



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2025/056511**

**PROPOSAL:** Additions & Alterations (Single Dwelling)

**LOCATION:** 45 Elinga Street, Howrah

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 08 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 December 2025. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 08 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

## Application for Development / Use or Subdivision

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Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Proposed new semi-enclosed outdoor space + utility/laundry additio

Location: **45 Elinga street, howrah**

**Personal Information Removed**



Is the property on the Tasmanian Heritage Register? Yes  No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **private residence**

Does the proposal involve land administered or owned by the Crown or Council? Yes  No

**Declaration**

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

**Acknowledgement**

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

**Personal Information Removed**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



## Development/use or subdivision checklist

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### Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

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- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

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### Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

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- Site analysis and site plan, including where relevant:
    - Existing and proposed use(s) on site.
    - Boundaries and dimensions of the site.
    - Topography, including contours showing AHD levels and major site features.
    - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
    - Soil type.
    - Vegetation types and distribution, and trees and vegetation to be removed.
- 



- Location and capacity of any existing services or easements on/to the site.
  - Existing pedestrian and vehicle access to the site.
  - Location of existing and proposed buildings on the site.
  - Location of existing adjoining properties, adjacent buildings and their uses.
  - Any natural hazards that may affect use or development on the site.
  - Proposed roads, driveways, car parking areas and footpaths within the site.
  - Any proposed open space, communal space, or facilities on the site.
  - Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
  - Private open space for each dwelling.
  - External storage spaces.
  - Car parking space location and layout.
  - Major elevations of every building to be erected.
  - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
  - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
  - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
  - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
  - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

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This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 55785	FOLIO 253
EDITION 5	DATE OF ISSUE 26-Mar-2013

SEARCH DATE : 22-Oct-2025

SEARCH TIME : 01.01 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 253 on Diagram [55785](#) (formerly being 447-3D)

Derivation : Part of 730 Acres Gtd. to F. Butler & Anor.

Prior CT [2849/47](#)

SCHEDULE 1

[D76488](#) TRANSFER to RODNEY MICHAEL HOGAN and KATHLEEN MARY HOGAN Registered 26-Mar-2013 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

BENEFITING EASEMENT: Right of Drainage over the drainage easement passing through Lots 254 to 259, Lot 300 and Lot 301 shown on Diagram No. [55785](#)

BURDENING EASEMENT: Right of Drainage [appurtenant to Lots 244 to 252 on Diagram No. [55785](#)) over the Drainage Easement passing through Lot 253 on Diagram No. [55785](#)

[A164421](#) FENCING CONDITION AND OTHER CONDITIONS in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





Search mail



Town Planning submission Inbox x



This is to give permission for Simon Linardi, from Atelier Cartel, to submit our plans to the Clarence City Council for the purpose of town p  
property at 45 Elinga St Howrah, Tasmania.

Kind regards,



Thanks for that.

That's great, thank you.

Many thanks.

Reply

Forward



# 'THE DERWENT PAVILLION'

PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS  
FOR ROD & KATH HOGAN  
45 ELINGA STREET, HOWRAH. TASMANIA

DEVELOPMENT APPLICATION  
DRAWING SUBMISSION PACKAGE - REVA

18/11/2025



**Atelier**  
**CARTEL**  
Architecture | Interior Design | Art

ATELIER CARTEL PTY LTD

146 MISTY HILL RD,  
MOUNTAIN RIVER,  
TAS 7109

27/92 THE AVENUE  
PARKVILLE,  
VIC 3052

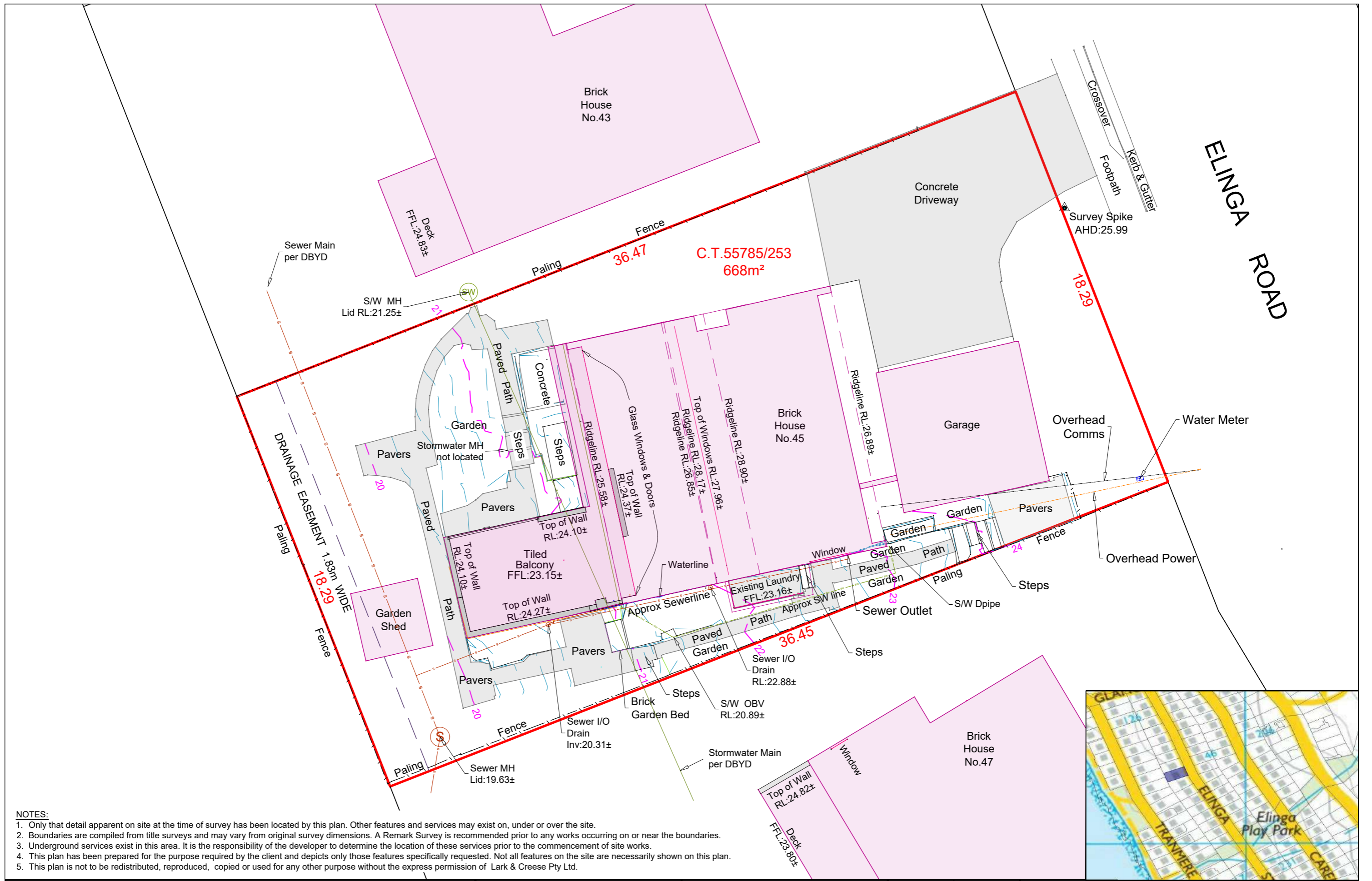
TEL: 0415601850

EMAIL: [STUDIOCARTELL@GMAIL.COM](mailto:STUDIOCARTELL@GMAIL.COM)

TAS ARCHITECT REG NO: 1165 **SIMON LINARDI**

ABN: 49 622 765 262

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**NOTES:**

1. Only that detail apparent on site at the time of survey has been located by this plan. Other features and services may exist on, under or over the site.
2. Boundaries are compiled from title surveys and may vary from original survey dimensions. A Remark Survey is recommended prior to any works occurring on or near the boundaries.
3. Underground services exist in this area. It is the responsibility of the developer to determine the location of these services prior to the commencement of site works.
4. This plan has been prepared for the purpose required by the client and depicts only those features specifically requested. Not all features on the site are necessarily shown on this plan.
5. This plan is not to be redistributed, reproduced, copied or used for any other purpose without the express permission of Lark & Creese Pty Ltd.

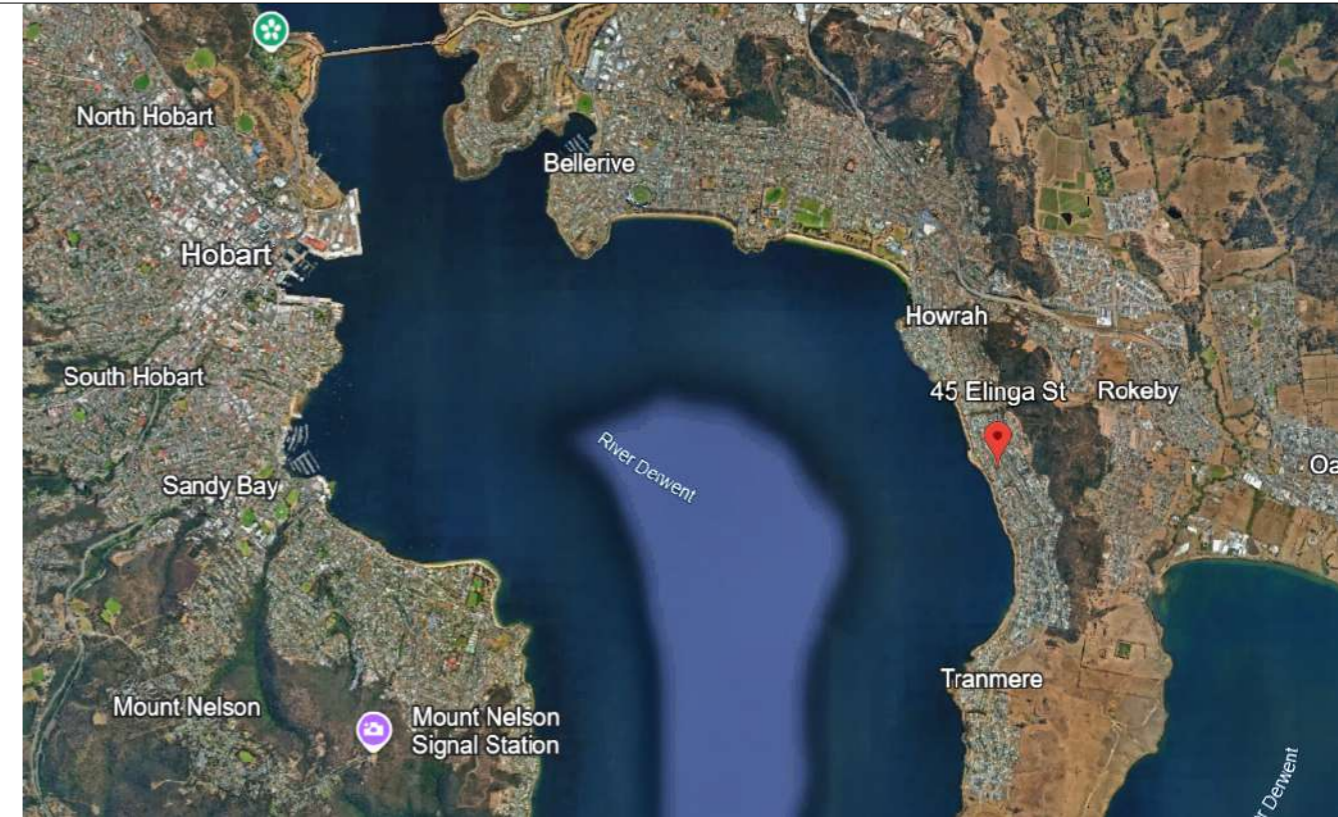
<b>LARK &amp; CREESE</b> Pty Ltd <i>Land &amp; Engineering Surveyors</i> 62 Channel Highway, Kingston +61 (03) 6229 6563 info@larkandcreese.com.au www.larkandcreese.com.au	<b>DETAIL PLAN</b>	<b>45 ELINGA STREET HOWRAH</b>		<b>TITLE</b>	55785/253	<b>PROJECT</b>	30993	<b>DATE</b>	16/06/2025	
		<b>ROD &amp; KATH HOGAN</b>		<b>PID</b>	5207131	<b>DRAWING</b>	52898-01	<b>DRAWN</b>	PT	
		<b>CONTOUR</b>	0.200mm	<b>SCALE</b>	1:150@A3	<b>CHECKED</b>	NC			

**'THE DERWENT PAVILLION'**  
45 ELINGA STREET, HOWRAH. TASMANIA

18/11/2025 DEVELOPMENT APPLICATION DRAWING PACKAGE - REV A

**CONTENTS:**

DA00	COVER PAGE		
-	SITE SURVEY PLAN (BY OTHERS)		
DA01	TITLE PAGE	NTS	-
DA02	SITE CONTEXT PHOTOS - EXISTING	-	
DA03	SITE CONTEXT PHOTOS - AERIAL	-	
DA04	PROPOSED SITE PLAN	1:250@A3	
DA05	GROUND / SITE PLAN	1:100@A3	
DA06	ROOF PLAN	1:100@A3	
DA07	LAUNDRY LAYOUT PLAN	1:25@A3	
DA08	LAUNDRY INTERNAL ELEVATIONS	NTS	
DA09	PAVILION SECTION VIEW	NTS	
DA10	ELEVATIONS - WEST	1:100@A3	
DA11	ELEVATIONS - EAST	1:100@A3	
DA12	ELEVATIONS - SOUTH	1:100@A3	
DA13	ELEVATIONS - NORTH	1:100@A3	
DA14	BUILDING ENVELOPE DIAGRAMS	NTS	
DA15	SUN SHADOW DIAGRAMS	NTS	
DA16	EXTERNAL MATERIAL SCHEDULE	NTS	
DA17-24	ARTIST IMPRESSIONS	NTS	-



AERIAL VIEW OF SITE LOCATION IN RELATION TO HOBART & THE DERWENT RIVER



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TAS 7109

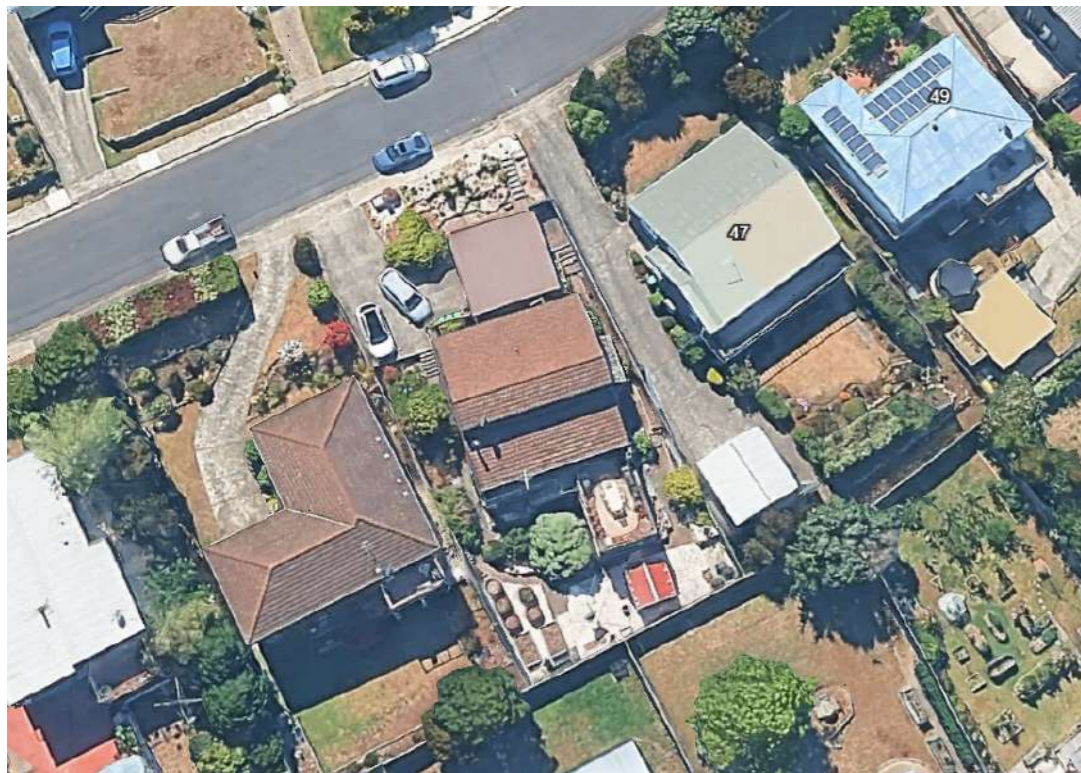
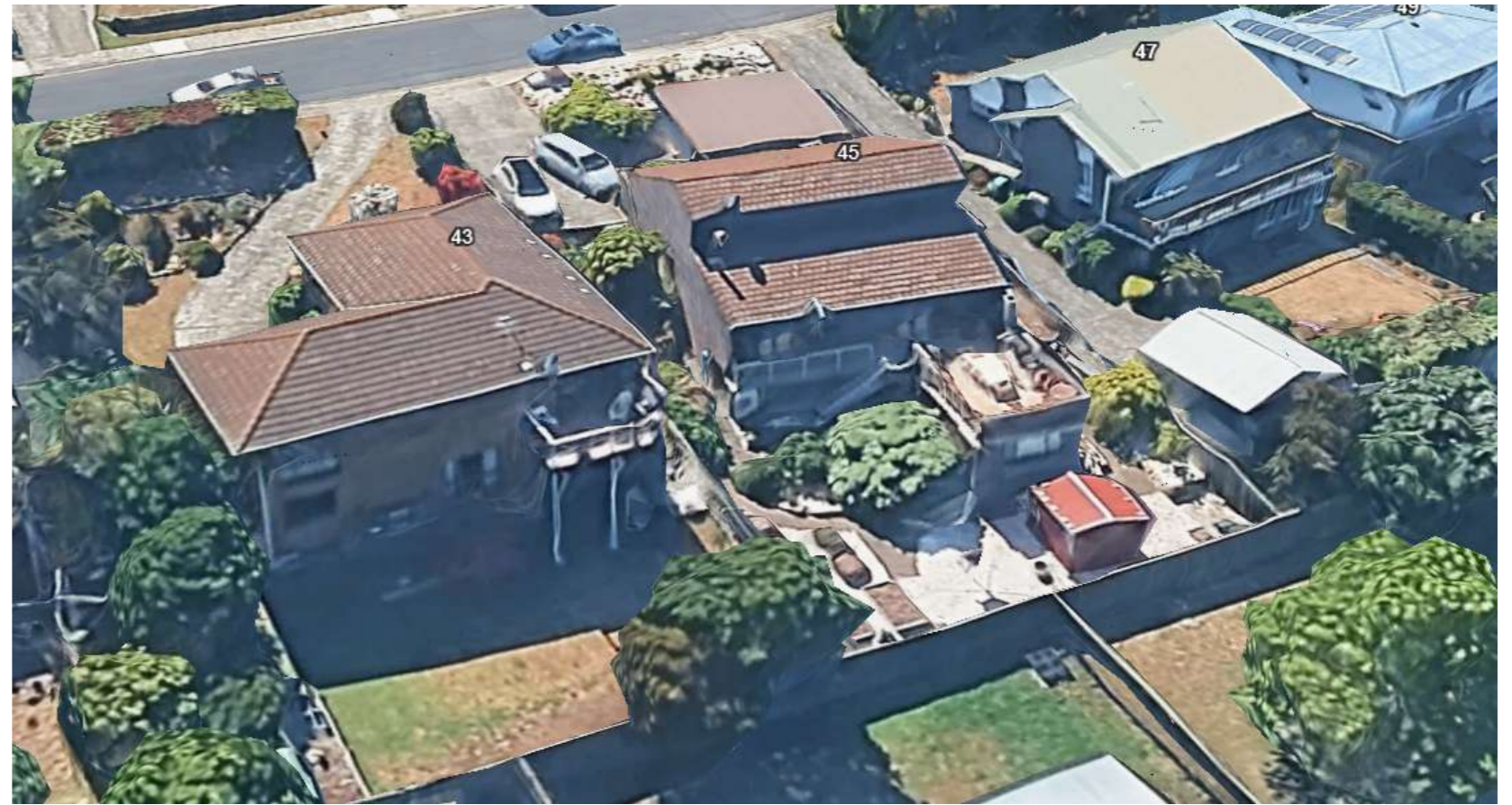
27/92 THE AVENUE  
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VIC ARCHITECT REG NO: 19250 SIMON LINARDI

ABN: 49 622 765 262



THE ADJACENT PROPERTY LOCATED TO NORTH-WEST OF THE SITE FEATURES A PRIVATE ELEVATED DECK WITH PRIVACY SCREENING (AS MENTIONED DURING SITE VISIT WITH CLIENTS).



THE ADJACENT PROPERTY LOCATED TO THE SOUTH-EAST OF SUBJECT SITE HAS VEHICULAR ACCESS/ CONCRETE DRIVEWAY BESIDE THE EXISTING LAUNDRY, WITH THEIR PRIVATE OPEN SPACE LOCATED SOME DISTANCE AWAY FROM THE PROPERTY BOUNDARY.



THE PROPOSED LIVING PAVILLION TO BE LOCATED ON EXISTING ROOF TERRACE AT 45 ELINGA IS SCREENED BY THE PITCHED ROOF FORM OF THE EXISTING 1970'S SPLIT LEVEL DWELLING.

FOR DISCUSSION ONLY



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ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: SITE CONTEXT - EXISTING SITE PHOTOS SCALE: NTS

DRAWING NO: DA02 REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI DATE: 18/11/2025

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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: SITE CONTEXT - AERIAL VIEW

SCALE: NTS

DRAWING NO: DA03

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

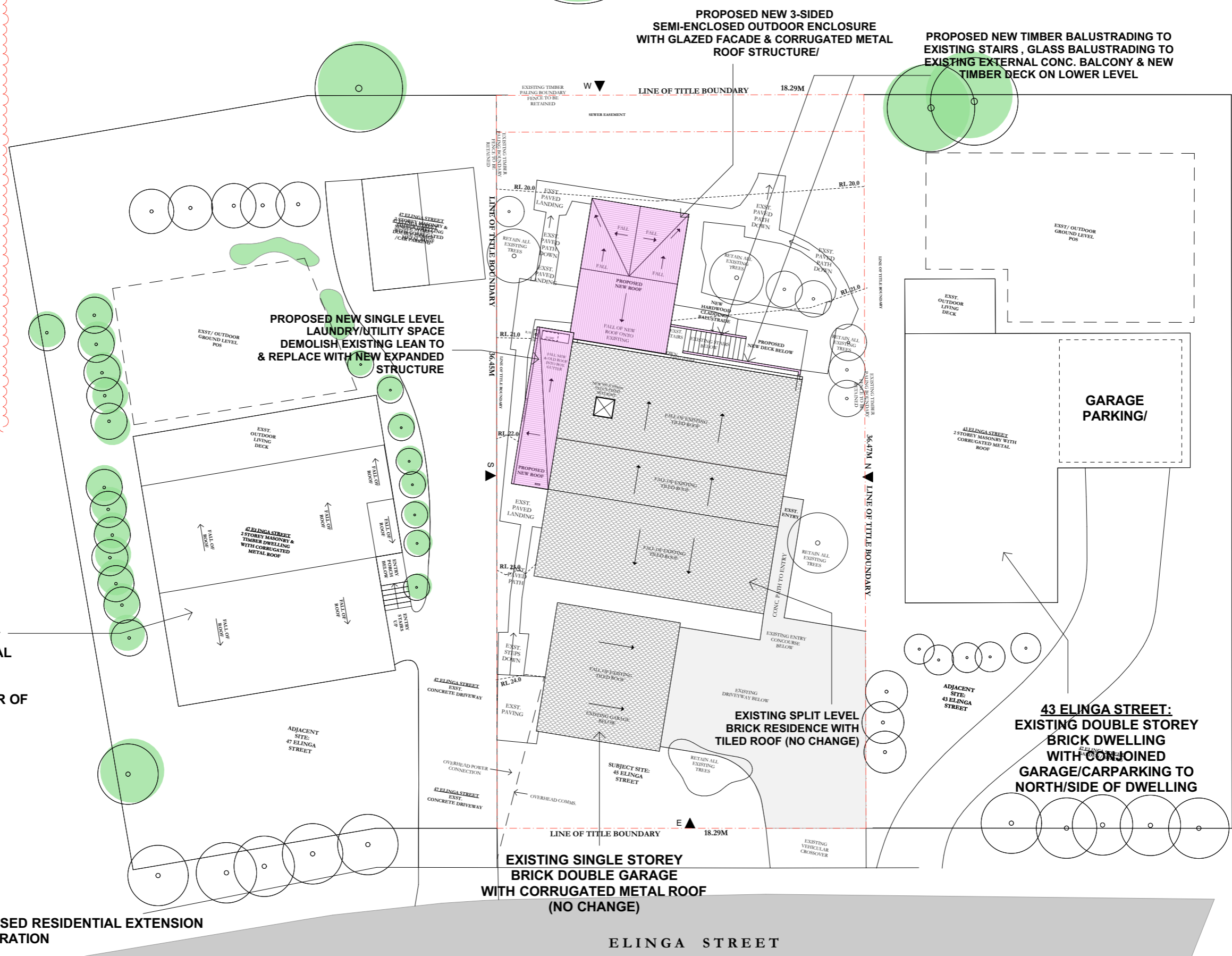
DATE: 18/11/2025



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**45 ELINGA STREET  
DEVELOPMENT SUMMARY:**

TOTAL SITE AREA:	667.4sqm
EXISTING SITE COVER:	379.1sqm / 56.8%
PROPOSED SITE COVER:	382.5sqm / 57.3%
PRIVATE OPEN SPACE (INCL. TERRACE/ BALCONY & GARDEN)	174.1sqm
PERMEABLE LANDSCAPING:	234.7sqm
RETENTION OF MATURE TREES & SHRUBS/ LANDSCAPING:	NO CHANGE




**47 ELINGA STREET:**  
EXISTING DOUBLE STOREY  
BRICK & TIMBER RESIDENTIAL  
DWELLING  
WITH DETACHED  
GARAGE/CARPARKING TO REAR OF  
PROPERTY

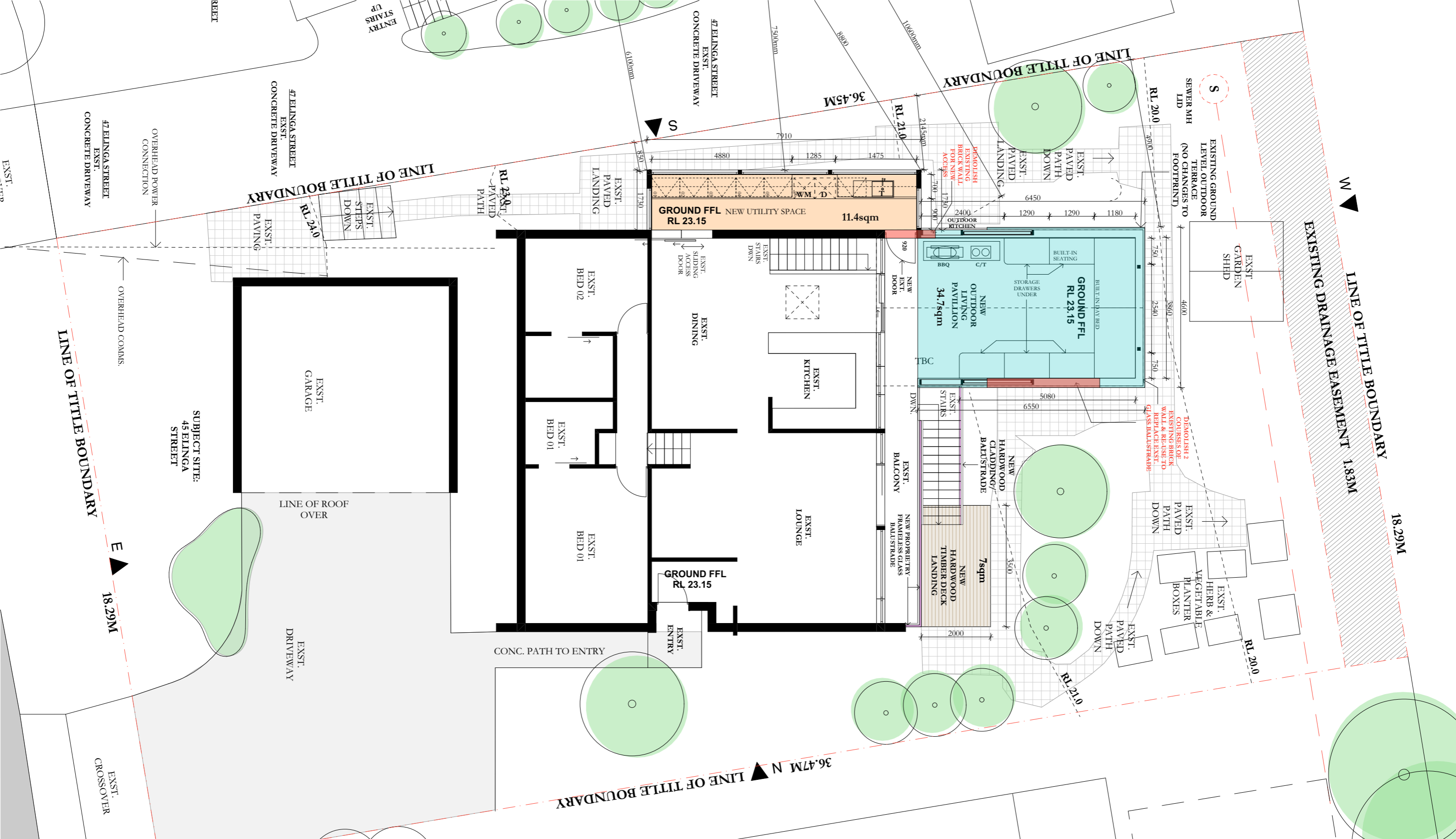
**43 ELINGA STREET:**  
EXISTING DOUBLE STOREY  
BRICK DWELLING  
WITH CONJOINED  
GARAGE/CARPARKING TO  
NORTH/SIDE OF DWELLING

**LEGEND:**

PROPOSED RESIDENTIAL EXTENSION & ALTERATION

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 <p>Architecture   Interior Design   Art</p>	<p>ATELIER CARTEL PTY LTD</p> <p>146 MISTY HILL RD, MOUNTAIN RIVER, TAS 7109   27/92 THE AVENUE PARKVILLE, VIC 3052</p> <p>TEL: 0415601850 EMAIL: STUDIOCARTELL@GMAIL.COM TAS ARCHITECT REG NO: 1165 SIMON LINARDI ABN: 49 622 765 262</p>	<p>PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS &amp; ADDITIONS FOR ROD &amp; KATH HOGAN</p> <p>ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018</p> <p>TITLE: PROPOSED SITE PLAN</p> <p>DRAWING NO: DA04</p> <p>DRAWN BY: SIMON LINARDI</p>	<p>SCALE: 1:200 @ A3</p> <p>REVISION: DA SUBMISSION - REVA</p> <p>DATE: 18/11/2025</p>	<p>© ATELIER CARTEL PTY LTD 2025</p>
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**PROPOSED GROUND PLAN** 1:100@A3

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 TAS ARCHITECT REG NO: 1165 SIMON LINARDI  
 ABN: 49 622 765 262

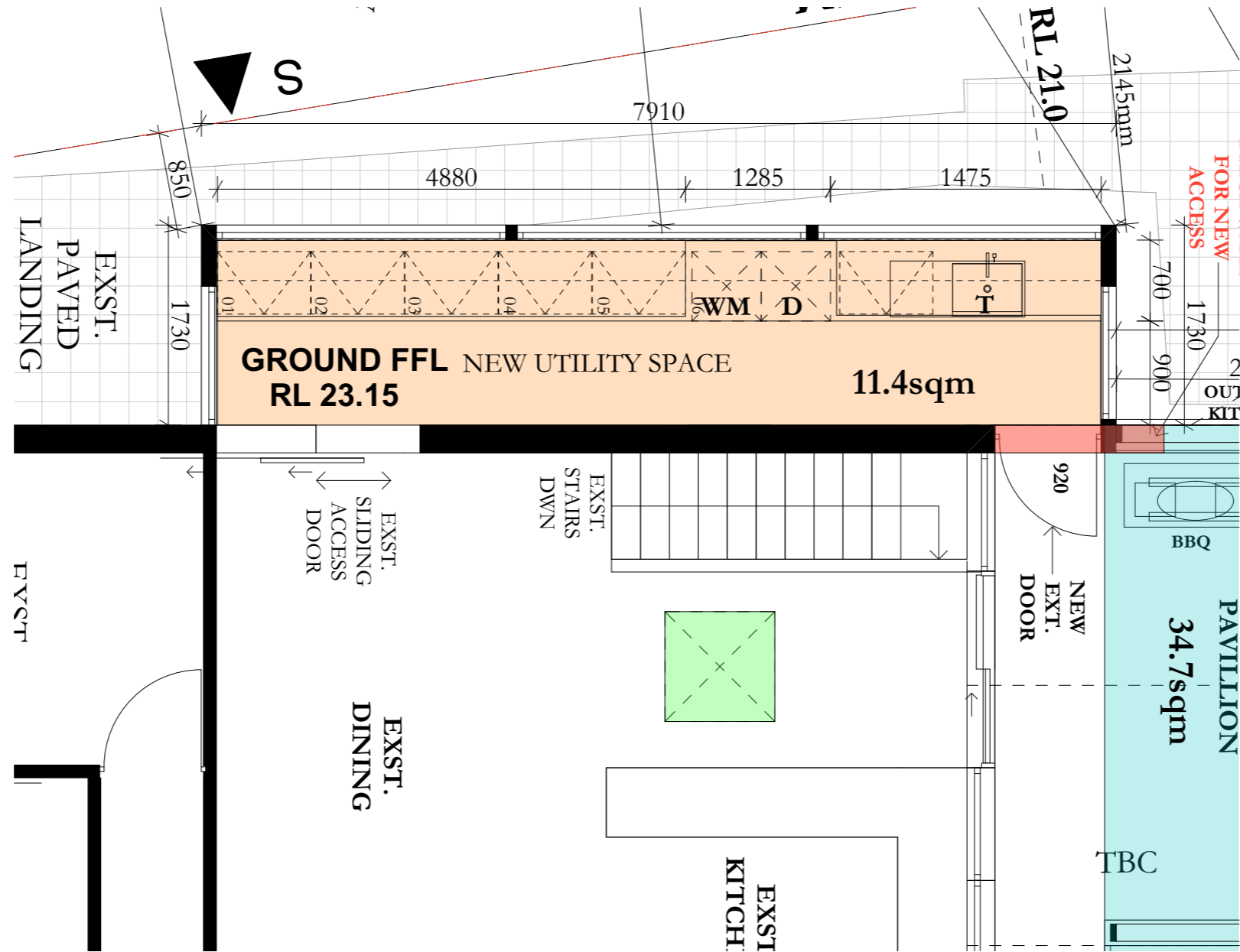
PROJECT TITLE:	PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN		
ADDRESS:	45 ELINGA STREET, HOWRAH. TASMANIA 7018		
TITLE:	PROPOSED GROUND PLAN	SCALE:	1:100 @ A3
DRAWING NO:	DA05	REVISION:	DA SUBMISSION - REVA
DRAWN BY:	SIMON LINARDI	DATE:	18/11/2025

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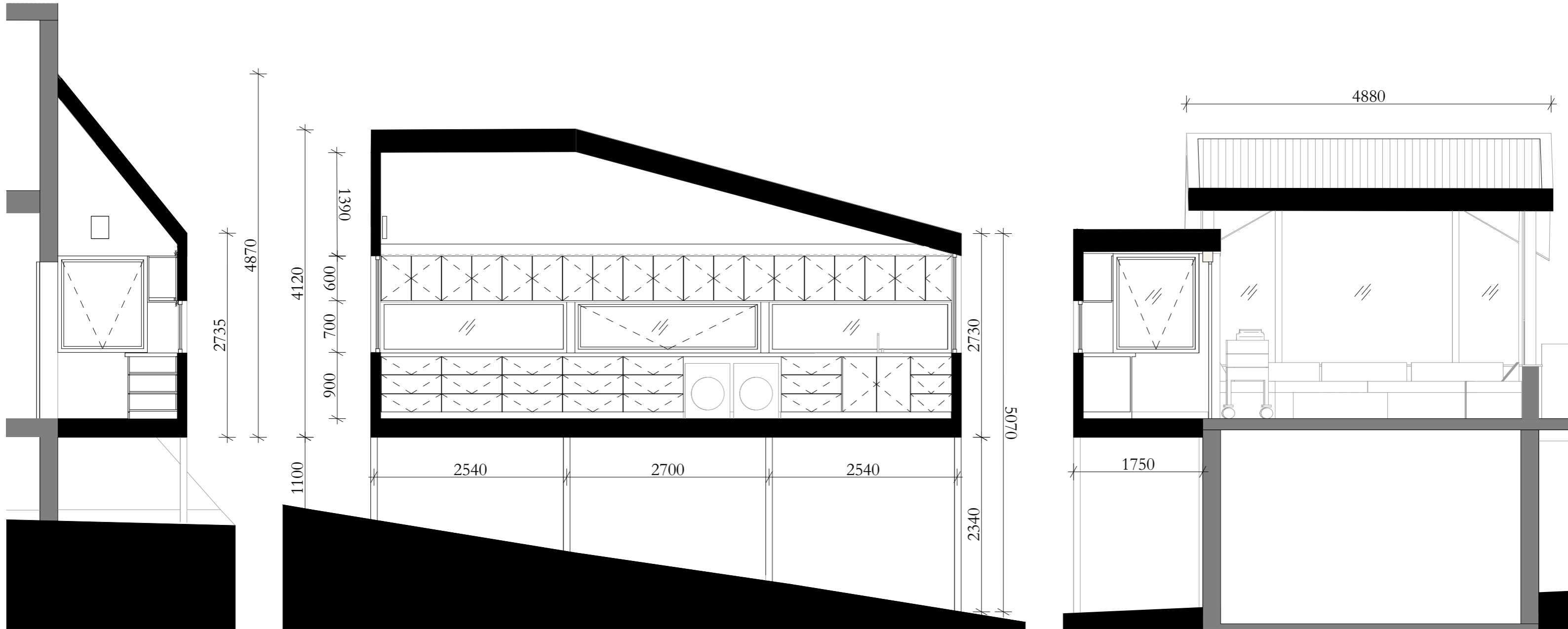


- REPRESENTS INTERNAL FLOOR AREA OF NEW LAUNDRY/WALK-THROUGH PANTRY ADDITION
- REPRESENTS EXTENT OF DEMOLITION OF EXISTING BRICK WALL ON TERRACE TO MAKE WAY FOR NEW EXTERNAL ACCESS HINGED 920MM SOLID CORE DOOR
- REPRESENTS LOCATION OF PROPOSED NEW SKYLIGHT OVER DINING/KITCHEN ZONE. REFER TO SK07




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 <p>Architecture   Interior Design   Art</p>	ATELIER CARTEL PTY LTD	PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN		© ATELIER CARTEL PTY LTD 2025	
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	TEL: 0415601850	EMAIL: STUDIOCARTELL@GMAIL.COM	TITLE: PROPOSED PLAN OF LAUNDRY		SCALE: 1:50 @ A3
	TAS ARCHITECT REG NO: 1165	SIMON LINARDI	DRAWING NO: DA07		REVISION: DA SUBMISSION - REVA
	ABN: 49 622 765 262		DRAWN BY: SIMON LINARDI		DATE: 18/11/2025



**INTERNAL ELEVATIONS: LAUNDRY 1:50@A3**

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	<p>TEL: 0415601850</p>	<p>EMAIL: <a href="mailto:STUDIOCARTELL@GMAIL.COM">STUDIOCARTELL@GMAIL.COM</a></p>	<p><b>TITLE: INTERNAL ELEVATIONS: LAUNDRY</b></p>		<p><b>SCALE: 1:50@A3</b></p>
	<p>TAS ARCHITECT REG NO: 1165</p>	<p><b>SIMON LINARDI</b></p>	<p><b>DRAWING NO: DA08</b></p>		<p><b>REVISION: DA SUBMISSION - REVA</b></p>
	<p>ABN: 49 622 765 262</p>		<p><b>DRAWN BY: SIMON LINARDI</b></p>		<p><b>DATE: 18/11/2025</b></p>



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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: PAVILION SECTIONAL VIEW

SCALE: NTS

DRAWING NO: DA09

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

DATE: 18/11/2025

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SATTELITE AERIAL VIEW OF EXISTING CONDITIONS

EXISTING DOUBLE GLAZED ALUMINIUM 'BLACK' POWDERCOATED WINDOWS & DOORS TO BE RETAINED

PROPOSED NEW GLASS BALUSTRADING TO REPLACE EXISTING ALUMINIUM FRAMED BALUSTRADING.

05

LINE OF TITLE BOUNDARY

EXISTING SPLIT LEVEL 1970'S BRICK DWELLING WITH TILED ROOF TO BE RETAINED

PROPOSED NEW SEMI-ENCLOSED PAVILLION WITH COLORBOND 'MANOR RED' METAL CORRUGATED ROOFING & POWDERCOATED FLAT ROLLED METAL COLORBOND 'DOVER WHITE' FASCIAS

PROPOSED NEW SINGLE LEVEL LAUNDRY/UTILITY SPACE. DEMOLISH EXISTING LEAN TO & REPLACE WITH NEW STRUCTURE

TOP OF RIDGE RL 28.17

TOP OF RIDGE LAUNDRY/UTILITY RL 27.72

TOP OF RIDGE 'PAVILION' RL 26.92

GROUND FFL RL 23.15

RL 22.85

LINE OF TITLE BOUNDARY

EXISTING BRICK / TILED TERRACE TO BE RETAINED WITH SUB-FLOOR SPACES, EXISTING WINDOWS TO BE RETAINED BELOW

WEST ELEVATION 1:100@A3

PROPOSED NEW TIMBER DECK ON LOWER LEVEL. MAX 500MM FFL ABOVE NGL. FILL LANDSCAPING TO BOTTOM SIDE OF DECK.

07

PROPOSED NEW TIMBER BALUSTRADING FIXED TO EXISTING STRUCTURAL PINE STAIRCASE. TO ENGINEERS FIXING DETAIL/ STRUCTURAL FRAMING / BRACING REQUIREMENTS

06

EXTERNAL MATERIALS LEGEND



01 SINGLE / DOUBLE GLAZED ALUMINIUM WINDOWS POWDERCOAT FINISH: DULUX DOVER WHITE



02 CUSTOM FLAT-ROLLED METAL DOVER WHITE FASCIA BOARD/CAPPING & ROOF FLASHING BETWEEN JUNCTION OF ROOF CAPPING & FASCIA



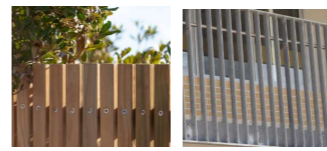
03 MANOR RED CORRUGATED METAL FACADE CLADDING, FLASHING, CAPPINGS, METAL DOWNPIPES, GUTTERING & ROOFING



04 ALUMINIUM FIXED AND AWNING DOUBLE GLAZED WINDOWS TO MATCH EXISTING RESIDENCE. POWDERCOAT COLORBOND 'NIGHT SKY'. INTERNAL & EXTERNAL COVERPLATES TO MATCH BETWEEN WINDOW FRAMES



05 FRAMELESS GLASS PROPRIETARY BALUSTRADE SYSTEM WITH BOTTOM & TOP TRACK OR EQUIVALENT TO EXTERNAL BALCONY WHERE NOMINATED



06 GALVANISED STEEL PLATE ANGLE WELDED/BOLTED BALUSTRADE FRAMING WITH HARDWOOD TIMBER VERTICAL BATTENS COUNTERSUNK SCREW FIXED TO FRAME.



07 SELECTED HARDWOOD TIMBER DECKING SPOTTED GUM, MERBAU OR EQUIVALENT

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ATELIER CARTEL PTY LTD

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27/92 THE AVENUE PARKVILLE, VIC 3052

TEL: 0415601850

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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ELEVATIONS - WEST

SCALE: 1:100 @ A3

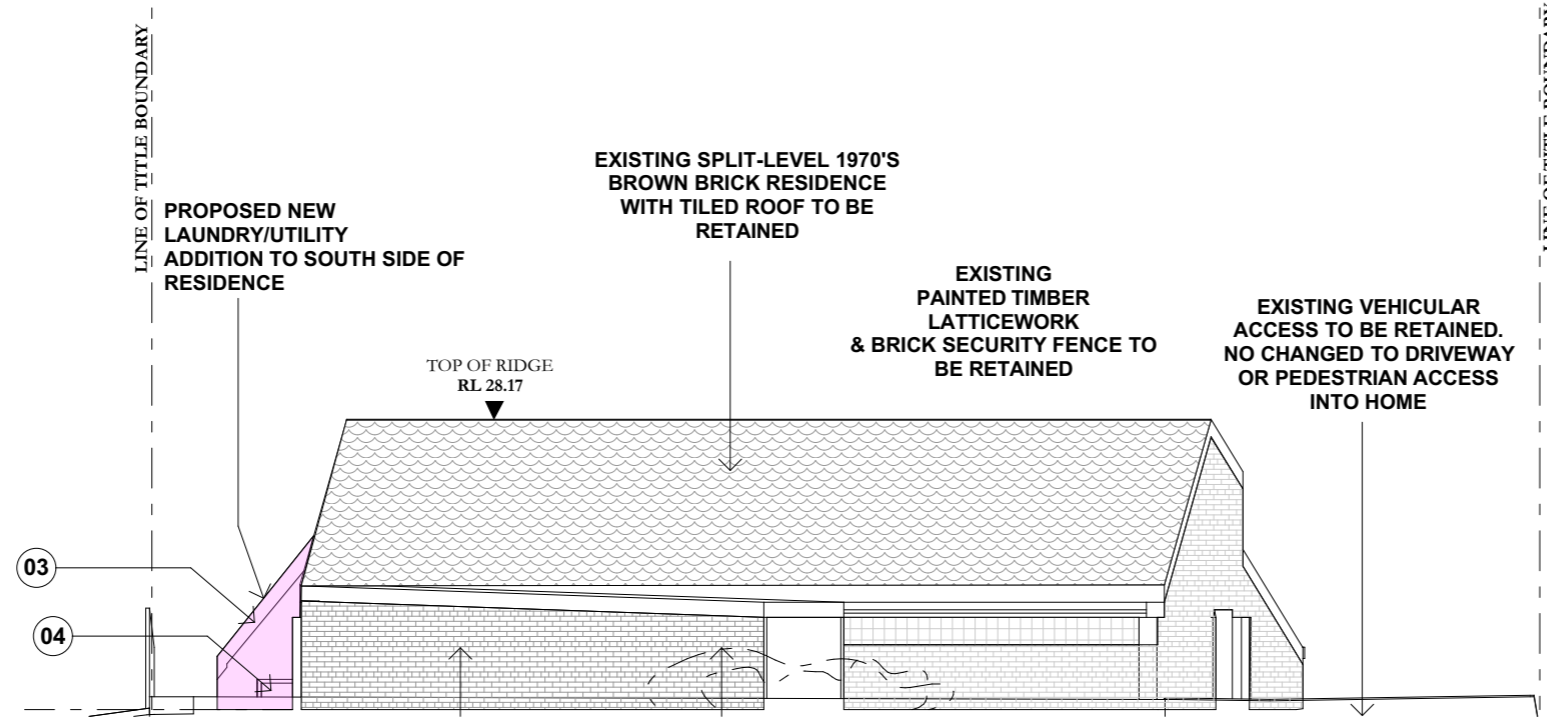
DRAWING NO: DA10

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

DATE: 18/11/2025

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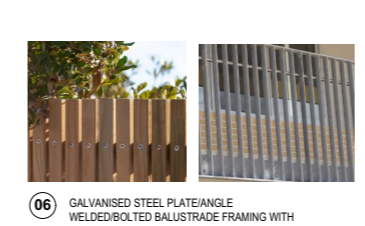



**EAST ELEVATION 1:100@A3**




STREETSCAPE VIEW FROM EAST SHOWING EXISTING CONDITIONS: THE EXISTING RESIDENCE AND GARAGE SCREEN THE PROPOSED ADDITIONS FROM THE STREETSCAPE - DUE TO THE SETOUT OF EXISTING HOME ON THE SITE.

**EXTERNAL MATERIALS LEGEND**

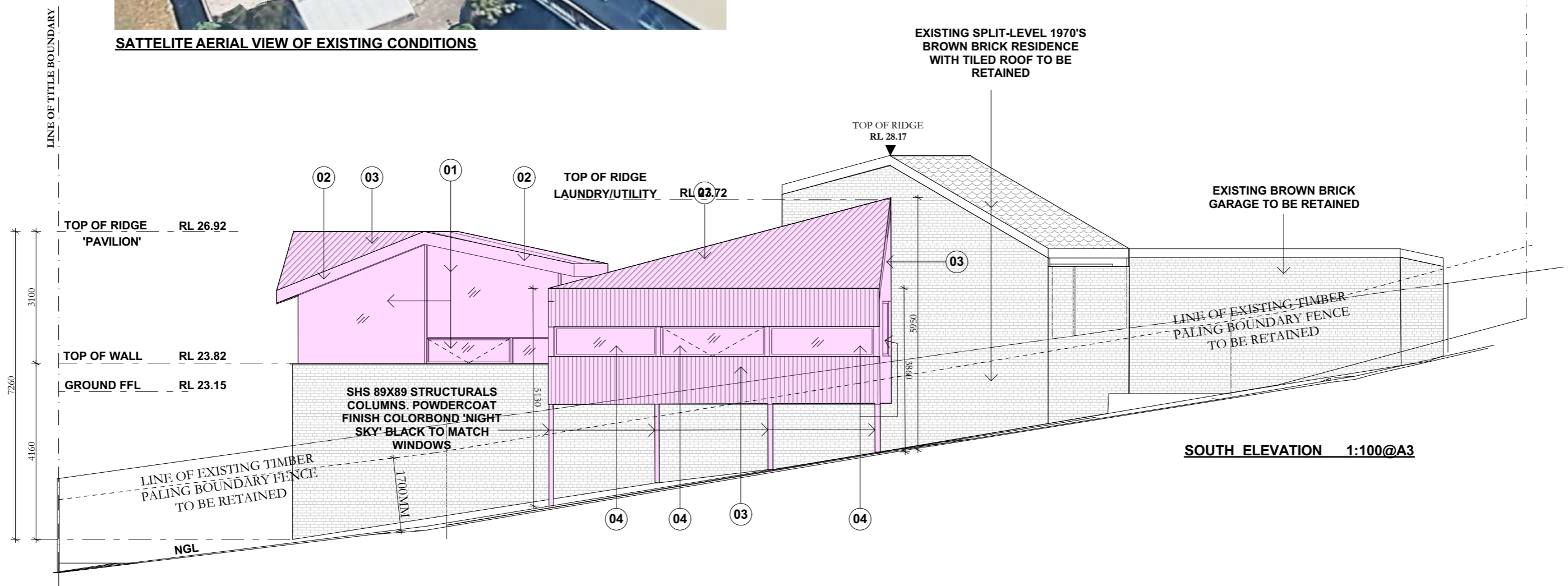
 <b>01</b> SINGLE / DOUBLE GLAZED ALUMINIUM WINDOWS POWDERCOAT FINISH: DULUX DOVER WHITE	 <b>02</b> CUSTOM FLAT-ROLLED METAL DOVER WHITE FASCIA BOARD/CAPPING & ROOF FLASHING BETWEEN JUNCTION OF ROOF CAPPING & FASCIA	 <b>03</b> MANOR RED CORRUGATED METAL FACADE CLADDING, FLASHING, CAPPINGS, METAL DOWNPIPES, GUTTERING & ROOFING	 <b>04</b> ALUMINIUM FIXED AND AWNING DOUBLE GLAZED WINDOWS TO MATCH EXISTING RESIDENCE. POWDERCOAT COLOR:OND 'NIGHT SKY'. INTERNAL & EXTERNAL COVERPLATES TO MATCH BETWEEN WINDOW FRAMES	 <b>05</b> FRAMELESS GLASS PROPRIETARY BALUSTRADE SYSTEM WITH BOTTOM & TOP TRACK OR EQUIVALENT TO EXTERNAL BALCONY WHERE NOMINATED	 <b>06</b> GALVANISED STEEL PLATE/ANGLE WELDED/BOLTED BALUSTRADE FRAMING WITH HARDWOOD TIMBER VERTICAL BATTENS COUNTERSUNK SCREW FIXED TO FRAME.	 <b>07</b> SELECTED HARDWOOD TIMBER DECKING SPOTTED GUM, MERBAU OR EQUIVALENT
---	---	---	---	---	---	--

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 Architecture   Interior Design   Art	<b>ATELIER CARTEL PTY LTD</b>  146 MISTY HILL RD, MOUNTAIN RIVER, TAS 7109   27/92 THE AVENUE PARKVILLE, VIC 3052  TEL: 0415601850 EMAIL: STUDIOCARTELL@GMAIL.COM TAS ARCHITECT REG NO: 1165 <b>SIMON LINARDI</b> ABN: 49 622 765 262	<b>PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS &amp; ADDITIONS FOR ROD &amp; KATH HOGAN</b>		© ATELIER CARTEL PTY LTD 2025	
	<b>ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018</b>				
	<b>TITLE: ELEVATIONS - EAST</b>		<b>SCALE: 1:100 @ A3</b>		
	<b>DRAWING NO: DA11</b>		<b>REVISION: DA SUBMISSION - REVA</b>		
	<b>DRAWN BY: SIMON LINARDI</b>		<b>DATE: 18/11/2025</b>		





**SATTELITE AERIAL VIEW OF EXISTING CONDITIONS**





**EXTERNAL MATERIALS LEGEND**


- 


**01** SINGLE / DOUBLE GLAZED ALUMINIUM WINDOWS  
POWDERCOAT FINISH: DULUX DOVER WHITE
- 

**02** CUSTOM FLAT-ROLLED METAL  
DOVER WHITE FASCIA BOARD/CAPPING & ROOF  
FLASHING BETWEEN JUNCTION OF ROOF  
CAPPING & FASCIA
- 

**03** MANOR RED CORRUGATED METAL FACADE  
CLADDING, FLASHING, CAPPINGS, METAL  
DOWNPIPES, GUTTERING & ROOFING
- 


**04** ALUMINIUM FIXED AND AWNING DOUBLE GLAZED  
WINDOWS TO MATCH EXISTING RESIDENCE.  
POWDERCOAT COLORBOND 'NIGHT SKY'.  
INTERNAL & EXTERNAL COVERPLATES TO  
MATCH BETWEEN WINDOW FRAMES
- 

**05** FRAMELESS GLASS PROPRIETARY BALUSTRADE  
SYSTEM WITH BOTTOM & TOP TRACK  
OR EQUIVALENT TO EXTERNAL BALCONY  
WHERE NOMINATED
- 

**06** GALVANISED STEEL PLATE/ANGLE  
WELDED/BOLTED BALUSTRADE FRAMING WITH  
HARDWOOD TIMBER VERTICAL BATTENS  
COUNTERSUNK SCREW FIXED TO FRAME.
- 

**07** SELECTED HARDWOOD TIMBER DECKING  
SPOTTED GUM, MERBAU OR EQUIVALENT

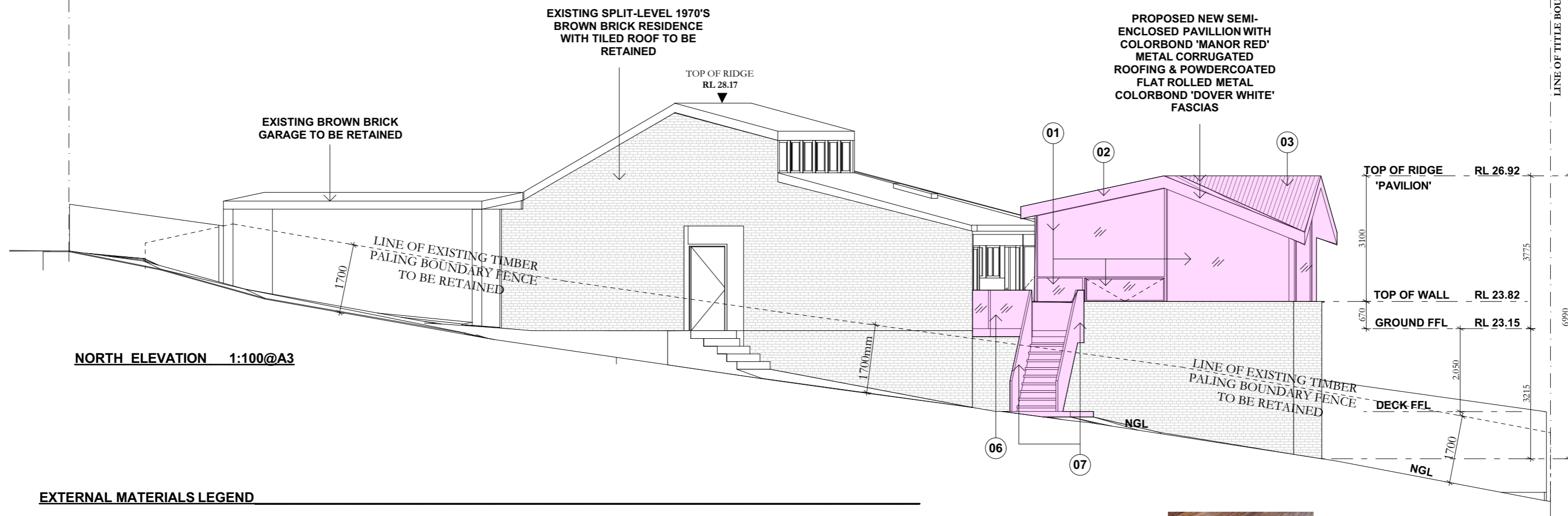
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 <p>Architecture   Interior Design   Art</p>	<p><b>ATELIER CARTEL PTY LTD</b></p> <p>146 MISTY HILL RD, MOUNTAIN RIVER, TAS 7109</p> <p>27/92 THE AVENUE PARKVILLE, VIC 3052</p> <p>TEL: 0415601850 EMAIL: <a href="mailto:STUDIOCARTELL@GMAIL.COM">STUDIOCARTELL@GMAIL.COM</a> TAS ARCHITECT REG NO: 1165 <b>SIMON LINARDI</b> ABN: 49 622 765 262</p>	<p><b>PROJECT TITLE:</b> PROPOSED RESIDENTIAL ALTERATIONS &amp; ADDITIONS FOR ROD &amp; KATH HOGAN</p> <p><b>ADDRESS:</b> 45 ELINGA STREET, HOWRAH. TASMANIA 7018</p> <p><b>TITLE:</b> ELEVATIONS - SOUTH <span style="float: right;"><b>SCALE:</b> 1:100 @ A3</span></p> <p><b>DRAWING NO:</b> DA12 <span style="float: right;"><b>REVISION:</b> DA SUBMISSION - REVA</span></p> <p><b>DRAWN BY:</b> SIMON LINARDI <span style="float: right;"><b>DATE:</b> 18/11/2025</span></p>	<p>© ATELIER CARTEL PTY LTD 2025</p>
	<p><b>ATELIER CARTEL PTY LTD</b></p>		<p><b>PROJECT TITLE:</b> PROPOSED RESIDENTIAL ALTERATIONS &amp; ADDITIONS FOR ROD &amp; KATH HOGAN</p>
	<p>146 MISTY HILL RD, MOUNTAIN RIVER, TAS 7109</p>		<p><b>ADDRESS:</b> 45 ELINGA STREET, HOWRAH. TASMANIA 7018</p>
	<p>27/92 THE AVENUE PARKVILLE, VIC 3052</p>		<p><b>TITLE:</b> ELEVATIONS - SOUTH <span style="float: right;"><b>SCALE:</b> 1:100 @ A3</span></p>
	<p>TEL: 0415601850 EMAIL: <a href="mailto:STUDIOCARTELL@GMAIL.COM">STUDIOCARTELL@GMAIL.COM</a> TAS ARCHITECT REG NO: 1165 <b>SIMON LINARDI</b> ABN: 49 622 765 262</p>		<p><b>DRAWING NO:</b> DA12 <span style="float: right;"><b>REVISION:</b> DA SUBMISSION - REVA</span></p> <p><b>DRAWN BY:</b> SIMON LINARDI <span style="float: right;"><b>DATE:</b> 18/11/2025</span></p>

LINE OF TITLE BOUNDARY



SATTELITE AERIAL VIEW OF EXISTING CONDITIONS



NORTH ELEVATION 1:100@A3

EXTERNAL MATERIALS LEGEND



01 SINGLE / DOUBLE GLAZED ALUMINIUM WINDOWS POWDERCOAT FINISH: DULUX DOVER WHITE



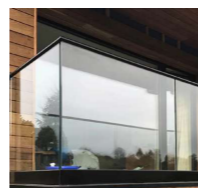
02 CUSTOM FLAT-ROLLED METAL DOVER WHITE FASCIA BOARD/CAPPING & ROOF FLASHING BETWEEN JUNCTION OF ROOF CAPPING & FASCIA



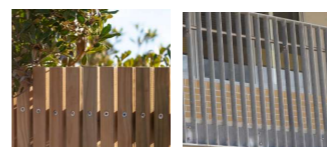
03 MANOR RED CORRUGATED METAL FACADE CLADDING, FLASHING, CAPPINGS, METAL DOWNPIPES, GUTTERING & ROOFING



04 ALUMINIUM FIXED AND AWNING DOUBLE GLAZED WINDOWS TO MATCH EXISTING RESIDENCE. POWDERCOAT COLORBOND 'NIGHT SKY'. INTERNAL & EXTERNAL COVERPLATES TO MATCH BETWEEN WINDOW FRAMES



05 FRAMELESS GLASS PROPRIETARY BALUSTRADE SYSTEM WITH BOTTOM & TOP TRACK OR EQUIVALENT TO EXTERNAL BALCONY WHERE NOMINATED



06 GALVANISED STEEL PLATE ANGLE WELDED/BOLTED BALUSTRADE FRAMING WITH HARDWOOD TIMBER VERTICAL BATTENS COUNTERSUNK SCREW FIXED TO FRAME.



07 SELECTED HARDWOOD TIMBER DECKING SPOTTED GUM, MERBAU OR EQUIVALENT

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EMAIL: STUDIOCARTELL@GMAIL.COM

TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ELEVATIONS - NORTH

SCALE: 1:100 @ A3

DRAWING NO: DA13

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

DATE: 18/11/2025

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45DEGREE PROJECTION  
FROM 3M ABOVE NGL ON BOUNDARY



EXISTING BRICK FACADE/ROOF MASSING OF DWELLING (NOT APPLICABLE)

TOP OF STEEP ROOF PITCH OF PROPOSED ADDITION DESIGNED TO MINIMUM OVERSHADOWING TO 47 ELINGA STREET (EXISTING DRIVEWAY ACCESS)

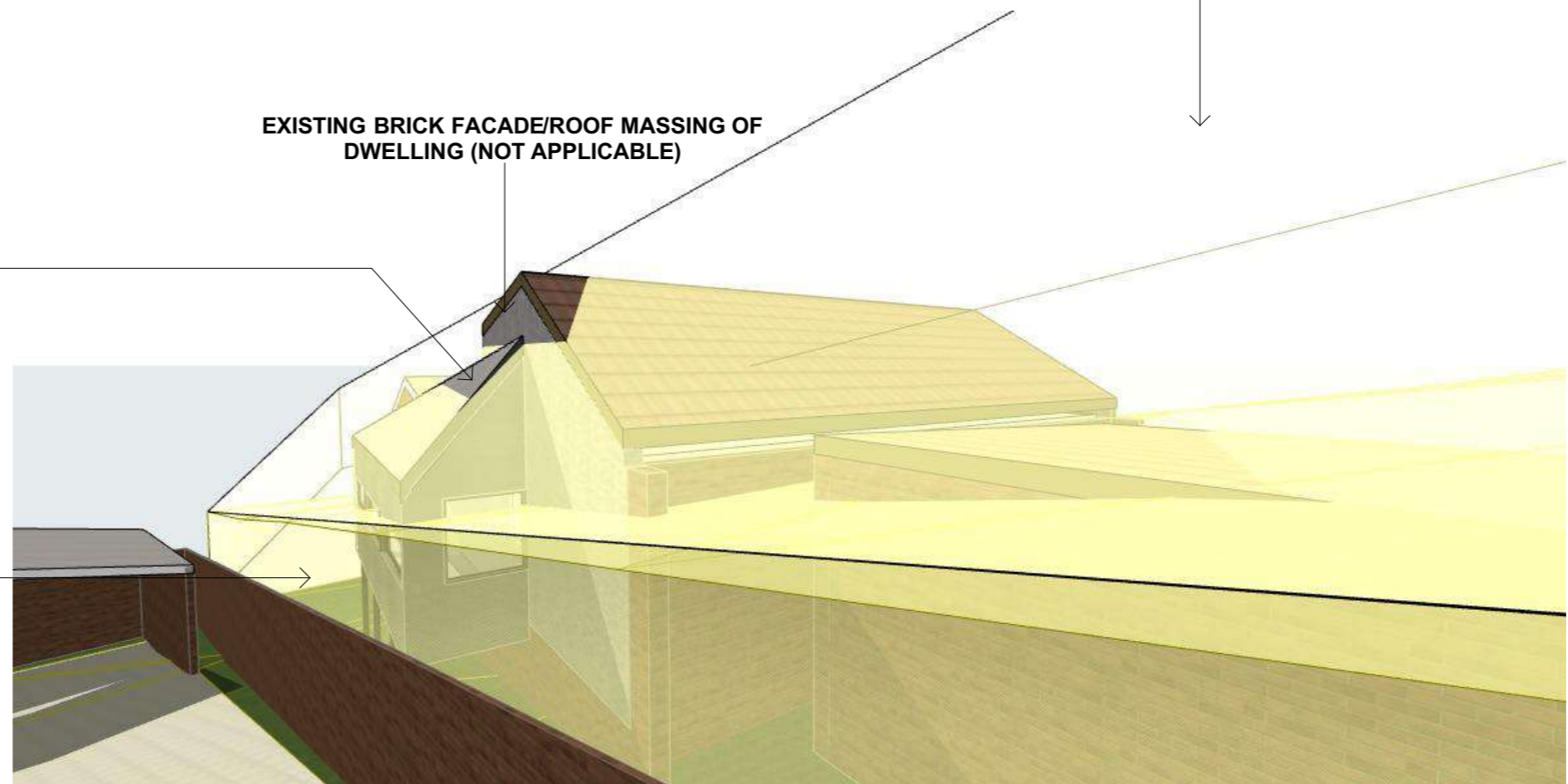
3M HIGH ENVELOPE FROM NGL

45DEGREE PROJECTION  
FROM 3M ABOVE NGL ON BOUNDARY

TOP OF STEEP ROOF PITCH OF PROPOSED ADDITION DESIGNED TO MINIMUM OVERSHADOWING TO 47 ELINGA STREET (EXISTING DRIVEWAY ACCESS)

EXISTING BRICK FACADE/ROOF MASSING OF DWELLING (NOT APPLICABLE)

3M HIGH ENVELOPE FROM NGL



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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: BUILDING ENVELOPE DIAGRAMS

SCALE: NTS

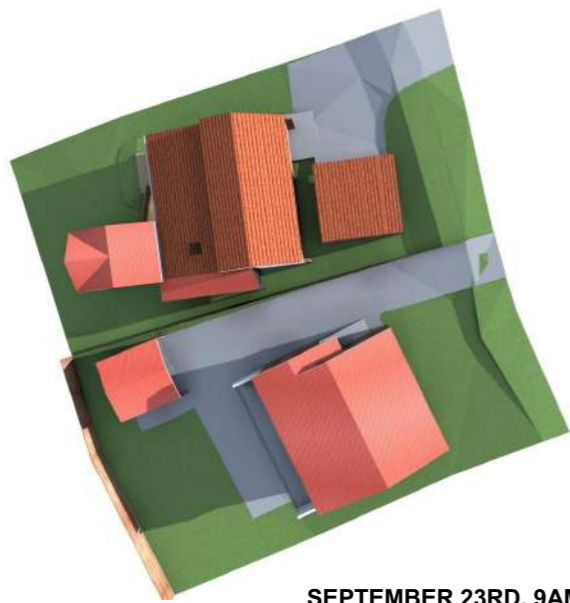
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REVISION: DA SUBMISSION - REVA

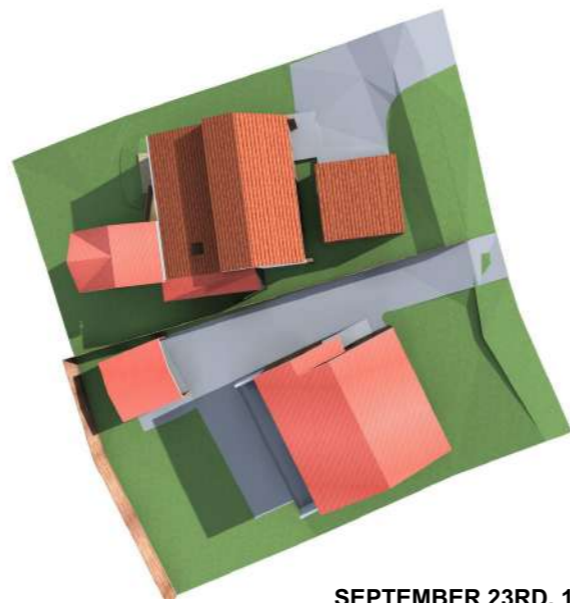
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DATE: 18/11/2025

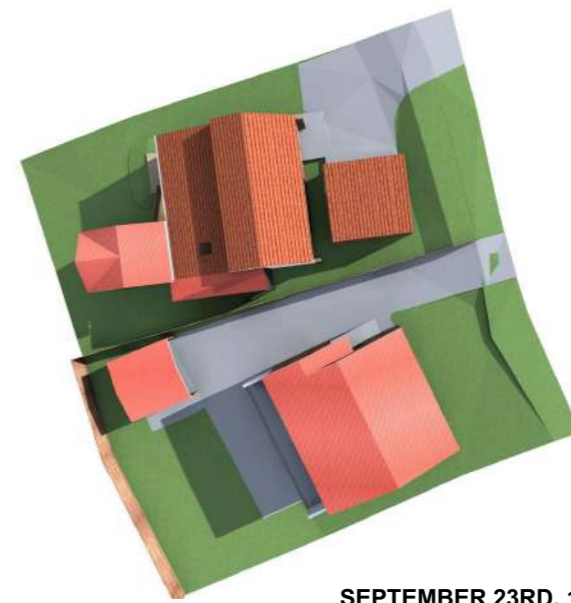
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SEPTEMBER 23RD, 9AM



SEPTEMBER 23RD, 10AM



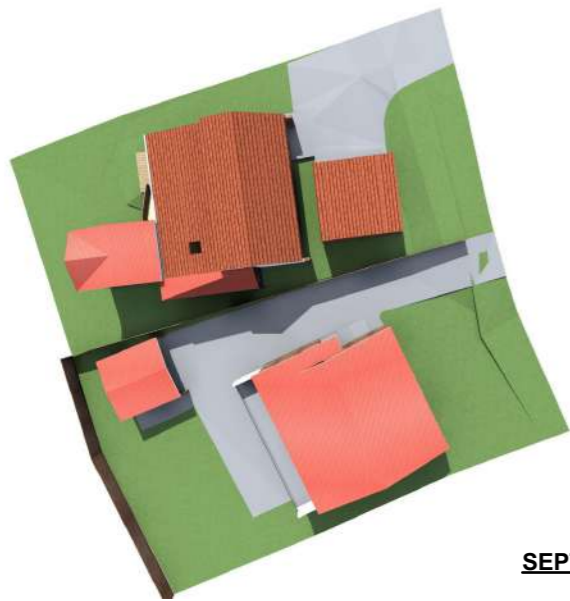
SEPTEMBER 23RD, 11AM



SEPTEMBER 23RD, 12PM



SEPTEMBER 23RD, 1PM



SEPTEMBER 23RD, 2PM



SEPTEMBER 23RD, 3PM



SEPTEMBER 23RD, 4PM

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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: SUN SHADOW DIAGRAMS

SCALE: NTS

DRAWING NO: DA15

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

DATE: 18/11/2025

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**01** SINGLE / DOUBLE GLAZED ALUMINIUM WINDOWS  
POWDERCOAT FINISH: DULUX 'DOVER WHITE'



**02** CUSTOM FLAT-ROLLED METAL  
DOVER WHITE FASCIA BOARD/CAPPING & ROOF  
FLASHING BETWEEN JUNCTION OF ROOF  
CAPPING & FASCIA



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DOWNPIPES, GUTTERING & ROOFING



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POWDERCOAT COLORBOND 'NIGHT SKY'.  
INTERNAL & EXTERNAL COVERPLATES TO  
MATCH BETWEEN WINDOW FRAMES



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SYSTEM WITH BOTTOM & TOP TRACK  
OR EQUIVALENT TO EXTERNAL BALCONY  
WHERE NOMINATED



**06** GALVANISED STEEL PLATE/ANGLE  
WELDED/BOLTED BALUSTRADE FRAMING WITH  
HARDWOOD TIMBER VERTICAL BATTENS  
COUNTERSUNK SCREW FIXED TO FRAME.

NOTE: PLEASE REVIEW  
IN CONJUNCTION WITH  
ELEVATIONS

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ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN			
ADDRESS:	45 ELINGA STREET, HOWRAH. TASMANIA 7018		
TITLE:	EXTERNAL MATERIAL SCHEDULE	SCALE:	NTS
DRAWING NO:	DA16	REVISION:	DA SUBMISSION - REVA
DRAWN BY:	SIMON LINARDI	DATE:	18/11/2025

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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ARTIST IMPRESSION

SCALE: NTS

DRAWING NO: DA17

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TAS ARCHITECT REG NO: 1165 SIMON LINARDI

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ARTIST IMPRESSION

SCALE: NTS

DRAWING NO: DA18

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

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ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ARTIST IMPRESSION

SCALE: NTS

DRAWING NO: DA19

REVISION: DA SUBMISSION - REVA

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TAS ARCHITECT REG NO: 1165 **SIMON LINARDI**

ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ARTIST IMPRESSION

SCALE: NTS

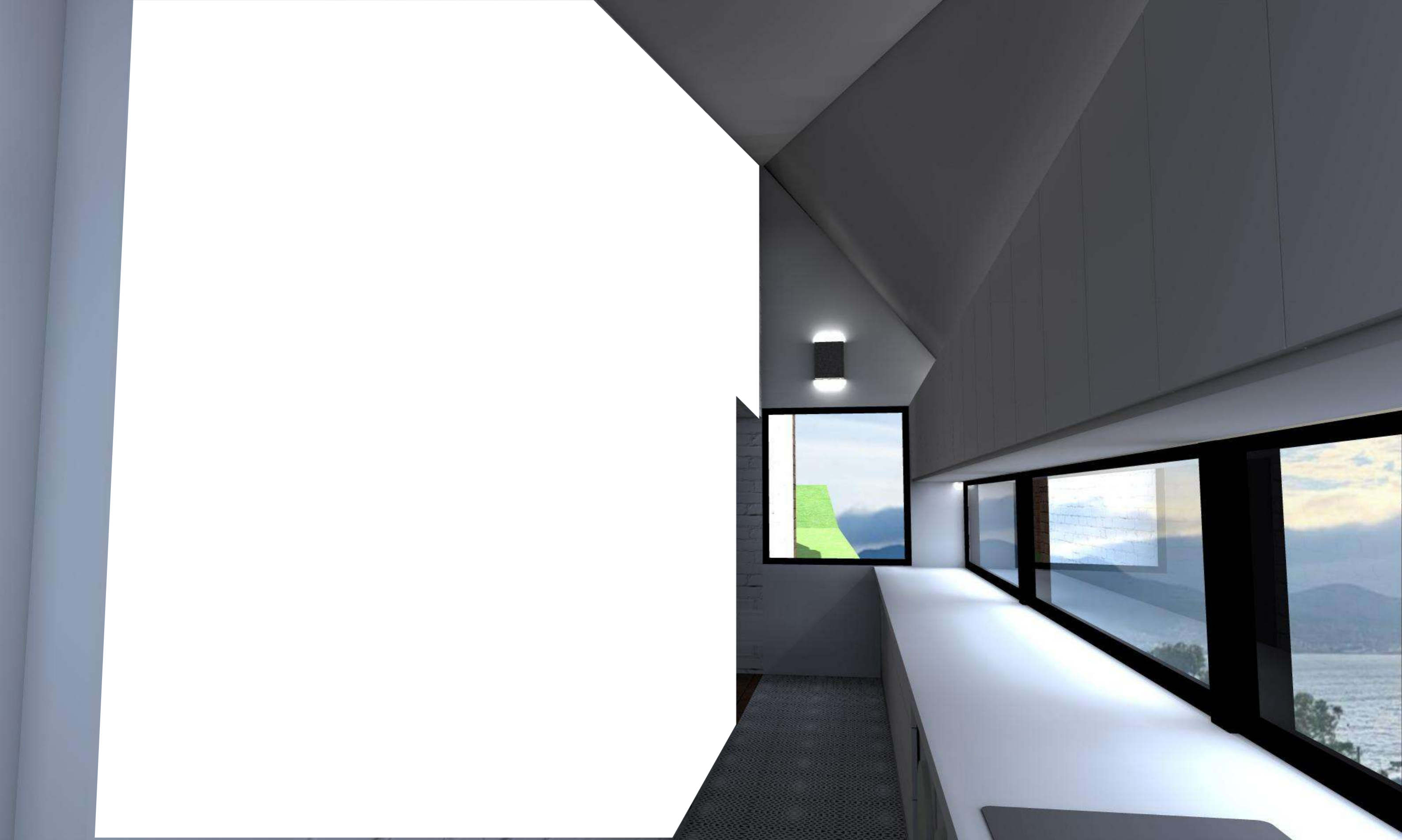
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TITLE: ARTIST IMPRESSION

SCALE: NTS

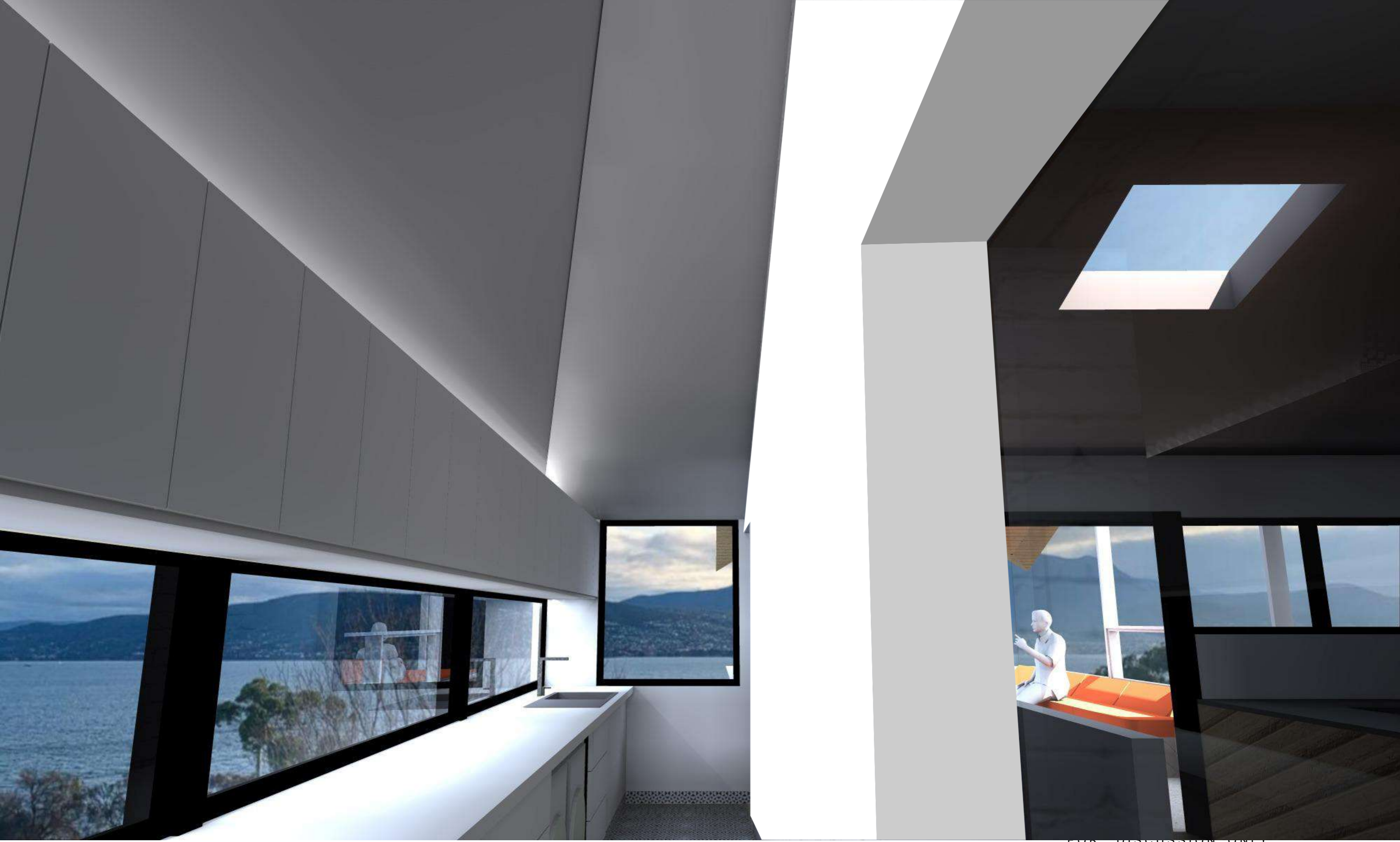
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REVISION: DA SUBMISSION - REVA

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PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ARTIST IMPRESSION

SCALE: NTS

DRAWING NO: DA22

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

DATE: 18/11/2025

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PROJECT TITLE:	PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN		
ADDRESS:	45 ELINGA STREET, HOWRAH. TASMANIA 7018		
TITLE:	ARTIST IMPRESSION	SCALE:	NTS
DRAWING NO:	DA23	REVISION:	DA SUBMISSION - REVA
DRAWN BY:	SIMON LINARDI	DATE:	18/11/2025

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ABN: 49 622 765 262

PROJECT TITLE: PROPOSED RESIDENTIAL ALTERATIONS & ADDITIONS FOR ROD & KATH HOGAN

ADDRESS: 45 ELINGA STREET, HOWRAH. TASMANIA 7018

TITLE: ARTIST IMPRESSION

SCALE: NTS

DRAWING NO: DA24

REVISION: DA SUBMISSION - REVA

DRAWN BY: SIMON LINARDI

DATE: 18/11/2025

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# HYDRAULIC SERVICES DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS  
45 ELINGA STREET, HOWRAH TAS



## DRAWING SCHEDULE

H01	TITLE AND OVERALL PLAN	0	14/11/2025
H02	HYDRAULIC NOTES	0	14/11/2025
H03	SITE PLAN - DRAINAGE PLAN	0	14/11/2025
H04	DRAINAGE PLAN - ROOF	0	14/11/2025
H05	HYDRAULIC DETAILS	0	14/11/2025
H06	HYDRAULIC DETAILS 2	0	14/11/2025



**DRAINAGE PLAN - SITE PLAN OVERALL**

1 : 400

0	BUILDING APPROVAL DESCRIPTION	14/11/2025 DATE	FYSH Design Phone : 0414 149 394 UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS MAIL@FYSHDESIGN.COM.AU Accreditation: BSD Licence 479819732		HYDRAULIC SERVICES DRAWINGS PROPOSED ALTERATIONS AND ADDITIONS 45 ELINGA STREET, HOWRAH TAS DRAWING TITLE TITLE AND OVERALL PLAN		0 1 2 3 4 5 SCALE 1:100	SCALE 1 : 400	
							DRAWN CF	DESIGNED CF	PAGE SIZE A3
							PROJECT CKD-HYD-341	SHEET NO. H01	REVISION 0

## BUILDING SEWER

### STANDARD

SEWERAGE DRAINAGE INSTALLATION SHALL COMPLY WITH THE AS3500, NCC, TASWATER AND OTHER AUTHORITIES OR REGULATIONS HAVING JURISDICTION OVER THE INSTALLATION. MAKE ALL NECESSARY APPLICATIONS AND PAY ALL ASSOCIATED FEES AND CHARGES. PIPEWORK SHALL BE DN 100MM UNLESS NOTED OTHERWISE. ALL PIPEWORK SHALL BE EQUAL TO OR GREATER THAN THE NOMINATED OUTLET SIZE OF THE FIXTURE, APPLIANCE OR TUNDISH. ALL WORK SHALL BE STRICTLY INSTALLED TO THE MANUFACTURER'S RECOMMENDATIONS.

### MATERIALS

PIPEWORK SHALL BE CONSTRUCTED OF UNPLASTICISED POLYVINYL CHLORIDE (UPVC) CLASS DWV TO AS1260, U.N.O.

PIPEWORK RECEIVING HOT DISCHARGES SHALL BE CONSTRUCTED OF BRASS OR HIGH DENSITY POLYETHYLENE (HDPE) WITH ELECTRO-FUSION WELDED JOINTS, U.N.O.

### INSTALLATION

CO-ORDINATE WITH OTHER SERVICES CONTRACTORS BEFORE COMMENCING TO DETERMINE THE CORRECT CONSTRUCTION SEQUENCE.

CONFIRM THE LOCATION AND LEVEL OF THE NOMINATED OUTLET PRIOR TO TRENCH EXCAVATION OR LAYING OF ANY DRAINS.

ASCERTAIN FROM TASWATER ALL NECESSARY CONNECTION REQUIREMENTS AND INSTALL ALL WORK FOR CONNECTION IN ACCORDANCE WITH THESE REQUIREMENTS.

ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED. SUPPORT SYSTEM SHALL BE DESIGNED TO SAFELY AND COMPLETELY SUPPORT THE WEIGHT OF PIPEWORK AND ASSOCIATED WORK. SUPPORT SYSTEMS SHALL BE INSTALLED IMMEDIATELY ON PIPE INSTALLATION AND ALLOWANCE FOR EXPANSION PROVIDED.

PROVISION FOR PIPEWORK EXPANSION SHALL BE IN ACCORDANCE WITH AS2032 SECTION 6.4.

NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES OF STACKS AS PER AS3500. INSTALL LONG RADIUS BENDS AT THE BASE OF ALL STACKS AS PER AS3500 AND INCLUDE ALL BRACKETS AND SUPPORTS.

PROVIDE TEST GATES/INSPECTION OPENINGS TO GRADED BRANCHES AS REQUIRED BY AS3500.2 WITH ACCESS PANELS IN WALLS AND CEILINGS WHERE OPENINGS ARE INACCESSIBLE.

OFFSET VENT PIPES WHERE NECESSARY IN ROOF SPACE TO CLEAR GUTTERS, ROOF STRUCTURE, MECHANICAL PLANT, AIR INTAKES, ECT. COMBINE VENTS WHEREVER POSSIBLE TO REDUCE NUMBER OF VENTS PASSING THROUGH ROOF.

### TUNDISHES

LOCATION OF TUNDISHES TO BE CONFIRMED ON SITE TO SUIT EQUIPMENT OUTLETS.

TUNDISHES SHALL BE INSTALLED TO RECEIVE MECHANICAL PLANT WASTE AND BE CONNECTED ABOVE

WASTE TRAPS WHERE DETAILED ON MECHANICAL ENGINEER'S DRAWINGS. DISCHARGE TO TUNDISHES SHALL BE 25MM ABOVE THE TUNDISH EDGE AND BE LOCATED IN AN ACCESSIBLE POSITION.

PROVIDE AND INSTALL MAG IN-WALL TUNDISHES WITH STAINLESS STEEL COVER WINDOW (SUPPLIED BY MA GRIFFITH) OR EQUAL APPROVED TYPE FOR ALL CLOTHES WASHING MACHINES WITHOUT DIRECT CONNECTION TO A TROUGH. LOCATE TUNDISH 1100MM ABOVE FLOOR LEVEL WITH TRAP LOCATED AT LOW LEVEL WITHIN WALL BEHIND 450MM X 450MM MIFAB ACCESS PANEL FOR TRAP (SUPPLIED BY MA GRIFFITH) OR EQUAL APPROVED TYPE. LOCATION TO BE CONFIRMED ON-SITE.

S17 ALL TUNDISHES TO DISCHARGE VIA A WATERLESS TYPE TRAP.

### FIXTURE DISCHARGE PIPE SIZES (U.N.O)

ALL FIXTURES SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM SIZED WASTE OUTLET:-

BASIN (B)	DN40
BATH (BTH)	DN40
CLOTHES WASHING MACHINE (CWM)	DN50
CLEANERS SINK (CS)	DN50
DISHWASHING MACHINE (DWM)	DN50
FLOOR WASTE GULLY (FWG)	DN100/DN65
SHOWER (SHR)	DN50
SINK (S)	DN50
TROUGH (TR)	DN50
URINAL (UR)	DN40
WATER CLOSET PAN (WC)	DN100

### TRADE WASTE

ALL TRADE WASTE PIPEWORK SHALL BE HIGH DENSITY POLYETHYLENE TO AS 4130, COMPLETE WITH ELECTRO-FUSION JOINTING METHODS.

TRADE WASTE STACK RISERS TO HAVE ACCESS CAPS LOCATED 300MM ABOVE F.F.L AT ALL LEVELS.

TASWATER APPROVED DRY BASKET ARRESTORS SHALL BE INSTALLED ON FLOOR WASTES, SINK WASTES IN ALL FOOD PREPARATION AREAS AND GENERAL LEARNING AREA SINKS. PROVIDE RISERS TO ARRESTORS AS NECESSARY TO FINISH FLUSH WITH F.S.L.

## BUILDING HYDRAULICS

- ALL MATERIALS AND WORKMANSHIP TO BE DONE IN ACCORDANCE WITH AS3500, NCC VOL 3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL 3 (PCA) AND LOCAL AUTHORITY REQUIREMENTS.
- ALL DRAINAGE PIPEWORK SHALL BE DWV CLASS S<sub>N6</sub> U.N.O. ALL WASTE AND VENT SHALL BE DWV CLASS PIPE.
- DURING CONSTRUCTION TEMPORARILY SEAL ALL OPEN ENDS OF PIPES AND VALVES TO PREVENT ENTRY OF FOREIGN MATTER, DO NOT USE RAGS, PAPER OR WOODEN PLUGS.
- SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
- PROVIDE FIRE STOPS AS REQUIRED.
- CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN. INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
- REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.
- THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE, DETERMINE LOCATION OF EXISTING POWER, TELSTRA, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
- ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE PROOFING.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT. INSTALL FIRE STOP COLLARS TO PVC-U OR DWV PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
- PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
- MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
- MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
- CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.
- REFER TO THE ARCHITECTS DRAWINGS FOR SANITARY FIXTURE AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.

## BUILDING STORMWATER

- STORMWATER PIPE INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY A 20 YEAR AVERAGE RECURRENCE INTERVAL (ARI) AT A 5 MINUTE STORM DURATION, WITH OVERLAND FLOW PATHS PROVIDED FOR 1:100 ARI. IT IS ASSUMED THAT THE DOWNSTREAM INFRASTRUCTURE AND/OR ENVIRONMENT CAN SAFELY RECEIVE THE 1:20 ARI EVENT WITH A 5 MINUTE STORM DURATION.
- ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500:2021, NCC 2022 VOL 3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- ALL PIPEWORK SHALL BE MINIMUM DN100 UPVC S<sub>N4</sub> AT 1:100 GRADE (1.00%) UNLESS NOMINATED OTHERWISE ON PLANS.
- MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.
- INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS3500 AND THE NCC
- PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH AS3500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS.
- PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR AVERAGE RECURRENCE INTERVAL (ARI) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 100 YEAR ARI STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 20 YEAR ARI STORMS AND THE ROAD RESERVE FOR 100 YEAR ARI STORMS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S BY-LAWS AND AS/NZS3500.
- STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA
- INSTALLATION REQUIREMENTS FOR TYPE HS2 SUPPORT.
- BELOW GROUND PIPEWORK AND FITTINGS TO BE uPVC SWHD, JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS.
- PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
- MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
- MINIMUM SIZE OF PIPEWORK SHALL BE DN100.
- SURFACE WATER DRAINS, CATCHPITS/GRATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.
- ALL MANHOLES TO BE LOCATED CLEAR OF FUTURE FENCELINES.

## WORKPLACE HEALTH AND SAFETY NOTES

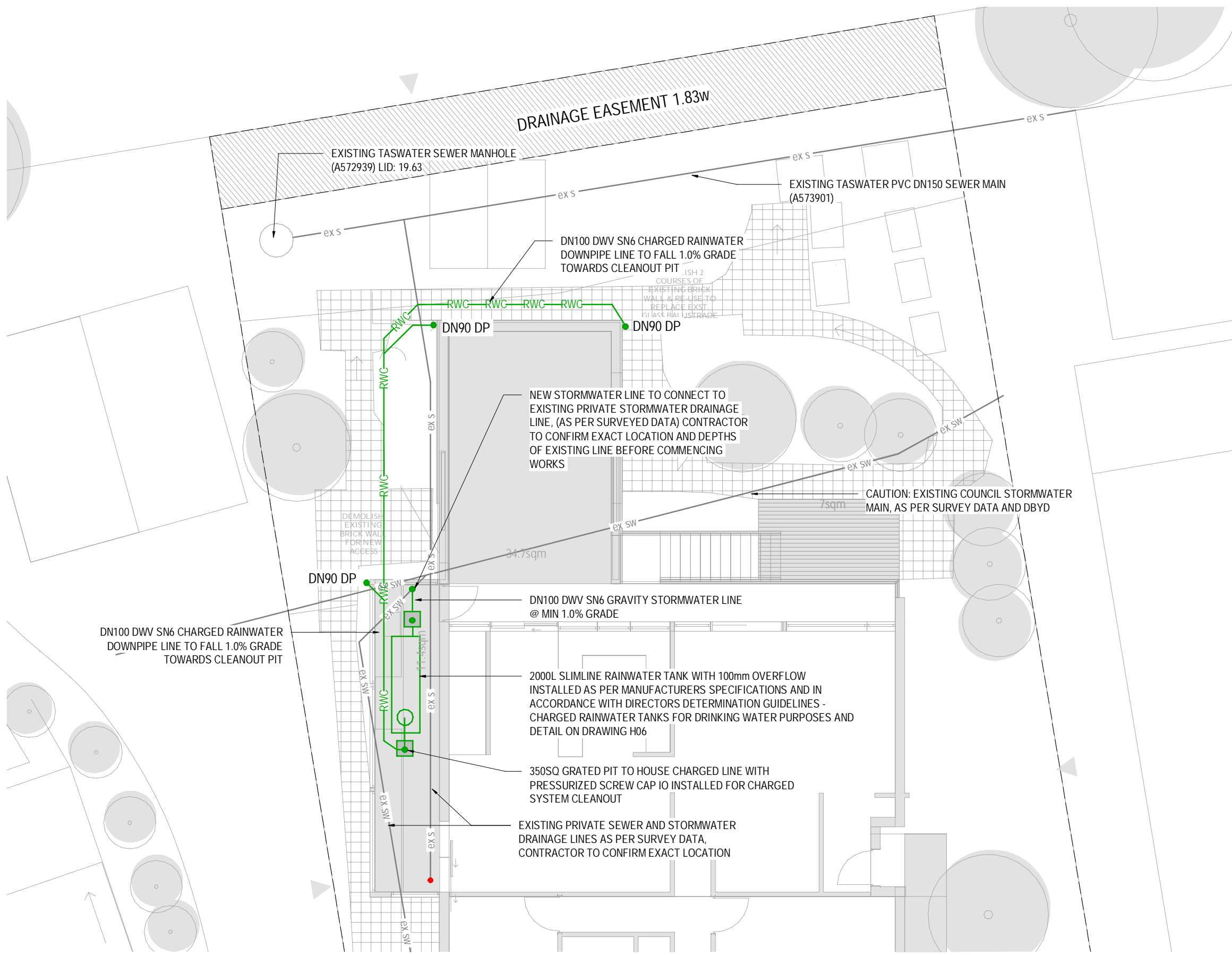
BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) WHICH SHALL IDENTIFY IN DOCUMENTED FORM:

- THE TYPE OF WORK.
- HAZARDS AND RISKS TO HEALTH AND SAFETY.
- THE CONTROLS TO BE APPLIED IN ORDER ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS.
- THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED.

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

FOR THIS PROJECT: POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- EXCAVATION OF ANY TYPE & DEPTHS
- CONTAMINATED SOILS
- CONSTRUCTION IN GROUND WITH HIGH WATER TABLE
- FELLING / LOPPING &/OR REMOVAL OF EXISTING TREES/VEGETATION
- UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)
- CONFINED SPACES
- OVERHEAD POWER LINES
- UNDERGROUND STORMWATER, WATER AND SEWER PIPES
- TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD
- ELECTRICAL/POWER CABLES - BOTH UNDERGROUND & OVERHEAD
- WORKING AT HEIGHTS
- WORKING WITH ASBESTOS CONTAINING MATERIALS
- TRAFFIC MANAGEMENT



DRAINAGE SCHEDULE	
—S—	SEWER LINE SN6 DWV AT MIN. 1.65% U.N.O
—EXS—	SEWER LINE - EXISTING
—SW—	STORMWATER LINE - PVC SN6 @ MIN 1.0%
—RWC—	STORMWATER LINE - PVC SN6 CHARGED
∇	AIR ADMITTANCE VALVE
●	SEWER (AS PER FIXTURE SCHEDULE)
●	STORMWATER DOWNPIPE (DN90) U.N.O
○	VENT (DN50) U.N.O
∇	TUNDISH
HB	HAND WASH BASIN (DN40)
BTH	BATH (DN40)
FWG	FLOOR WASTE GULLY (DN50-DN100)
IO	INSPECTION OPENING TO SURFACE
ORG	OVERFLOW RELIEF GULLY (DN100)
SHR	SHOWER (DN50)
SK	SINK (DN50)
CS	CLEANERS SINK (DN50)
DW	COMMERCIAL DISHWASHER (DN50)
GW	GLASS WASHER (DN50)
WC	WATER CLOSET (DN100)

DRAINAGE MUST COMPLY WITH:  
 - PLUMBING CODE OF AUSTRALIA PART D1  
 - AS/NZS 3500  
 - NCC VOL 3 (PCA)

TRADE WASTE TO COMPLY WITH TASMANIAN  
 APPENDIX OF NCC VOL 3

BASKET ARRESTORS TO BE INSTALLED IN ALL  
 FIXTURES AND FLOOR WASTES TO COMPLY WITH  
 TASWATER GUIDELINES

ALL PLUMBING AND DRAINAGE TO BE IN  
 ACCORDANCE WITH COUNCIL REQUIREMENTS

ALL LOCATION OF EXISTING PIPES AND INVERTS TO  
 BE DETERMINED BEFORE PERFORMING WORKS ON  
 SITE

SWIVEL AND EXPANSION JOINTS TO BE USED WHEN  
 INSTALLING DRAINS IN HIGH REACTIVE SOILS.

PLUMBING AND DRAINAGE UNDER SLAB  
 SHALL BE AVOIDED WHERE PRACTICAL

**DRAINAGE PLAN - SITE PLAN**

1 : 100

0 BUILDING APPROVAL DESCRIPTION	FYSH Design Phone : 0414 149 394 UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS MAIL@FYSHDESIGN.COM.AU	HYDRAULIC SERVICES DRAWINGS PROPOSED ALTERATIONS AND ADDITIONS 45 ELINGA STREET, HOWRAH TAS		SCALE 1 : 100
	14/11/2025 DATE		DRAWN CF	DESIGNED CF
	18/11/2025 Version: 1, Version Date: 18/11/2025	Accreditation: BSD Licence 479819732	DRAWING TITLE SITE PLAN - DRAINAGE PLAN	PROJECT CKD-HYD-341

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DRAINAGE SCHEDULE	
●	STORMWATER DOWNPIPE (DN90) U.N.O
○	VENT (DN50) U.N.O
EG	EAVES GUTTER (MIN CROSS SECTIONAL AREA TO BE MIN 5960mm <sup>2</sup> 1:500 FALL
BG	BOX GUTTER (MIN 110D x 300W) 1:200 FALL

**ROOF NOTES:**

ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE NCC 2019 VOL C (PCA), AS3500.3 2021 AND TO LOCAL AUTHORITY APPROVAL.

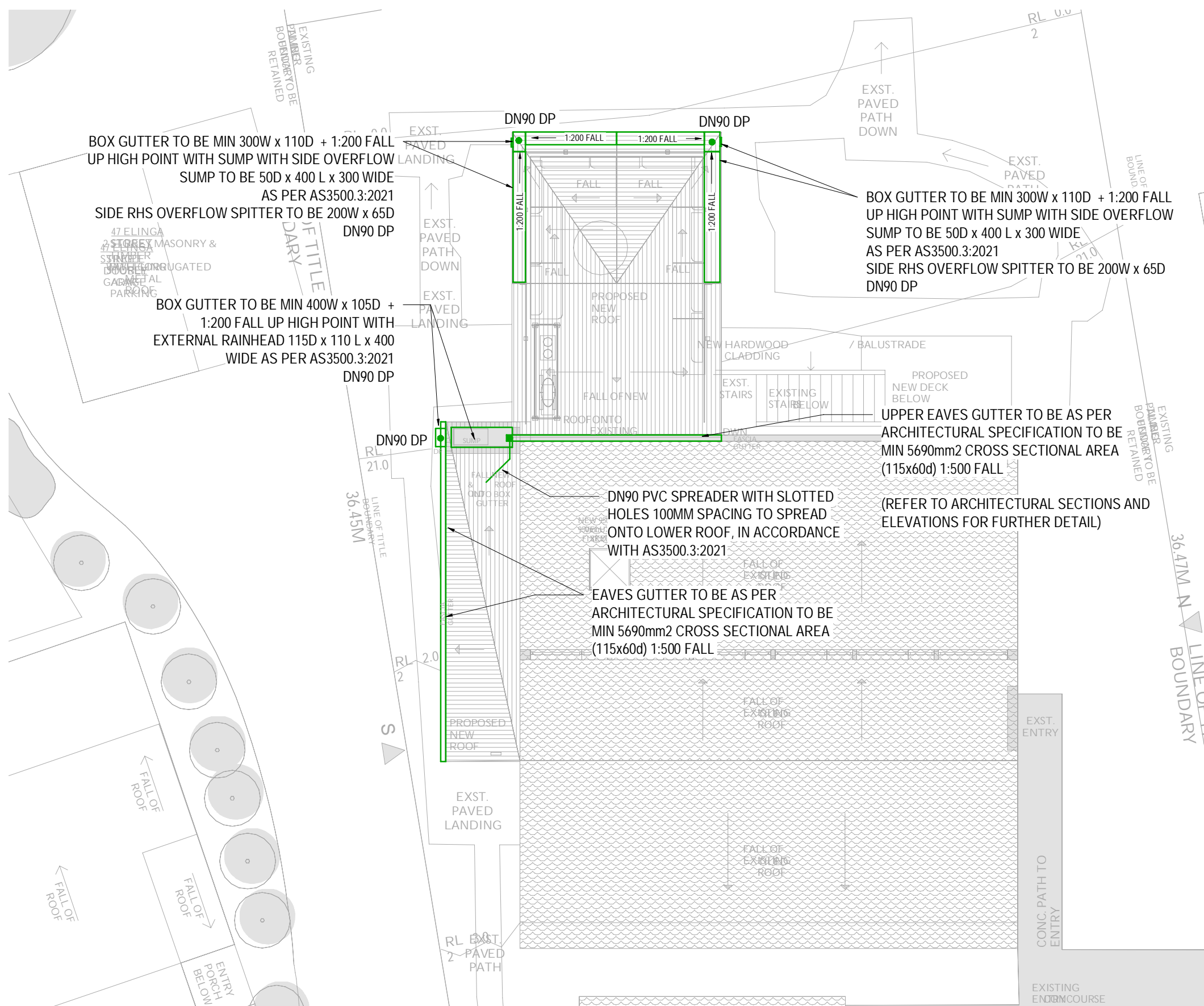
HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.

BOX GUTTERS SHALL BE GRADED AT NOT LESS THAN 1:200, EAVES GUTTERS SHALL BE GRADED AT NOT LESS THAN 1:500.

GUTTERS SHALL BE LAPPED IN ACCORDANCE WITH AS3500.3.

BOX GUTTERS SHALL FOLDED STEEL WITH BMT 0.75mm AND A SUITABLE CORROSION PROTECTION IN ACCORDANCE WITH AS2179 FOR RAINWATER PRODUCTS.

EXPANSION JOINTS SHALL BE PROVIDED AT 20m SPACING FOR FOLDED STEEL BOX GUTTERS. PROVIDE A MASTERFLASH 'AZTEC' FLEXIBLE FLASHING ACROSS JOINT OR EQUIVALENT PRODUCT.



**DRAINAGE PLAN - ROOF**

1 : 100

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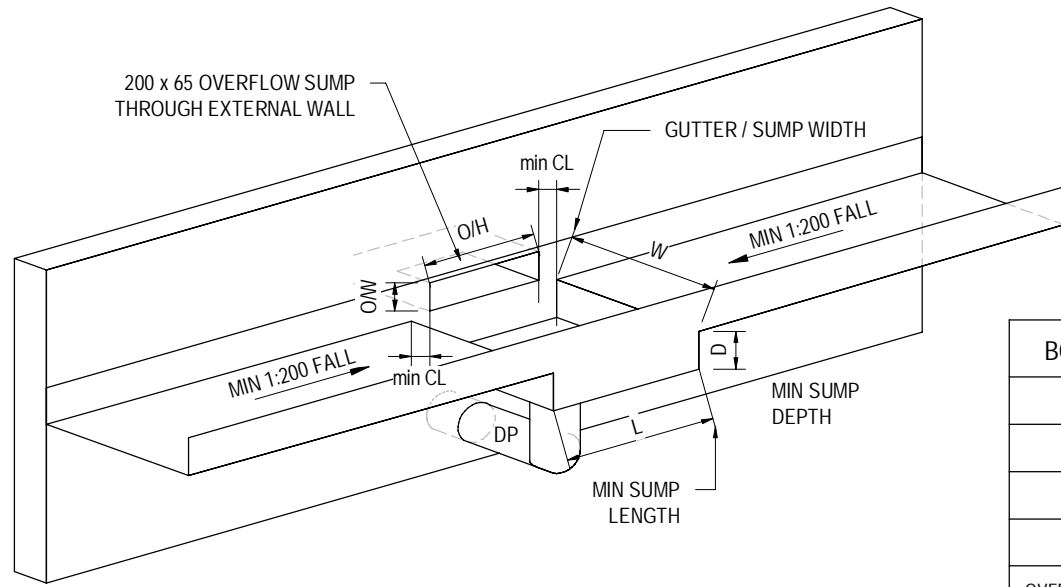
HYDRAULIC SERVICES DRAWINGS  
 PROPOSED ALTERATIONS AND ADDITIONS  
 45 ELINGA STREET, HOWRAH TAS  
 DRAWING TITLE  
 DRAINAGE PLAN - ROOF



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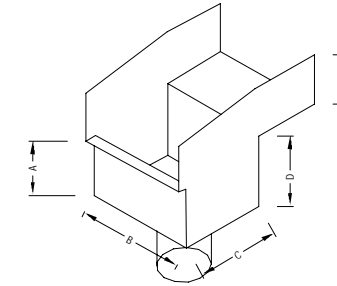


BOX GUTTER / SUMP DIMENSIONS	
W	300mm
BG D	110mm + FALL
L	400
D	50
OVERFLOW (O/W & O/H)	200x65mm

### BOX GUTTER / SUMP DETAIL WITH SIDE RHS OVERFLOW

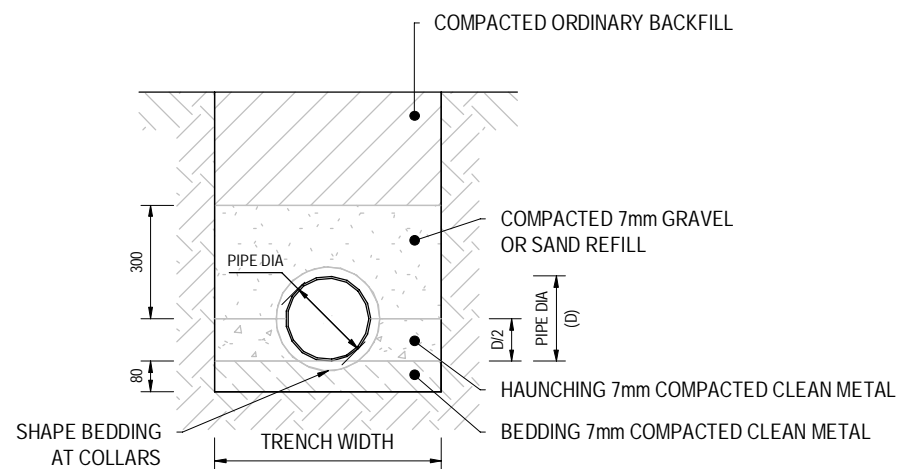
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BOX GUTTER WITH RAINHEAD OVERFLOW WEIR AND DOWNPIPE		
	RH1	
A	115mm	
B	400mm	
C	110mm	
D	120mm	
E	110mm	
DOWNPIPE	DN90	



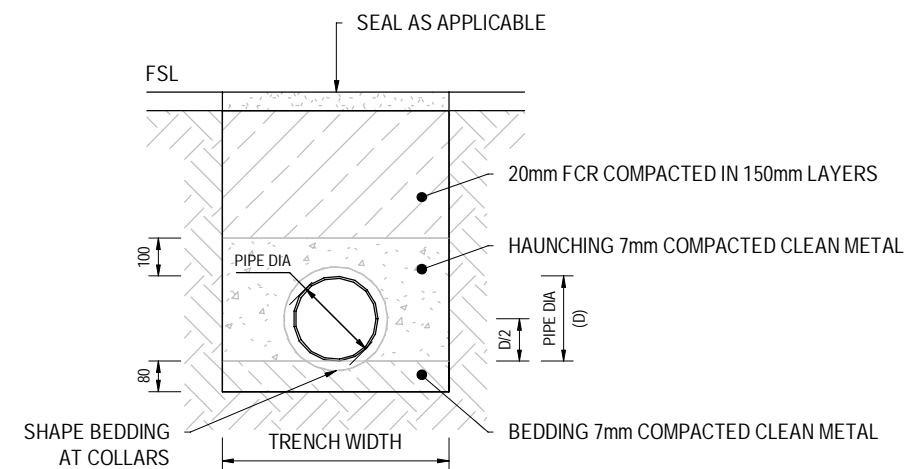
### RAINHEAD DETAIL

1 : 2



### NON-TRAFFICABLE AREAS

TRENCH WIDTHS	
PIPE DIAMETER	MIN TRENCH WIDTH
LESS THAN 50mm	250
75 - 100mm	450
150 - 300mm	600
ABOVE 300mm	DIA. PLUS 300mm

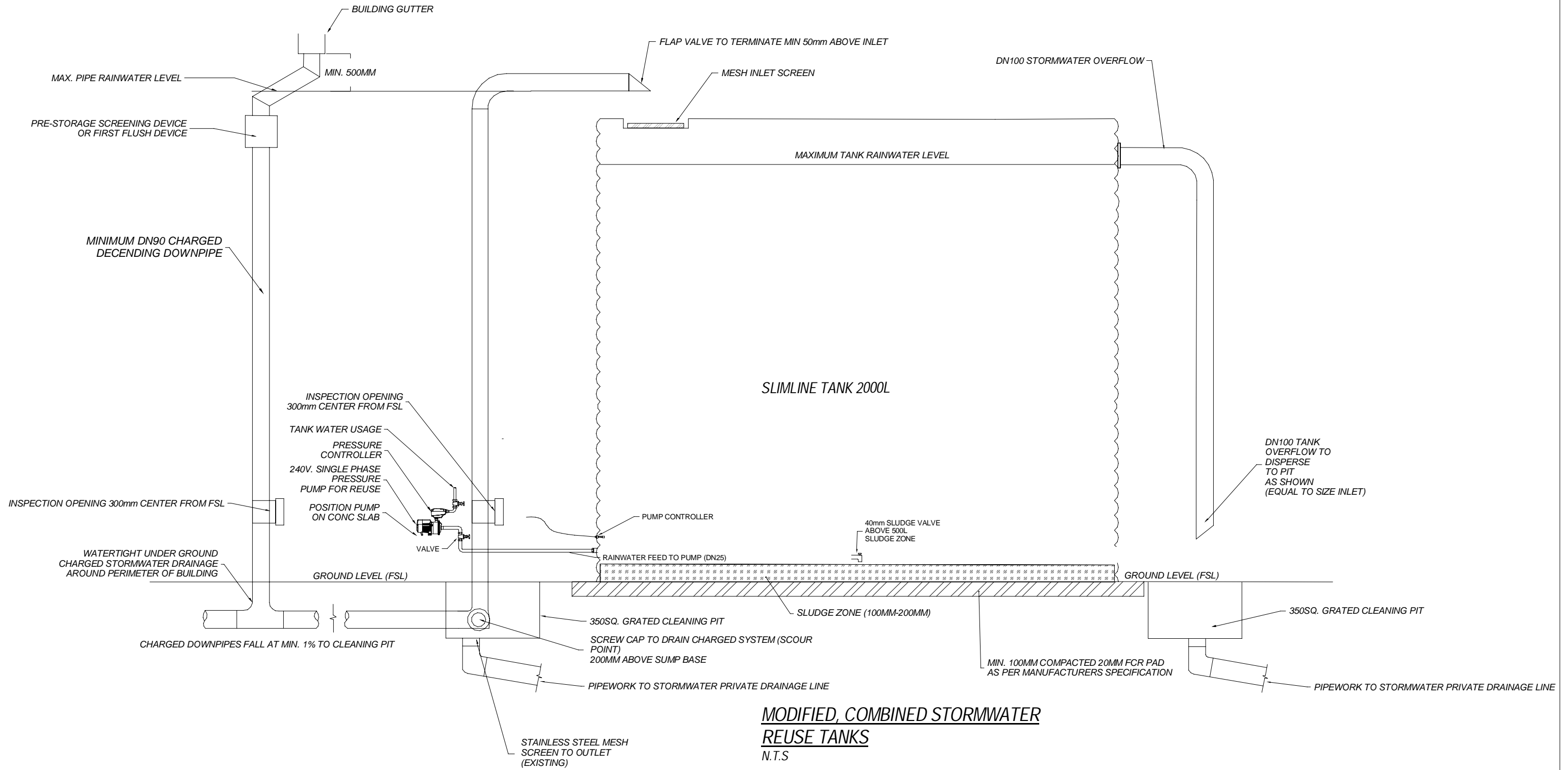


### TRAFFICABLE AREAS

### TYPICAL PIPE TRENCH DETAILS

1 : 20

<p>0</p> <p>BUILDING APPROVAL</p> <p>DESCRIPTION</p>	<p>FYSH Design</p> <p>Phone : 0414 149 394</p> <p>UNIT 4, 160 BUNGANA WAY</p> <p>CAMBRIDGE TAS</p> <p>MAIL@FYSHDESIGN.COM.AU</p>	<p>FYSH DESIGN</p> <p>CIVIL HYDRAULIC</p>	<p>HYDRAULIC SERVICES DRAWINGS</p> <p>PROPOSED ALTERATIONS AND ADDITIONS</p> <p>45 ELINGA STREET, HOWRAH TAS</p>	<p>0 1 2 3 4 5</p> <p>SCALE 1:100</p>	<p>SCALE</p> <p>As indicated</p>		
	<p>14/11/2025</p> <p>DATE</p>		<p>Accreditation: BSD Licence 479819732</p>	<p>DRAWN</p> <p>CF</p>	<p>DESIGNED</p> <p>CF</p>	<p>PAGE SIZE</p> <p>A3</p>	
	<p>0</p>		<p>Accreditation: BSD Licence 479819732</p>	<p>DRAWING TITLE</p> <p>HYDRAULIC DETAILS</p>	<p>PROJECT</p> <p>CKD-HYD-341</p>	<p>SHEET NO.</p> <p>H05</p>	<p>REVISION</p> <p>0</p>
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**MODIFIED, COMBINED STORMWATER  
REUSE TANKS**  
N.T.S

**TANK SCHEMATIC - WITH FULL RETENTION, OVERFLOW**

1 : 1500

0		FYSH Design Phone : 0414 149 394 UNIT 4, 160 BUNGANA WAY CAMBRIDGE TAS MAIL@FYSHDESIGN.COM.AU		HYDRAULIC SERVICES DRAWINGS PROPOSED ALTERATIONS AND ADDITIONS 45 ELINGA STREET, HOWRAH TAS	 SCALE 1:100	SCALE 1 : 1500		
	BUILDING APPROVAL	14/11/2025		Accreditation: BSD Licence 479819732	DRAWING TITLE	DRAWN	DESIGNED	PAGE SIZE
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