



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056527

PROPOSAL: Outbuilding (Single Dwelling) (Retrospective)

LOCATION: 38 Tecoma Road, Risdon Vale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 19/03/2026 00:00:00

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 19/03/2026 00:00:00. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 19/03/2026 00:00:00.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Retrospective approval of shed

Location: **38 Tecoma Road Risdon Vale**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 86297	FOLIO 13
EDITION 3	DATE OF ISSUE 04-July-2011

SEARCH DATE : 12-Feb-2026

SEARCH TIME : 09.09 pm

DESCRIPTION OF LAND

City of CLARENCE

Lot 13 on Plan 86297 (formerly being P1743(G))

Derivation : Part of 435 Acres Gtd. to E.P. Wilson & Ors.

Prior CT 3334/55

SCHEDULE 1

D16112 TRANSFER to SIMON LESLIE GRICE Registered
04-July-2011 at noon

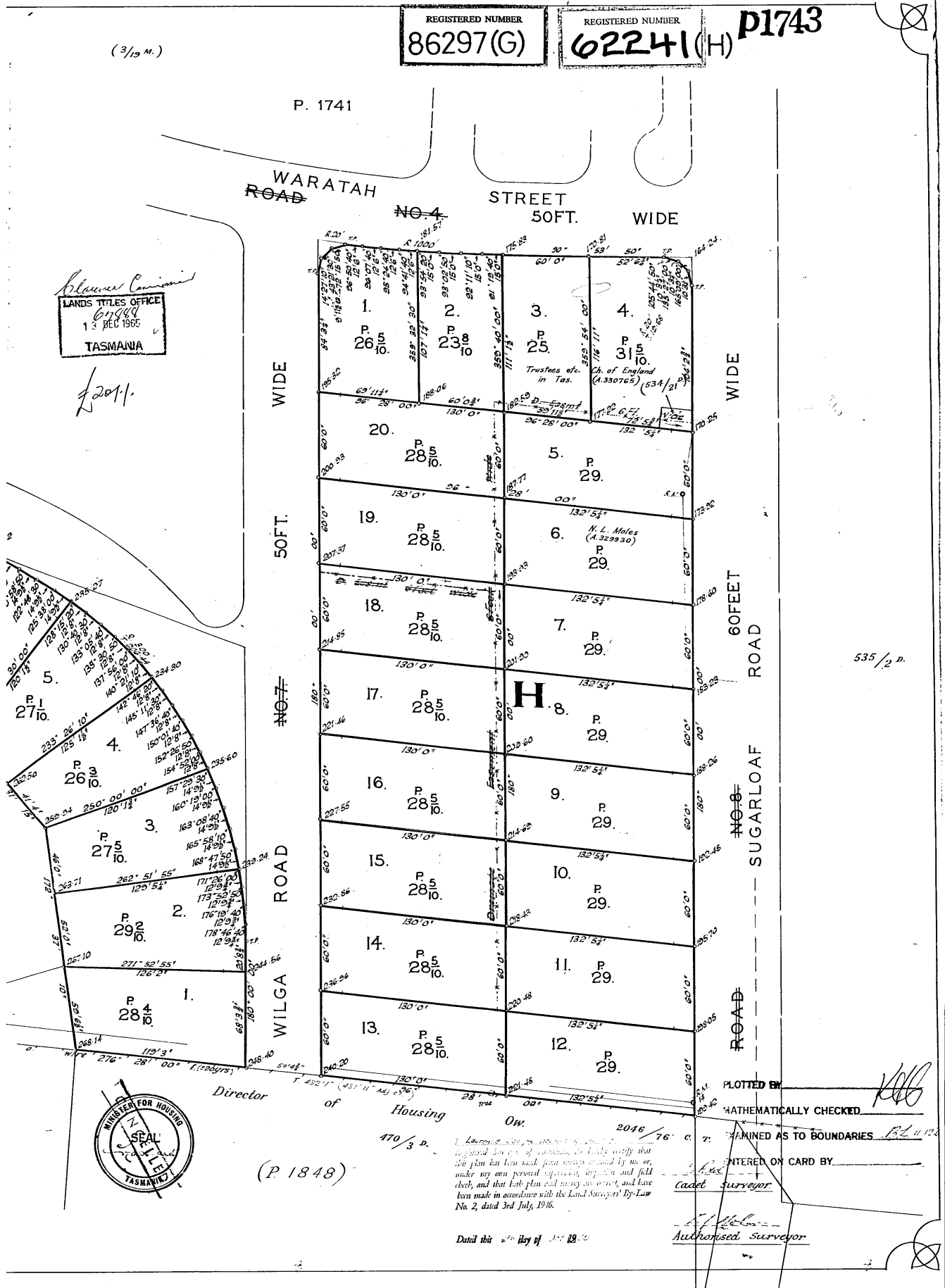
SCHEDULE 2

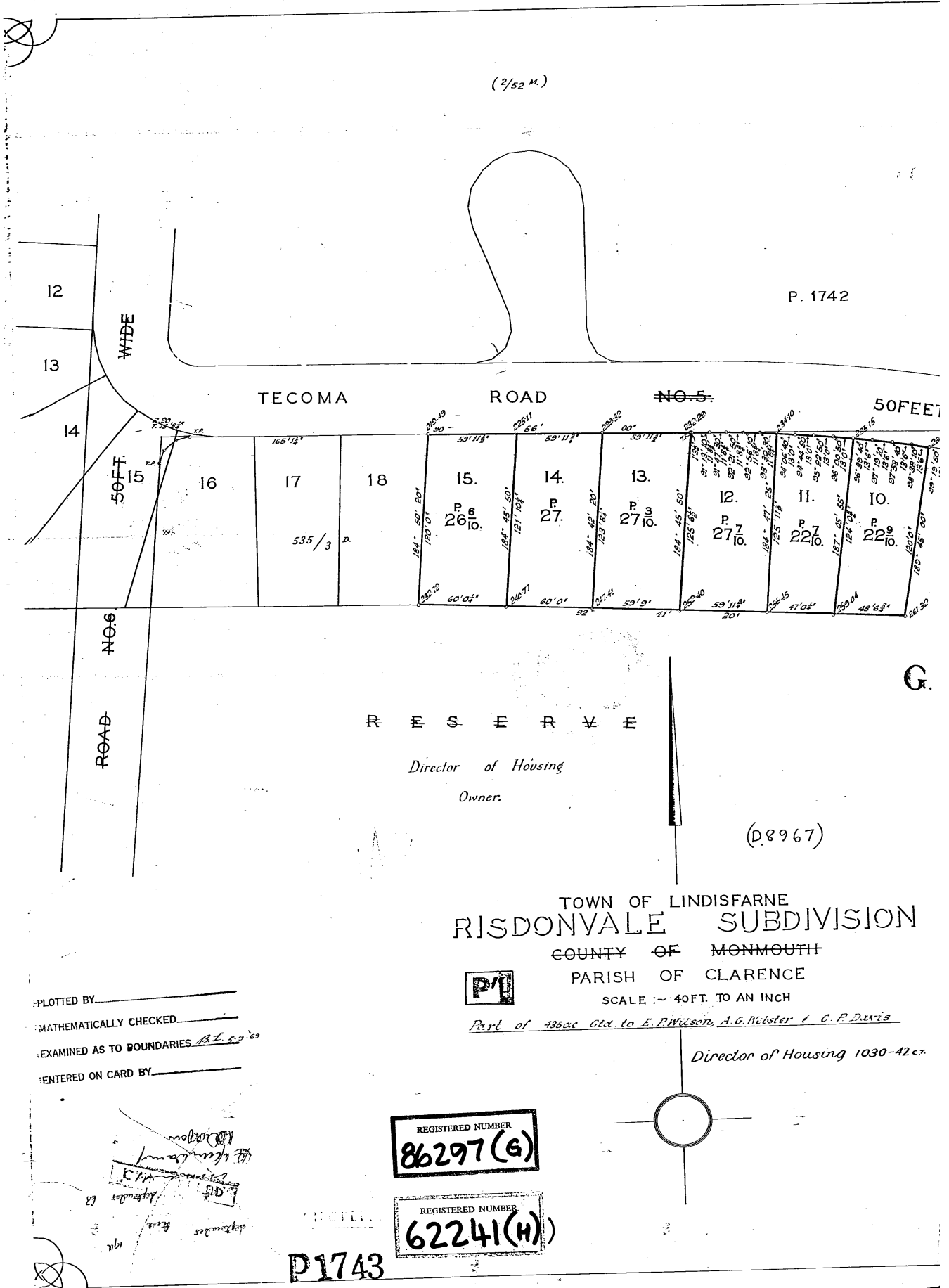
Reservations and conditions in the Crown Grant if any

D16113 MORTGAGE to Commonwealth Bank of Australia
Registered 04-July-2011 at 12.01 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations





PLOTTED BY _____
 MATHEMATICALLY CHECKED _____
 EXAMINED AS TO BOUNDARIES AT 5/9/69
 ENTERED ON CARD BY _____

BUILDING

38 TECOMA ROAD,
RISDON VALE, TAS, 7016
MR SIMON GRICE

GENERAL INFORMATION

DESIGNER: DAVID LYNE CC7063
CLIENT: SIMON L GRICE
JOB NUMBER: 1728/25
CLASSIFICATION: 1A
TITLE REFERENCE: 86297/13
DESIGN WIND SPEED: N2
SOIL CLASSIFICATION: N/A
CLIMATE ZONE: 7
BAL: N/A
LOT SIZE: 690m²
PROPOSED FLOOR AREA: 72m²
EXISTING FLOOR AREA: 89m²
TOTAL SITE COVERAGE (EX AND NEW): 161m² (23.33%)

DRAWING REGISTER:

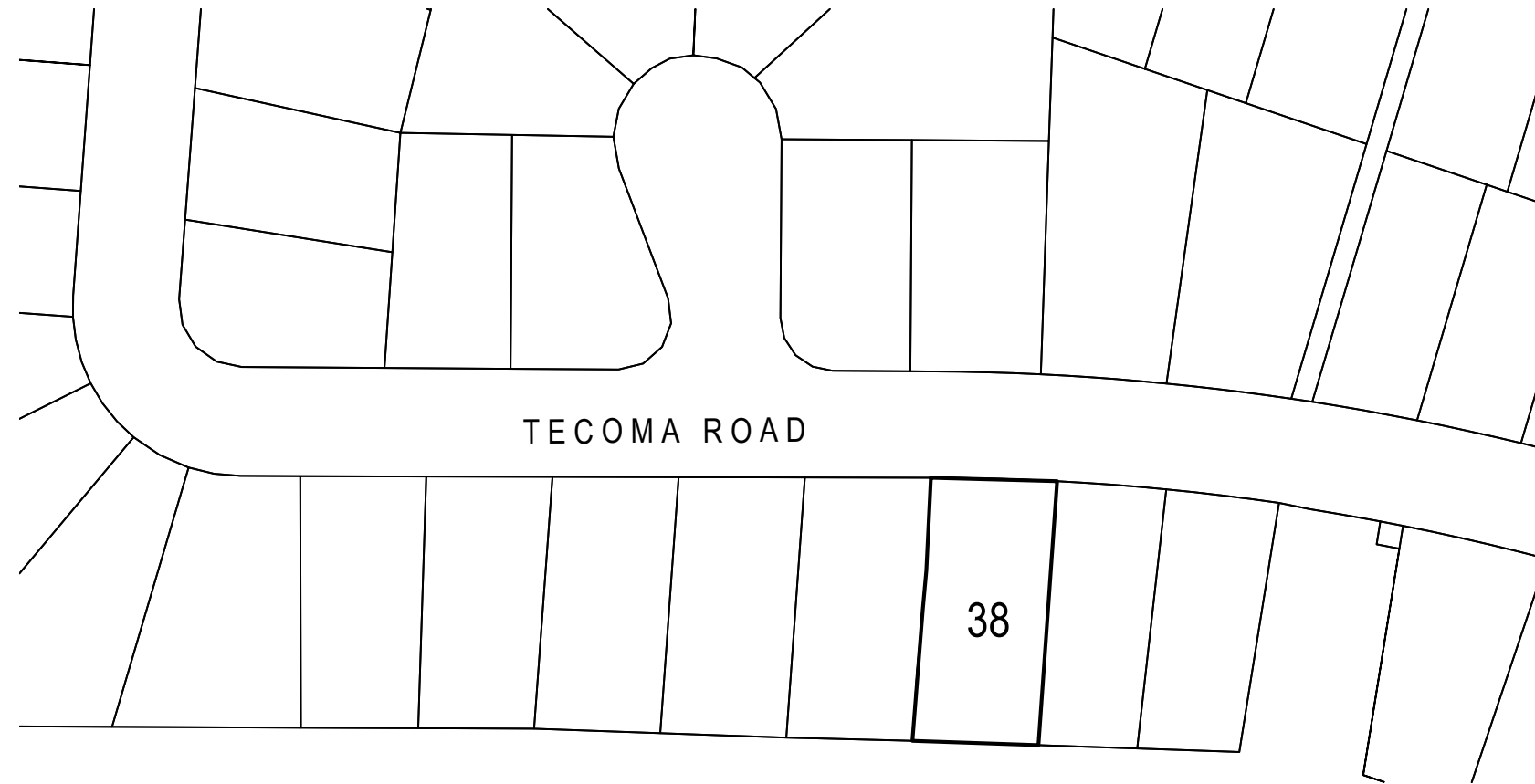
A00	COVER SHEET	N/A
A01	GENERAL NOTES SHEET 1	N/A
A02	GENERAL NOTES SHEET 2	N/A
A03	SITE PLAN	1:250
A04	GROUND FLOOR PLAN	1:100
A05	ROOF PLAN	1:100
A06	ELEVATIONS AND SECTIONS	1:100

GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK. ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE.
- DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY. SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER, THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.
FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



P3	12.02.25	PLANNING APPROVAL
P2	16.10.25	PLANNING APPROVAL
P1	11.08.25	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GAILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
38 TECOMA ROAD,
RISDON VALE,
TASMANIA, 7016

TITLE
BUILDING
COVER SHEET

Accepted SIMON GRICE (Client 1)	Date
Accepted N/A (Client 2)	Date
Approved N/A (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	N.LUSH
	PLOT DATE	12/02/2026

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

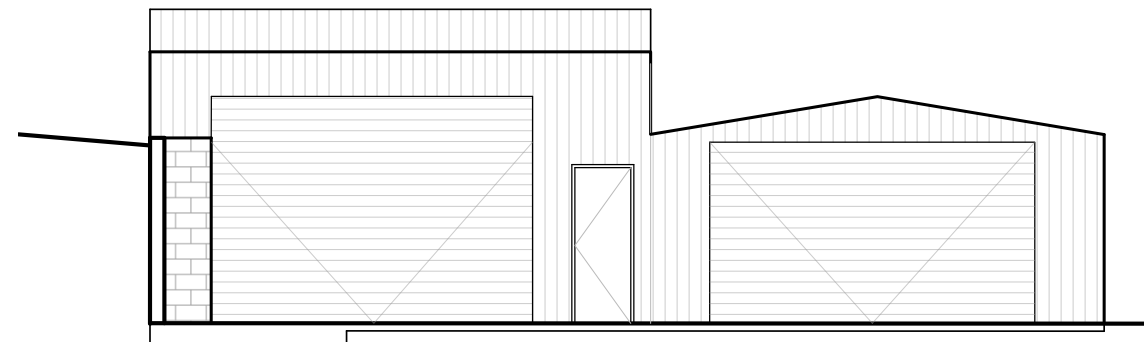
PLOT DETAILS 38 TECOMA ROAD RISDON VALE.DWG

PROJECT NO. 1728/25

DWG NO.	REVISION
A00	P3

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WORK IN PROGRESS
NOT FOR CONSTRUCTION

GENERAL:

- THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. (THIS INCLUDES BUT IS NOT LIMITED TO THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL DESIGN DRAWINGS, ANY OTHER DRAWINGS BY OTHERS, SPECIFICATIONS AND OR REPORTS, AND WITH SUCH OTHER WRITTEN INSTRUCTION THAT MAY BE ISSUED.
- ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING CODES AND REGULATIONS OF THE RELEVANT AUSTRALIAN STATE OR TERRITORY.
- DIMENSIONS ARE EXPRESSED IN MILLIMETERS, UNO. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS. SETTING OUT DIMENSIONS SHALL BE VERIFIED BY LICENCED BUILDER/ SURVEYOR BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE OTHER DRAWINGS IS TO BE ADVISED BEFORE PROCEEDING WITH ANY WORK.
- THE PLANS AND SPECIFICATIONS ARE SUBJECT TO APPROVAL BY THE LOCAL BUILDING AUTHORITY PRIOR TO CONSTRUCTION.
- THE BUILDING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS AS REQUIRED BY LAW.
- ALL STRUCTURAL ELEMENTS, INCLUDING FOOTINGS, FOUNDATIONS, WALLS, AND ROOF STRUCTURES, MUST BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER AND COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS. REFER TO STRUCTURAL DRAWINGS BEFORE COMMENCING ANY WORKS.
- THE MATERIALS AND FINISHES SPECIFIED MUST MEET THE REQUIRED AUSTRALIAN STANDARDS AND REGULATIONS FOR FIRE SAFETY, ACOUSTIC PERFORMANCE, ENERGY EFFICIENCY, AND DURABILITY.
- THE BUILDER SHALL CARRY OUT REGULAR QUALITY INSPECTIONS DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
- THE HOUSE PLANS ARE COPYRIGHT PROTECTED, AND UNAUTHORIZED REPRODUCTION, OR USE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED.
- THE FINAL COMPLETION OF THE PROJECT SHALL INCLUDE OBTAINING THE NECESSARY OCCUPANCY CERTIFICATE FROM THE LOCAL BUILDING AUTHORITY.

HEALTH AND SAFTEY:

- THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. A REMINDER TO CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS.
- FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO:
1990 - IT MAY CONTAIN ASBESTOS
1986 - IT IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL, OR IN FIRE-RETARDANT INSULATION MATERIAL.
IN EITHER CASE, THE BUILDER SHOULD CHECK, AND IF NECESSARY TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.
- MANY OTHER MATERIALS USED IN CONSTRUCTION OF THIS BUILDING SUCH AS (BUT NOT LIMITED TO) POWDERED MATERIALS, TREATED TIMBER, VOLATILE ORGANIC COMPOUNDS, SYNTHETIC MINERAL FIBER, CAN CAUSE HARM IF INHALED ALL PERSONS WORKING ON OR IN THE BUILDING DURING DEMOLITION AND OR CONSTRUCTION SHOULD BE WEARING PERSONAL PROTECTION EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL.

SITE PREPARATION AND EXCAVATION:

- IN ACCORDANCE WITH PART H1D3 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.
- THE SITE MUST BE PROPERLY PREPARED AND LEVELED BEFORE CONSTRUCTION BEGINS. ANY NECESSARY EARTHWORKS AND SITE PREPARATION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SURFACE DRAINS SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTINGS, INCLUDING THE GROUND UPHILL FROM A SLAB ON CUT-AND FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM OVER A DISTANCE OF 1m AND SHAPED TO PREVENT PONDING OF WATER. WHERE FILL IS PLACED ADJACENT TO THE BUILDING, THE FILL SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OF WATER AWAY FROM THE BUILDING.
- INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS & SLABS:

- CONCRETE FOOTINGS AND SLABS ARE TO BE IN ACCORDANCE WITH PART H1D4 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS DOCUMENTATION/ SPECIFICATIONS.
- PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTERS ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

PLUMBING (SEWER & STORMWATER):

- ALL PLUMBING WORK SHALL COMPLY WITH THE RELEVANT PLUMBING STANDARDS AND BE CARRIED OUT BY A LICENSED PLUMBER.
- ADEQUATE PROVISIONS FOR STORMWATER DRAINAGE MUST BE MADE TO PREVENT WATERLOGGING AND FLOODING ON THE PROPERTY. THE DRAINAGE SYSTEM DESIGN SHOULD COMPLY WITH THE LOCAL COUNCIL'S GUIDELINES.

GLAZING:

- ALL WINDOWS AND GLAZING MUST COMPLY WITH AS2047 AND AS1288 AND PART H1D1 OF CURRENT N.C.C. MANUFACTURER TO PROVIDE CERTIFICATION OF COMPLIANCE.
- ALL WINDOW MEASUREMENTS SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED ON SITE, PRIOR TO ORDERING.

LIGHT:

- NATURAL LIGHT TO BE IN ACCORDANCE WITH PART H4P4 OF CURRENT N.C.C.
- NATURAL LIGHT MUST BE PROVIDED TO ALL HABITABLE ROOMS
- REQUIRED WINDOWS MUST HAVE A LIGHT TRANSMITTING AREA OF AT LEAST 10% OF THE FLOOR AREA.
- SANITARY COMPARTMENTS, BATHROOM,LAUNDRIES AND THE LIKE NOT PROVIDED WITH NATURAL LIGHT MUST BE PROVIDED WITH ARTIFICIAL LIGHT AT A RATE OF NOT LESS THAN 1 LIGHT FITTING PER 16m² OF FLOOR AREA AND IN ACCORDANCE WITH AS/NZS 1680.0

HEATING APPLIANCES:

- IN ACCORDANCE WITH PART H7D5 OF CURRENT N.C.C AND AS/NZS 2918 FOR DOMESTIC SOLID-FUEL BURNING APPLIANCES.
- ALL HEATING APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

BUILDING SEALING:

- IN ACCORDANCE WITH CURRENT N.C.C. CHIMNEYS AND FLUE MUST BE FITTED WITH A DAMPER/FLAP THAT CAN BE CLOSED.
- ROOFS,WALLS & FLOORS SEALED BY CAULKING,SKIRTING,ARCHITRAVES OR THE LIKE.
- EXTERNAL WINDOWS AND DOORS TO BE FITTED WITH COMPRESSIBLE STRIP, FOAM, RUBBER OR FIBROUS SEAL TO ALL EXTERNAL WINDOW SASHES AND EXTERNAL DOORS.
- EXTERNAL FANS TO BE SELF CLOSING DAMPER OR FILTER TO BE FITTED.
- ALL DOWNLIGHTS TO BE SEALED.

SMOKE ALARMS:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH PART H3D6 OF CURRENT N.C.C. AND AS3786 REQUIREMENTS.
- SMOKE ALARMS TO BE INSTALLED IN A CLASS 1a BUILDING ON OR NEAR THE CEILING IN: ANY STOREY CONTAINING BEDROOMS (i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING; AND (ii) WHERE BEDROOMS ARE SERVED BY A HALLWAY, IN THAT HALLWAY.
- ALL SMOKE ALARMS MUST BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN 1 ALARM
- SMOKE ALARMS TO HAVE BATTERY BACK UP IN CASE OF POWER OUTAGE. RECOMMENDED BATTERIES MUST BE CAPABLE OF SERVICING THE SMOKE ALARM WITH A FAULT FOR 1 YEAR.

ROOF CLADDING, GUTTERING AND DOWNPIPES:

- IN ACCORDANCE WITH H2D6 OF CURRENT N.C.C., AS/NZS 3500.3 AND AS/NZS 3500.5. SECTION 5 INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- WHEREVER FULL SHEETS CAN'T BE UTILIZED PROVIDE THE DISTANCE FOR END LAPPING WHERE SHEETS MEET: - SLOPES 5-15 = A LAP OF 200mm - SLOPES 15 AND GREATER = A LAP OF 150mm.
- GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN - 1:500 FOR EAVES GUTTERS AND 1:100 FOR BOX GUTTERS.
- DOWNPIPES MUST:
 - NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE.
 - BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1.2m FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

WET AREAS & EXTERNAL WATERPROOFING:

- IN ACCORDANCE WITH PART H4D2 OF CURRENT N.C.C. AND AS/NZS 3740.
- BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH TABLE UNDER H4D4.
- WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654 PARTS 1 AND 2.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

P3	12.02.25	PLANNING APPROVAL
P2	16.10.25	PLANNING APPROVAL
P1	11.08.25	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GELLSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
**38 TECOMA ROAD,
RISDON VALE,
TASMANIA, 7016**

TITLE
**BUILDING
GENERAL NOTES
SHEET 1**

Accepted (Client 1)	SIMON GRICE	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	N.LUSH
	PLOT DATE	12/02/2026

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS 38 TECOMA ROAD RISDON VALE.DWG

PROJECT NO. **1728/25**

DWG NO.	REVISION
A01	P3

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**WORK IN PROGRESS
NOT FOR CONSTRUCTION**

STAIR CONSTRUCTION:

1. IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
2. STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

1. IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
2. (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS; OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2
3. (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER, MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
4. (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LEAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
5. (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (B) A SCREEN WITH SECURE FITTINGS (ii) A DEVICE OR SCREEN REQUIRED BY (i) MUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

1. IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
2. CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRY,WC,PANTRY,STOREROOM,GARAGE OR THE LIKE -2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) I OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

AIR MOVEMENT:

1. IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

1. IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2009.
2. AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED.
3. A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

1. IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
2. AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATELY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
3. SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST.

SOUND INSULATION:

1. IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

1. IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C
2. THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

PLEASE READ CAREFULLY

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P3	12.02.25	PLANNING APPROVAL
P2	16.10.25	PLANNING APPROVAL
P1	11.08.25	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
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GELLSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
**38 TECOMA ROAD,
RISDON VALE,
TASMANIA, 7016**

TITLE
**BUILDING
GENERAL NOTES
SHEET 2**

Accepted (Client 1)	SIMON GRICE	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	N.LUSH
	PLOT DATE	12/02/2026

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PLOT DETAILS 38 TECOMA ROAD RISDON VALE.DWG

PROJECT NO. **1728/25**

DWG NO.	REVISION
A02	P3

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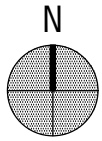
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TECOMA ROAD

24m² PRIVATE OPEN SPACE @ MAX 10%
 GRADIENT. COMPLIANT WITH 10.4.3 (A2)

LOCATION OF SITE OF PROPOSED
 PROPOSED WORKS. (38 TECOMA RD,
 RISDON VALE, TAS, 7016) TITLE REF: 86297/13

EXISTING STRIP DRAIN LOCATION.

EXISTING CONCRETE DRIVEWAY WITH 6%
 FALLS TO EXISTING TO STORMWATER DRAIN
 CONNECTED TO EXISTING STORMWATER
 CONNECTION.

EXISTING APPROVED CLASS
 1A RESIDENCE.
 EXISTING APPROVED
 GARAGE.

LOCATION OF
 ADDITIONAL GARAGE.
 ALL NEW STORMWATER TO BE
 CONNECTED TO EXISTING CONNECTION
 POINTS. INCLUDING ALL SUBSOIL DRAINS.

LOCATION OF NEW
 RETAINING WALL RUNNING
 ALONG REAR BOUNDARY.

P4	25.02.26	PLANNING APPROVAL
P3	12.02.25	PLANNING APPROVAL
P2	16.10.25	PLANNING APPROVAL
P1	11.08.25	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN
 BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
 DAVID LYNE ACCREDITED DESIGNER: CC7063
 11 GRANVILLE AVENUE
 GEILSTON BAY, TASMANIA 7015
 MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
**38 TECOMA ROAD,
 RISDON VALE,
 TASMANIA, 7016**

TITLE
**BUILDING
 SITE PLAN**

Accepted (Client 1)	SIMON GRICE	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:250	D.LYNE	N.LUSH
	PLOT DATE	25/02/2026

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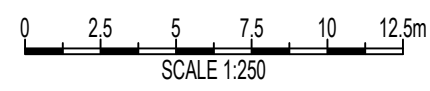
PLOT DETAILS 38 TECOMA ROAD RISDON VALE.DWG

PROJECT NO. **1728/25**

DWG NO.	REVISION
A03	P4

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SITE PLAN
 SCALE: 1:250



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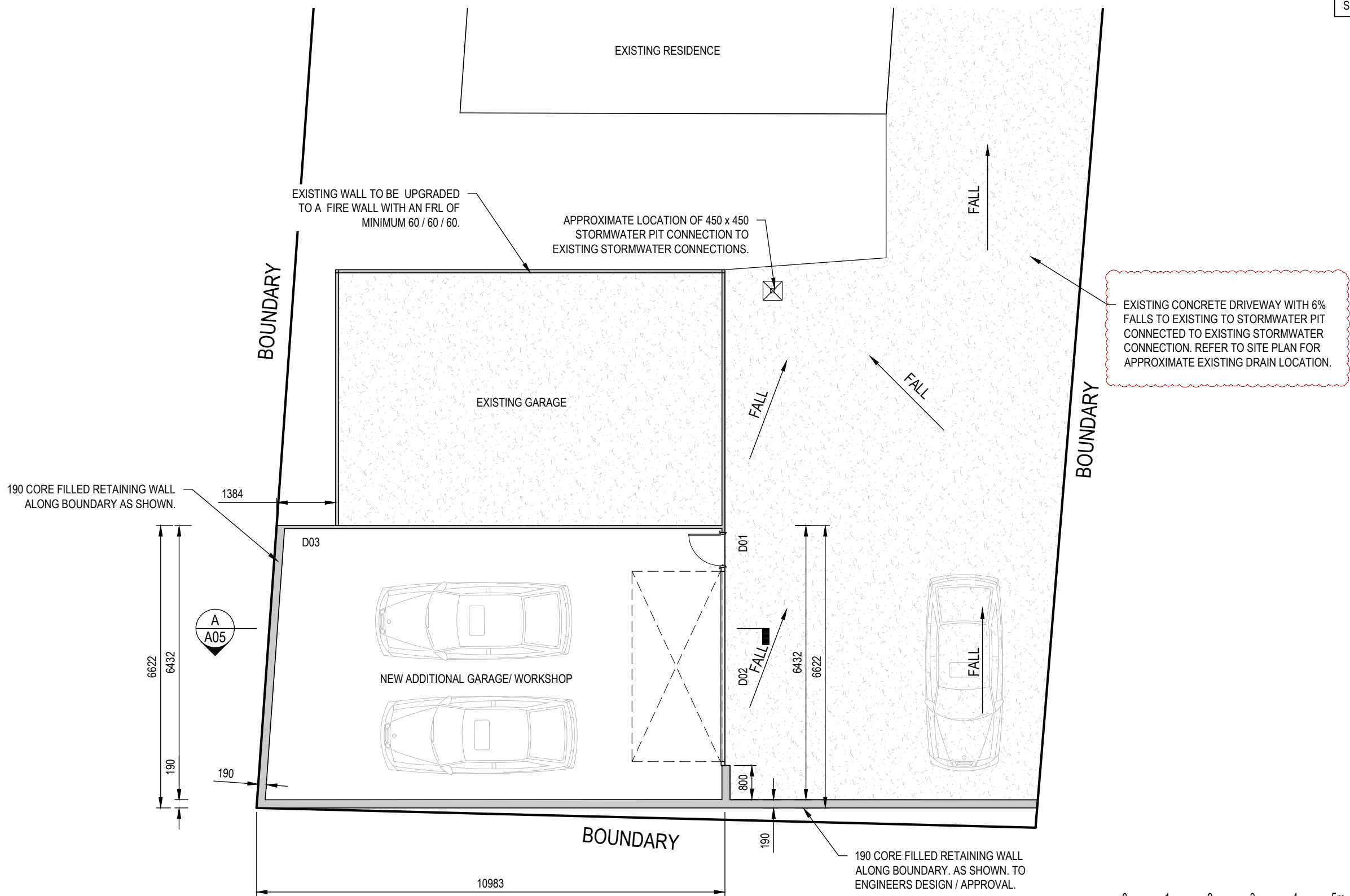
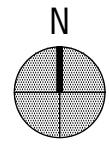
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DOOR SCHEDULE			
MARK	DIMENSIONS	TYPE	DESCRIPTION
D01	820w x 2100h	SWINGING DOOR (EXTERNAL DOOR)	FINISH TO OWNERS SELECTION (TO BE MATCHED WITH NEW CLADDING)
D02	4300w x 2400h	GARAGE ROLLER DOOR	FINISH TO OWNERS SELECTION (TO BE MATCHED WITH NEW CLADDING)
D03	820w x 2100h	SWINGING DOOR (EXTERNAL DOOR)	FINISH TO OWNERS SELECTION (TO BE MATCHED WITH NEW CLADDING)

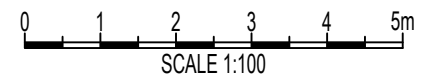
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FLOOR PLAN
 SCALE: 1:100



REV	DATE	REMARK
P3	12.02.25	PLANNING APPROVAL
P2	16.10.25	PLANNING APPROVAL
P1	11.08.25	PRELIMINARY ISSUE

LYNE DESIGN
 BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
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PROJECT
**38 TECOMA ROAD,
 RISDON VALE,
 TASMANIA, 7016**

TITLE
**BUILDING
 FLOOR PLAN**

Accepted (Client 1) SIMON GRICE	Date
Accepted (Client 2) N/A	Date
Approved (Builder) N/A	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:100	D.LYNE	N.LUSH
	PLOT DATE	12/02/2026

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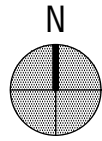
PLOT DETAILS 38 TECOMA ROAD RISDON VALE.DWG

PROJECT NO. **1728/25**

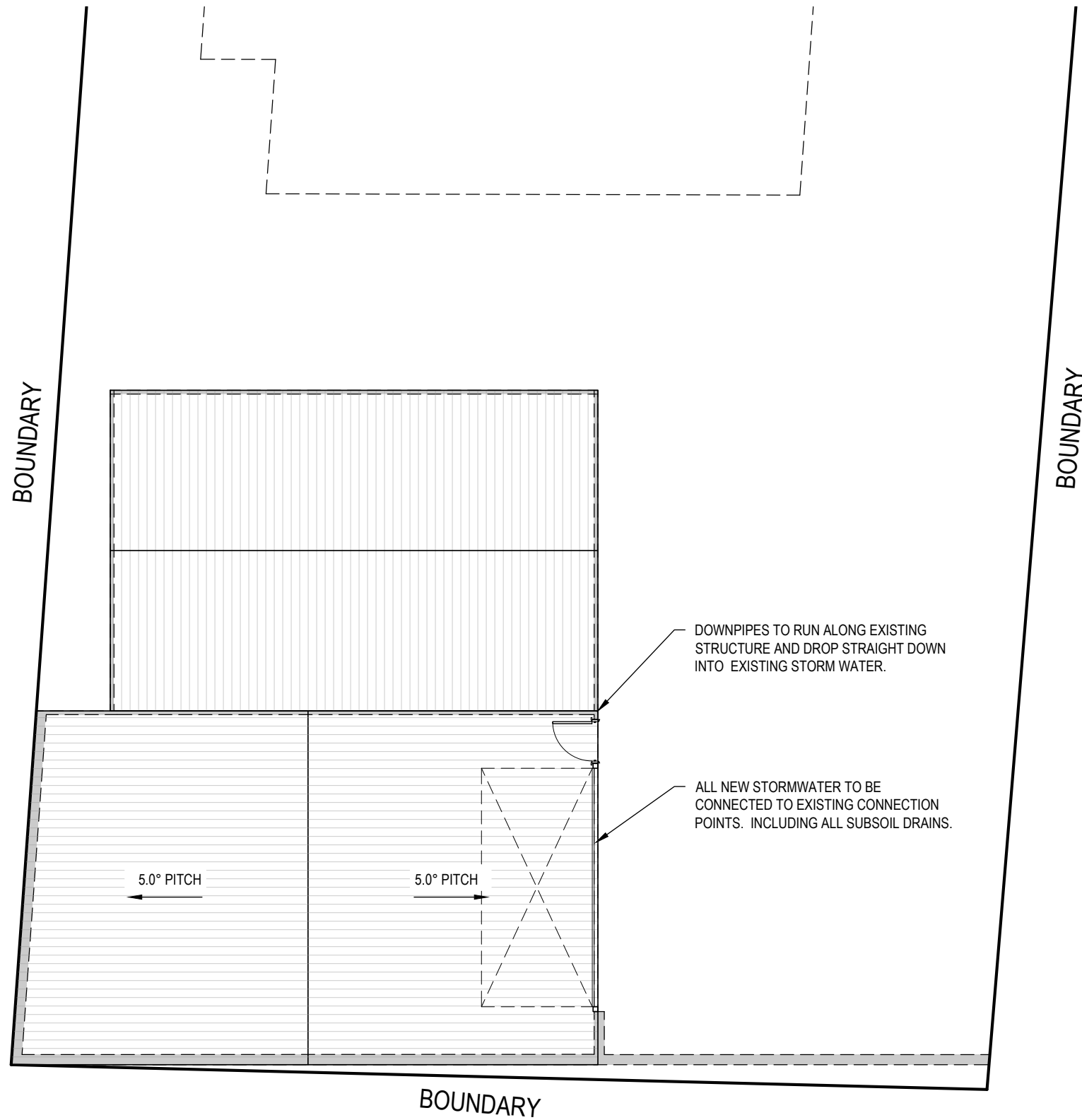
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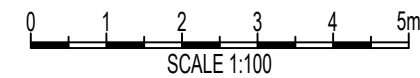
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ROOF PLAN
 SCALE: 1:100



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REV	DATE	REMARK
P3	12.02.25	PLANNING APPROVAL
P2	16.10.25	PLANNING APPROVAL
P1	11.08.25	PRELIMINARY ISSUE

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
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 MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
**38 TECOMA ROAD,
 RISDON VALE,
 TASMANIA, 7016**

TITLE
**BUILDING
 ROOF PLAN**

Accepted (Client 1)	SIMON GRICE	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

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1:100	D.LYNE	N.LUSH
	PLOT DATE	12/02/2026

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PLOT DETAILS 38 TECOMA ROAD RISDON VALE.DWG

PROJECT NO. **1728/25**

DWG NO.	REVISION
A05	P3

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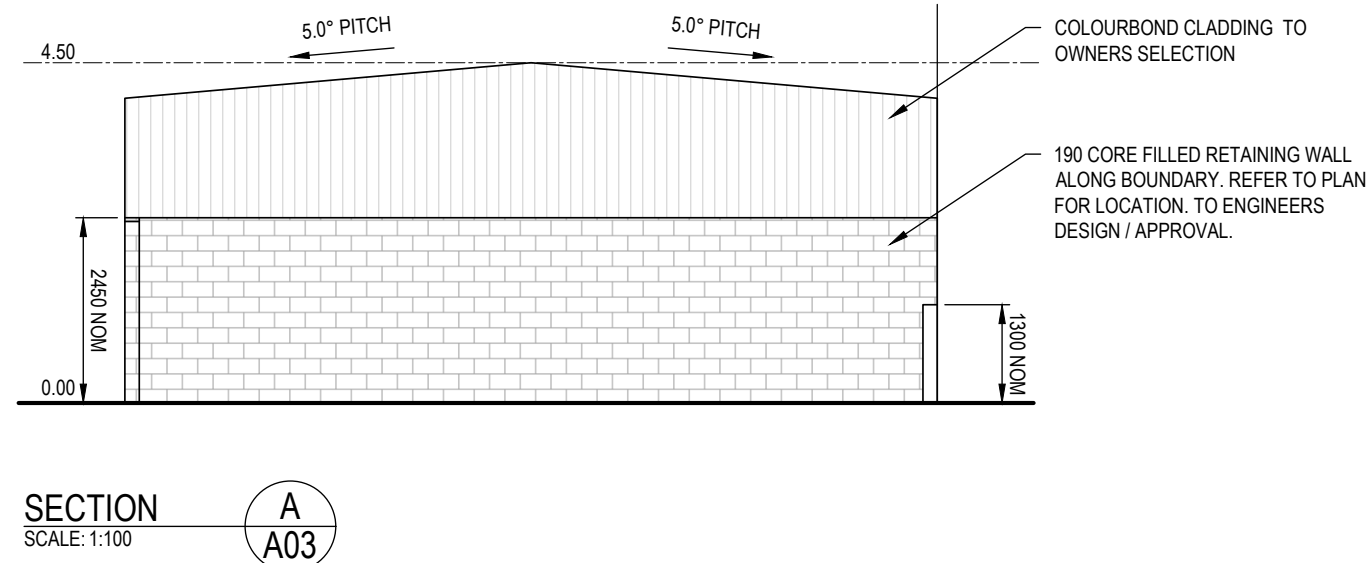
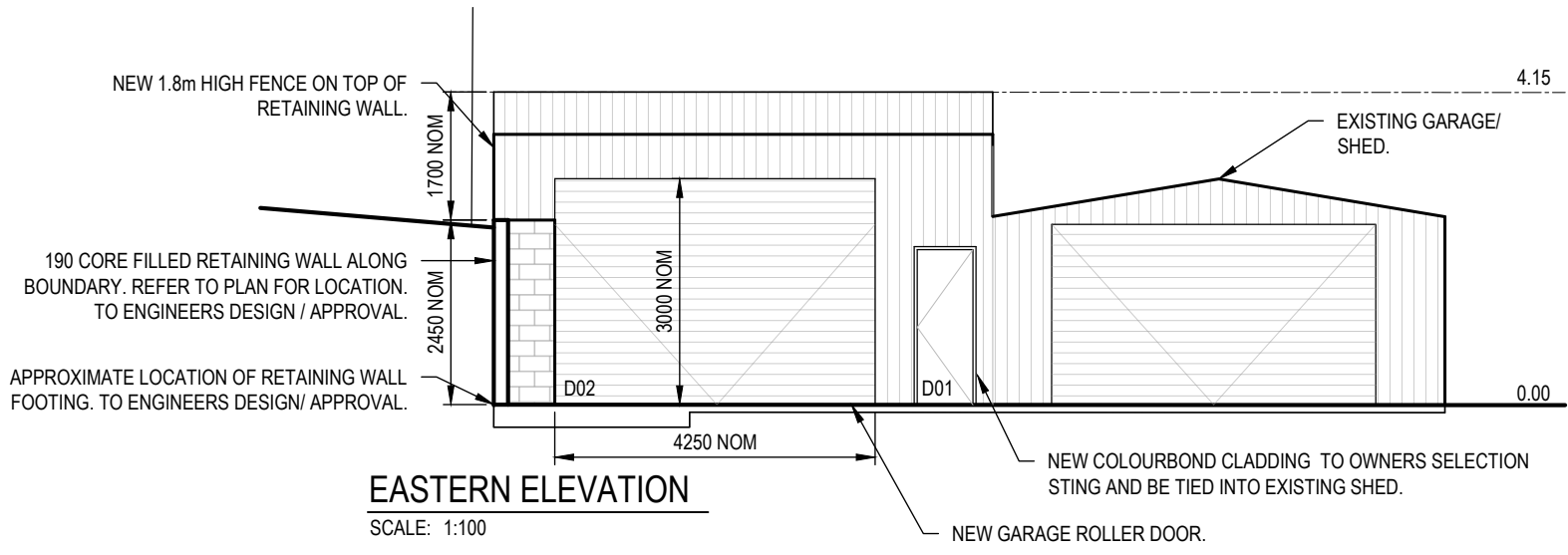
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P3	12.02.25	PLANNING APPROVAL
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PROJECT
**38 TECOMA ROAD,
 RISDON VALE,
 TASMANIA, 7016**

TITLE
**BUILDING
 ELEVATIONS AND SECTIONS**

Accepted (Client 1)	SIMON GRICE	Date
Accepted (Client 2)	N/A	Date
Approved (Builder)	N/A	Date

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1:100	D.LYNE	N.LUSH
	PLOT DATE	12/02/2026

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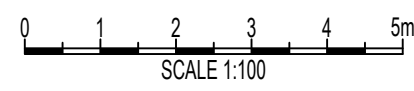
PROJECT NO. **1728/25**

DWG NO.	REVISION
A06	P3

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