



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056206

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 6 Chatsworth Street, Rose Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 26 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 26 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 26 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Alterations & Additons**

Location: **6 Chatsworth Street, Rose Bay 7015**

Current Owners **Lucy Eiszele**

Personal Information Removed

Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 176702	FOLIO 1
EDITION 3	DATE OF ISSUE 09-Sep-2025

SEARCH DATE : 08-Oct-2025

SEARCH TIME : 11.35 AM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 1 on Sealed Plan [176702](#)
 Derivation : Part of 232 Acres Gtd. to A. Montagu
 Prior CTs [121801/12](#) and [96583/11](#)

SCHEDULE 1

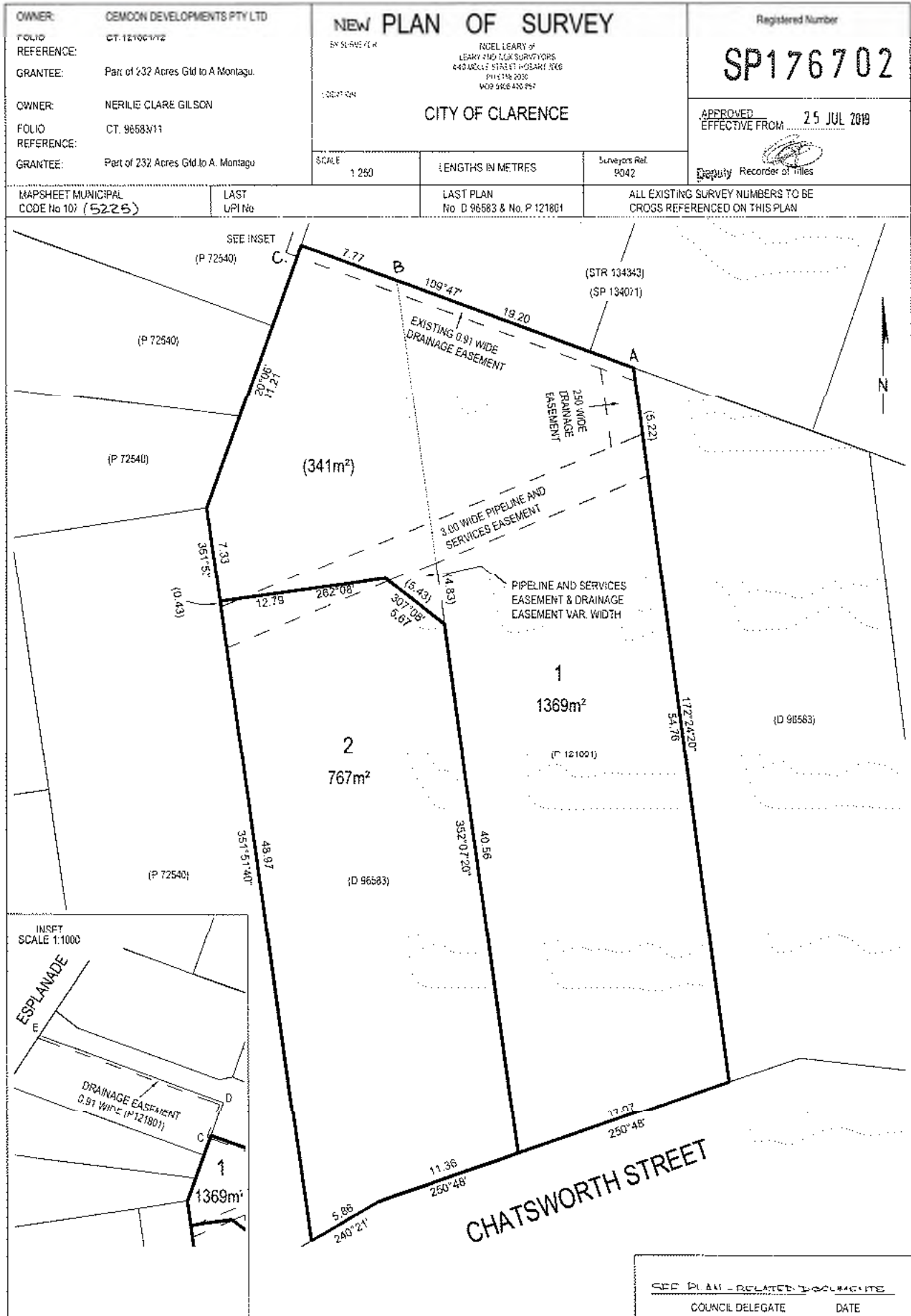
[N275113](#) TRANSFER to LUCY CHRISTINA EISZELE Registered
 09-Sep-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP176702](#) EASEMENTS in Schedule of Easements
 146599 FENCING CONDITION in Transfer
[E166121](#) AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 25-Jul-2019 at noon
[E425924](#) MORTGAGE to National Australia Bank Limited
 Registered 09-Sep-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SEE PLAN - RELATED DOCUMENTS	
COUNCIL DELEGATE	DATE

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 176702

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS - drainage

Lot 1 on the Plan is SUBJECT TO a Right of Drainage over the area marked "0.91 WIDE DRAINAGE EASEMENT" on the Plan appurtenant to lots 13,14 and 15 on Plan No 96583.

AB 0.91 wide

Lot 1 and 2 ~~are TOGETHER WITH~~ a Right of Drainage over the area marked "DRAINAGE EASEMENT" passing through portion A.B.C. on P.96583 shown on the Plan CDE shown on the Plan.

~~Lot 2 is TOGETHER WITH a Right of Drainage over the area marked "DRAINAGE EASEMENT" passing through portion A.B.C. on P.96583 shown on the Plan.~~

Lot 1 on the Plan is SUBJECT TO a Right of Drainage over the areas marked; "2.50 WIDE DRAINAGE EASEMENT"; "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VAR WIDTH" and "3.00 ^{WIDE} PIPELINE AND SERVICES EASEMENT"; on the Plan appurtenant to Clarence City Council on the plan.

Lot 1 on the Plan is subject to a right of drainage (appurtenant to Lots 12-15 on Plan 96583) over the Drainage Easement 0.91 wide marked BC on the Plan.

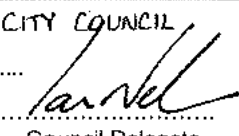
DEFINITIONS

"Pipeline and Services Easement" is defined as follows:-

THE FULL RIGHT AND LIBERTY for the TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Cemcom Developments Pty Ltd and Nerille Clare Gilson FOLIO REF: 96583/11 and 121801/12 SOLICITOR & REFERENCE: Butler McIntyre & Butler (JS)	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 20/2/2019  REF NO. _____ Council Delegate
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 176702</p>
<p>SUBDIVIDER: Cemcom Developments Pty Ltd and Nerille Clare Gilson</p> <p>FOLIO REFERENCE: 96583/11 and 121801/12</p>	

- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
- (1) without doing unnecessary damage to the Easement Land; and
 - (2) leaving the Easement Land in a clean and tidy condition; and
 - (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any then existing vehicle entry and cross the Lot to the Easement Land; and
 - (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lot in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lot.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (a) reinstate the ground level of the Easement Land; or
 - (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (c) replace any thing that supported, protected or covered the Infrastructure.

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 4 PAGES	Registered Number SP 176702
SUBDIVIDER: Cemcom Developments Pty Ltd and Nerille Clare Gilson FOLIO REFERENCE: 96583/11 and 121801/12	

- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"TasWater" means the Tasmanian Water and Sewerage Corporation Pty Limited at 169 Main Road, Moonah in Tasmania.

"Right of Drainage" means a right of drainage as defined within Schedule 8 of the *Conveyancing and Law of Property Act 1884 (Tas)*.

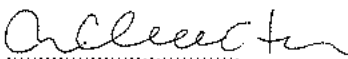
Signed by **CEMCOM DEVELOPMENTS Pty Ltd** ACN 159 003 504 in accordance with section 127 of the Corporations Act 2001:

Sole Director / 

Director

SIGNED by **NERILVE CLARE GILSON** in the presence of:





Witness signature Name and address
 Melanie Anne Clanton
 119 Macquarie Street
 Hobart TAS 7000

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 176702</p>
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EASEMENTS - Taswater

Lots 1 and 2 on the Plan is SUBJECT TO a Pipeline and Services Easement in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns) ("TasWater") over the land marked "3.00 PIPELINE AND SERVICES EASEMENT" ("Easement Land").

WIDE

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Drawing list

A000	Cover Page
A100	Existing Site Plan
A101	Proposed Site Plan
A110	Existing Ground Floor Plan
A111	Existing Lower Ground Floor Plan
A120	Ground Floor Demolition Plan
A121	Lower Ground Floor Demolition Plan
A140	Ground Floor Plan
A141	Lower Ground Floor Plan
A160	Roof Plan
A200	Chatsworth Street External Elevations
A201	Southern External Elevations
A202	Eastern External Elevations
A203	Northern External Elevations
A204	Western External Elevations
A210	Section A
A300	June Shadow Diagrams
A301	December Shadow Diagrams



6 CHATSWORTH STREET | ROSE BAY










project name
Alterations & Additions
client
L & L Fitzselle
site address
6 Chatsworth Street, Rose Bay, Tfs 7015

other project number
2510
nominated architect
Stuart Smith
project stage
Development Application
accodation number
CC6350
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604 21 796 002 (N/1) 120 Avenue Drive, Mount Sneyd, VIC 3175 | stuartsmith.com.au

drawing size
A3
issue date
8/10/2025

project title
Cover Page
sheet number
A000
revision
DA1

Site Plan Legend

-  Neighbouring buildings
-  Existing dwelling
-  Building elements to be demolished
-  New dwelling extensions
-  New concrete
-  New decking
-  New garden beds / Soft landscaping
-  Existing contour levels
-  New low height retaining walls > 1m

General

During Construction, soil and water is to be appropriately managed. This includes the provision of silt-fencing, filter screens or dedicated silt traps to prevent the discharge of gravel, soil or other debris to any existing water course or adjoining property during the construction process

Excavation

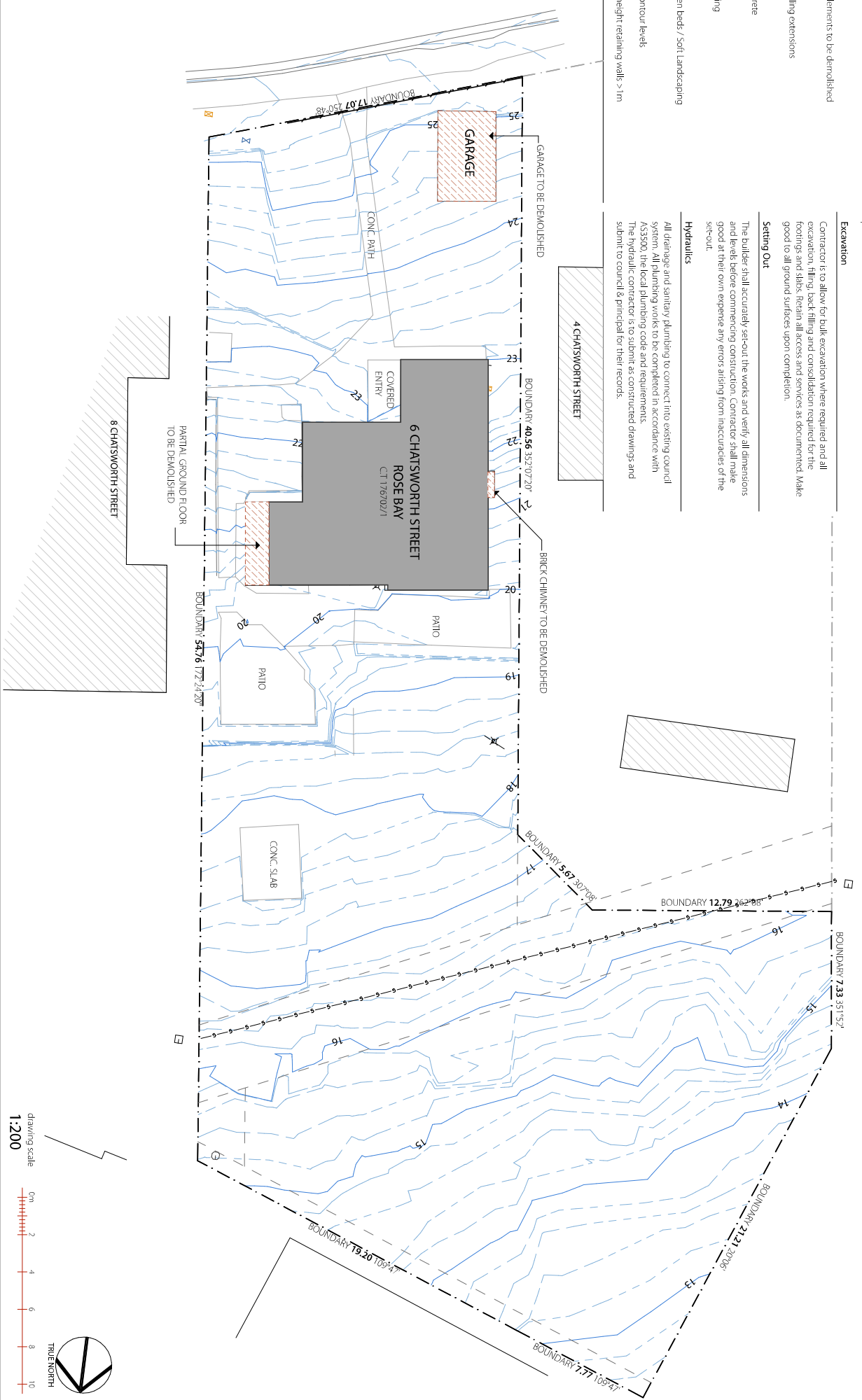
Contractor is to allow for bulk excavation where required and all excavation, filling, back filling and consolidation required for the footings and slabs. Retain all access and services as documented. Make good to all ground surfaces upon completion.

Setting Out

The builder shall accurately set-out the works and verify all dimensions and levels before commencing construction. Contractor shall make good at their own expense any errors arising from inaccuracies of the set-out.

Hydraulics










All drainage and sanitary plumbing to connect into existing council system. All plumbing works to be completed in accordance with AS3500, the local plumbing code and requirements. The hydraulic contractor is to submit as constructed drawings and submit to council & principal for their records.



drawing scale
1:200



Site Plan Legend

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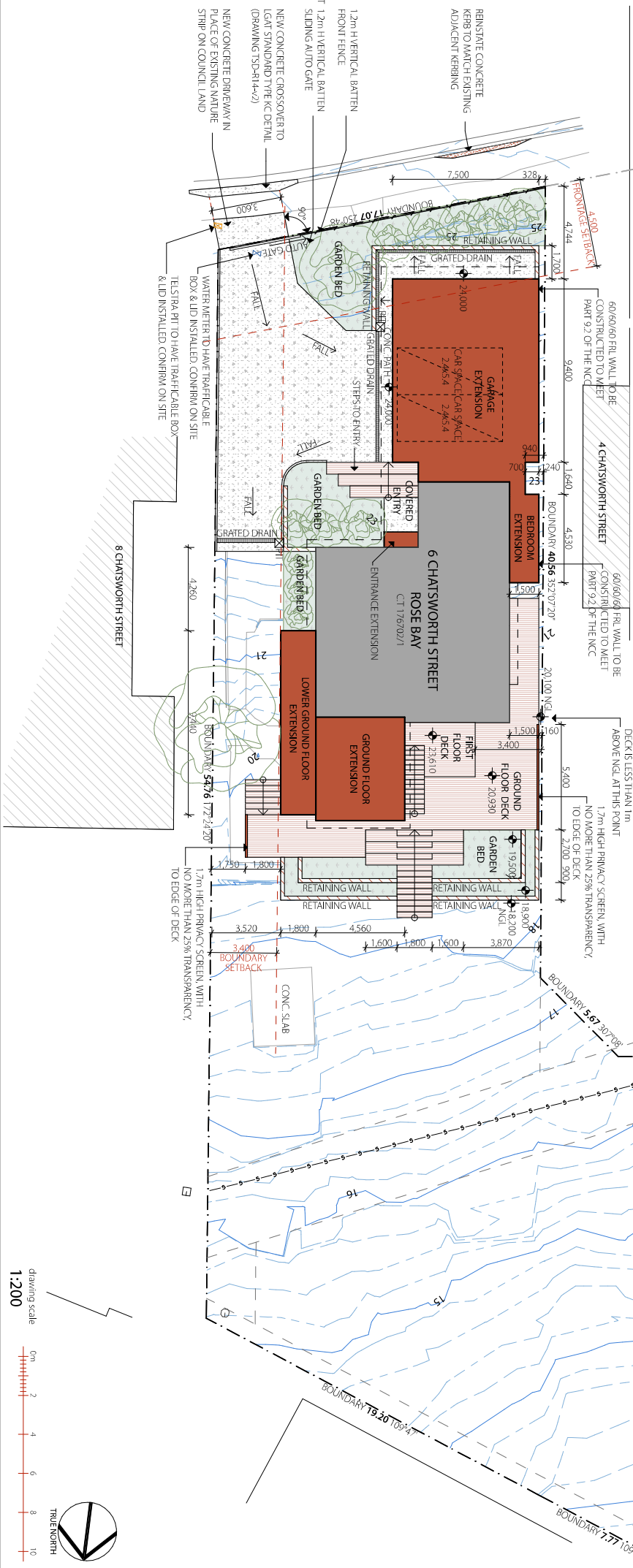
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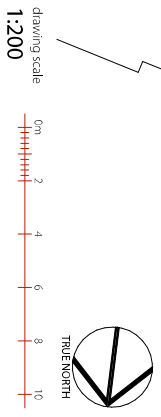
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Project name
Alterations & Additions
 client
L & L Eizesele
 site address
6 Chatsworth Street, Rose Bay, Tas 7015

office project number
2510
 nominated architect
Stuart Smith
 project stage
Development Application
 accreditation number
CC6350

drawing title
Proposed Site Plan
 drawing size
A3
 issue date
4/11/2025
 drawing number
A101
 revision
DA2

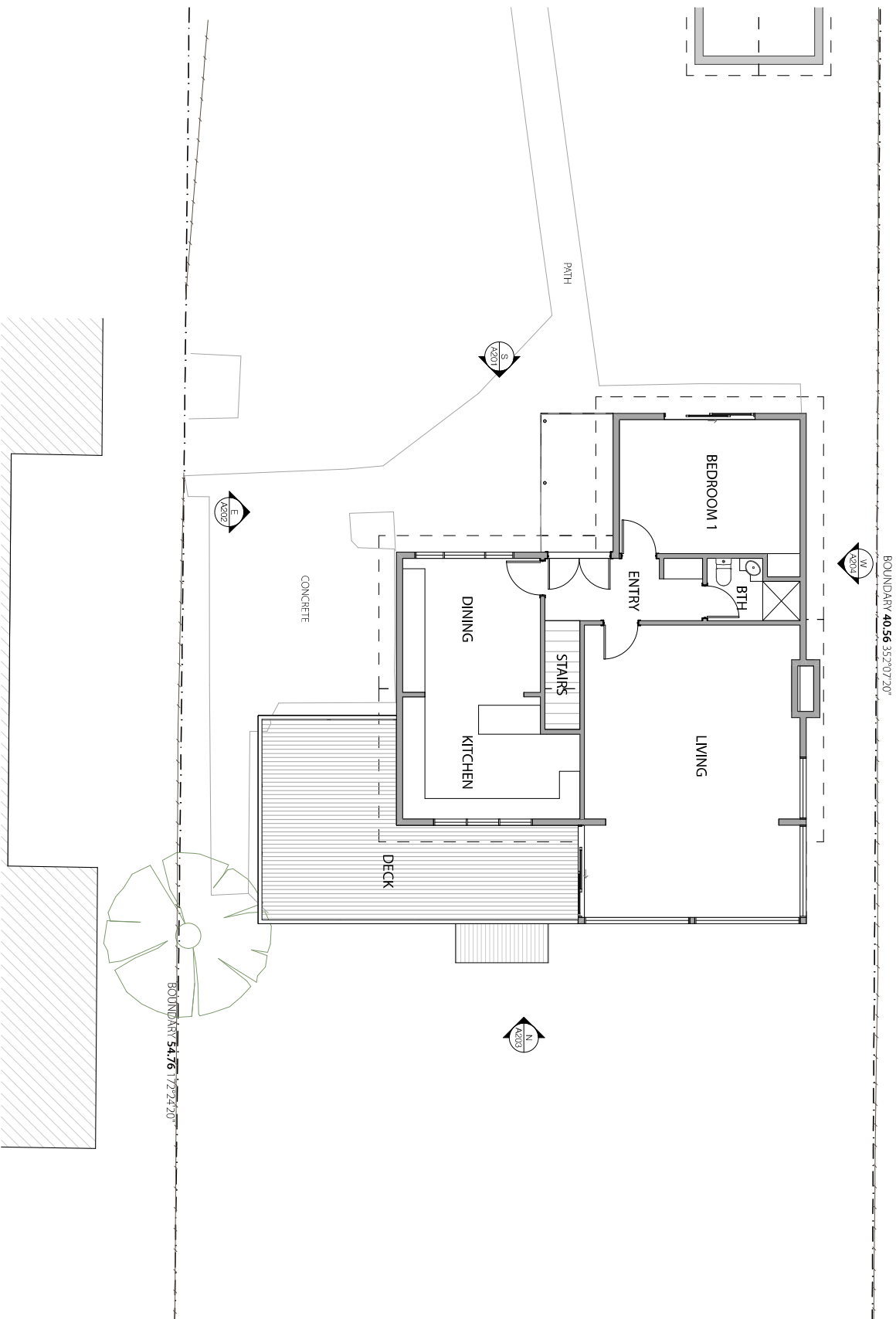


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 plan 23 756 002 576 | 30 deater drive mount ummy | 7179 | info@stuartsmith.com.au

4 CHATSWORTH STREET

Existing Plan Legend

Existing floor plan as measured on site or as supplied as dwg/pdf. For full accuracy, its recommended engaging a registered surveyor.



project name
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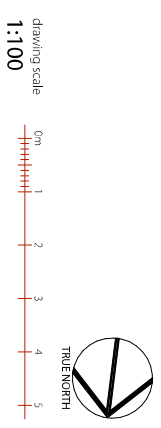
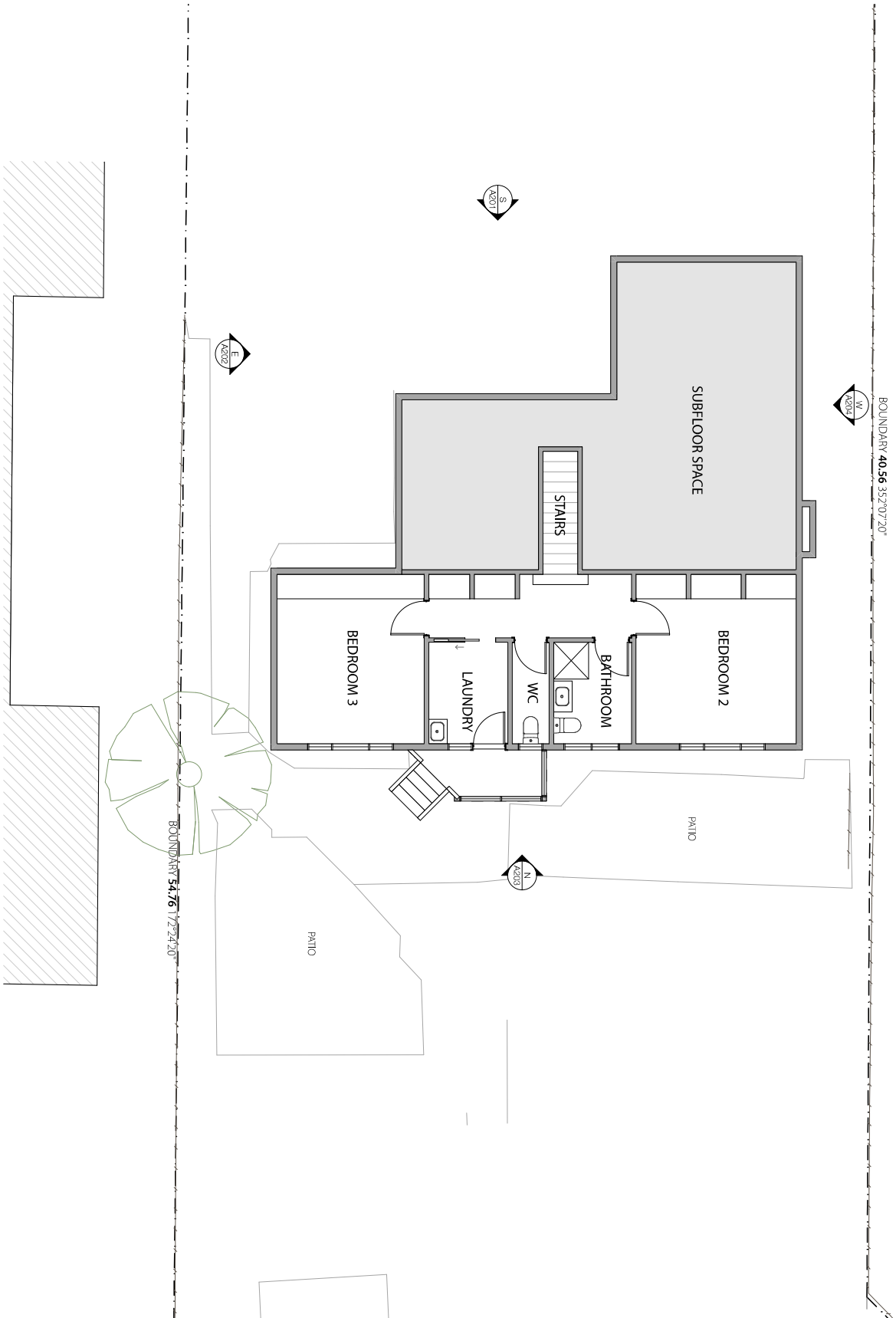
drawing size
A3
issue date
8/10/2025
drawing title
Existing Ground Floor Plan
drawing number
A110
revision
DA1

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4 CHATSWORTH STREET

Existing Plan Legend

Existing floor plan as measured on site or as supplied as dwg/pdf. For full accuracy, its recommended engaging a registered surveyor.



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Alterations & Additions
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L & L Eizsele
site address
6 Chatsworth Street, Rose Bay, Tas 7015

office project number
2510
nominated architect
Stuart Smith
project stage
Development Application
accreditation number
CC6350

drawing title
Existing Lower Ground Floor Plan
drawing size
A3
issue date
8/10/2025
drawing number
A111
revision
DA1

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4 CHATSWORTH STREET

Demolition Plan Legend

Walls & elements to be demolished
 Demolish section of wall and others building elements to extent shown dotted. Make good to retained surfaces including floors, walls and ceilings affected by removal of wall or elements.

Door to be demolished
 Demolish door, frame and hardware as shown dashed. Make good to opening in preparation for new wall infill or provide new reveals for opening as required.

Elements to be salvaged
 Contractor is to remove elements shown hatched for re-use in new works. Store on site as required.

Wall to be retained
 Wall to be retained. Protect existing wall throughout demolition phase. Patch and repair walls in area of new works to be delivered.

Doors to be retained
 Protect existing door throughout demolition. Contractor is to tighten and adjust hinges and hardware to deliver door fully operational. Applicable in area of works

General

All demolition works to be undertaken in accordance with AS2601 - demolition of structures.

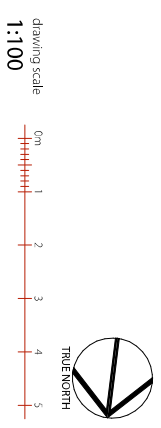
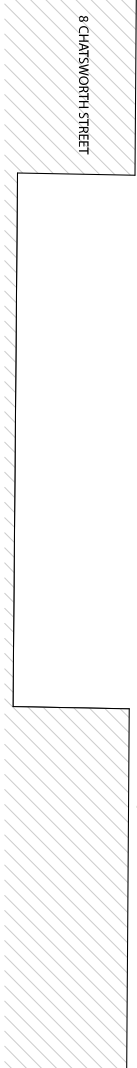
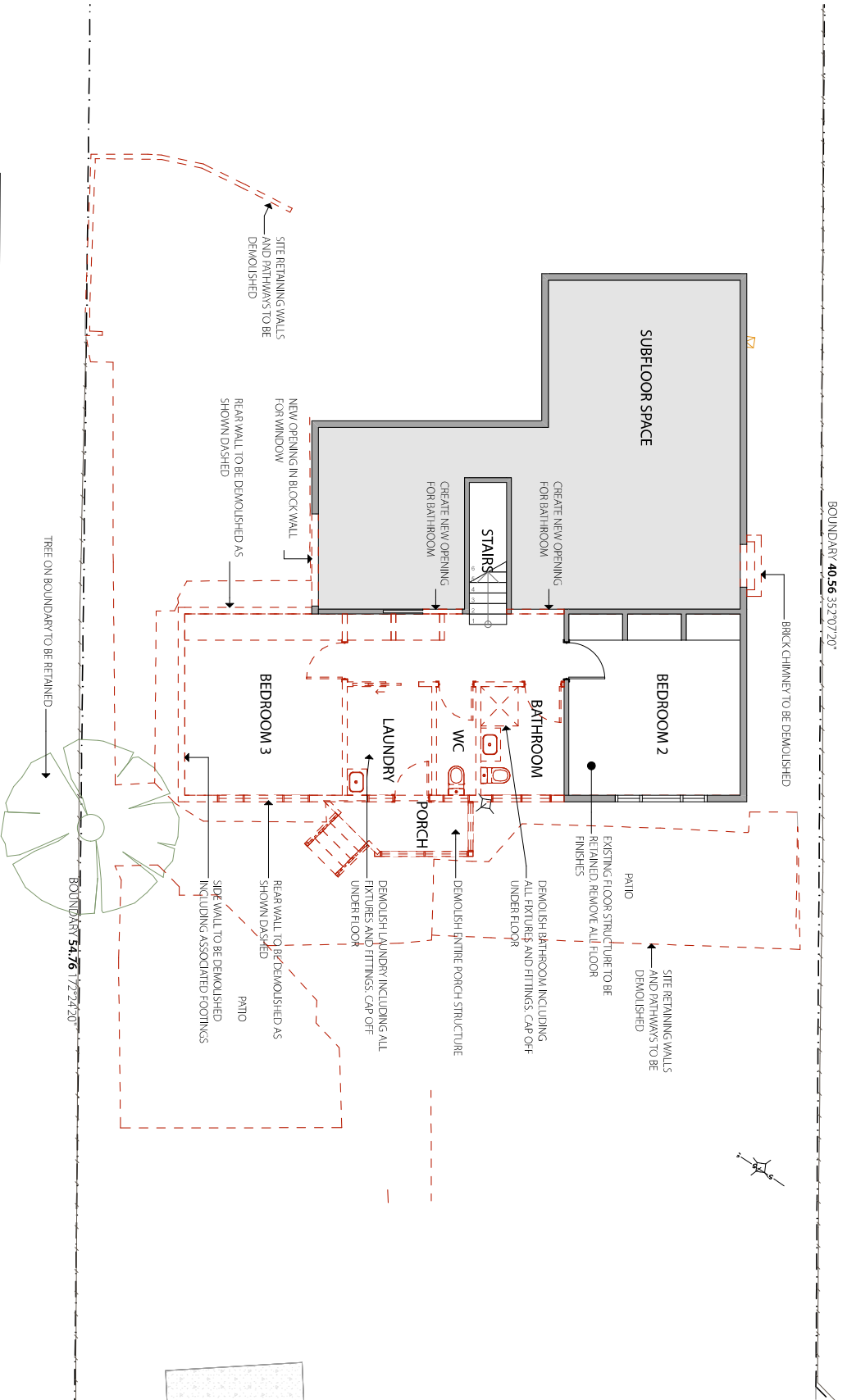
Demolition plan to be read in conjunction with existing associated plans.

Provide adequate floor protection for existing carpet during demolition works.

Items to be demolished shown dotted typically. Allow to remove all fixtures and fittings located on walls and doors to be demolished.

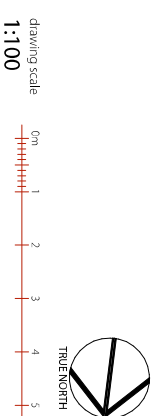
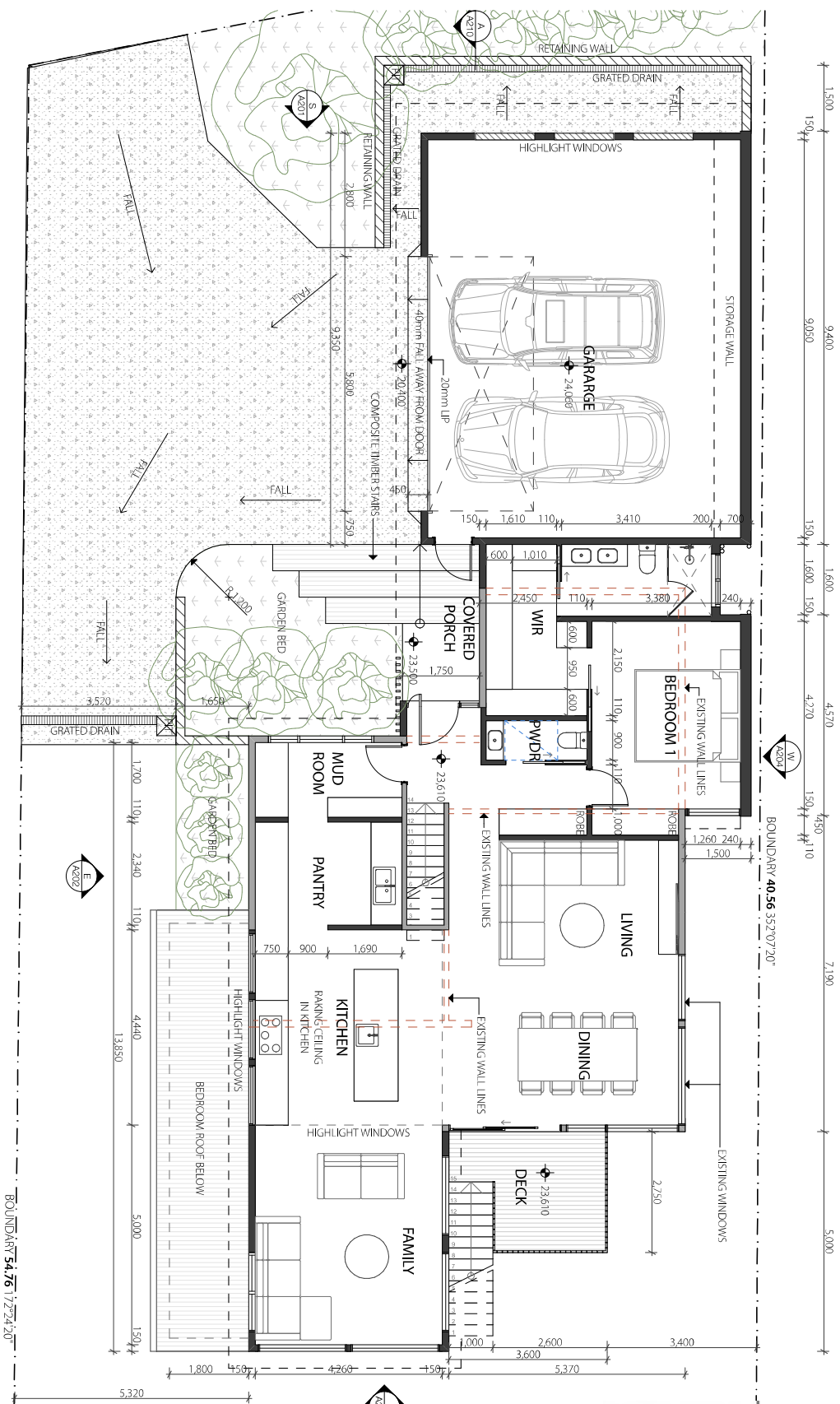
Allow to make good to all penetrations in walls and floors where items removed.

BOUNDARY 40 56 352°07'20"



Floor Plan Legend

Joinery Item Refer to joinery details drawings for further details	LXXX AXXX
LXX: Joinery item number	AXXX: Retained drawing number
Door Tag Refer to door schedule for details.	DXXX
Window Tag Refer to window schedule for details.	WXXX
New Wall Refer to section and details for composition	NEW WALL
Existing Walls	EXISTING WALLS
Floor finishes	
Carpet Carpet to client selection	CARPET
F/boards Engineered floorboards to client selection	FLOOR BOARDS
Tiles Ceramic/porcelain floor tiles to client selection	FLOOR TILES
General Dimension lines shown are to overall wall thickness on new walls. Allow to work out stud locations as required.	

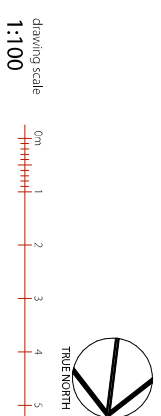
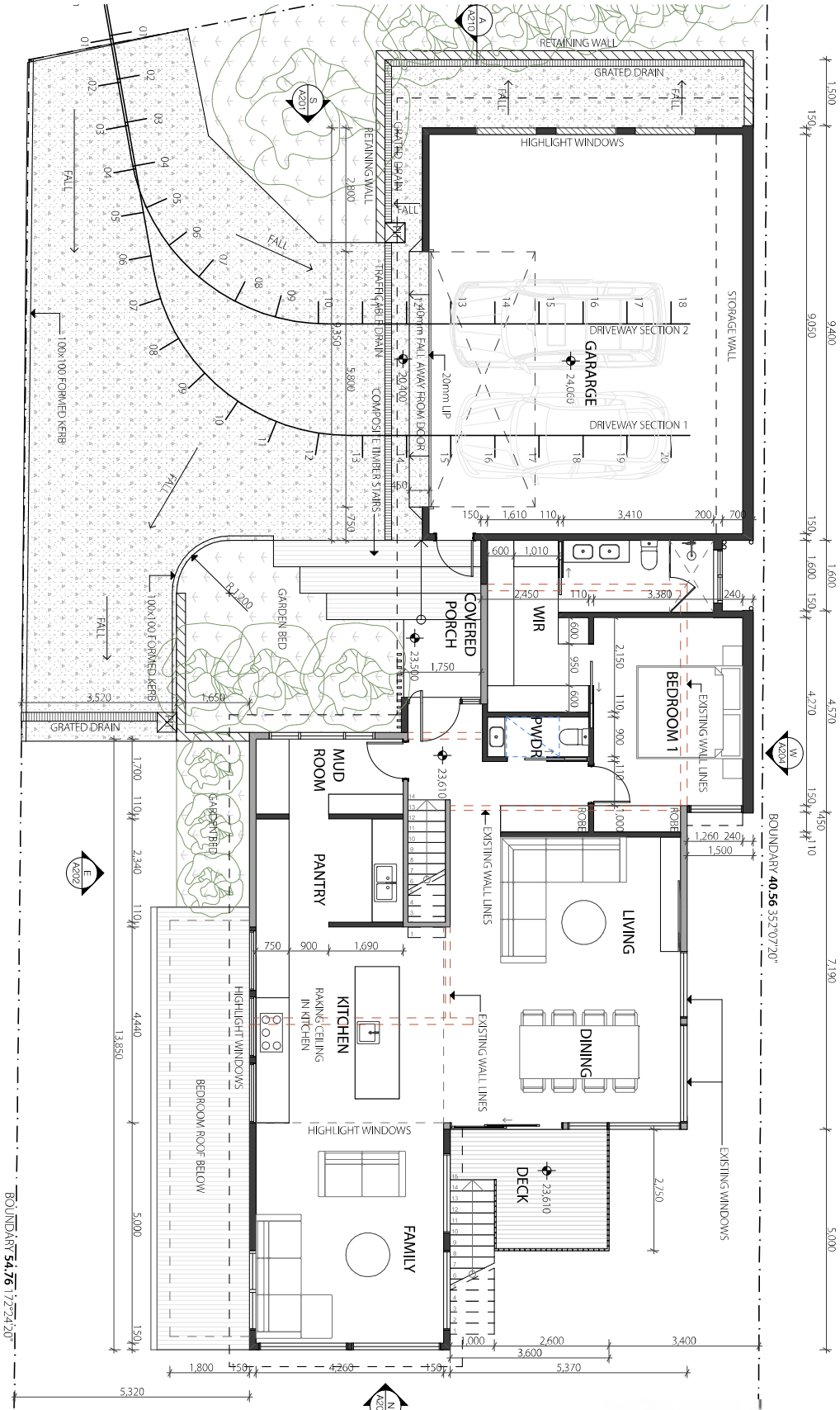


drawing scale
1:1000



Floor Plan Legend

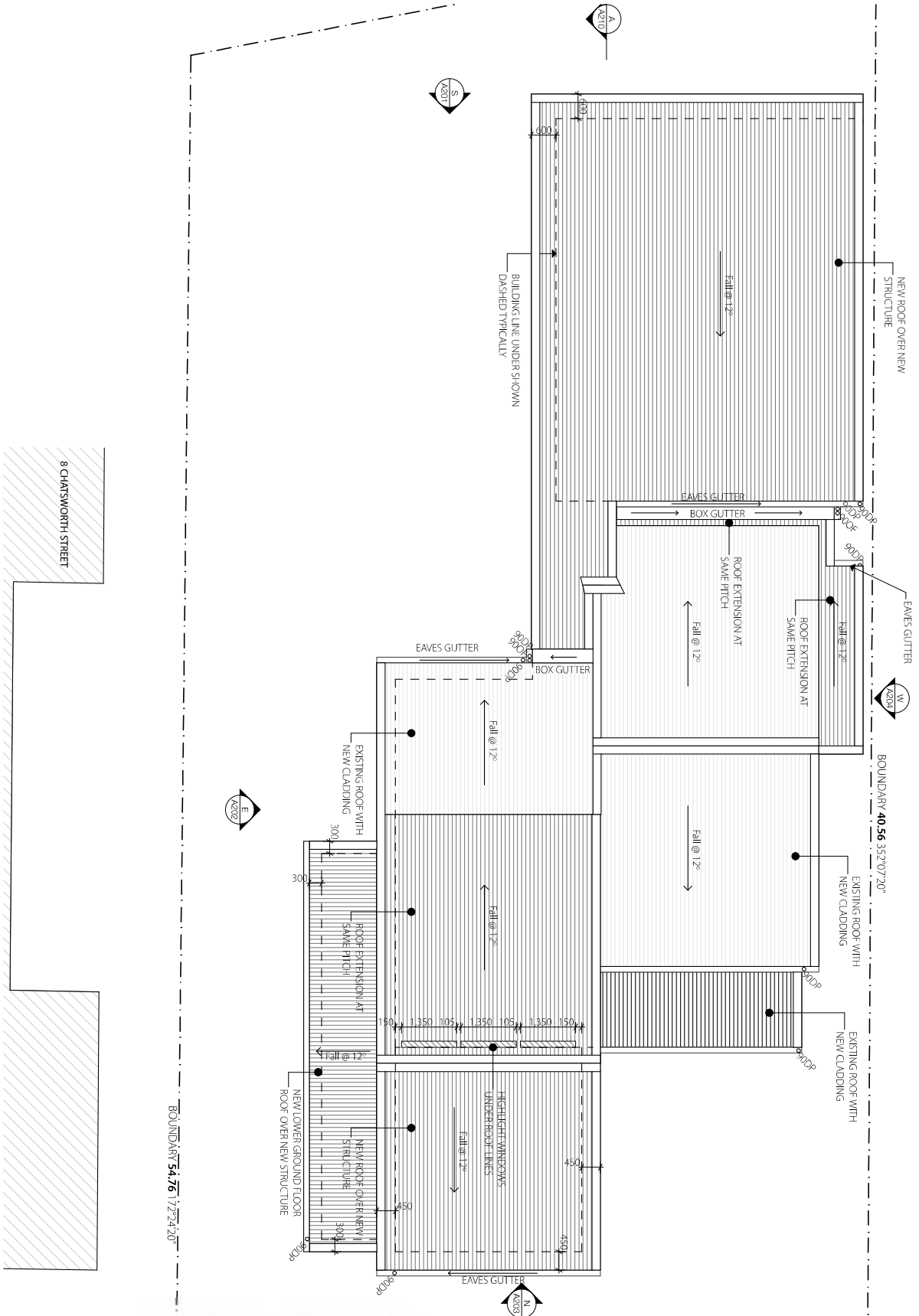
Joinery Item Refer to joinery details drawings for further details	XXXX XXXX
XXXX	Joinery item number
XXXX	Referenced drawing number
Door Tag Refer to door schedule for details.	DXXX
Window Tag Refer to window schedule for details.	WXXXX
New Wall Refer to section and details for composition	---
Existing Walls	---
Floor finishes	
Carpet Carpet to client selection	Carpet
F/boards Engineered floorboards to client selection	Floor Boards
Tiles Ceramic/porcelain floor tiles to client selection	Floor Tiles
General Dimension lines shown are to overall wall thickness on new walls. Allow to work out stud locations as required.	



drawing scale
1:1100



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plan 23 756 002 5761 30 dealer drive mount ummy 7179 [info@stuartsmith.com.au]



Roof Plan Legend

- Existing Roof re-sheeted with new Custom Orb roof sheeting
- New Colobond Custom Orb roof sheeting
- 80mm New 90mm DIA UPVC Overflow Downpipe
- 80mm New 90mm DIA UPVC Downpipe

General notes

Metal sheet profiles to comply with part 7.2 of the NCC 2022. Wherever possible, have sheets laid so that they side lap in facing away from prevailing weather.

Bradford Enviroseal Isarking (or similar) Vapour Permeable Membrane to be installed over structural roof battens. Sarking shall be continuous and dressed over and into eaves gutters.

WB20 or equal drainage battens to be installed over structural battens in accordance with manufacturer's specifications and instructions. Leave open at gutter end for full length to allow airflow through roof cavity. Install roof cladding over. Installation to comply with NCC Vol 2 Part 10.3 Ventilation of roof space.

Roof sheets must be laid where ever possible using complete lengths from ridge to eaves.

Sheet metal roof flashings, capping and penetrations to comply with Part 7.2.7 of the NCC 2022.

All UPVC downpipes to be jointed with approved solvent and primer. Downpipes in positions shown to size stated on drawings. Provide full lengths where possible and wall straps as required. Seal into drain.

Refer to structural drawings for structural roof framing specifications.

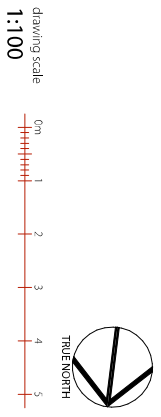
Material Schedule

- Roof cladding - Option 1**
Profile: Colobond Custom Orb
Colour: Slate Grey
Fastenings: Slate Grey
Flashed: Slate Grey
Fusible: Sarnite
Gables: Sarnite
Gables: Sarnite
- Roof cladding - Option 2**
Profile: Colobond Custom Orb
Colour: Surfing
Fastenings: Slate Grey
Flashed: Sarnite
Fusible: Sarnite
Gables: Sarnite

Roof Layers

Roof sections shall be a minimum member grade of either of the following specifications to comply with AS1684:

- 150/20/117/14WD @ 900x275
- 150/20/140/23 @ 900x275
- 45/20/140/23 @ 900x275






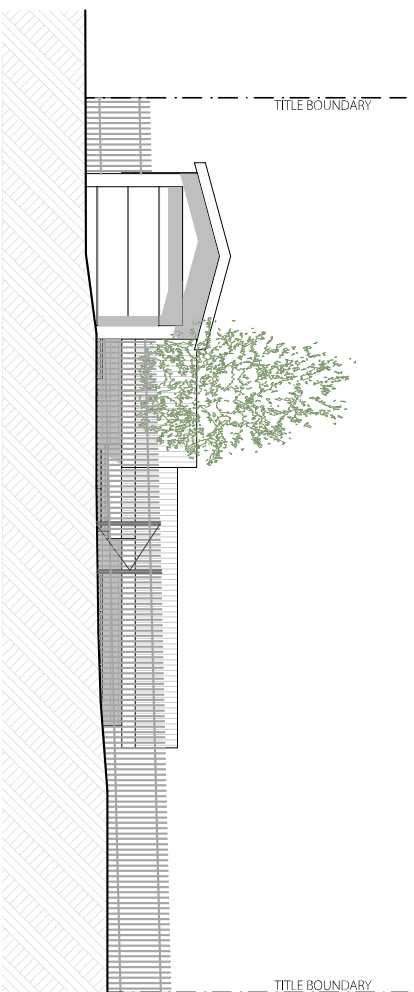
drawing scale
1:100



Elevations Legend

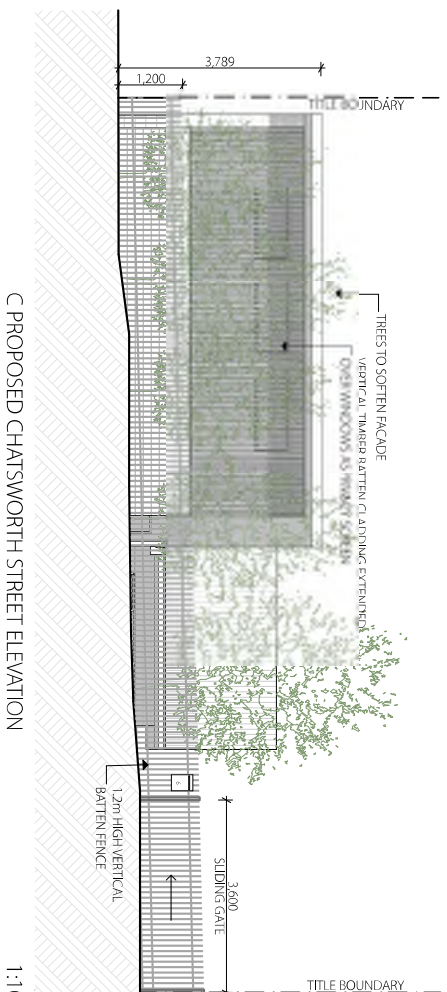
Material Schedule

	Wall cladding type 1 Profile: 200 Series Blackwork Colour: White
	Wall cladding type 2 Profile: Hardies Linea Weatherboard Colour: Surfmist
	Wall cladding type 3 Profile: Deep Batten Vertical Aluminium or Natural Timber Colour: American Oak or Similar



C EXISTING CHATSWORTH STREET ELEVATION

1:100



C PROPOSED CHATSWORTH STREET ELEVATION




1:100

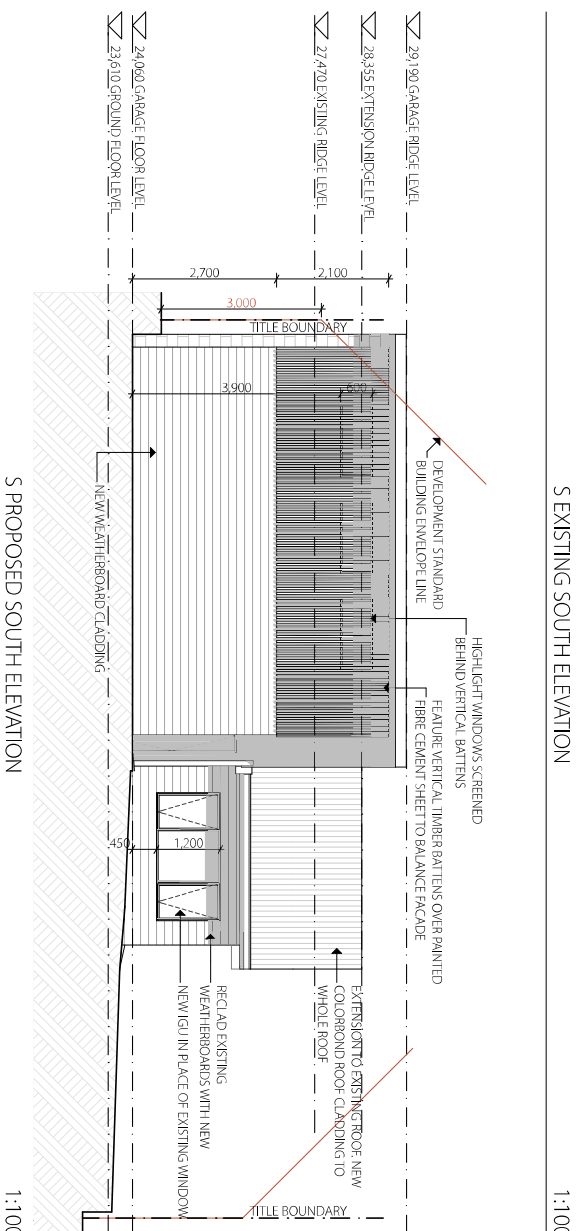
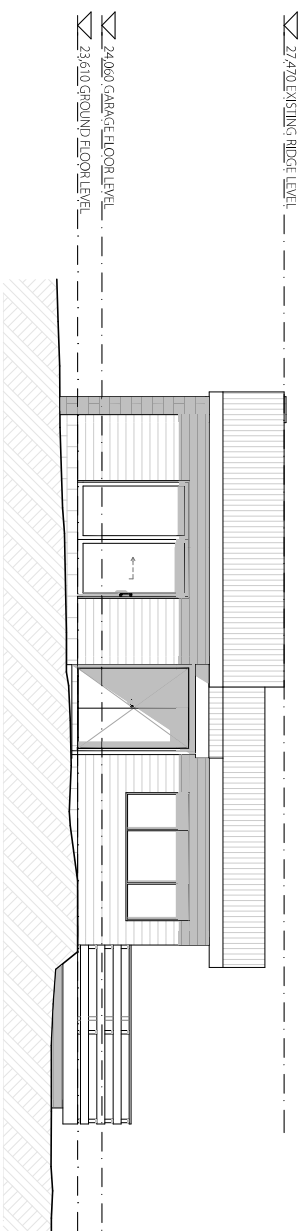
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Elevations Legend

Material Schedule

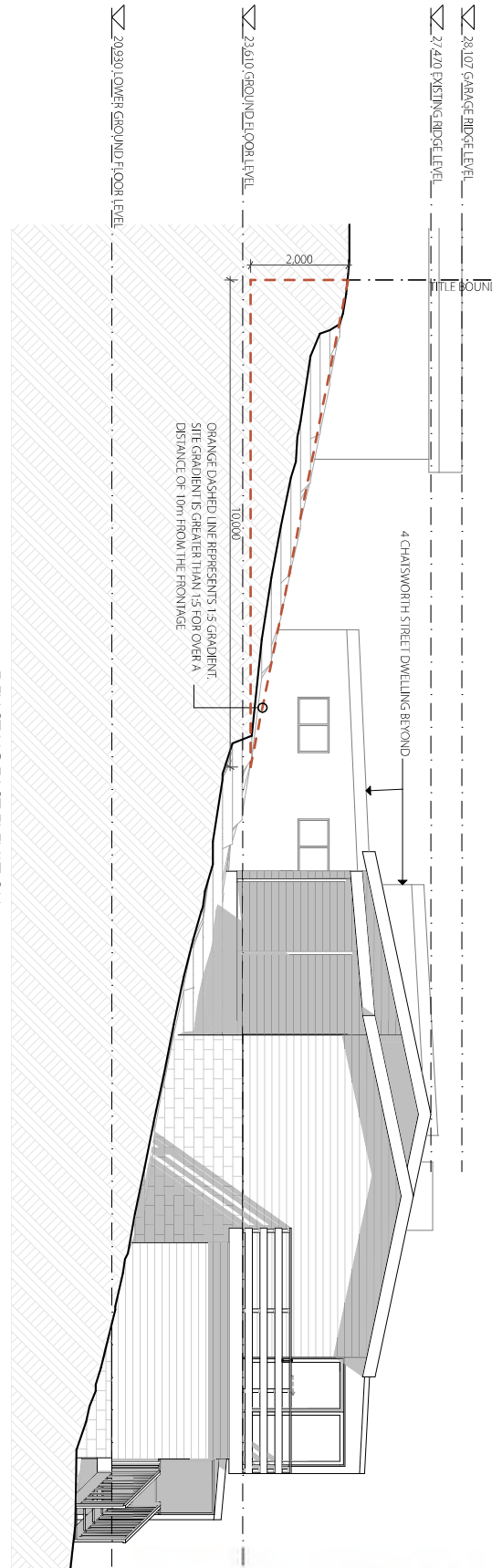
	Wall cladding type 1 Profile: 200 Series Blackwork Colour: White
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	Wall cladding type 3 Profile: Deep Batten Vertical Aluminium or Natural Timber Colour: American Oak or Similar



Elevations Legend

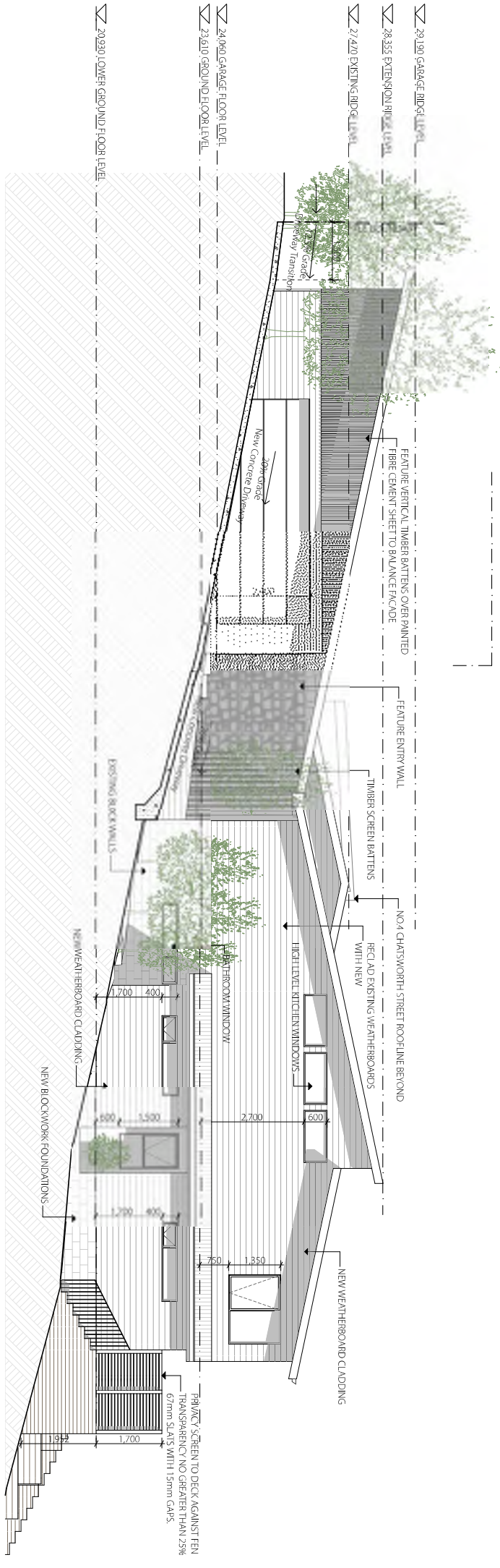
Material Schedule

	Wall cladding type 1 Profile: 200 Series Blackwork Colour: White
	Wall cladding type 2 Profile: Hardies Linea Weatherboard Colour: Surfmist
	Wall cladding type 3 Profile: Deep Batten Vertical Aluminium or Natural Timber Colour: American Oak or Similar



EXISTING EAST ELEVATION

1:100






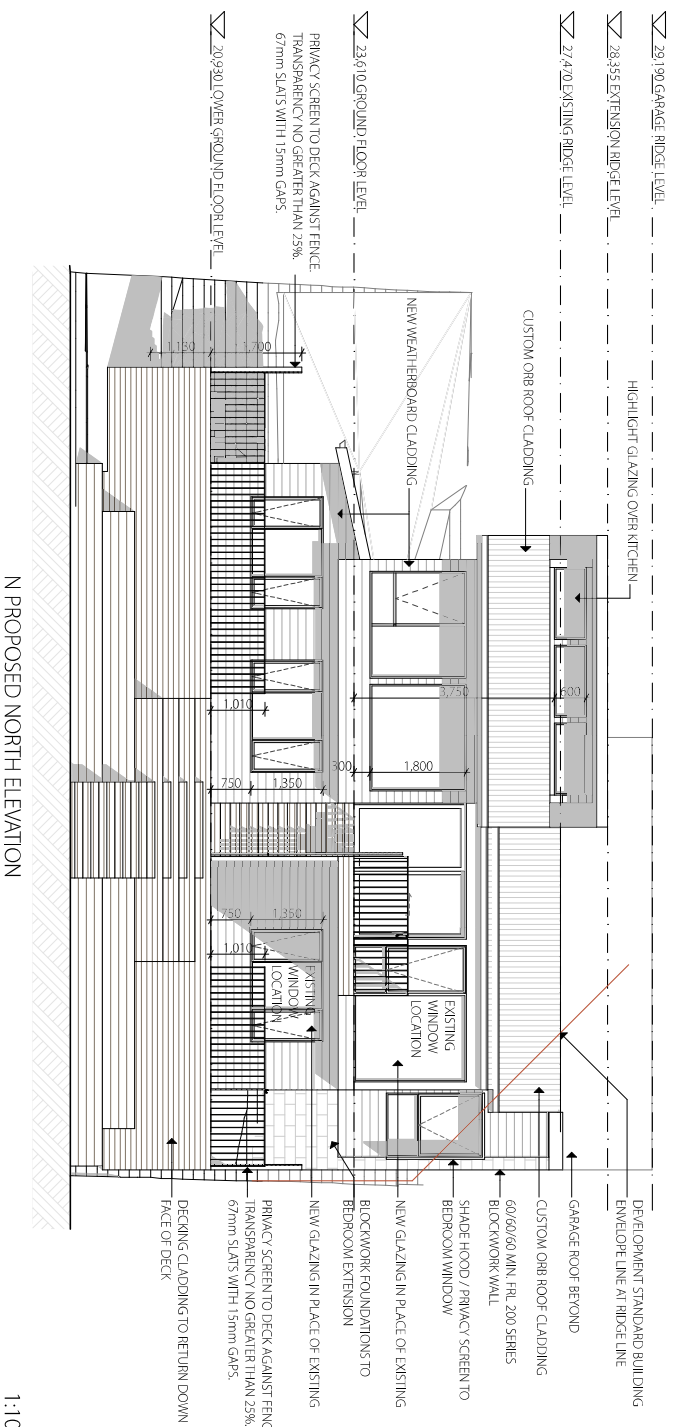
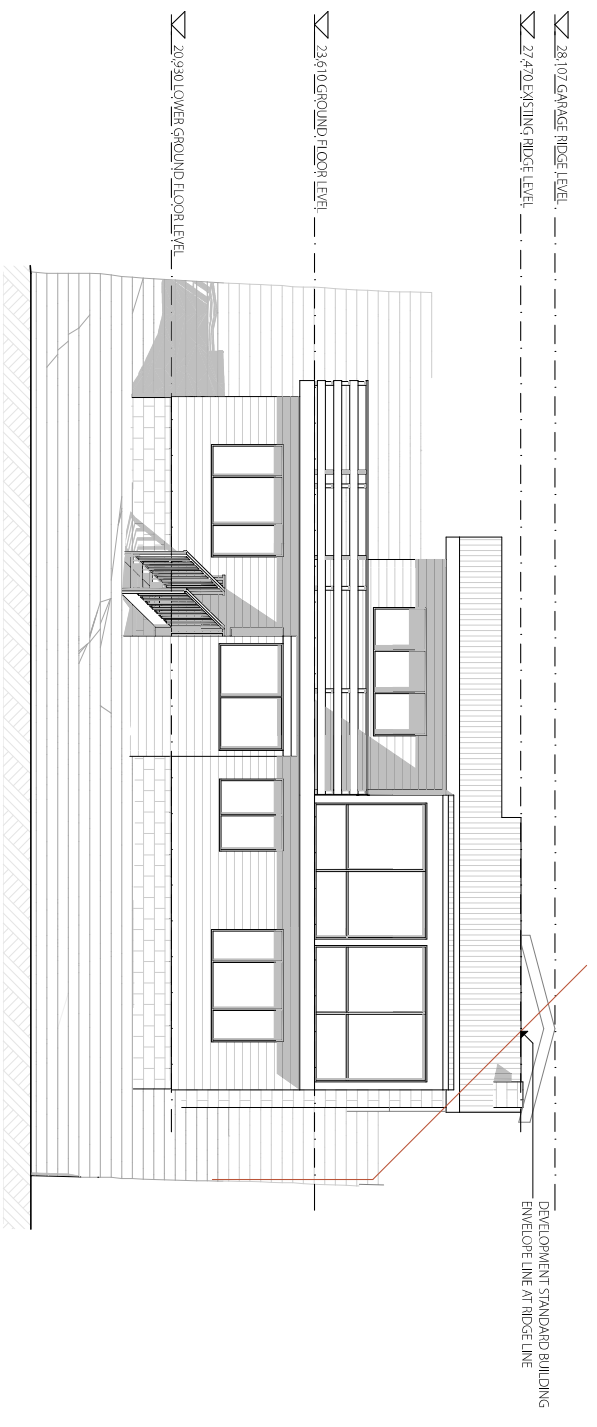
PROPOSED EAST ELEVATION

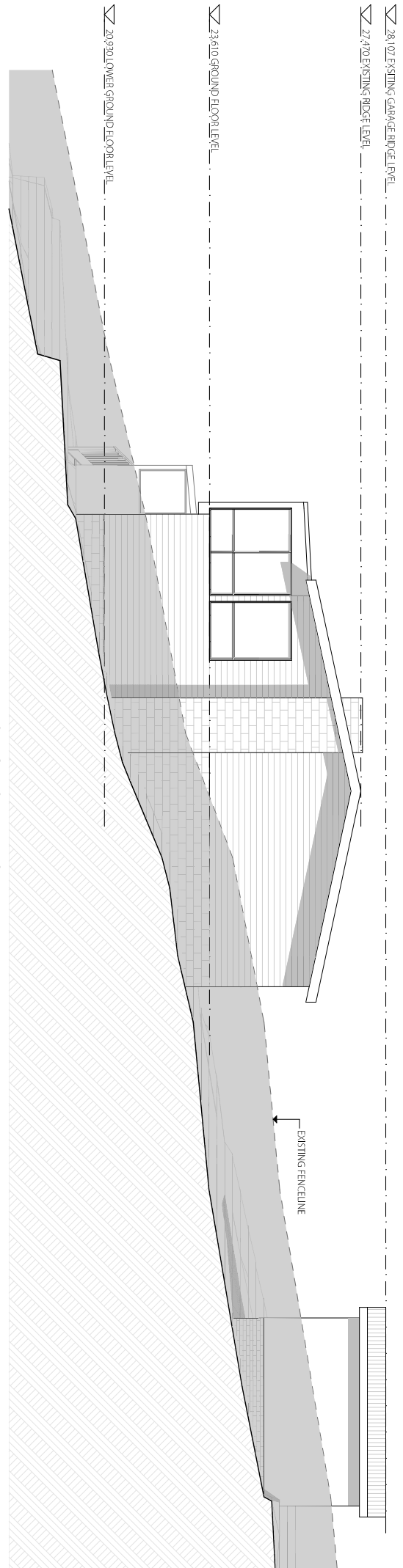
1:1



Elevations Legend

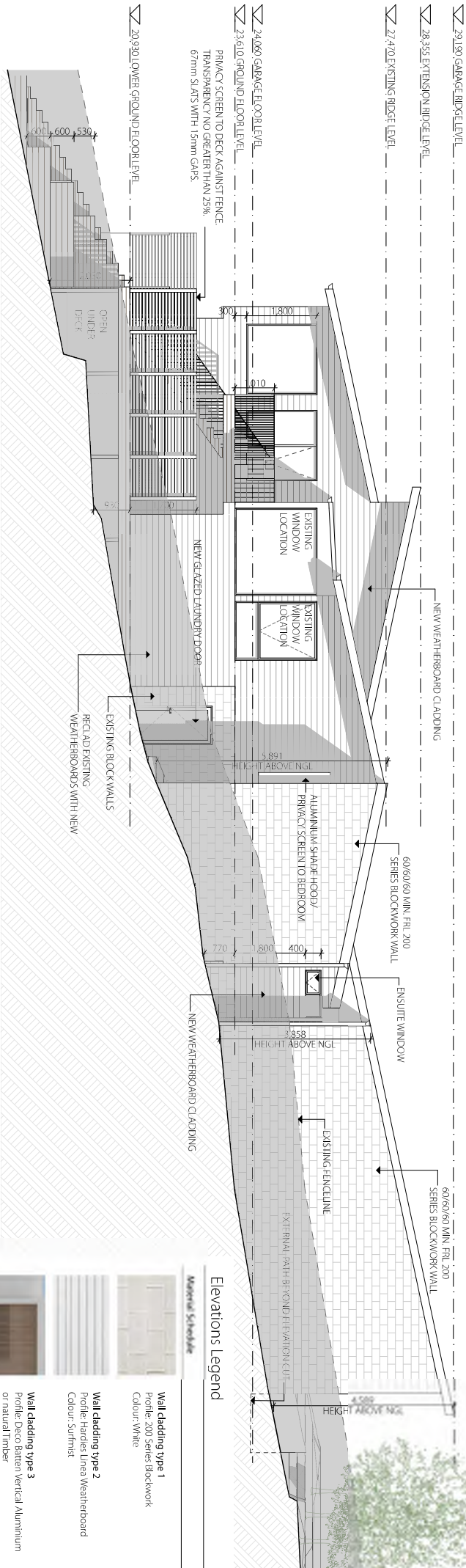
Material Schedule	
	Wall cladding type 1 Profile: 200 Series Blackwork Colour: White
	Wall cladding type 2 Profile: Hardies Linea Weatherboard Colour: Surfmist
	Wall cladding type 3 Profile: Deep Batten Vertical Aluminium or Natural Timber Colour: American Oak or Similar





EXISTING WEST ELEVATION

1:100

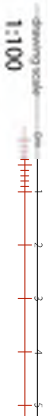


PROPOSED WEST ELEVATION

1:100

Elevations Legend

Material Schedule	Description
	Wall cladding type 1 Profile: Hardies Linea Weatherboard Colour: White
	Wall cladding type 2 Profile: Hardies Linea Weatherboard Colour: Surfmit
	Wall cladding type 3 Profile: Deep Batten Vertical Aluminium Colour: American Oak or Similar



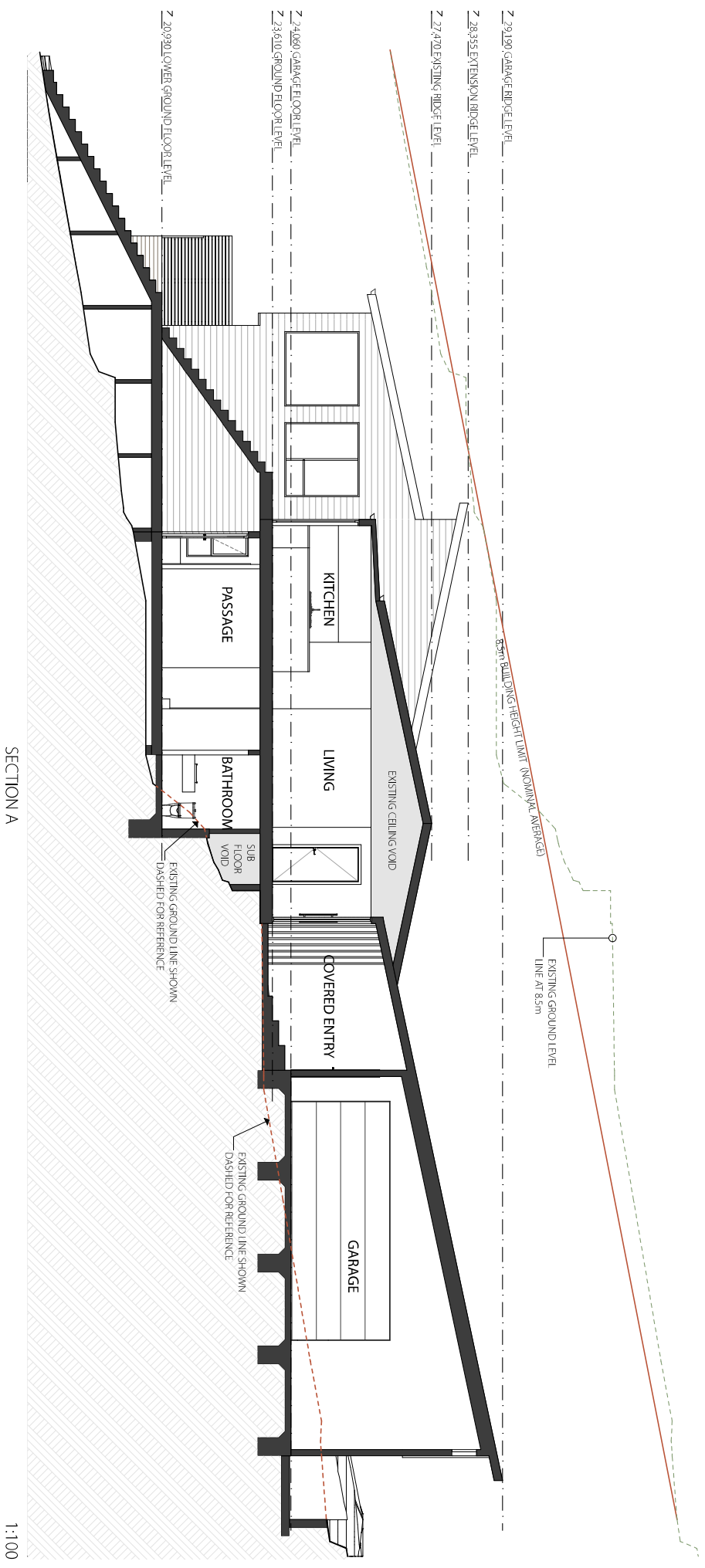
Section Legend

Ceiling Insulation:
Bradford R5.0 Gold high performance ceiling batts or approved equivalent.

Wall Insulation:
Bradford R2.5 Gold high performance wall batts or approved equivalent.

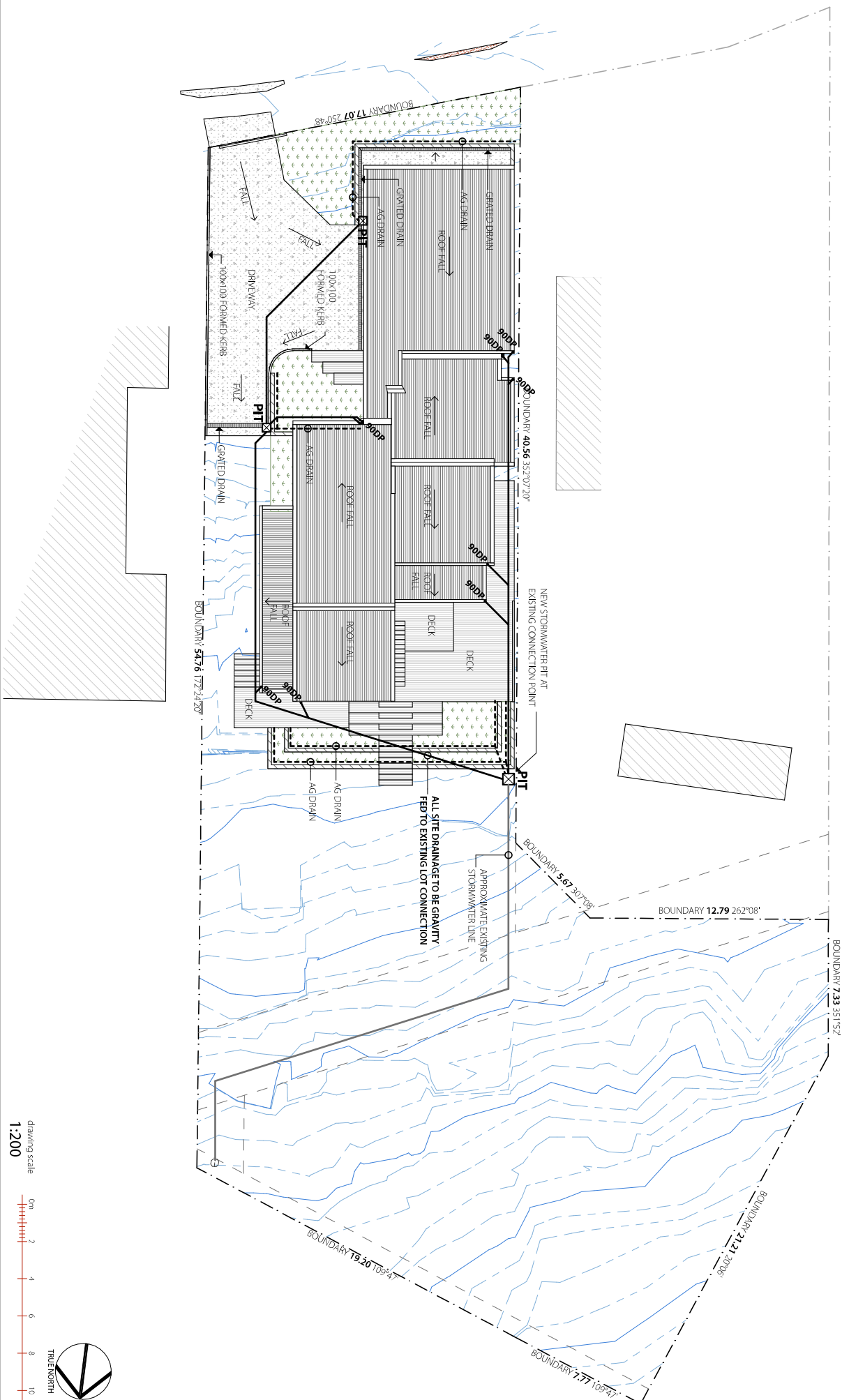
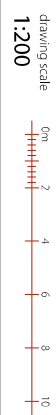
General:
Builder to select width of batts to suit wall and roof framing. If substitutions are proposed, the substituted product must provide the same thermal rating and performance as originally specified.

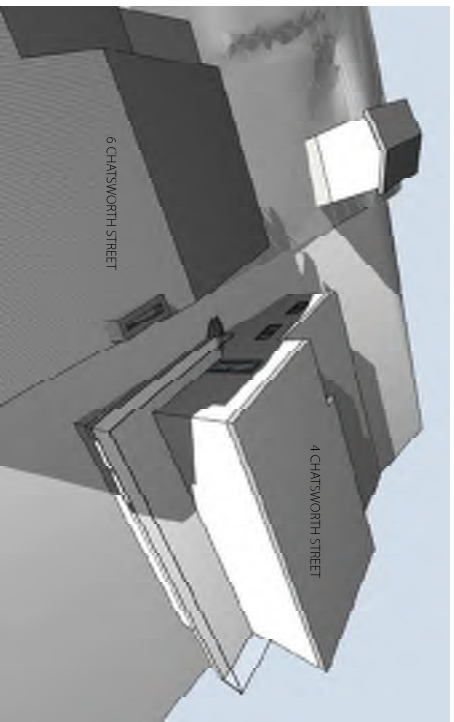
Provide building wrap to entire perimeter of building including walls and roof. Handiwrap or approved equivalent.



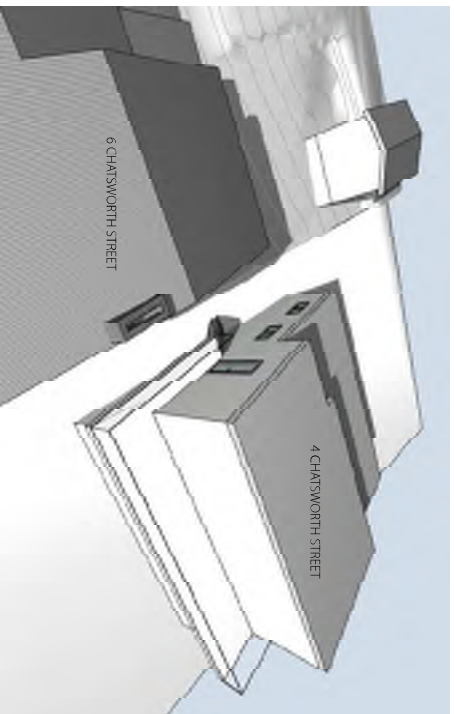
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0m 1 2 3 4 5

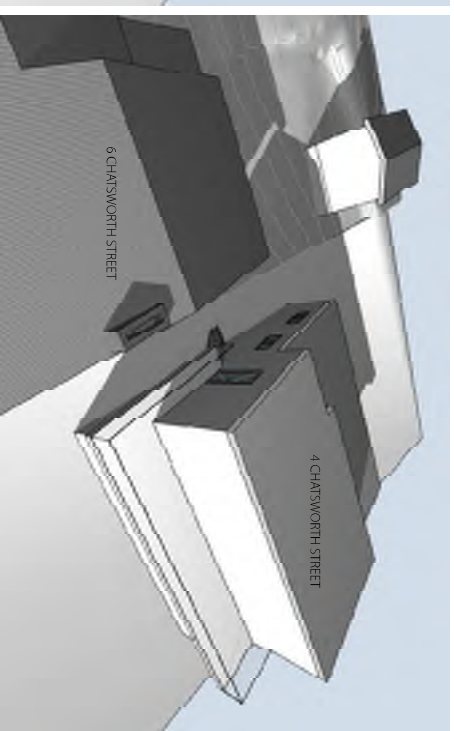




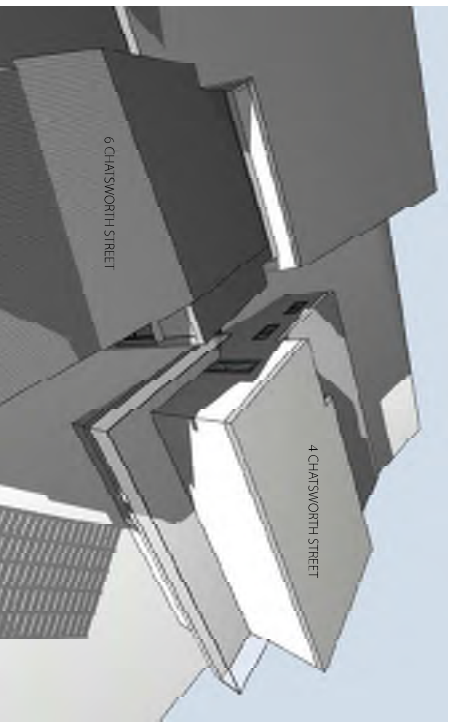
EXISTING JUNE 20 - 9am



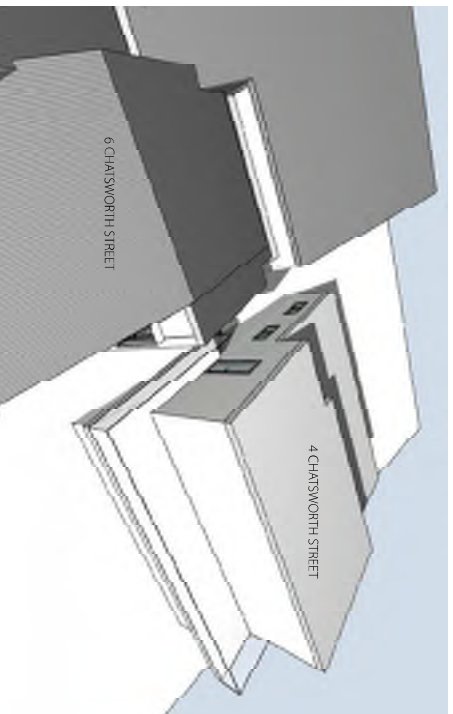
EXISTING JUNE 20 - 12pm



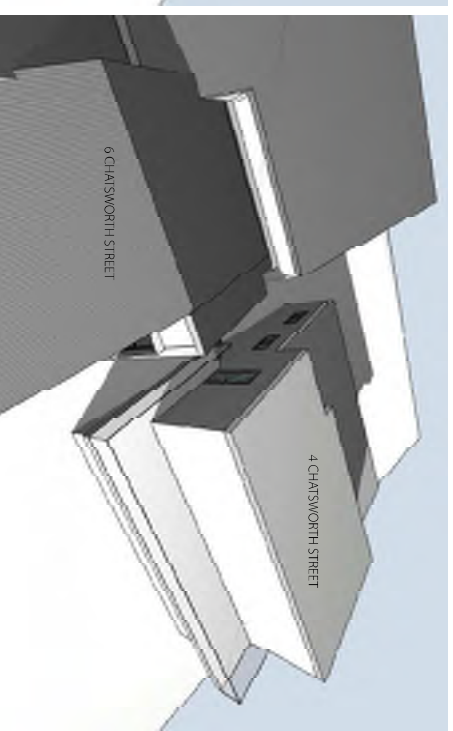
EXISTING JUNE 20 - 3pm



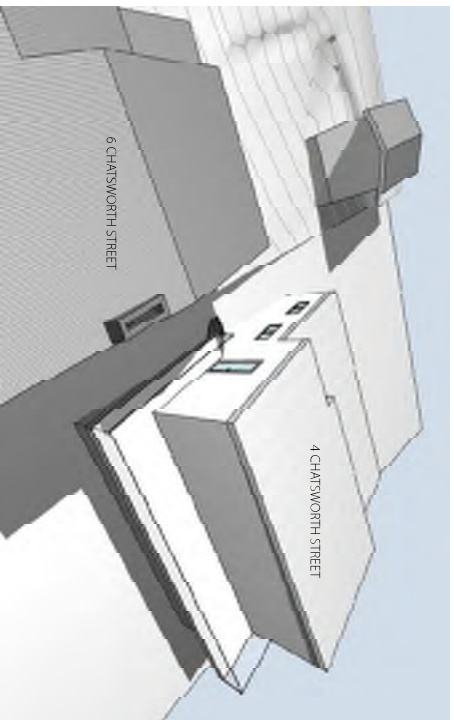
PROPOSED JUNE 20 - 9am



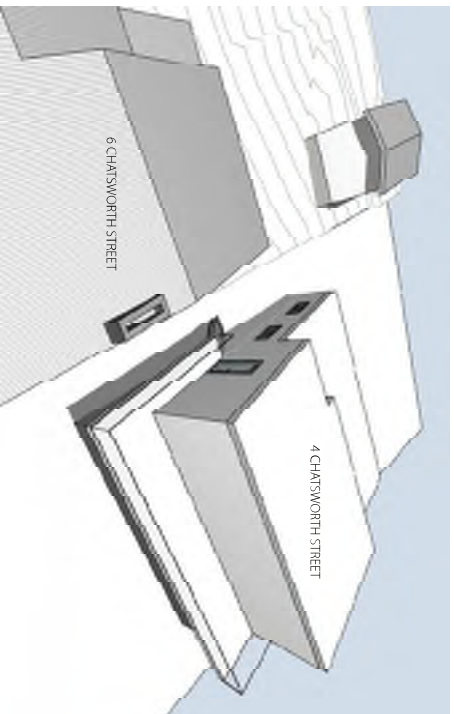
PROPOSED JUNE 20 - 12pm



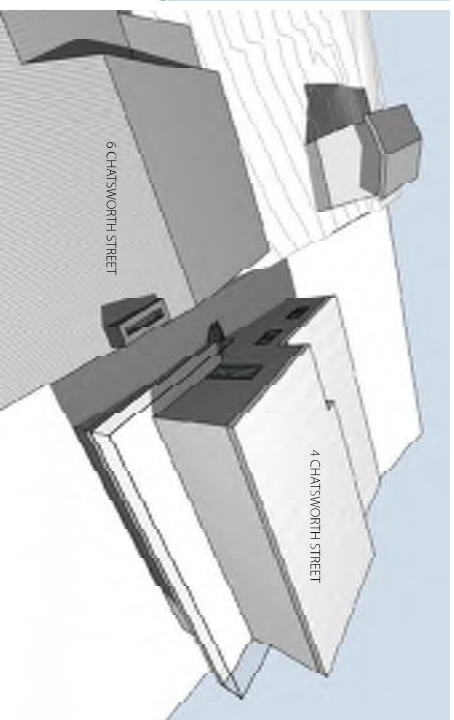
PROPOSED JUNE 20 - 3pm



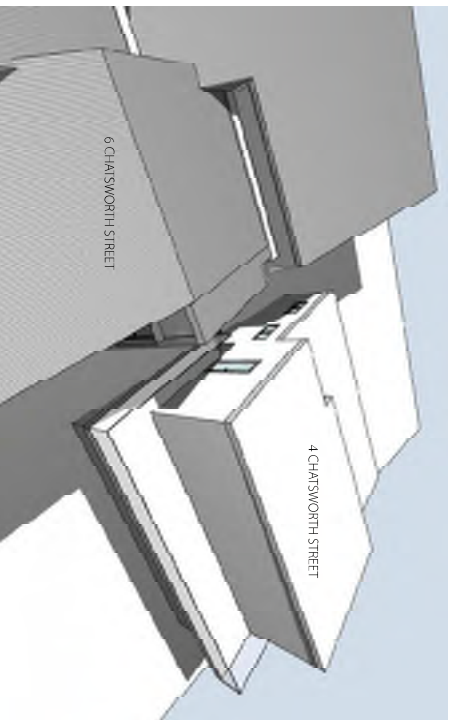
EXISTING DECEMBER 21 - 9am



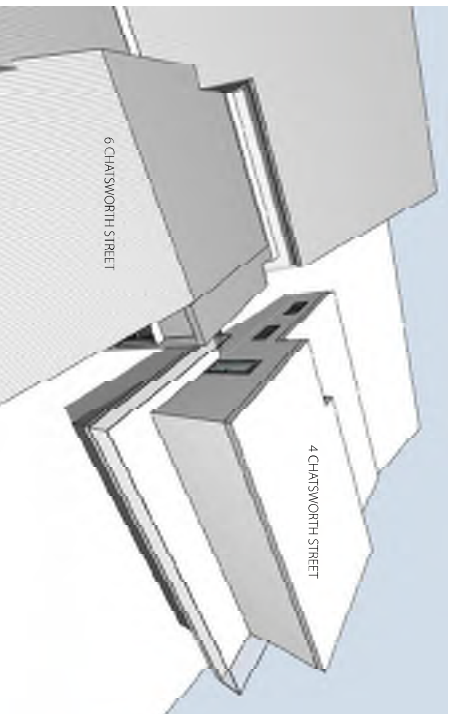
EXISTING DECEMBER 21 - 12pm



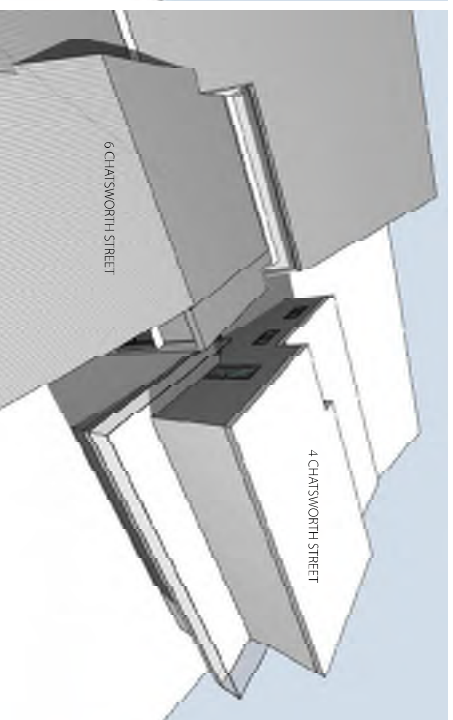
EXISTING DECEMBER 21 - 3pm



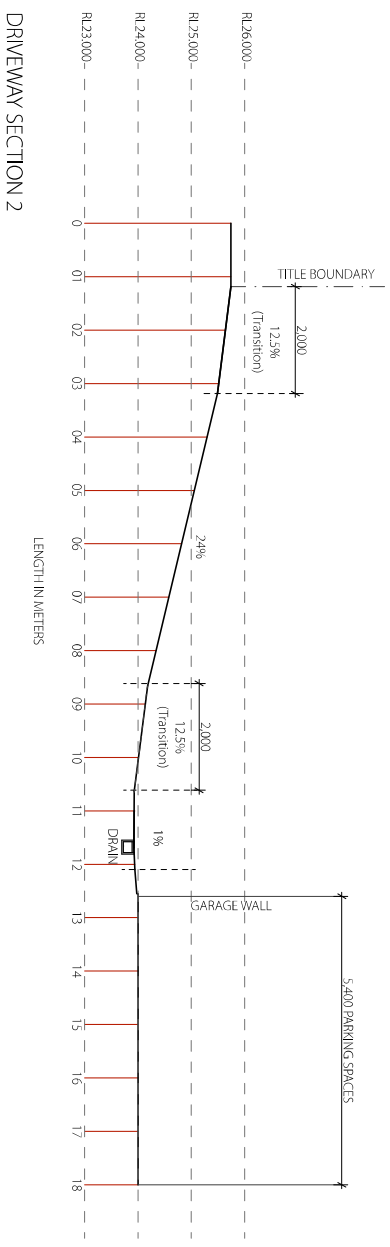
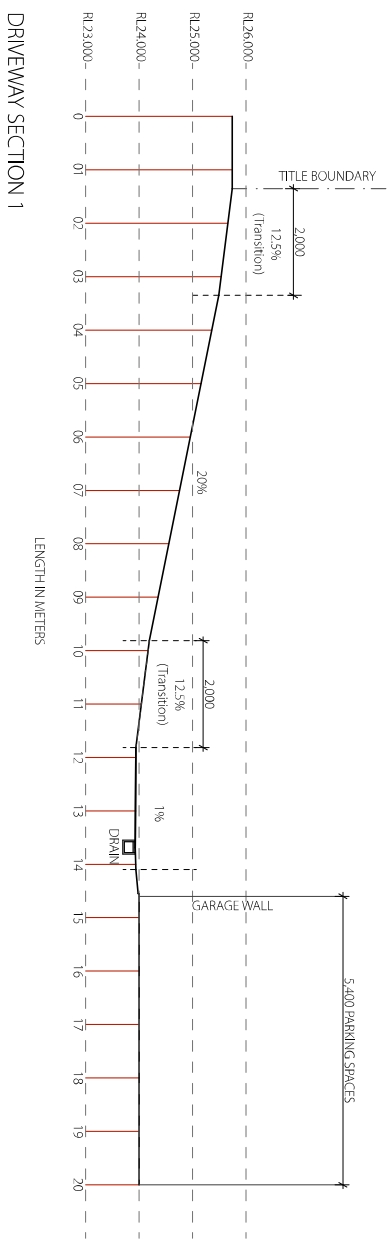
PROPOSED DECEMBER 21 - 9am



PROPOSED DECEMBER 21 - 12pm



PROPOSED DECEMBER 21 - 3pm





Architectural Design Statement

2510 - 6 Chatsworth Street, Rose Bay - Alterations & Additions

To Clarence City Council Planning,

The following Design Statement addresses the design items which require assessment against the performance criteria as outlined in the Tasmanian Planning Scheme State Planning Provisions. In particular, the setback standards.

The existing site constraints that have dictated the design include the location of the existing dwelling on site and the topography of the site. The design intent was to incorporate as much of the existing dwelling structure, particularly the existing roof forms, to reduce the need for unnecessary demolition and ground work with the existing relatively steep grade of the site. The neighbouring properties and their amenity has also been considered in design.

8.4.2 Setbacks and building envelope for all dwellings

Performance Criteria P1

The existing dwelling has a frontage setback is approximately 14-5m with a detached garage within a 1.5m setback and a garage door facing the street. The design intent for the project is to create a larger double car garage and workshop space attached to the dwelling with a side access double garage door.

The setback of the proposed garage street facing wall has a setback ranging from approximately 4.7m to 3.3m, taking into account the angles Chatsworth Street boundary, which encroaches on the 4.5m setback acceptable solution. The proposed garage is setback approximately 2-3m further than the existing garage and provides a landscape buffer to soften the facade impact on the streetscape. Locating the garage door facing East allows for transit from garage to house by lowering the required floor level from street level and reduces the visual impact on the streetscape. The inclusion of the high level windows and articulation of cladding on the Chatsworth Street facade is designed to give the appearance of a dwelling rather than a garage.

Acceptable Solution A2 (c)

For clarification - As the downslope of the site is greater than 1:5 for the first 10m from the frontage in the location of the new driveway, the proposal complies with A2 (c). The existing East Elevation on drawing 'A202 Eastern External Elevations' cuts through the proposed driveway location and documents a 1:5 gradient line to confirm that the downslope is greater than 1:5.

Performance Criteria P3

The encroachment to the building envelope occurs on the western boundary shared with 4 Chatsworth Street. We note that the current dwelling has an existing encroachment to the building envelope in the location of the existing Living space of the dwelling.

The proposed Bedroom 1 extension and the Garage extension, being built close to the boundary, both encroach the building envelope. Sunshade diagrams have been provided to shown the minimal solar impact this has on 4 Chatsworth Street due to the orientation of the dwellings in relation to North.



The extension to Bedroom 1 and the Garage extension both do not meet the acceptable solution of A3(b). Although the site is substantial in length, which achieves the 1/3rd rule, the 9m total wall length is exceeded. The impact to the dwelling of 4 Chatsworth Street has been considered in the design of these two extension elements regarding visual amenity and sun access. The upper level door to the deck and middle window facing the shared boundary, of 4 Chatsworth Street, both have frosted glass indicating that visual amenity is not a priority to this side of the dwelling. The front room (assumed bedroom) has a larger window facing Chatsworth Street and slightly smaller window facing 6 Chatsworth Street.

Sunshade diagrams have been provided to show the impact of the proposed extensions to demonstrate minimal reduction in sunlight access. The existing solar installation on 4 Chatsworth Street is not impacted by overshadowing.

The scale and bulk form of the extension from the street is perceptibly reduced by the proximity of the 4 Chatsworth Street dwelling. The proposed form of the dwelling (excluding garage) is of similar design to the upper floor of 4 Chatsworth Street including ridge height. The garage extension roof form follows the same grade of the site rather than projecting away from it which helps to soften the visual impact.

In relation to the garage extension, the visual impact to 4 Chatsworth Street is softened due to its existing site arrangement and access. The driveway to 4 Chatsworth is located on the opposing boundary of the property with an established soft landscaping element abutting the proposed extension. This will contribute to softening the visual impact. We note that the proposed garage extension is replacing an existing garage which currently is sited approximately 3m forward of the proposed garage.

In reference to separation between dwellings, the properties in the immediate site context including 2, 4 and 8 Chatsworth Street all have garages or carports which are built on or close to their boundaries. The proposed design is consistent with the existing established properties in relation to this point.

The overall height of the development is less than the allowable 8.5m.

We trust that the considered design approach achieves satisfaction of all points in the relevant performance criteria where the acceptable solutions are not achieved.

Kind regards,

A handwritten signature in black ink, appearing to read 'Stuart Smith', with a stylized flourish at the end.

Stuart Smith

Wednesday, 5 November 2025