



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056141

PROPOSAL: Alterations & Additions (Single Dwelling)

LOCATION: 54 Cremorne Avenue, Cremorne

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 17 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 17 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 17 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Alterations & Additions**

Location: **54 Cremorne Avenue, Cremorne, TAS 7024**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format on:

Applicant:

Personal Information Removed

Date:

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.
-

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

| | |
|-----------------|------------------------------|
| VOLUME 54550 | FOLIO 59 |
| EDITION 4 | DATE OF ISSUE 24-Feb-2005 |

SEARCH DATE : 17-Sep-2025

SEARCH TIME : 01.29 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 59 on Plan 54550 (formerly being P1082)

Derivation : Part of 213 Acres Gtd. to E. Grimsey.

Prior CT 3027/21

SCHEDULE 1

C611457 TRANSFER to DEANNE DOROTHY HUTCHINSON Registered
24-Feb-2005 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

139163 FENCING CONDITION AND OTHER CONDITIONS in Transfer

A99083 FENCING CONDITION in Transfer

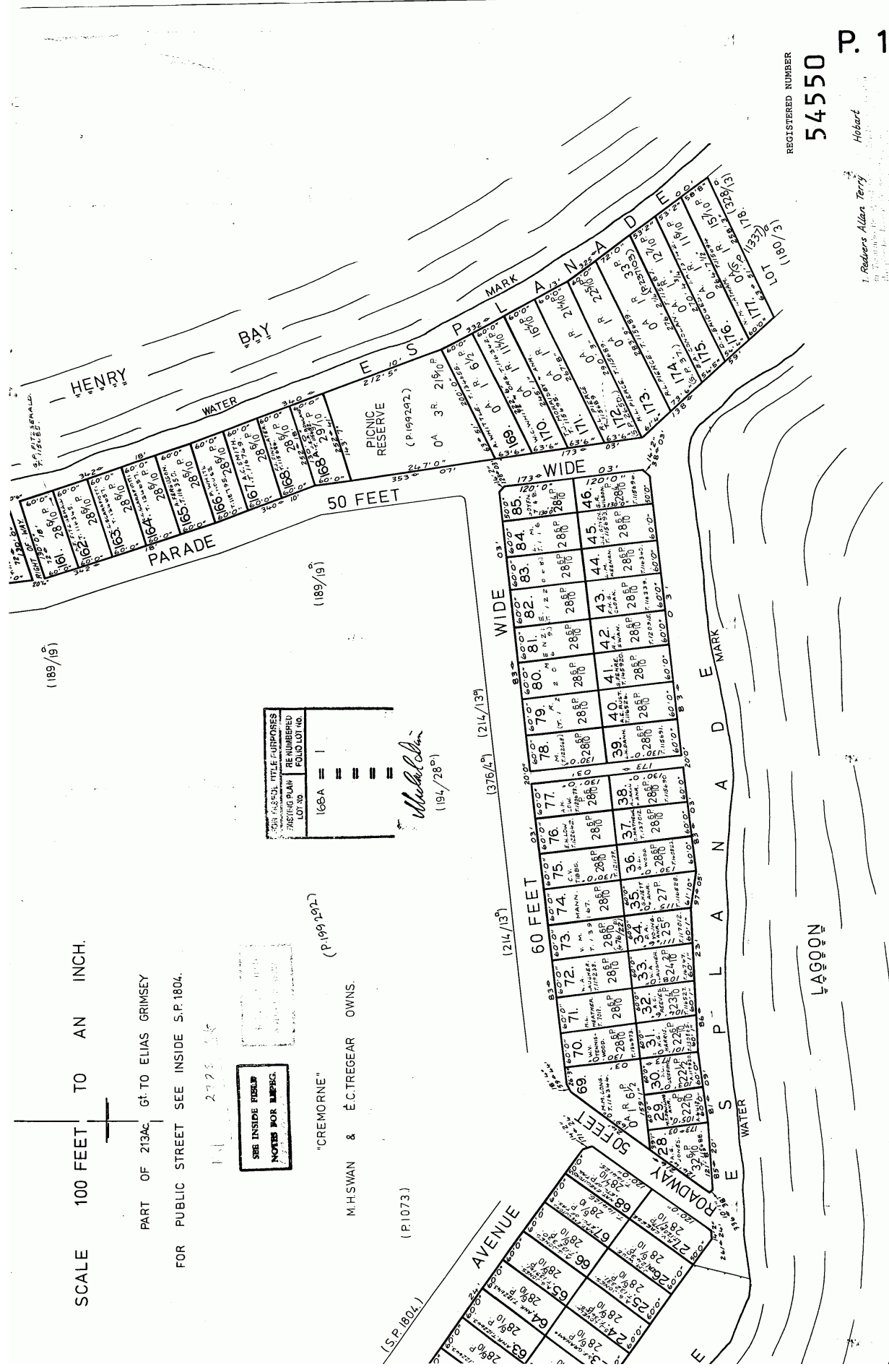
C611458 MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 24-Feb-2005 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

REGISTERED NUMBER
54550
 P. 1082

Hobart
 1. Redvers Allan Terry
 2. ...
 3. ...
 4. ...
 5. ...



(189/19)

(189/19)

| FOR FURTHER TITLE PURPOSES | BE NUMBERED | FOLIO LOT (40) |
|----------------------------|-------------|----------------|
| 168A | = | 1 |
| | = | |
| | = | |
| | = | |
| | = | |

Michael Chen
 (194/280)

SEE INSIDE FOLDER
 NOTES FOR REFERENCE

"CREMORNE"
 (P.1073)

M.H.SWAN & E.C.TREGAR OWNS.

(P.1073)

SCALE 100 FEET TO AN INCH.
 PART OF 2134C Gt. TO ELIAS GRIMSEY
 FOR PUBLIC STREET SEE INSIDE S.P.1804.

DRAWN FOR OFFICE CONVENIENCE June 1975.

COUNTY OF MONMOUTH
PARISH OF RALPHS BAY

SCALE 100 FEET TO AN INCH.

PART OF 213Ac. Gt TO ELIAS GRIMSEY
FOR PUBLIC STREET SEE INSIDE S.P. 1804.

SEE INSIDE THESE
NOTES FOR EMBROIDERED
NUMBERS FOR EMBROIDERED

"CREMORNE"
(P.199 2912)

M.H.SWAN & E.C.TREGEAR OWNS.

(P.1073)

(194/28)

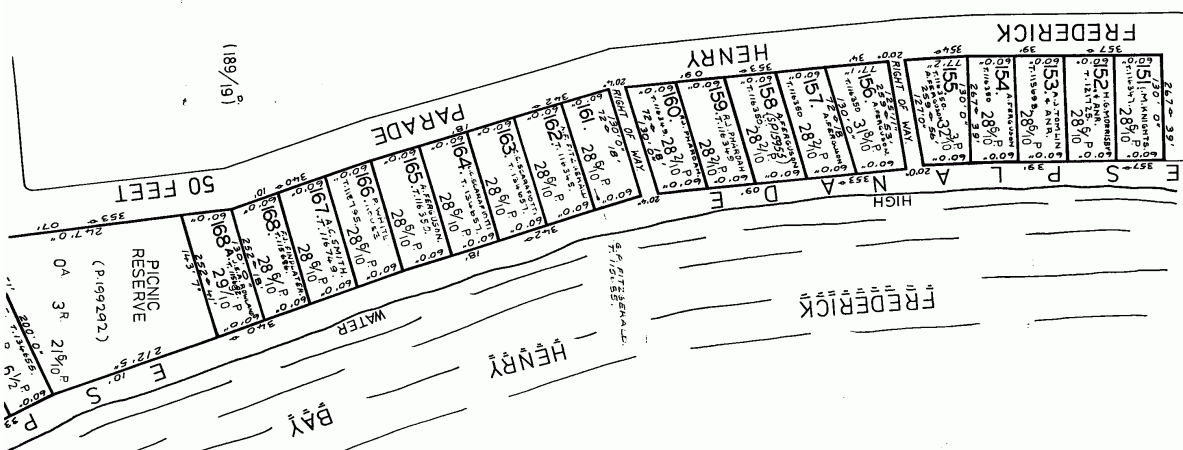
(189/9)

(1257/9)

(233/30)

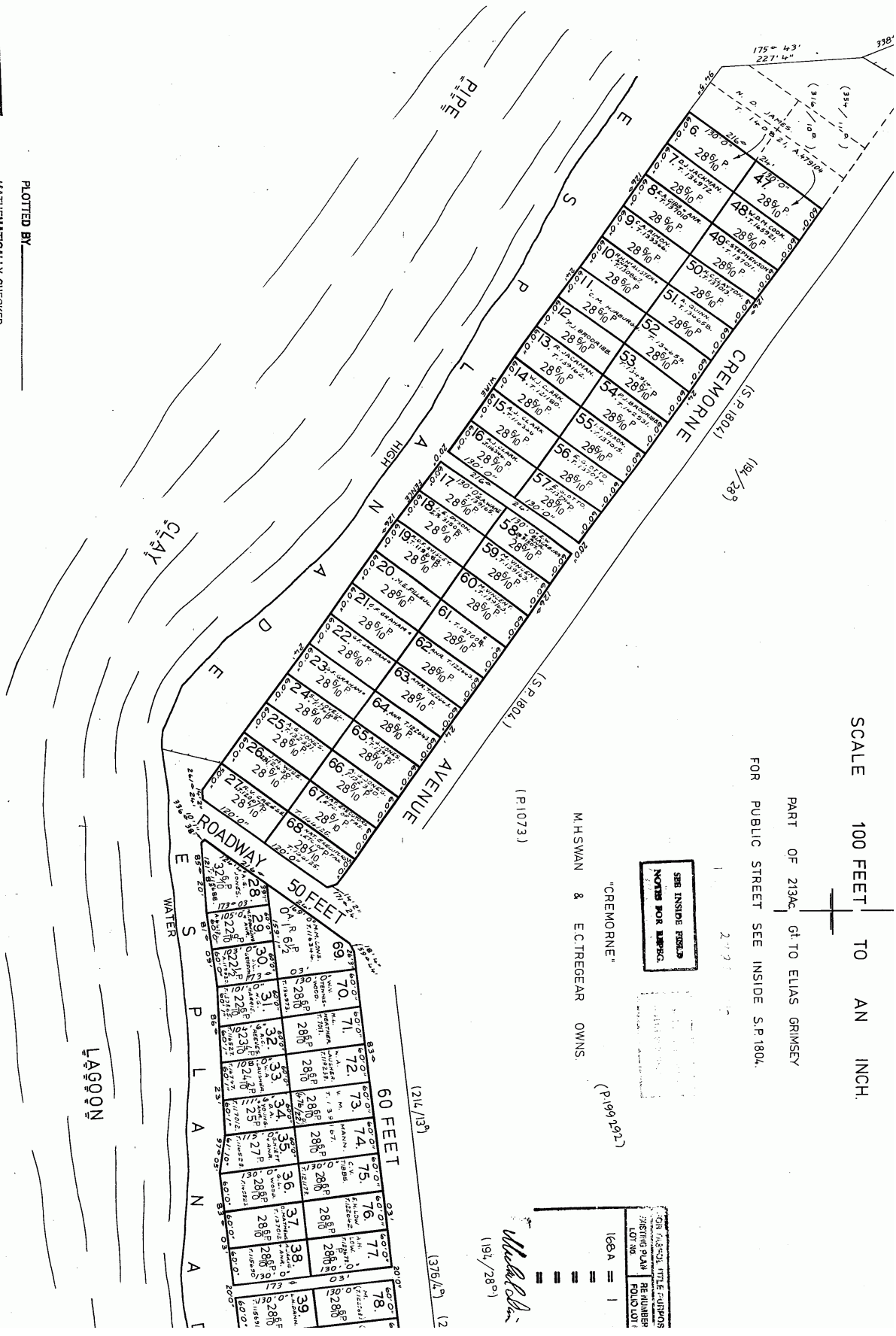
(189/9)

(189/9)



REGISTERED NUMBER
54550

PLOTTED BY _____
 MATHEMATICALLY CHECKED _____
 EXAMINED AS TO BOUNDARIES _____
 ENTERED ON CARD BY _____



SCALE 100 FEET TO AN INCH.

PART OF 213AC GR TO ELIAS GRIMSEY
 FOR PUBLIC STREET SEE INSIDE S.P.1804.

SEE INSIDE FILES
 NUMBER FOR REFERENCE

"CREMORNE"
 M.H. SWAN & E.C. TREGGAR OWNS
 (P.1073)

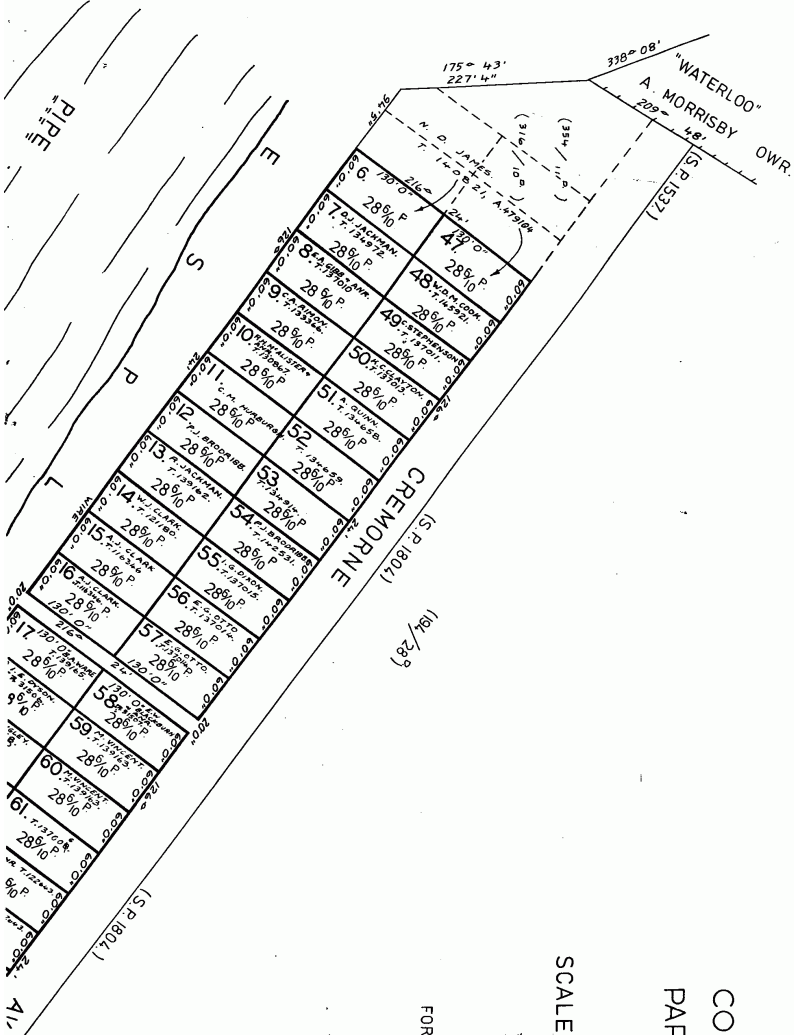
| FOR REFERENCE TO THE REGISTERED PLAN | FOR REFERENCE TO THE REGISTERED PLAN |
|--------------------------------------|--------------------------------------|
| LOT NO. | REMARKS |
| 106A = 1 | |
| 106B = 1 | |
| 106C = 1 | |
| 106D = 1 | |
| 106E = 1 | |

F N 820 (BOOK 39)

54550
REGISTERED NUMBER

P. 1082

No. OF APPLICATION
MORTYN HY SWAN & 511 c.t.
EDWD. CHAS. TREGEAR 8



COUNTY OF MONMOUTH
PARISH OF RALPHS BAY

SCALE 100 FEET TO AN INCH.

REDRAWN FOR OFFICE CONVENIENCE June 1975.

M.H.SWAN & E.C.TREGEAR OWNS
(P.1073)

SEE INSIDE REEB
NOTES FOR LEGAL

REGISTERED TITLE
MORTGAGE REEB

| REGISTERED TITLE | RE NUMBER | FOUND LOT |
|------------------|-----------|-----------|
| 168A | 1 | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Michael D. Swan
(194/28)

1082

BK 39

N^o OF APPLICATION

Walter H^o Swan & T^o
John Clat Tregear



COUNTY OF MONMOUTH

PARISH OF RALPHS BAY

Scale 200 feet to an inch

Part of 213rd Ct to Elias Gibbins

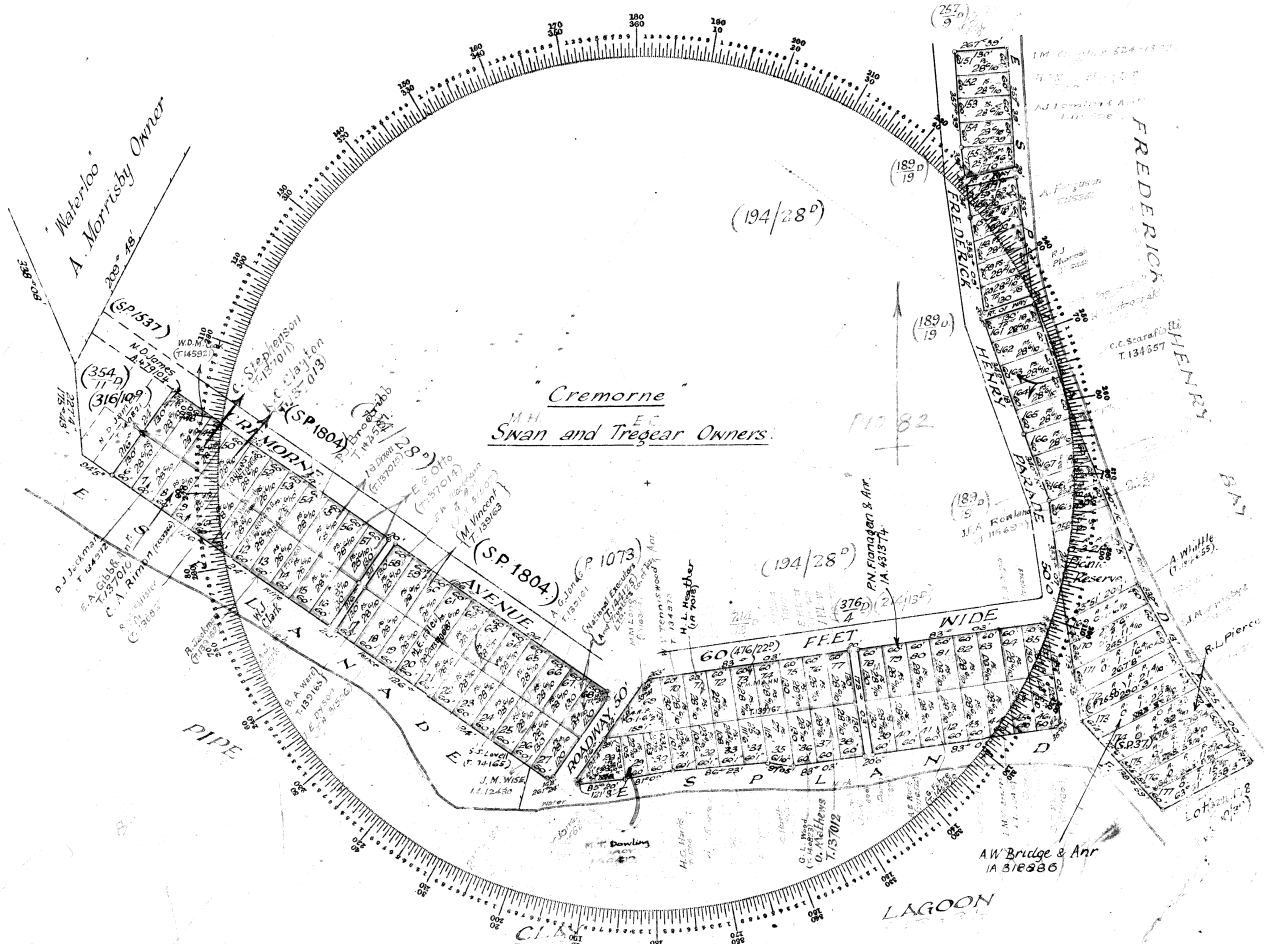
For Public Streets as made SP 1804

P-1082

511-8 c.t.

REFERENCE TO CORNERS

| COL. | BEARING | DISTANCE BY LINKS | FROM |
|------|---------|----------------------|------|
| | | | |
| | | | |
| | | | |



To be filled in by Surveyor

Date of Instructions
Survey commenced
Survey finished
Error of close l in

Office examination

Plotted by
Finally examined by
Entered on General Plan by

Report

May be acted upon
Acted upon

1082

DATE: 3.10.25

Att: Clarence City Council – Planning Department

Planning Assessment Report

Subject Site: 54 Cremorne Avenue, Cremorne, Tasmania
Proposal: Single-storey extension to existing dwelling
Planning Scheme: Tasmanian Planning Scheme – Clarence
Zone: Low Density Residential (10.0)
Clause: 10.4.3 Setback requirements from frontage
Assessment Against: Performance Criteria P1

1. Proposal Overview

The proposal involves a **single-storey extension** to the existing dwelling at 54 Cremorne Avenue. The extension will be set back **4.5 metres** from the front boundary. This does not comply with **Acceptable Solution A1**, which requires a setback of **not less than 8 metres**. The proposal is therefore assessed against **Performance Criteria P1**.

2. Performance Criteria P1 Assessment

P1: The siting of a dwelling must be compatible with the streetscape and character of development existing on established properties in the area, having regard to:

(a) The topography of the site

The site is relatively flat and the extension will not require significant cut or fill. The proposed setback responds to the landform and integrates the dwelling appropriately with its setting.

(b) The setbacks of surrounding buildings

Several dwellings along Cremorne Avenue are located closer to the frontage than 8m, with setbacks generally between 2.6m and 6.4m. The proposed 4.5m setback is therefore consistent with the existing development pattern and will not appear out of character within the streetscape.

Measured examples include:

Cremorne Avenue

- No. 3 – approx. 5.0m
- No. 8 – approx. 2.6m
- No. 25 – approx. 4.5m (to a carport constructed in 2024)
- No. 44 – approx. 3.6m
- No. 66 – approx. 5.3m
- Corner of Cremorne Ave & Wisteria Ave – approx. 2.6m (to bay window brickwork, measured on Wisteria Ave frontage)

Frederick Henry Parade

- No. 42 – approx. 4.1m (modern dwelling)

These measurements demonstrate that both older dwellings and more recent approvals in the Cremorne neighbourhood incorporate reduced front setbacks. The proposed 4.5m setback sits comfortably within this established range.

(c) The height, bulk and form of existing and proposed buildings

The extension is **single-storey** and has been designed in keeping with the **height and form of the existing dwelling**. Its modest scale ensures compatibility with neighbouring properties and avoids visual dominance in the streetscape.

(d) The appearance when viewed from roads and public open space adjacent to the site

The extension will present as an integrated addition to the existing dwelling. Importantly, it will be **sited behind an established front garden**, which provides natural screening and softens its presentation to Cremorne Avenue. As the **public footpath is located on the opposite side of the street**, the extension will have minimal visibility to pedestrians and will not create adverse streetscape impacts.

(e) The safety of road users

Cremorne Avenue runs straight past the subject site with no curves, intersections, or obstructions affecting sight lines. In addition, the property benefits from a **deep nature strip**, which ensures vehicles entering and exiting have more than sufficient visibility to safely interact with passing traffic. The reduced setback will not compromise driver or pedestrian safety.

Additional consideration – Off-street parking

The extension does not reduce or alter existing off-street parking spaces on the site. Vehicle access and parking arrangements remain compliant and functional.

3. Conclusion

Although the extension does not comply with the **Acceptable Solution setback of 8 metres**, the proposed 3.0 metre single-storey extension with a setback of 4.5 metres satisfies **Performance Criteria P1** of Clause 10.4.3. The siting is compatible with the established development pattern along Cremorne Avenue, the design matches the existing dwelling in height and form, the impact is softened by an established garden, the public footpath is on the opposite side of the street, off-street parking is maintained, and the deep nature strip provides excellent sight lines for safe vehicle access. No adverse amenity or safety impacts will result. Approval is therefore considered appropriate.

ALTERATIONS & ADDITIONS

at 54 CREMORNE AVENUE,
CREMORNE TAS 7024
for D. & M. HUTCHINSON

ISSUE: PLANNING SET - 29.09.25

| DWG. No. | DRAWING NAME | DATE | REVISION |
|----------|-----------------------------------|----------|----------|
| A01 | COVER PAGE | 3.10.25 | A |
| A02 | SITE PLAN | 27.10.25 | B |
| A03 | EXISTING & DEMOLITION PLAN | 3.10.25 | A |
| A04 | PROPOSED GROUND FLOOR PLAN | 3.10.25 | A |
| A05 | EXISTING & PROPOSED ELES 01 OF 04 | 3.10.25 | A |
| A06 | EXISTING & PROPOSED ELES 02 OF 04 | 3.10.25 | A |
| A07 | EXISTING & PROPOSED ELES 03 OF 04 | 3.10.25 | A |
| A08 | EXISTING & PROPOSED ELES 04 OF 04 | 3.10.25 | A |

GENERAL INFORMATION

| | |
|--|--|
| Accredited Building Designer: Accreditation Number: | Monty East CC 191 O |
| Land title reference number: | C.T. 54550 / 59 |
| Site area: | 724.6 + - m ² |
| Total floor area: | 106 + - m ² |
| Total decked / balcony area: | 28.5 + - m ² |
| Site assessment by: | ENGINEERED ASSESSED |
| Wind classification: | N3 Site Classification to AS 4055-2012 |
| Soil classification: | A Site Classification to AS 2870-2011 |
| Climate zone: | 7 |
| Bushfire-prone area BAL rating: | N/A |
| Alpine area (900m above AHD): | N/A |
| Corrosion environment: | MEDIUM |
| Other known site hazards: | LOW COASTAL EROSION BAND, AIRPORT OBSTACLE LIMITATION AREA, MEDIUM COASTAL INUNDATION HAZARD BAND, FLOOD PRONE AREA |

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY DESIGN EAST, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF THERE ARE ANY QUERIES IN RELATION TO DIMENSIONS, LEVELS OR CONSTRUCTION DETAILS, CONTACT:







153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC191O

design ● EAST

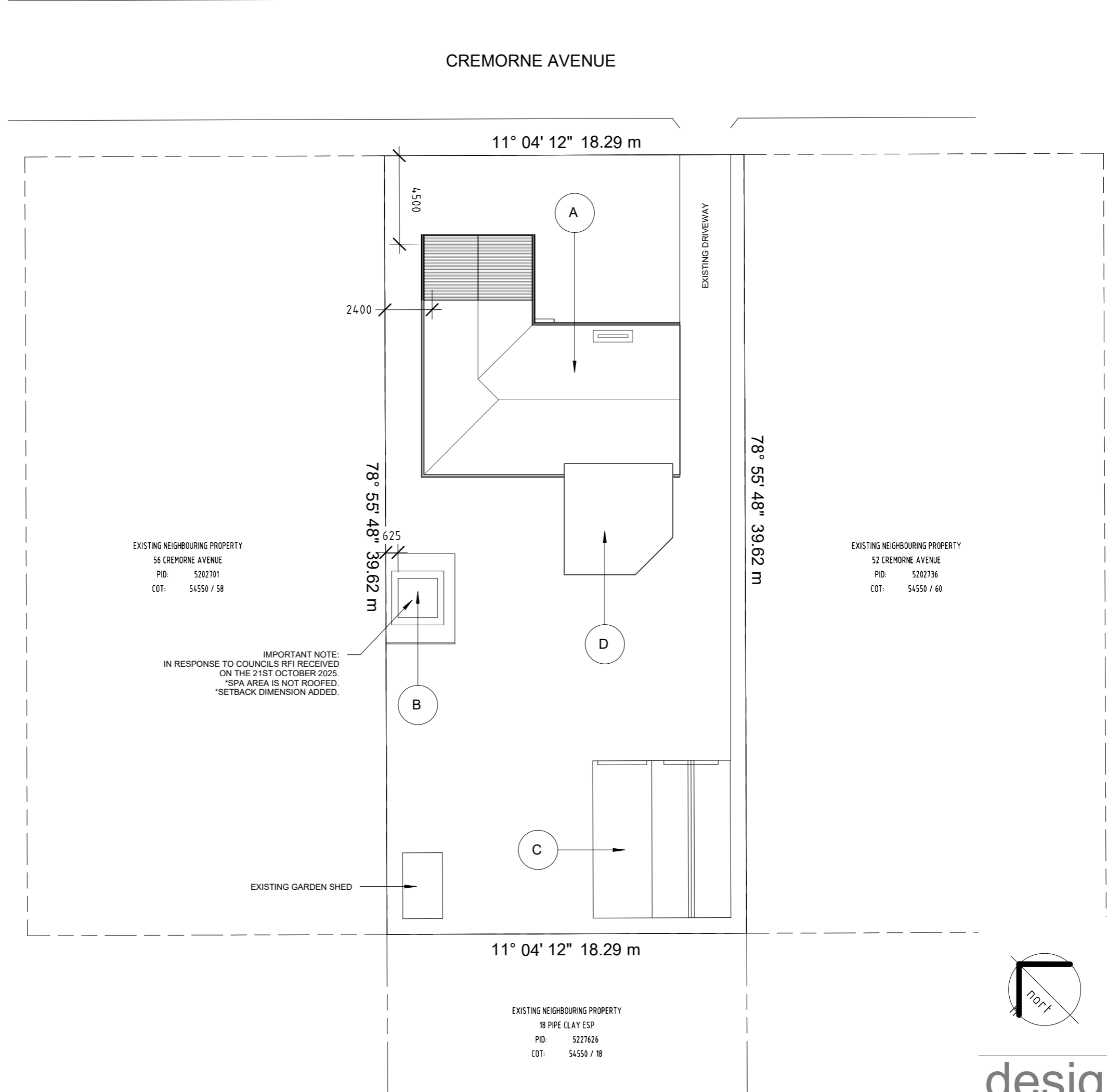
building design and interior architecture

| SITE NOTES | |
|-------------------|--|
| Property Address: | 54 CREMORNE AVENUE, CREMORNE TAS 7024 |
| Property ID: | 5202728 |
| Title Reference: | 54550 / 59 |
| Site Area: | 724.6 +/- m ² |
| Municipality: | CLARENCE |
| Owner: | D. & M. HUTCHINSON |

| SITE KEY | |
|--|--|
|  | OUTLINE OF EXISTING RESIDENCE EXTENSION SHOWN HATCH |
|  | OUTLINE OF PROPOSED SPA |
|  | OUTLINE OF EXISTING GARAGE |
|  | OUTLINE OF EXISTING DECK AND PERGOLA |

| EXISTING SITE COVERAGE | |
|-------------------------|-----------------|
| EXISTING DWELLING | = 89.7 +/- -Sqm |
| EXISTING DECK (COVERED) | = 28.5 +/- -Sqm |
| EXISTING GARAGE | = 56 +/- -Sqm |
| GARDEN SHED | = 6.8 +/- -Sqm |
| TOTAL FLOOR & DECK AREA | = 181 +/- -Sqm |
| EXISTING SITE COVERAGE | = 24.97% |

| PROPOSED SITE COVERAGE | |
|-------------------------|------------------|
| PROPOSED DWELLING | = 106 +/- -Sqm |
| TOTAL FLOOR & DECK AREA | = 197.3 +/- -Sqm |
| PROPOSED SITE COVERAGE | = 27.2% |



| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|----------|-----------|
| A | PLANNING | 3.10.25 | JF |
| B | COUNCIL RFI | 27.10.25 | |
| | | | |
| | | | |

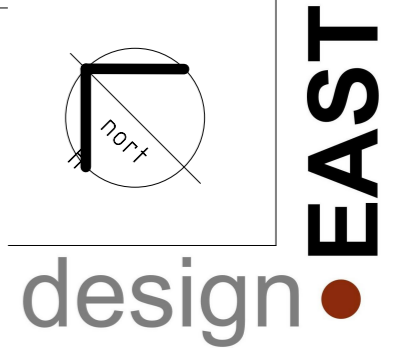
Project: ALTERATIONS & ADDITIONS
54 CREMORNE AVENUE,
CREMORNE TAS 7024
D. & M. HUTCHINSON



Drawing: SITE PLAN

design.EAST registered trading name for design.EAST Pty. Ltd.

| | | | |
|---------|-----------------|---------|----|
| DRG.NO: | A02 | CHK BY: | ME |
| SCALE: | 1 : 200 @ A3 | DRAWN: | JF |

153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910



| WALL LEGEND | |
|--|-------------------|
|  | DEMOLISHED WALL. |
|  | EXISTING FRAMING. |

| FLOOR AREAS |
|--|
| EXISTING RESIDENCE FLOOR AREA = 83.1 +/- Sqm |

DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 29, 30 & 31 OF THE BUILDING REGULATIONS (Tas.) 2016.

BUILDINGS PRIOR TO 1990 MAY CONTAIN ASBESTOS. BUILDINGS PRIOR TO 1986 ARE LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. THE BUILDER SHOULD CHECK &, IF NECESSARY, TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.

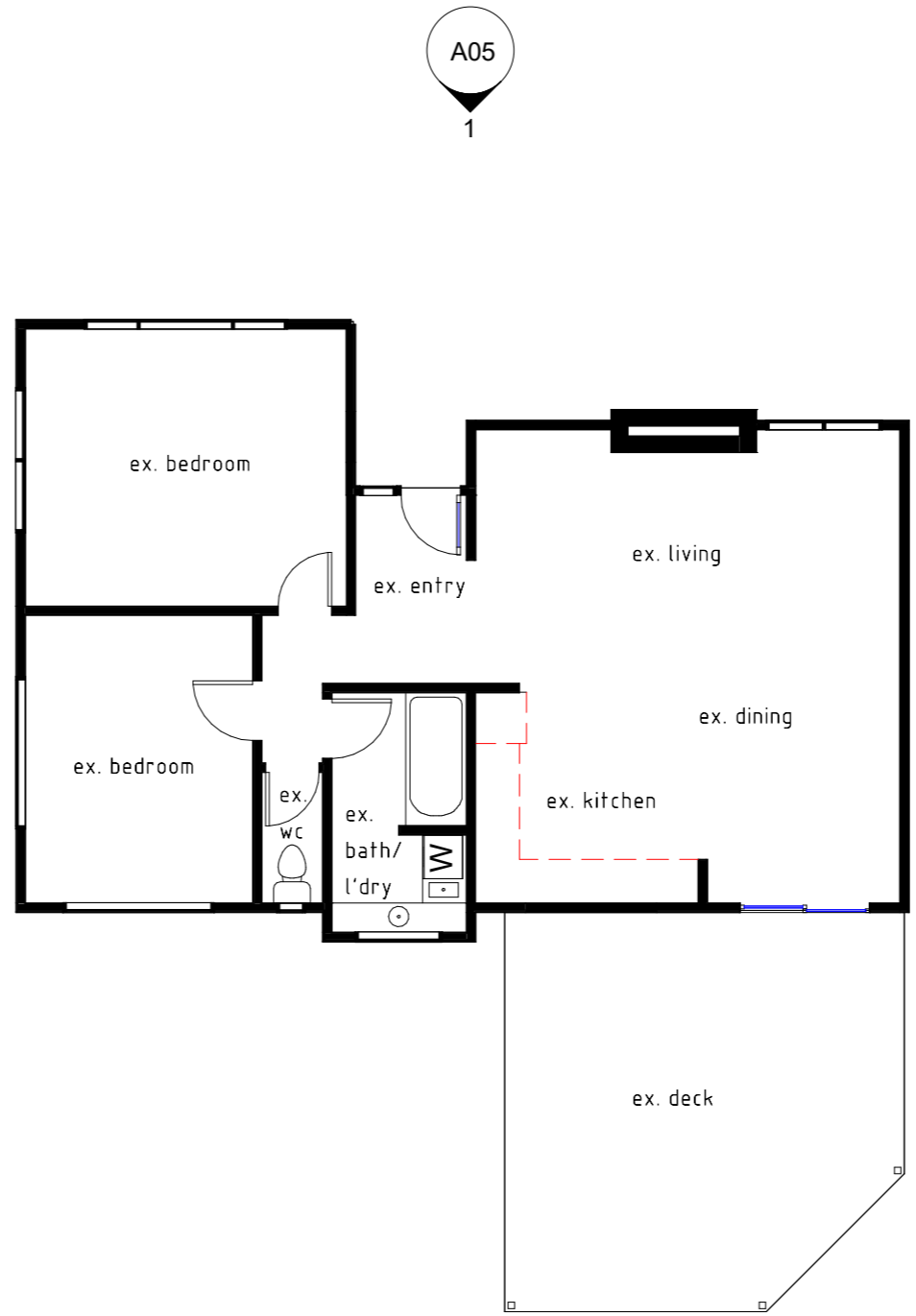
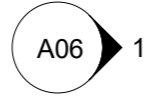
PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTY.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOAD-BEARING OR NOT. IF IT IS FOUND THAT THEY ARE LOAD-BEARING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER & WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.






| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|---------|-----------|
| A | PLANNING | 3.10.25 | JF |
| | | | |
| | | | |
| | | | |

Project: ALTERATIONS & ADDITIONS
 54 CREMORNE AVENUE,
 CREMORNE TAS 7024
 D. & M. HUTCHINSON
 Drawing: EXISTING & DEMOLITION PLAN
design.EAST registered trading name for design.EAST Pty. Ltd.

| | | | |
|----------|--------------|---------|----|
| DRG. NO: | A03 | CHK BY: | ME |
| SCALE: | 1 : 100 @ A3 | DRAWN: | JF |

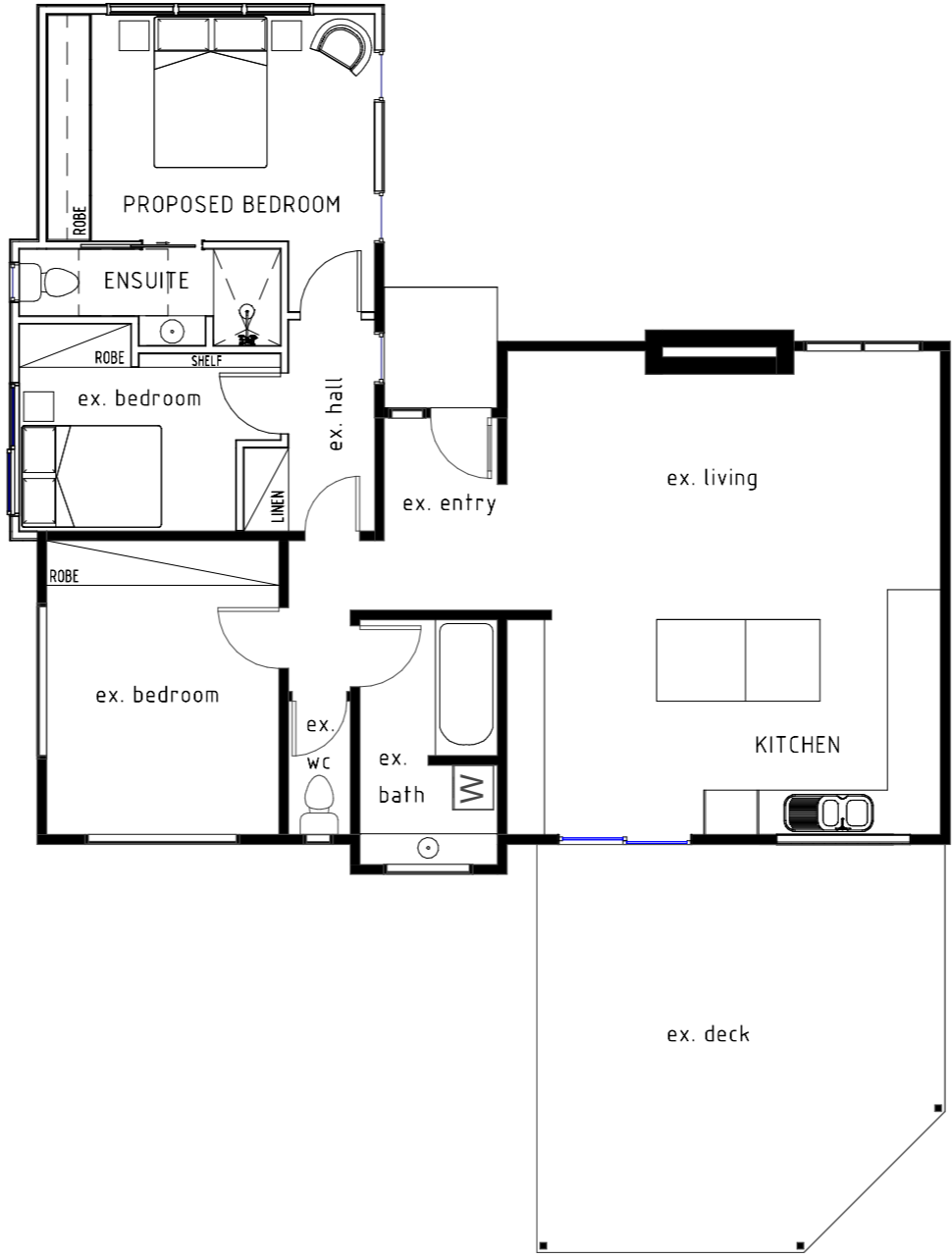
153a Davey Street Hobart
 Tasmania 7000
 Phone (03) 6223 6740
 Email design@designeast.com.au
 Web www.designeast.com.au
 Accreditation No. CC1910



| WALL LEGEND | |
|---|---|
|  | 90mm TIMBER STUD WALL (internal) |
|  | 90mm TIMBER STUD WALL (external) CEMENT SHEET PAINT FINISH T.M.E |
|  | EXISTING WALL. |

| FLOOR AREAS | |
|-----------------------|----------------|
| PROPOSED GROUND FLOOR | = 98.3 +/- Sqm |

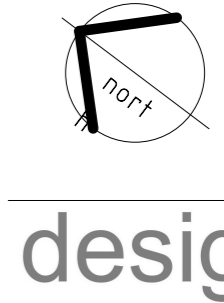
A06 2



A05
2

2 A08

2
A07



design ● EAST

building design and interior architecture

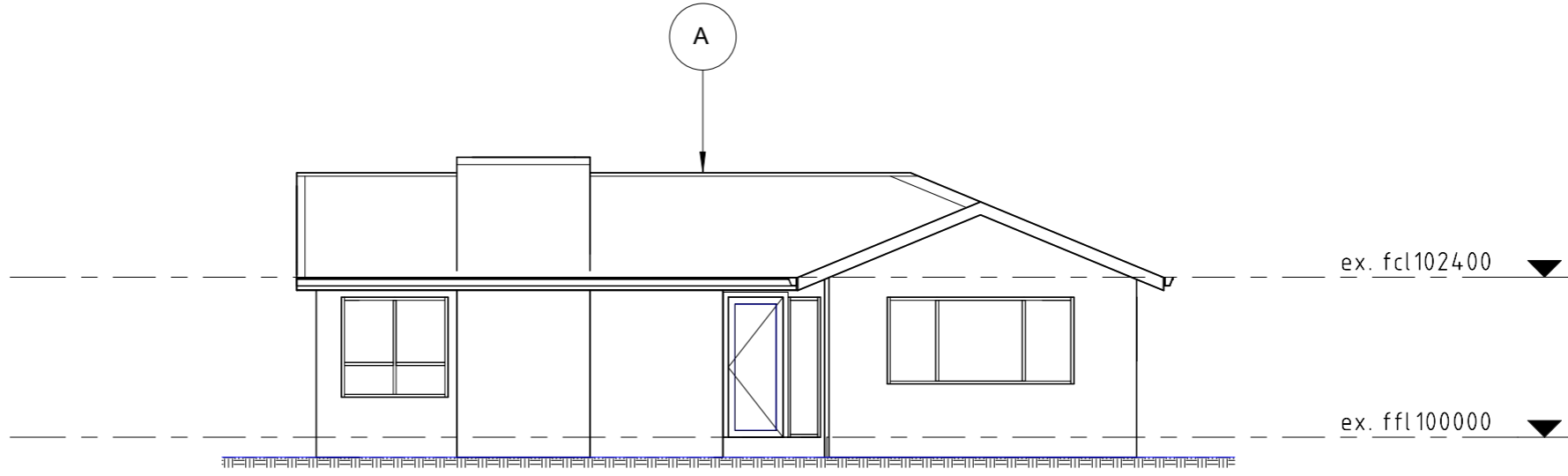
| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|---------|-----------|
| A | PLANNING | 3.10.25 | JF |
| | | | |
| | | | |
| | | | |

Project: ALTERATIONS & ADDITIONS
54 CREMORNE AVENUE,
CREMORNE TAS 7024
D. & M. HUTCHINSON
Drawing: PROPOSED GROUND FLOOR PLAN
design.EAST registered trading name for design.EAST Pty. Ltd.

SCALE: 1 : 100 @ A3
DRG.NO: A04
DRAWN: JF
CHK BY: ME

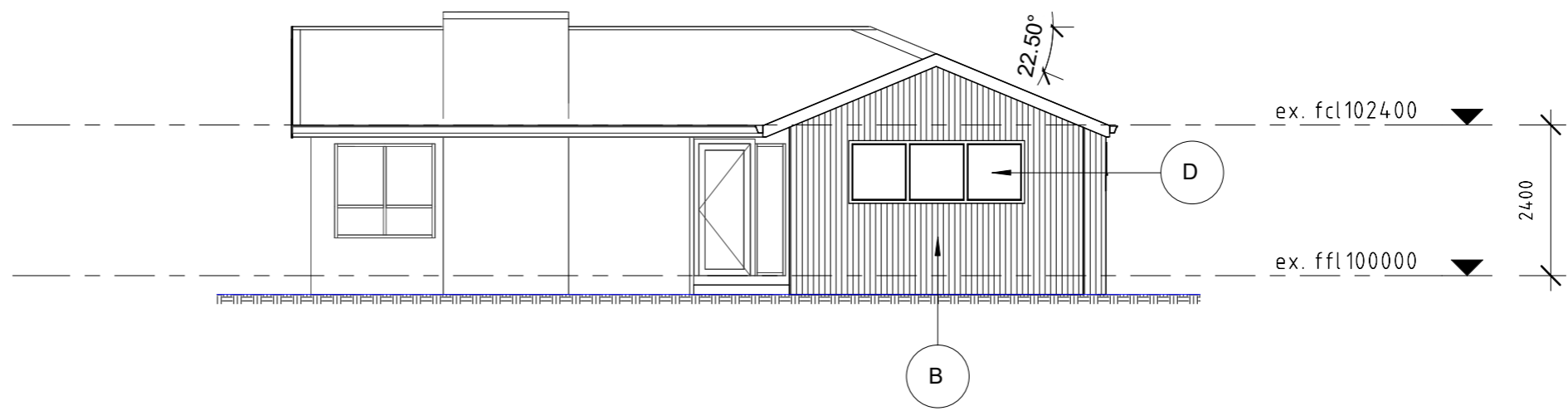
153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

| EXTERNAL FINISHES | |
|-------------------|--|
| (A) | OUTLINE OF EXISTING DWELLING |
| (B) | JAMES HARDIE AXON CLADDING, PAINT FINISH T.M.E. |
| (C) | CUSTOM ORB COLORBOND ROOF SHEETING COLOUR T.M.E |
| (D) | DOUBLE GLAZED ALUMINUM WINDOWS AND DOORS. FINISH T.M.E. |



1
A05
1 : 100

EXISTING NORTH EAST ELEVATION



2
A05
1 : 100

PROPOSED NORTH EAST ELEVATION

| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|---------|-----------|
| A | PLANNING | 3.10.25 | JF |
| | | | |
| | | | |
| | | | |

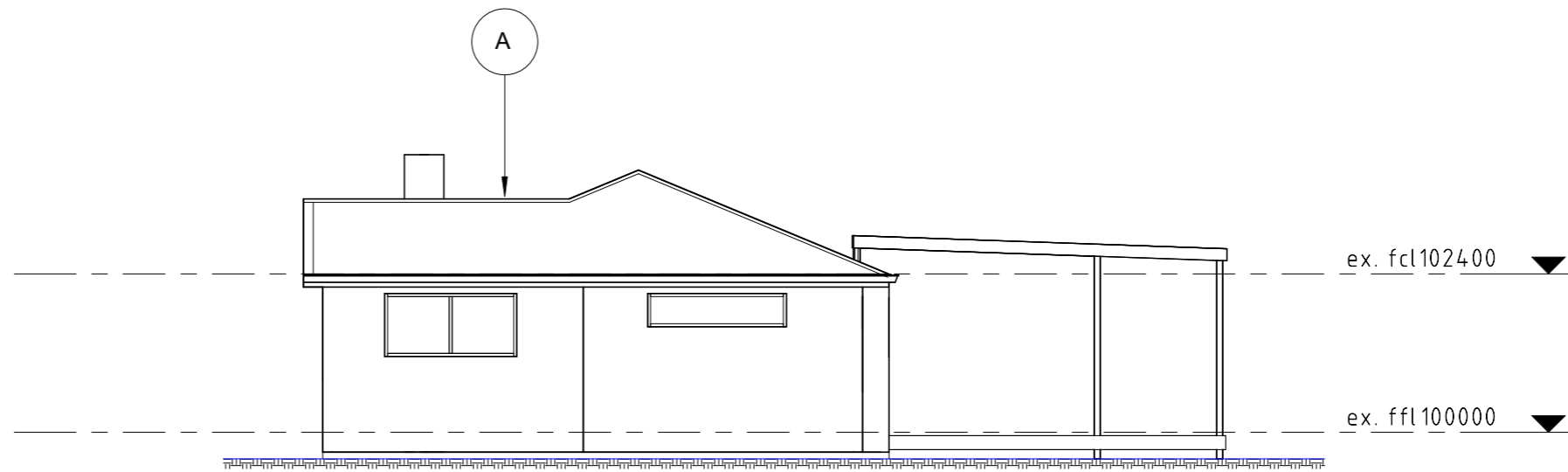
Project: ALTERATIONS & ADDITIONS
54 CREMORNE AVENUE,
CREMORNE TAS 7024
D. & M. HUTCHINSON

Drawing: EXISTING & PROPOSED ELES 01 OF 04
design.EAST registered trading name for design.EAST Pty. Ltd.

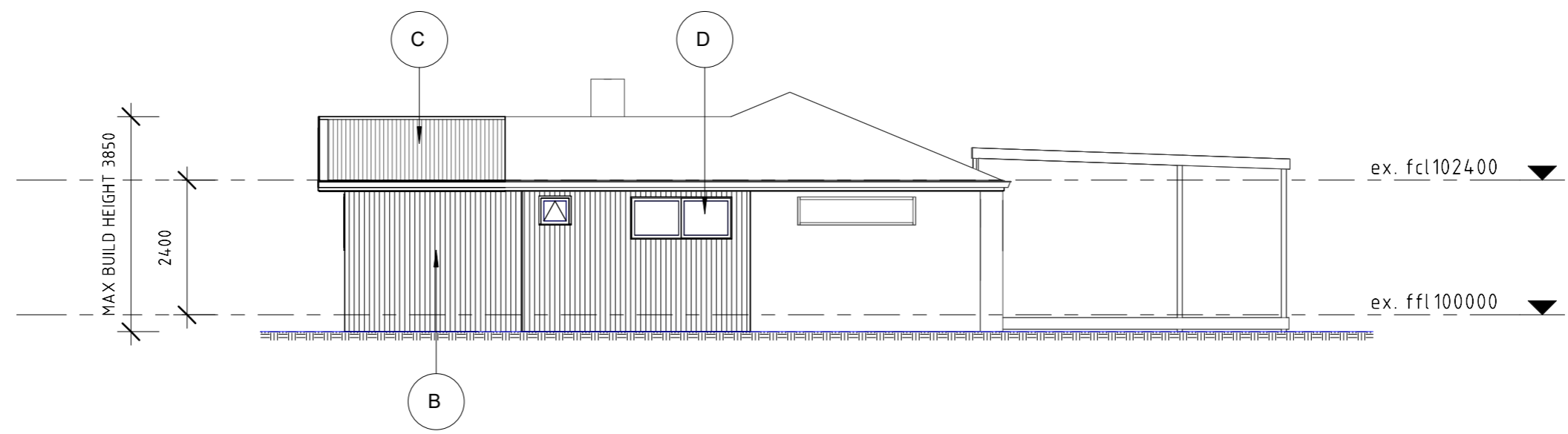
| | | | |
|---------|-----------------|---------|----|
| DRG.NO: | A05 | CHK BY: | ME |
| SCALE: | 1 : 100 @ A3 | DRAWN: | JF |

153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

| EXTERNAL FINISHES | |
|-------------------|--|
| (A) | OUTLINE OF EXISTING DWELLING |
| (B) | JAMES HARDIE AXON CLADDING, PAINT FINISH T.M.E. |
| (C) | CUSTOM ORB COLORBOND ROOF SHEETING COLOUR T.M.E |
| (D) | DOUBLE GLAZED ALUMINUM WINDOWS AND DOORS. FINISH T.M.E. |



1
A06 1:100
EXISTING NORTH WEST ELEVATION



2
A06 1:100
PROPOSED NORTH WEST ELEVATION

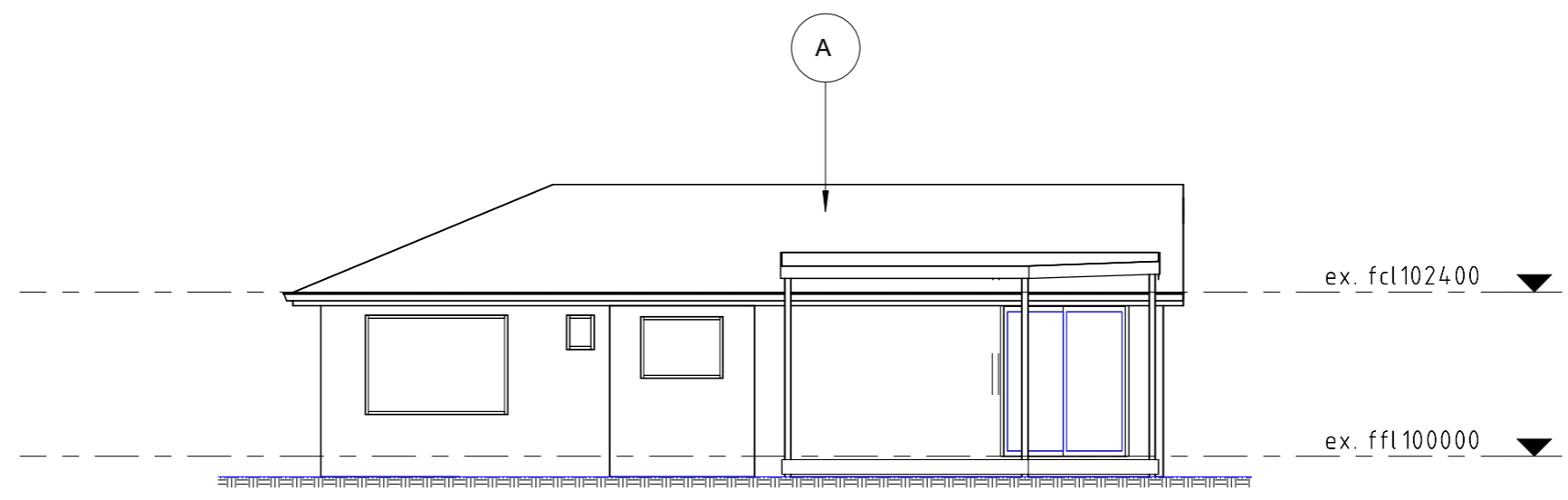
| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|---------|-----------|
| A | PLANNING | 3.10.25 | JF |
| | | | |
| | | | |
| | | | |

Project: ALTERATIONS & ADDITIONS
54 CREMORNE AVENUE,
CREMORNE TAS 7024
D. & M. HUTCHINSON
Drawing: EXISTING & PROPOSED ELES 02 OF 04
design.EAST registered trading name for design.EAST Pty. Ltd.

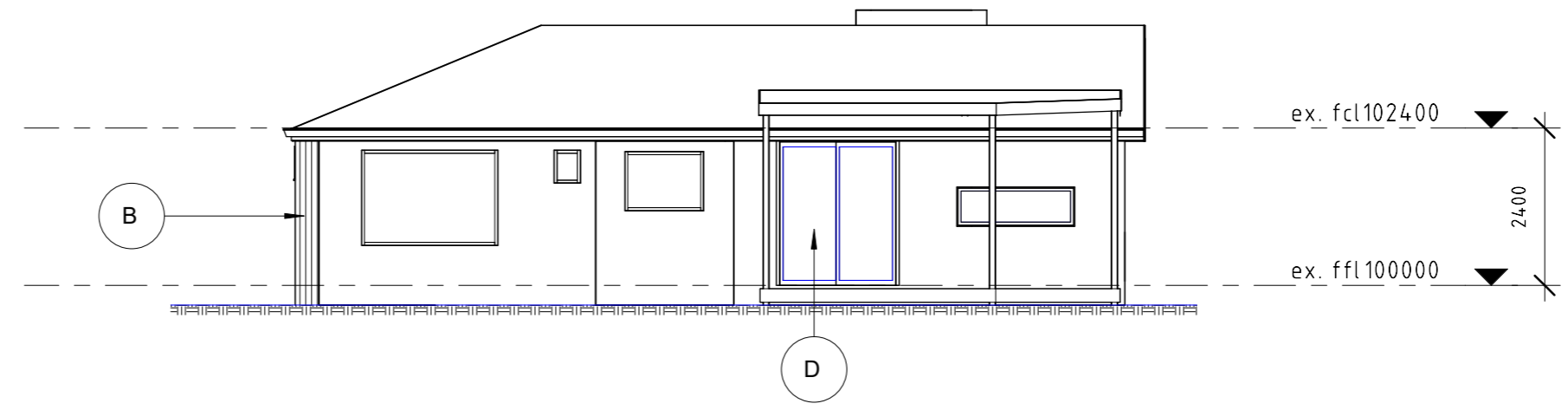
| | | |
|---------------|---------|---------|
| SCALE: | DRG.NO: | CHK BY: |
| 1:100 @ A3 | A06 | ME |
| DRAWN: | | |
| JF | | |

153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

| EXTERNAL FINISHES | |
|-------------------|--|
| (A) | OUTLINE OF EXISTING DWELLING |
| (B) | JAMES HARDIE AXON CLADDING, PAINT FINISH T.M.E. |
| (C) | CUSTOM ORB COLORBOND ROOF SHEETING COLOUR T.M.E |
| (D) | DOUBLE GLAZED ALUMINUM WINDOWS AND DOORS. FINISH T.M.E. |



1
A07 1:100
EXISTING SOUTH WEST ELEVATION



2
A07 1:100
PROPOSED SOUTH WEST ELEVATION

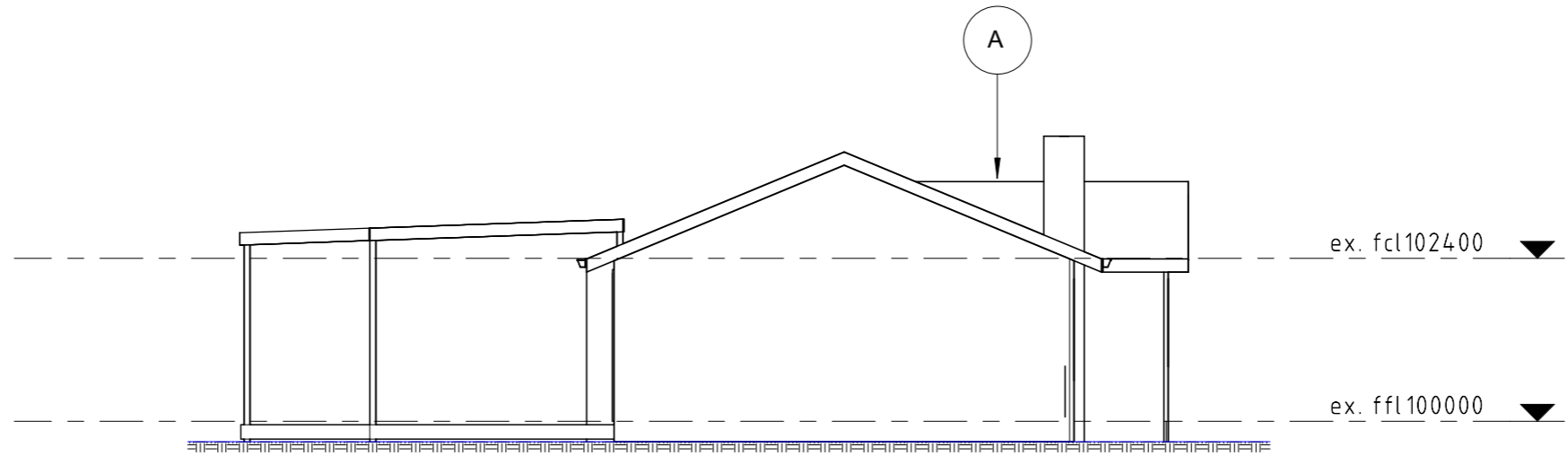
| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|---------|-----------|
| A | PLANNING | 3.10.25 | JF |
| | | | |
| | | | |
| | | | |

Project: ALTERATIONS & ADDITIONS
54 CREMORNE AVENUE,
CREMORNE TAS 7024
D. & M. HUTCHINSON
Drawing: EXISTING & PROPOSED ELES 03 OF 04
design.EAST registered trading name for design.EAST Pty. Ltd.

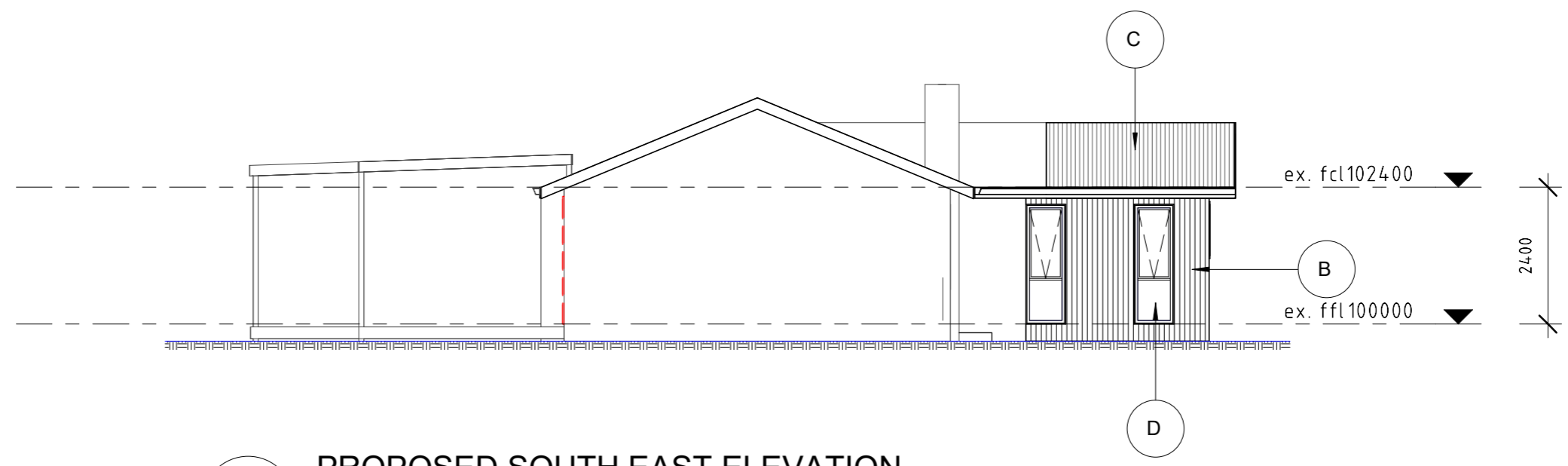
| | | |
|---------------|---------|---------|
| SCALE: | DRG.NO: | CHK BY: |
| 1:100 @ A3 | A07 | ME |
| DRAWN: | | |
| JF | | |

153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

| EXTERNAL FINISHES | |
|-------------------|--|
| (A) | OUTLINE OF EXISTING DWELLING |
| (B) | JAMES HARDIE AXON CLADDING, PAINT FINISH T.M.E. |
| (C) | CUSTOM ORB COLORBOND ROOF SHEETING COLOUR T.M.E |
| (D) | DOUBLE GLAZED ALUMINUM WINDOWS AND DOORS. FINISH T.M.E. |



1
A08 1 : 100
EXISTING SOUTH EAST ELEVATION



2
A08 1 : 100
PROPOSED SOUTH EAST ELEVATION

| ISSUE | DESCRIPTION | DATE | ISSUED BY |
|-------|-------------|---------|-----------|
| A | PLANNING | 3.10.25 | JF |
| | | | |
| | | | |
| | | | |

Project: ALTERATIONS & ADDITIONS
54 CREMORNE AVENUE,
CREMORNE TAS 7024
D. & M. HUTCHINSON
Drawing: EXISTING & PROPOSED ELES 04 OF 04
design.EAST registered trading name for design.EAST Pty. Ltd.

| | | | |
|---------|-----------------|---------|----|
| DRG.NO: | A08 | CHK BY: | ME |
| SCALE: | 1 : 100 @ A3 | DRAWN: | JF |

153a Davey Street Hobart
Tasmania 7000
Phone (03) 6223 6740
Email design@designeast.com.au
Web www.designeast.com.au
Accreditation No. CC1910

14/7/2025

Mark Hutchinson 0409933361
mdhutchinson68@outlook.com

ROCK SOLID GEOTECHNICS PTY LTD
Peter Hofto
163 Orielton Road
Orielton
TAS 7172
0417 960 769
peter@rocksolidgeotechnics.com.au

ONSITE WASTEWATER ASSESSMENT / SYSTEM DESIGN – 54 Cremorne Avenue, Cremorne

The 3-bedroom residence at 54 Cremorne Avenue, Cremorne ([Plate 1](#)) is serviced with a septic tank and trench based onsite wastewater system. The trench system has failed. The current wastewater system will be decommissioned and replaced.

A site assessment was completed on Thursday 19 June, 2025. A test hole was completed to assess the site for onsite wastewater disposal suitability (4wd mounted SAMPLA25 mechanical auger with 100mm diameter solid flight augers). The location of the test hole is marked on [Figure 1](#).

The block has been extensively developed, with the only practical available land available for an onsite wastewater Land Application Area (LAA) being in the western corner of the site ([Plate 2](#)). This area is flat, and is covered in garden beds and lawn, and is devoid of trees.

The profile encountered in the [Test Hole](#) ([Plate 3](#)) consisted of:

| | |
|--------------|--|
| 0.00 – 0.25m | SAND: fine to medium grained, dark grey, rootlets – TOPSOIL |
| 0.25 – 2.10m | SAND: fine to medium grained, grey, dry to 0.80m then moist to 0.1.10m, then wet |
| 2.10m+ | Hole terminated at required depth – 2.10m. |

Groundwater **was** encountered in the hole. The Standing Water Level (SWL) was measured at 1.10m depth.

The site is classified as Class 1 (SAND), with an Indicative Permeability of 3m/d. A Design Loading Rate (DLR) of 50mm/day will be utilised.

Plate 1 – Residence - looking to the northeast.



Plate 2 – Proposed new LAA - looking to the north.

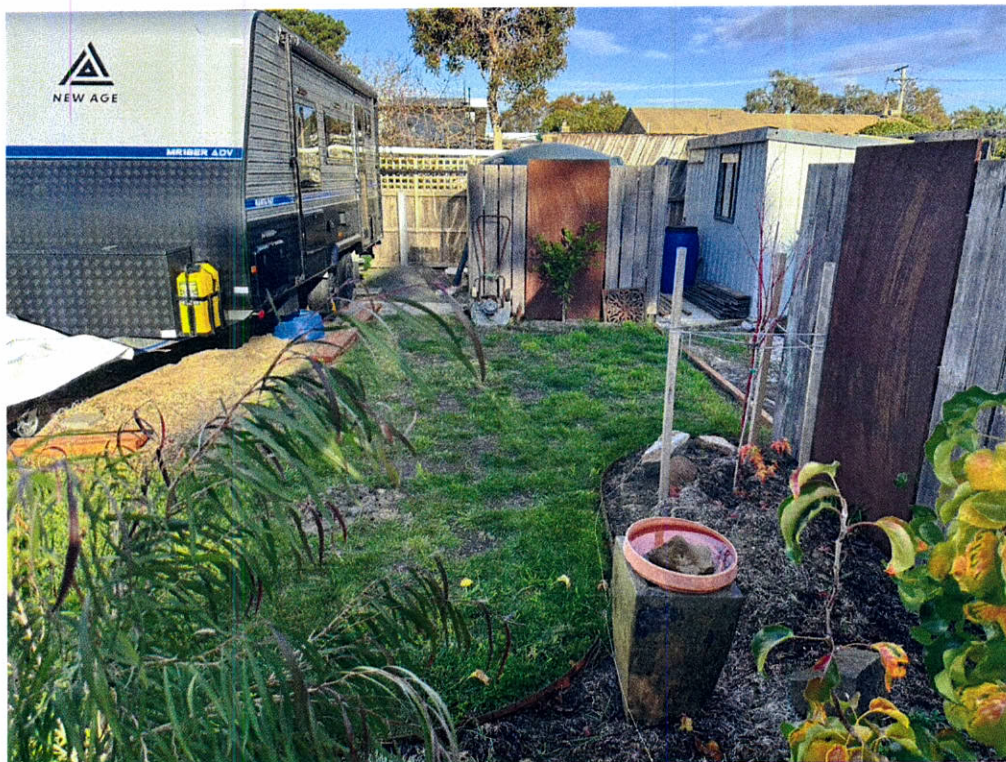


Plate 3 – Test Hole #1- looking to the southeast.



PROPOSED WASTEWATER SYSTEM DESIGN

The current septic tank and trench base onsite wastewater system will be decommissioned and replaced. It cannot be modified for reuse as a system that only treats the wastewater effluent to a primary level is no longer suitable for this site due to the (seasonally) shallow groundwater table.

The following design allows for seasonal groundwater level rises of 300mm from the current levels.

All the residential wastewater will be treated in an Aerated Wastewater Treatment System (AWTS), to be sited between the residence and Cremorne Avenue (due to the restricted access to the site). The secondary treated effluent will then be pumped into a Land Application Area (LAA) to be configured as an absorption bed.

An inline strainer (150-200 mesh) is to be installed on the outlet of the AWTS to prevent solids from entering the irrigation system.

The effluent will be disposed of through a grid of 40mm diameter uPVC pipes in the bed.

The LAA / absorption bed will be a minimum of 12m² in area, based on the following calculations:

| | |
|------------------------------------|---|
| 3-bedroom residence | 5-person occupancy |
| Tank water | 120 litres / person / day |
| Wastewater load | 600 litres / day |
| Design Loading Rate (DLR) | 50mm/day (secondary treated effluent into absorption bed) |
| Size of the LAA / Raised Sand Beds | 600 / 50 = 12m ² |

The LAA (absorption bed) should be constructed as per the following specifications:

- The LAA will be excavated to a depth of 300mm and the base lightly ripped.
- Place 20mm diameter screened aggregate on the exposed sand to a thickness of 50mm and level.
- Install Class 9, 40mm uPVC distribution pipework. Perforate as specified with 5mm holes on top only at 400mm centres, except the first and last drill hole in each lateral that should be drilled on the underside so that the system can drain between pump cycles.
- Add inspection risers and screw caps at far end of the grid.
- Connect distribution grid to AWTS pump.
- Test the distribution system under pressure using clean water, before covering each lateral with an inverted half pipe section of 100mm PVC. This will prevent blockages of the drill holes.
- Cover the 100mm uPVC with screened 10-20mm aggregate.
- Cover the aggregate with geofabric / filter cloth.
- Cover the geofabric with loam and plant as lawn.
- A cutoff drain will not be required.

There is extremely limited available land for the LAA when setback distances are considered. If the system requires remediation, it will be necessary to remove and reinstall the LAA.

The LAA can only be used for light foot traffic. It should be protected from vehicles as they will destroy the pipework and render the area dysfunctional.

COMPLIANCE WITH THE 2016 DIRECTOR'S GUIDELINES FOR ON-SITE WASTEWATER DISPOSAL – PROPOSED SYSTEM

| Compliance Table Directors Guidelines for OSWM | | |
|---|---|---|
| Acceptable Solutions | Performance Criteria | Compliance achieved by |
| <p>7. Standards for Wastewater Land Application Areas</p> <p>A1 Horizontal separation distance from a building to a LAA must comply with one of the following: a) be no less than 6m; b) be no less than: (i) 3m from an upslope boundary or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building.</p> | <p>P1 The LAA is located so that the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.</p> | <p>Complies with A1</p> <p>Distance between any building and the LAA > 3m.</p> |
| <p>A2 Horizontal separation distance from downslope surface water to a LAA must comply with (a) or (b) (a) be no less than 100m; or (b) be no less than the following: (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to downslope surface water.</p> | <p>P2 Horizontal separation distance from downslope surface water to a LAA must comply with all of the following: a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p> | <p>Complies with A2</p> <p>LAA 64m from downslope surface water.</p> <p>1° slope to surface water.</p> <p>Setback required 15m + (2m x 1°) = 17m</p> |
| <p>A3 Horizontal separation distance from a property boundary to a LAA must comply with either of the following: (a) be no less than 40m from a property boundary; or (b) be no less than: (i) 1.5m from an upslope or level property boundary; & (ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or (iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.</p> | <p>P3 Horizontal separation distance from a property boundary to a LAA must comply with all of the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.</p> | <p>Complies with A3</p> <p>1.5m property boundary setbacks required (flat site).</p> |

| | | |
|--|--|---|
| <p>A4 Horizontal separation distance from a downslope bore, well or similar water supply to a LAA must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.</p> | <p>P4 Horizontal separation distance from a downslope bore, well or similar water supply to a LAA must comply with all of the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable.</p> | <p>Complies with A4 No known potable bores in the immediate vicinity of the site.</p> |
| <p>A5 Vertical separation distance between groundwater & a LAA must be no less than: (a) 1.5m if primary treated effluent; or (b) 0.6m if secondary treated effluent</p> | <p>P5 Vertical separation distance between groundwater and a LAA must comply with the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable.</p> | <p>Complies with A5 Groundwater encountered. SWL 1.10m.</p> |
| <p>A6 Vertical separation distance between a limiting layer & a LAA must be no less than: (a) 1.5m if primary treated effluent; or (b) 0.5m if secondary treated effluent.</p> | <p>P6 Vertical setback must be consistent with AS/NZS1547 Appendix R.</p> | <p>Complies with A6 Limiting layer not encountered.</p> |

SITE AND SOIL EVALUATION REPORT

| | | |
|--|--|--|
| <u>Soil Category:</u> (as stated in AS/NZS 1547-2000) 1,...2,...3,...4,...5,...6 | Modified Emerson Test Required If Yes, Emerson Class No. | No |
| <u>Measured or Estimated Soil Permeability (m/d):</u> | >3mm/d | |
| <u>Design Loading Rate: (mm/d)</u> | 50 mm/day | Secondary treated effluent into Sand Bed |
| <u>Geology:</u> | Quaternary sediments | |
| <u>Slope:</u> | 1° | |
| <u>Drainage lines / water courses:</u> | Nil | |
| <u>Vegetation:</u> | Grass/garden beds | |
| <u>Site History: (land use)</u> | House Site | |
| <u>Aspect:</u> | Flat | |
| <u>Pre-dominant wind direction:</u> | Northwest to southwest | |
| <u>Site Stability:</u> Will on-site wastewater disposal affect site stability? | No | |
| <u>Is geological advice required?</u> | No | |
| <u>Drainage/Groundwater:</u> | Yes | |
| <u>Depth to seasonal groundwater (m):</u> | 1.10m | |
| <u>Are surface or sub-surface drains required upslope of the land application area</u> | No | |
| <u>Water Supply:</u> | | |
| <input checked="" type="checkbox"/> | TANK | |
| <u>Date of Site Evaluation:</u> | 19/6/2025 | |
| <u>Weather Conditions:</u> | Fine | |

Mark Hutchinson 0409933361
mdhutchinson68@outlook.com

14/7/2025

ROCK SOLID GEOTECHNICS PTY LTD
Peter Hofto
163 Oriellton Rd
Oriellton
TAS 7172
0417960769
peter@rocksolidgeotechnics.com.au

Loading Certificate for Onsite Wastewater System - 54 Cremorne Avenue, Cremorne

- 1 System Capacity: (medium/long term)
 - 4-bedrooms 5 persons, 600 litres/day
- 2 Design Criteria Summary:
 - Secondary Treated Effluent Aerated Wastewater Treatment System (AWTS)
 - Soil Category Class 1 SAND
 - Land Application System 12m² absorption bed
- 3 Reserve Area:
 - Nil – system would require removal and reinstatement if remediation is required.
- 4 Variation from design flows etc:
 - The system should successfully assimilate additional peak loadings which may result from occasional social gatherings provided that this does not exceed use by more than 10 persons in a 24-hour period or more than 1 temporary resident visitor (ie. up to 6 persons total) for a period not exceeding 4 days. Visitors should be advised of the requirement to minimise time spent in showers, not running taps whilst cleaning teeth, and other common sense water conservation measures.
- 5 Consequences of overloading the system:
 - Long term use by more than 5 residents or equivalent may result in overloading of the system, surfacing of effluent, public and environmental health nuisances, pollution of surface water etc.
- 6 Consequences of under-loading the system:
 - The system will work effectively with as few as 1-person in the residence, however long periods of zero occupancy may result in poor functioning of the system when normal use recommences. If the building is left unoccupied for more than one month, it is advised to inform the maintenance contractor.
- 7 Consequences of lack of operation, maintenance and monitoring attention:
 - The AWTS must be maintained by a contracted maintenance provider.

Peter Hofto

Rock Solid Geotechnics Pty Ltd

CONDITIONS OF INVESTIGATION

This report remains the property of Rock Solid Geotechnics Pty. Ltd. (RSG). It must not be reproduced in part or full, or used for any other purpose without written permission of this company. The investigations have been conducted, & the report prepared, for the sole use of the client or agent mentioned on the cover page. Where the report is to be used for any other purpose RSG accepts no responsibility for such other use. **The Form 35 is not transferable to another body without consultation (reissue) from RSG.** The information in this report is current and suitable for use for a period of two years from the date of production of the report, after which time it cannot be used for Building or Development Application.

This report should not be used for submission for Building or Development Application until RSG has been paid in full for its production. RSG accepts no liability for the contents of this report until full payment has been received.

The results & interpretation of conditions presented in this report are current at the time of the investigation only. The investigation has been conducted in accordance with the specific client's requirements &/or with their servants or agent's instructions.

This report contains observations & interpretations based often on limited subsurface evaluation. Where interpretative information or evaluation has been reported, this information has been identified accordingly & is presented based on professional judgement. RSG does not accept responsibility for variations between interpreted conditions & those that may be subsequently revealed by whatever means. Due to the possibility of variation in subsurface conditions & materials, the characteristics of materials can vary between sample & observation sites. RSG takes no responsibility for changed or unexpected variations in ground conditions that may affect any aspect of the project. The classifications in this report are based on samples taken from specific sites. The information is not transferable to different sites, no matter how close (ie. if the development site is moved from the original assessment site an additional assessment will be required).

It is recommended to notify the author should it be revealed that the sub-surface conditions differ from those presented in this report, so additional assessment & advice may be provided.

- **AS1547-2012: Onsite Domestic Wastewater Management**

Any assessment that has included an onsite wastewater system design will require a further site visit / inspection once the system has been installed. **It is the responsibility of the client / plumber to inform the author as to when the wastewater system is being installed, and to arrange the final inspection.** After the inspection to verify that the system has been installed as per RSG's design a statement will be provided. An additional fee applies for the site visit & issuing the certificate.

RSG is not responsible for the correct installation of wastewater systems. Any wastewater installation is the sole responsibility of the owner/agent and certified plumber. Any variation to the wastewater design must be approved by RSG, and an amended Special Plumbing Permit obtained from the relevant council. The registered plumber must obtain a copy and carefully follow the details in the council issued Special Plumbing Permit. A "Certificate of Completion" will be based on surface visual inspection only, to verify the location of the system. All underground plumbing works are the responsibility of the certified plumber.

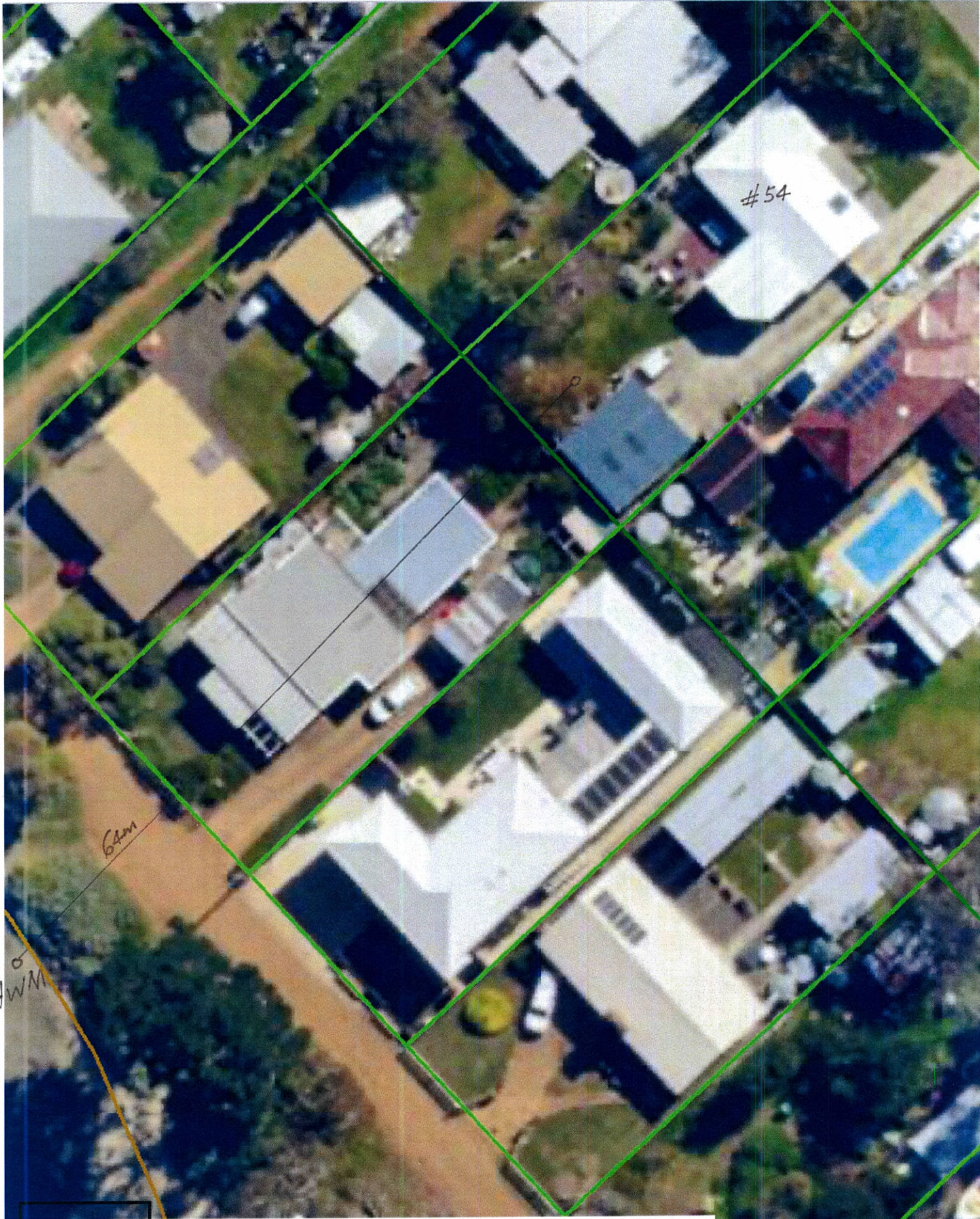
Copyright: The concepts & information contained in this report are the Copyright of Rock Solid Geotechnics Pty. Ltd.



PETER HOFTO

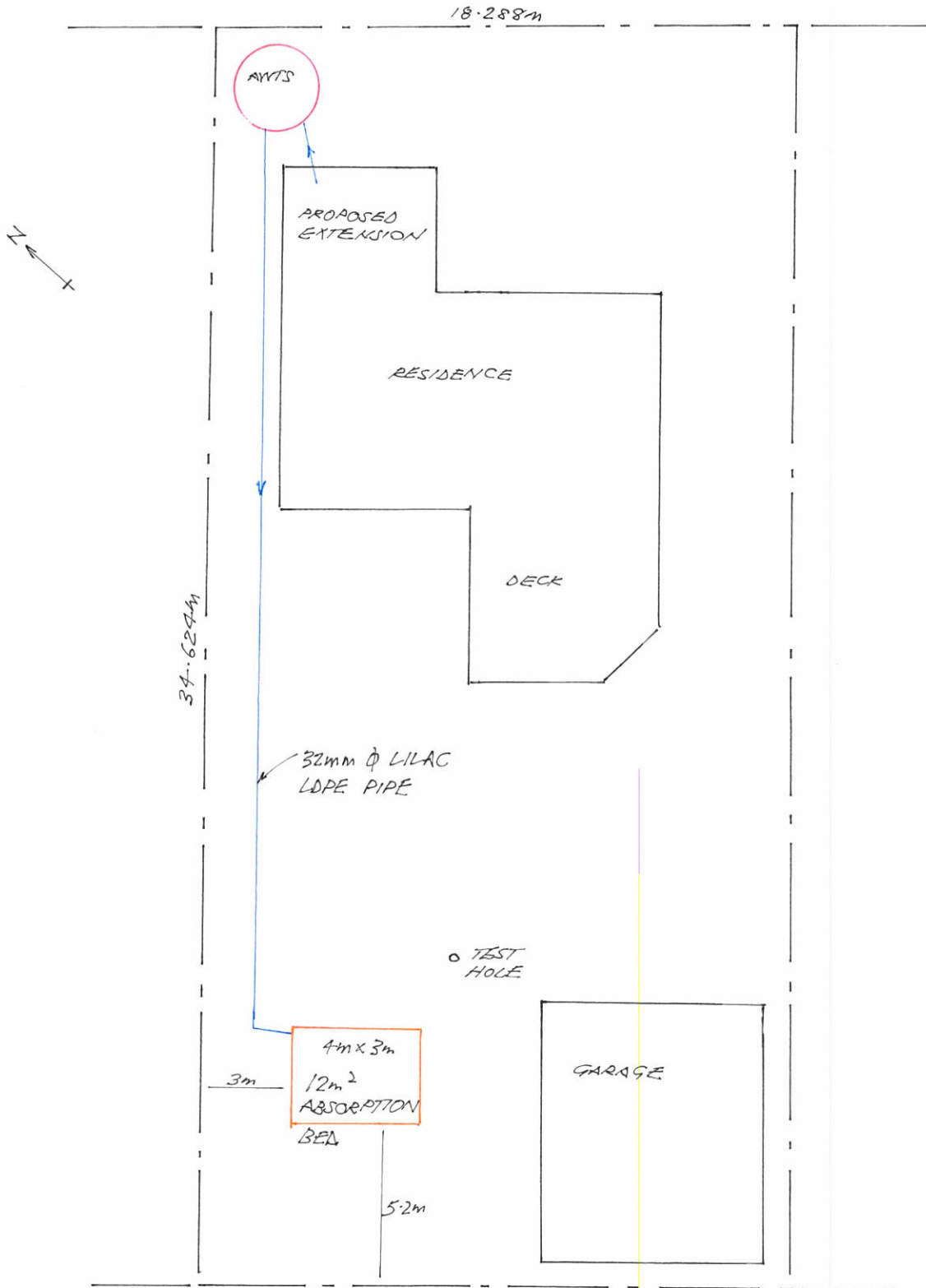
ROCK SOLID GEOTECHNICS PTY LTD

LOCALITY MAP
54 CREMORNE AVE. CREMORNE



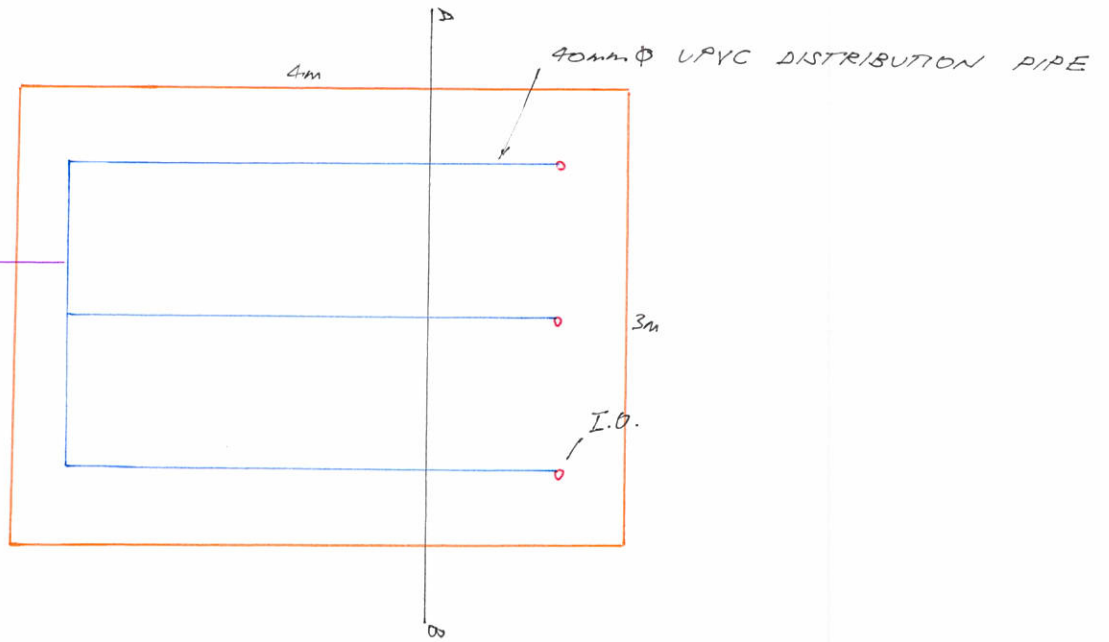
GDA94 MGA55 : 543016E, 5243940N 1:425 **Disclaimer and Copyright Notice**

CREMORNE AVE

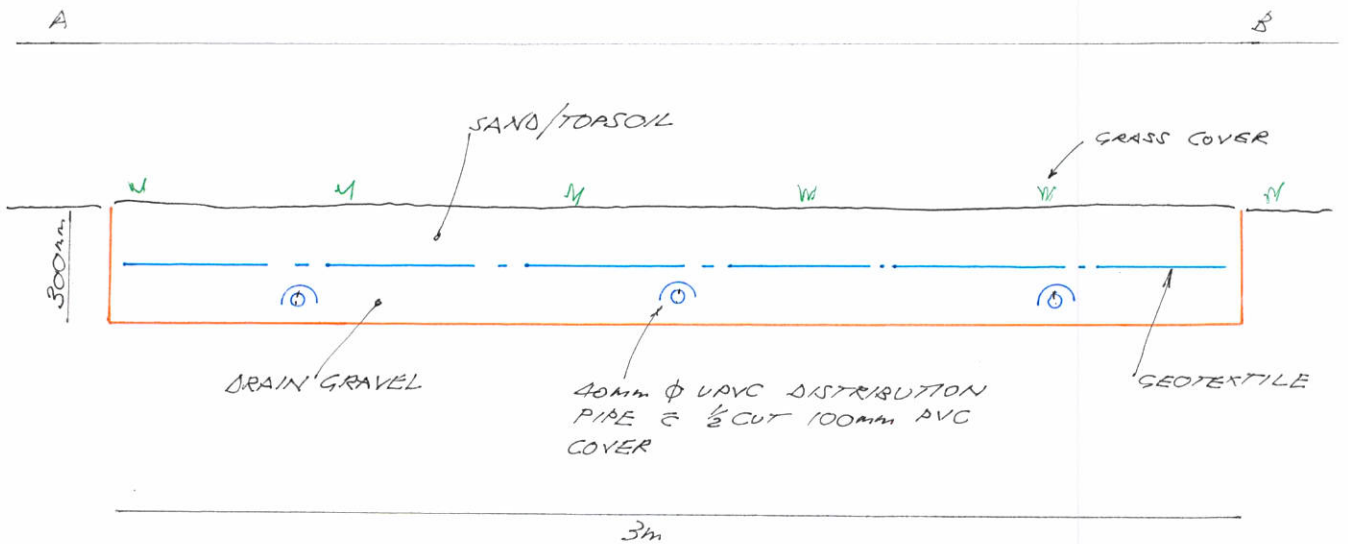


32mm ϕ LILAC
LDPE PIPE
FROM ANTS

PLAN LAA
1:50



CROSS-SECTION LAA
1:20



CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

| Certificate Type: | Certificate | Responsible Practitioner |
|-------------------|--|----------------------------------|
| | <input type="checkbox"/> Building design | Architect or Building Designer |
| | <input type="checkbox"/> Structural design | Engineer or Civil Designer |
| | <input type="checkbox"/> Fire Safety design | Fire Engineer |
| | <input type="checkbox"/> Civil design | Civil Engineer or Civil Designer |
| | <input checked="" type="checkbox"/> Hydraulic design | Building Services Designer |
| | <input type="checkbox"/> Fire service design | Building Services Designer |
| | <input type="checkbox"/> Electrical design | Building Services Designer |
| | <input type="checkbox"/> Mechanical design | Building Service Designer |
| | | Plumbing design |
| | <input type="checkbox"/> Other (specify) | |

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

Design documents provided:

The following documents are provided with this Certificate –

Document description:

| | | |
|---------------------------------|-------------------------------------|-----------------|
| Drawing numbers: | Prepared by: ROCK SOLID GEOTECHNICS | Date: 14/7/2025 |
| Schedules: | Prepared by: | Date: |
| Specifications: | Prepared by: ROCK SOLID GEOTECHNICS | Date: 14/7/2025 |
| Computations: | Prepared by: ROCK SOLID GEOTECHNICS | Date: 14/7/2025 |
| Performance solution proposals: | Prepared by: | Date: |
| Test reports: | Prepared by: | Date: |

Standards, codes or guidelines relied on in design process:

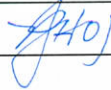
AS 1547:2021 On-site domestic wastewater management
 Director's Guidelines for Onsite Wastewater Management

Any other relevant documentation:**Attribution as designer:**

I Peter Hofto – ROCK SOLID GEOTECHNICS P/L am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

| | | | |
|-------------|----------------------|---|-------------|
| | <i>Name: (print)</i> | <i>Signed</i> | <i>Date</i> |
| Designer: | Peter Hofto |  | 14/7/2025 |
| Licence No: | CC6159I | | |

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.
If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.
TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The works are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

IPeter Hofto – ROCK SOLID GEOTECHNICS P/L.....
being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: The Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

| | | | |
|-----------|--|----------------------------------|--|
| | <i>Name: (print)</i> | <i>Signed</i> | <i>Date</i> |
| Designer: | <input type="text" value="Peter Hofto"/> | <input type="text" value="PHO"/> | <input type="text" value="14/7/2025"/> |