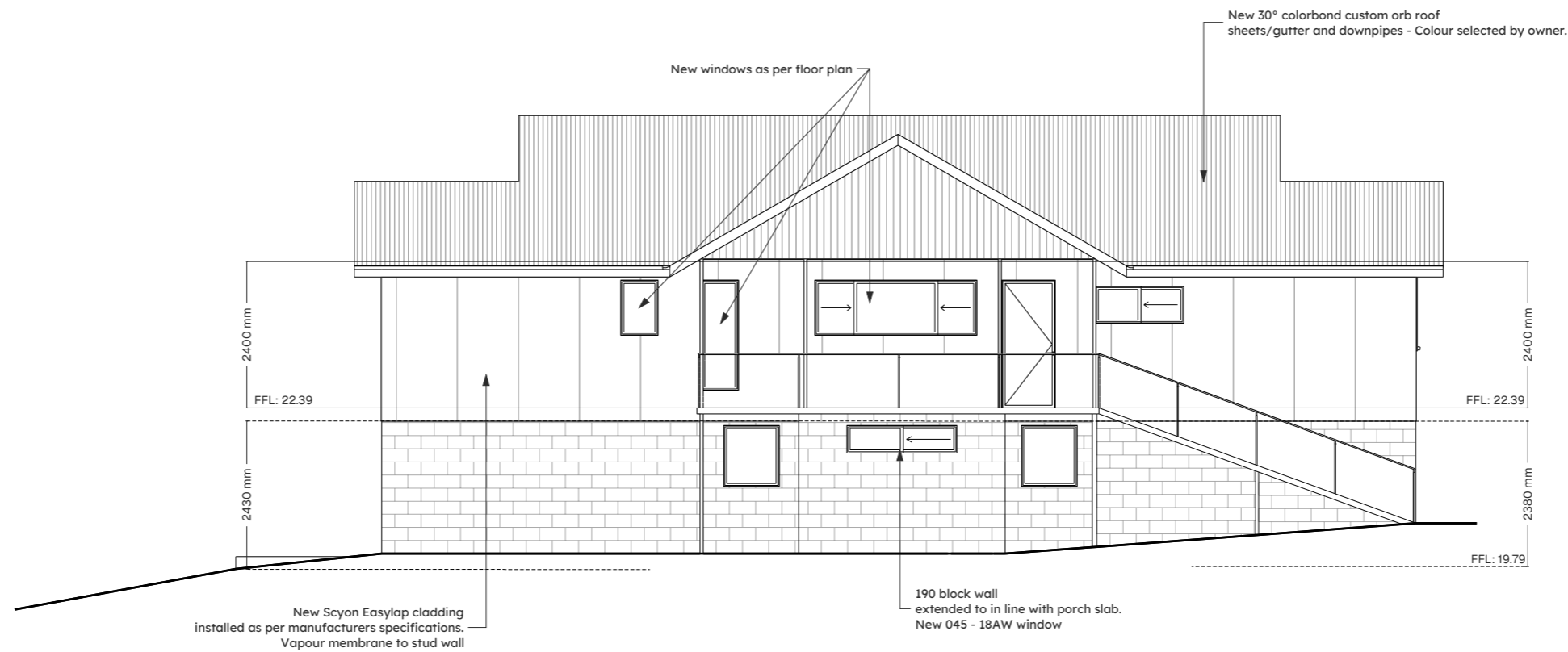


WEST - ELEVATION

6a UNAPPROVED PROPOSED ELEVATIONS
SCALE: 1:100



SOUTH - ELEVATION



EAST - ELEVATION

6b UNAPPROVED PROPOSED ELEVATIONS
SCALE: 1:100



7 EXTERNAL UNAPPROVED PROPOSED PERSPECTIVES
SCALE: 1:100