

PLEASE QUOTE

Your Ref:

Our Ref: DA 2025/60

Enquiries: Planning Department

80 Wilson Street, Burnie Tasmania
PO Box 973, Burnie TAS 7320

ABN: 29 846 979 690
Phone: (03) 6430 5700
Email: burnie@burnie.tas.gov.au
Web: www.burnie.tas.gov.au

We value your feedback on our service.
Tell us about it at www.burnie.tas.gov.au/feedback



NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

Advice to Adjoining Land Owner or Occupier

Application No: - DA 2025/60
**Development Site: - 46 Ellis Road ROMAINE
CT 104809/1**
**Proposal: - Alterations and Additions including Outbuilding associated with an
existing Single Dwelling**

Notice of the above application is served on you as an adjoining land owner or occupier.

The application may be viewed at -

**Burnie City Council Customer Services Counter
Ground Floor, City Offices,
80 Wilson Street, Burnie**

Between the hours of 8.45 am – 4.45 pm Monday to Friday inclusive (excluding public holidays) or on Council's website at www.burnie.tas.gov.au/permits

You are entitled to make representation in writing on any aspect of the proposal addressed to: -

**General Manager,
Burnie City Council,
PO Box 973, Burnie 7320**

or burnie@burnie.tas.gov.au by no later than 5.00 pm on **12 January 2026**. Council must have regard to any written representation received during the exhibition period when considering its decision on the application.

All persons who make representation will be notified within seven (7) days of the Council's decision. Any persons who made representation and is not satisfied with the Council decision may, under Section 61(5) of the *Land Use Planning and Approvals Act 1993*, lodge an appeal against that decision within fourteen (14) days of the date of that notice to: -

**The Tasmanian Civil and Administrative Tribunal,
GPO Box 1311,
HOBART TAS 7001.**

Should you have any enquiries regarding this development proposal, please do not hesitate to contact the Planning Department on (03) 6430 5700.

Troy McCarthy

PRINCIPAL PLANNER

Date of Notice: - **17 December 2025**

BURNIE CITY COUNCIL
PO Box 973, BURNIE, TASMANIA 7320.
Ph : (03) 6430 5700
Email : burnie@burnie.tas.gov.au



Land Use Planning and Approvals Act 1993

Tasmanian Planning Scheme

PERMIT APPLICATION

Office use only

Application No _____

Date Received _____

Permit Pathway - *Permitted/Discretionary*

Use or Development Site:

Street Address

46 Ellis Rd,
Romaine TAS 7320

Certificate of
Title Reference

104809/1

Applicant

First Name

S. Group

Second
Name

(Damon Marshall)

Surname

Owner (note – if more than one owner, all names must be indicated)

First Name

Jeremy & Georgia

Second Name

Surname

De Bomford & Eade

Instruction for making a permit application

a) *Use or development?*

The application must provide a full description of the proposed use and/or development and of the manner in which the use and/or development is to operate.

“Use” is the purpose or manner for which land is utilised. “Development” is any site works (including any change in natural condition or topography of land and the clearing or conversion of vegetation), and the construction, alteration, or removal of buildings, structures and signs, required in order to prepare a site for use or to change existing conditions within a site. Subdivision is development.

Clause 6.2 Tasmanian Planning Scheme provides the use classes by which all use or development must be described. Development must be categorised by reference to the use class it is to serve.

b) *Required Information*

Adequate statements, plans and specifications must be included within the permit application to address and demonstrate compliance with all applicable requirements of the planning scheme, including any site analysis, impact report and recommendation, and advice, consent or determination required from a State agency or utility entity.

The application must clearly identify the documents relied upon for determination.

Section 51(1AC) *Land Use Planning and Approvals Act 1993* provides that a permit application is not valid unless it includes all of the information required by a planning scheme. Clause 6.1 Tasmanian Planning Scheme prescribes the minimum information that is necessary in order to complete a valid permit application.

S54 *Land Use Planning and Approvals Act 1993* provides that the planning authority may require the applicant to supply further information before it considers a permit application. If the planning authority requires further information to more particularly address one or more of the applicable requirements of the Tasmanian Planning Scheme, the statutory period for determination of a permit application does not run until that information is answered to the satisfaction of the planning authority

c) *Applicable Provisions and Standards*

The permit application must be assessed against the applicable provisions and standards of the Tasmanian Planning Scheme. The application is to identify by reference the clauses it relies upon to demonstrate compliance. (eg *clause 8.4.3 (A1 – A4, and P5)*)

d) *Discretionary Permits*

If a permit is discretionary the permit application must be notified for a period of 14 days to allow opportunity for any interested person to consider the proposed use and/or development and to provide comment on the discretionary matter.

If a permit application relies on performance criteria to satisfy an applicable standard or is discretionary under another provision of the interim planning scheme, the permit is discretionary only with respect to that standard.

The Council must have regard to all representations received during the notification period on a discretionary matter when determining whether to grant or refuse a permit.

e) *If the applicant is not the landowner*

If the applicant is not the owner of the land in the use or development site, the applicant is required to notify all of the owners either prior to or within 7 days from the date of making the permit application.

The permit application must identify all of the landowners; and the applicant must sign the application form to acknowledge the obligation to advise such landowners that the permit application has been made.

If the site includes land owned or administered by the Burnie City Council or by a State government agency, the consent in writing from the Council or the Minister responsible for Crown land must be provided at the time of making the application.

f) *Applicant declaration*

It is an offence for a person to do any act that is contrary to a compliance requirement created under the section 63 *Land Use Planning and Approvals Act 1993*. The applicant is required to complete a declaration that the information given in the permit application is true and correct.

g) *Payment of Fees*

The Council is not required to take any action on the permit application until all the relevant fees have been paid.

Permit Information

(NB If insufficient space, please attach separate document)

Proposed Use:

Use Class 1A

Documents included with the permit application to describe the Use

Proposed alterations to existing Residential Dwelling, new Residential Shed and associated site works.

**See attached Architectural Drawings
See attached Planning Letter**

Proposed Development

Use class to which the development applies **1A**

Documents included with the permit application to describe the Development

Proposed alterations to existing Residential Dwelling, new Residential Shed and associated site works.

See attached Architectural Drawings
See attached Planning Letter

Provisions and Standards relied upon for grant of a Permit

Tasmanian Planning Scheme
Bushfire Performance Solution

Notification of Landowner/s

If land is not in applicant's ownership

I, **S. Group (Damon Marshall)**, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant



Date 4/08/2025

If the permit application involves land owned or administered by the BURNIE CITY COUNCIL

Burnie City Council consents to the making of this permit application.

General Manager (Signature)

Date

If the permit application involves land owned or administered by the CROWN

I, the Minister responsible for the land, consent to the making of this permit application.

Minister (Signature)

Date

Applicant Declaration

I, **S. Group (Damon Marshall)** declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant



Date 4/08/2025

SEARCH OF TORRENS TITLE

VOLUME 104809	FOLIO 1
EDITION 7	DATE OF ISSUE 27-Apr-2024

SEARCH DATE : 02-Oct-2024

SEARCH TIME : 09.35 AM

DESCRIPTION OF LAND

City of BURNIE
 Lot 1 on Sealed Plan 104809
 Derivation : Part of 251A-3R-39P Gtd.to The Closer Settlement
 Board.
 Prior CT 17713/10

SCHEDULE 1

N158649 TRANSFER to JEREMY MICHAEL DE BOMFORD and GEORGIA
 ROSE EADE Registered 27-Apr-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP104809 EASEMENTS in Schedule of Easements
 SP17713, SP104809 FENCING COVENANT in Schedule of Easements
 SP17713, SP104809 COVENANTS in Schedule of Easements
 B566405 FENCING PROVISION in Transfer
 E376086 MORTGAGE to National Australia Bank Limited
 Registered 27-Apr-2024 at 12.01 PM

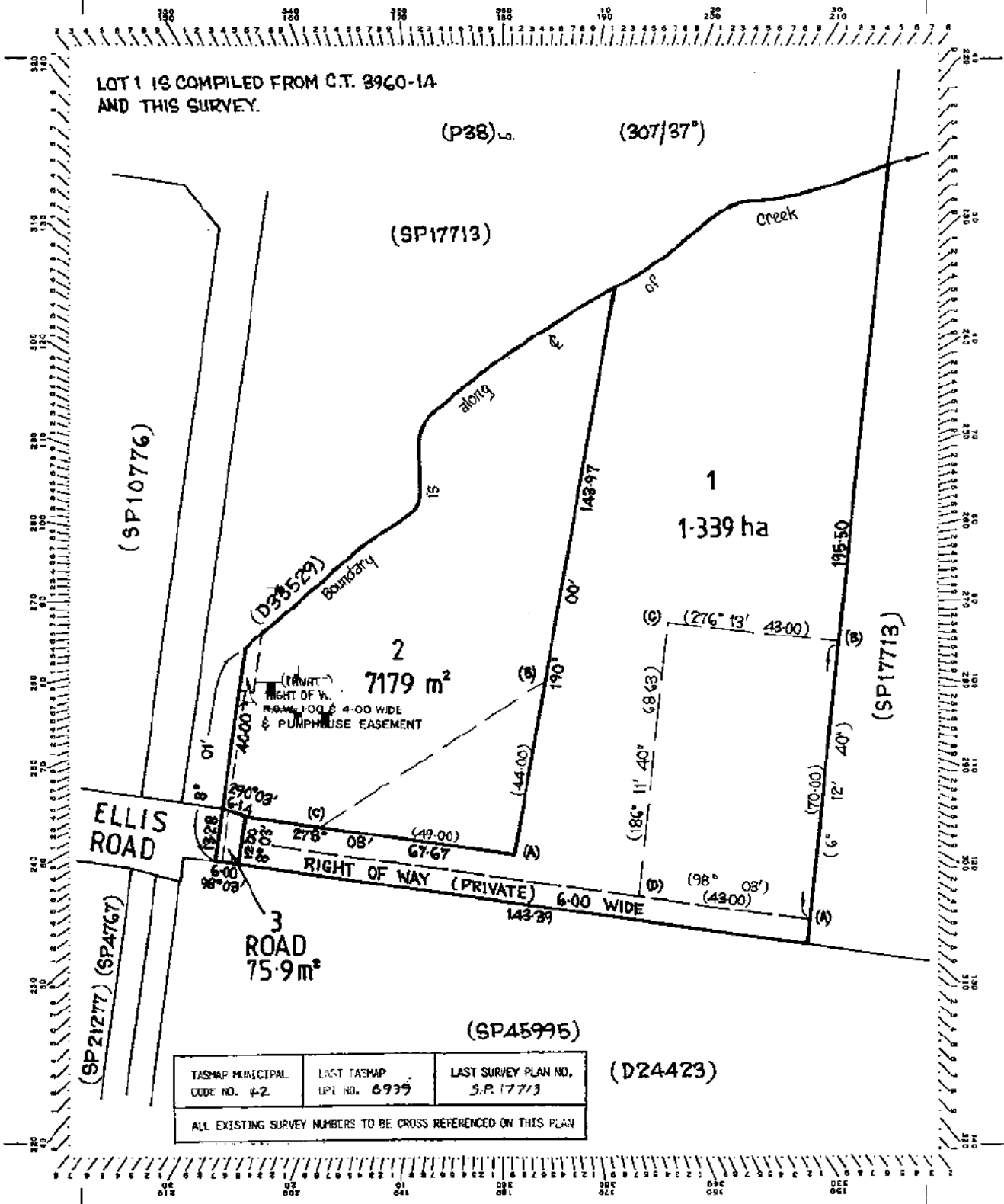
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

20/4

57 104809

Owner: Ian Raymond Haywood & Donna Maree Haywood	PLAN OF SURVEY by Surveyor: B. J. Rollins of PEACOCK, DARCEY & ANDERSON PTY. LTD. AUTHORIZED SURVEYORS 91 MOUNT STREET - BURNIE of land situated in the	REGISTERED NUMBER <h1 style="margin: 0;">SP104809</h1>
Title Reference: C.T. 3960-1A 17713/10	CITY OF BURNIE	Approved -7 JUN 1983 Effective from:
Grantee: Part of 251° 38' 39" granted to the Closer Settlement Board.	SCALE 1:1000 MEASUREMENTS IN METRES	 Recorder of Titles



REGISTERED NUMBER

SCHEDULE OF EASEMENTS

SP104809



NOTE.—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

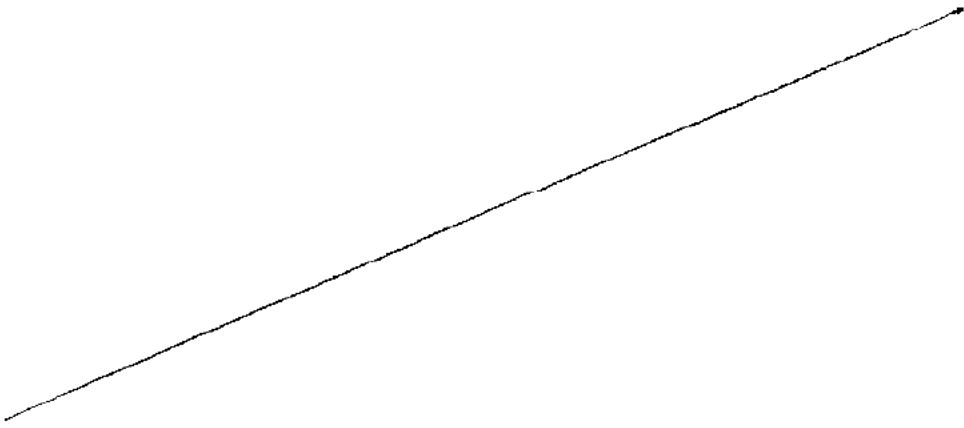
Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

The owners of each lot shown on the plan covenants with IAN RAYMOND HAYWOOD and DONNA MAREE HAYWOOD (hereinafter called "the Vendor") that the Vendor shall not be required to fence.

The owner of Lot 1 of the plan covenants with the Vendor and the owners for the time being of every other Lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulation: not without the prior approval of the Mayor Alderman and citizens of the City of Burnie to erect any dwelling house outside the area marked A B C D on Lot 1 on the Plan.



The owner of lot 2 on the plan covenants with the Vendor and the owners for the time being of every other lot shown on the plan to intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof maybe annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulation: not without the prior approval of the Mayor Alderman and citizens of the City of Burnie to erect any dwelling house outside the area marked A B C on Lot 2 of the Plan.

Lot 1 on the plan is subject to a Right of Carriage Way over the (Private) 6.00 metres wide ~~over the land marked A B C D on~~ the plan P as appurtenant to the registered proprietor of the land comprised in Certificate of Title Volume 3960 Folio 18

Lot 2 on the Plan is subject to a Right of Carriage Way over the (Private) 1.00 metres wide and 4.00 metres wide ~~and thereafter of variable width~~ and a pump house easement including the right from time to time and at all times to maintain, repair, replace and rebuild any pump, motor, system or pipes the purpose of which to cause the conveyance of water from the water supply and pipeline easement shown on Diagram No. 33529 over the land marked A E F G H I on SP 17713 as appurtenant to the registered proprietor of the land comprised in Certificate of Title Volume 3676 Folio 54.

Deletions * to * made this 7th day of April 1994

M. J. ...
Recorder of Titles

SIGNED by the Registered Proprietors)
IAN RAYMOND HAYWOOD and DONNA MAREE)
HAYWOOD in the presence of:)

Ian Haywood
D. Maree

P. M. ...
Solicitor
Burnie

Lots 1, 2 & 3 on the plan which together formerly comprised Lot 10 on Sealed Plan No 17713 are each burdened by restrictive covenants more fully set forth in Sealed Plan No 17713

AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
A.C.N. 005 357 522 AS MORTGAGEE UNDER MORTGAGE NO
B566406 HEREBY CONSENTS TO THIS SCHEDULE OF
EASEMENTS

[Faint signature]

[Faint signature]

[Faint signature]



[Faint text]

]

1
2

This is the schedule of easements attached to the plan of
(Insert Subdivider's Full Name)
affecting land in

.....
(Insert Title Reference)

Sealed by on 19.....

Solicitor's Reference

OS 2 21 11



Council Clerk/Town Clerk



18th August 2025

Burnie City Council

Re: Development Application - 46 Ellis Rd, Romaine

Overview:

This proposal is for proposed alterations to an existing residential dwelling, new shed and associated site works on a lot zoned for Rural Living use. Refer to the associated documentation provided for further detail on the proposal.

11.0 Rural Living Zone

Refer to associated architectural drawings.

11.1 Zone Purpose

No response required.

11.2 Use Table

Residential; is permitted use (no permit required) - if for a single dwelling.

11.3 Use Standards

11.3.1 Discretionary Uses

Not applicable.

11.3.2 Visitor Accommodation

Not applicable.

11.4 Development Standards For Buildings And Works

11.4.1 Site Coverage

P1 Site coverage for the total proposed development is more than 400m², at 482m². This is comprised of 194m² for the existing dwelling footprint and 288m² for the proposed shed, where:

- a) Both the existing dwelling and the proposed shed are designed to work in with the property's natural topography.
- b) The proposed development does not diminish the site's natural ability to deal with runoff and provides ample space for on-site wastewater management.



- c) The proposed site coverage equates to only 3.5% of the site, leaving the majority of the property in its natural state.
- d) All proposed and existing buildings are fully contained within a prescribed building area that forms part of the land title.
- e) Some vegetation will need to be removed for the proposed shed, but this will only be within the prescribed building area that forms part of the land title. No vegetation will need to be removed for the alterations to the existing dwelling.
- f) The proposed development is consistent with the character of development on established properties in the area (as seen on site plans / aerial imagery).

11.4.2 Building Height, Setback And Siting

- A1 The proposed addition to the dwelling will be approximately 7m high - level with the existing roof ridge height. The existing dwelling is approximately 9.5m above ground level, at it's highest point.
- A2 The existing dwelling and the proposed shed will both have setbacks from the frontage of not less than 20m and are both fully contained within a prescribed building area that forms part of the land title.
- A3 The proposed shed will have setbacks from the side and rear boundaries of more than 10m. The existing dwelling is within 10m of both rear and side boundaries, but will be fully contained within a prescribed building area that forms part of the land title.
- A4 The existing dwelling is for a sensitive use, but is separated from an Agriculture Zone or Rural Zone by more than 200m.

11.5 Development Standards For Subdivision

11.5.1 Lot Design

Not applicable.

11.5.2 Roads

Not applicable.

11.5.3 Services

Not applicable.

C7.0 Natural Assets Code is not applicable, as the existing dwelling and proposed shed are contained fully within a prescribed building area that forms part of the land title.

C8.0 Scenic Protection Code is not applicable, as the existing dwelling and proposed shed are contained fully within a prescribed building area that forms part of the land title.

For **C13.0 Bushfire-Prone Areas Code** refer to attached Bushfire Assessment.



S. Group

Level 1, 10-14 Paterson St, Launceston

Level 1, 90-92 Murray St, Hobart

PO Box 1271, Launceston, TAS 7250

p 03 6311 1403 **e** info@sgroup.com.au

abn 33 625 566 618 **sgroup.com.au**

We trust that the contents of this letter and the attached documents satisfactorily address the planning requirements for this proposal. If there are any further queries, please don't hesitate to contact us.

Kind Regards,

Damon Marshall – S. Group

RESIDENTIAL EXTENSION

46 ELLIS RD, ROMAINE

Drawing Schedule			
A000		COVER	4/03/2025
A101		LOCATION PLAN	4/03/2025
A102		SITE PLAN	4/03/2025
A201		SUB FLOOR PLAN - PROPOSED	4/03/2025
A202		GROUND FLOOR PLAN - EXISTING/DEMO	4/03/2025
A203		GROUND FLOOR PLAN - PROPOSED	4/03/2025
A204		LEVEL 1 FLOOR PLAN - EXISTING/ DEMOLISHED	4/03/2025
A205		LEVEL 1 FLOOR PLAN - PROPOSED	4/03/2025
A206		ROOF PLAN	4/03/2025
A301		NORTHERN ELEVATION	4/03/2025
A302		WESTERN ELEVATION	4/03/2025
A303		EASTERN ELEVATION	4/03/2025
A801		3D VIEWS 1	4/03/2025
A802		3D VIEWS 2	4/03/2025



GENERAL INFORMATION:

Accredited Architect:	Sam Haberle
Accreditation Number:	CC5618U
Certificate of Title:	104809/1
PID:	1486807
Soil Classification:	TBC
Wind Classification:	TBC
Alpine Area:	N/A
Bushfire-prone Area BAL rating:	TBC
Corrosive Environment:	N/A
Site Area:	1.339ha
Existing Building Area:	221m ²
Proposed Building Area:	190m ²
Planning Zone:	RURAL LIVING
Planning Overlays:	WATERWAY & COASTAL PROTECTION AREA PRIORITY VEGETATION AREA SCENIC PROTECTION AREA BUSHFIRE-PRONE AREAS
Heritage Listing:	N/A

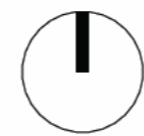


- SITE PLAN NOTES:**
- CONTOURS SHOWN ON PLAN ARE DERIVED FROM LIDAR. (2013) @ 0.5m INTERVALS.
- SITE LEVELS ARE TO BE CONFIRMED BY LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORKS.
- SITE SERVICES ARE APPROXIMATES & SHALL BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- CONTRACTOR TO CONFIRM SERVICES WITH DIAL-BEFORE-YOU-DIG.
- AREA SCHEDULE:**
- | | |
|--------------------------------|-------------------|
| SITE AREA | 1.339Ha |
| EXISTING BUILDING (INCL. SHED) | 190m ² |
- SOIL & WATER MANAGEMENT NOTES**
- ALL RUNOFF & SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY & MAINTAINED IN A FUNCTIONAL CONDITION.
 - ALL VEGETATION OUTSIDE THE BUILDING ENVELOPE WILL BE RETAINED.
- SEDIMENT CONTROL FENCE NOTES**
- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
 - DRIVE 1.5M LONG STAR PICKETS INTO GROUND @ MAX. 3.0M SPACINGS.
 - DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 - BACKFILL TRENCH OVER BASE OF FABRIC.
 - FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
 - JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150MM OVERLAP.
- AREA OF GROUND DISTURBANCE = ± 220 SQM. (SHOWN SHADED).
- SEDIMENT RETENTION NOTES**
- GENERAL:
 - TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
 - ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
 - ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
 - CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
 - IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
 - STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
 - SEDIMENT FENCE:
 - NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.
 - NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100M LENGTH OF FENCE.
 - WOVEN FABRICS ARE PREFERRED, NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
 - WHERE FENCES NEED TO BE LOCATED ACROSS THE CONTOUR THE LAYOUT SHALL CONFORM TO 'TYPICAL LAYOUT ACROSS GRADE'.
 - FENCES ARE REQUIRED 2M MIN. FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN. AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE.
 - TEMP. CONSTRUCTION ENTRY / EXIT SEDIMENT TRAP.
 - ADJACENT STORMWATER RUNOFF TO BE DIVERTED AWAY FROM ENTRY/EXIT.
 - WHEEL - WASH OR SPRAY UNIT MAY BE REQUIRED DURING WET WEATHER.
 - SAFETY ISSUES MUST BE CONSIDERED AT ALL TIMES, INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.
 - ALL DIMENSIONS IN MILLIMETRES UNLESS INDICATED OTHERWISE.

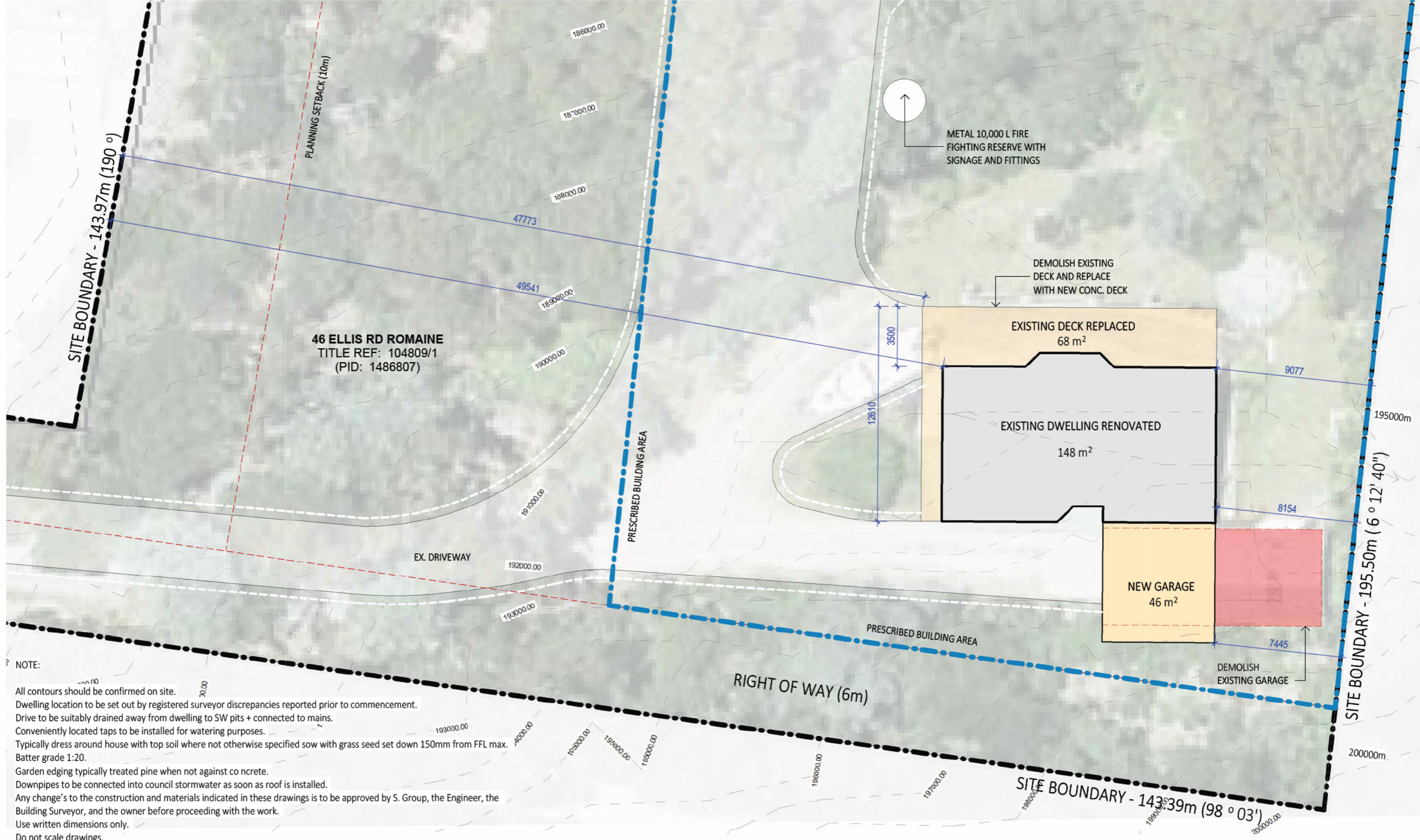
1 LOCATION PLAN
1 : 1000

create.wonder.
S. Group
Level 1, 10-14 Paterson St, Launceston
Level 1, 90-92 Murray St, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A101
DWG		LOCATION PLAN	ACCREDITED DESIGNER CC 5618 U



46 ELLIS RD ROMAINE
TITLE REF: 104809/1
(PID: 1486807)

METAL 10,000 L FIRE
FIGHTING RESERVE WITH
SIGNAGE AND FITTINGS

DEMOLISH EXISTING
DECK AND REPLACE
WITH NEW CONC. DECK

EXISTING DECK REPLACED
68 m²

EXISTING DWELLING RENOVATED
148 m²

NEW GARAGE
46 m²

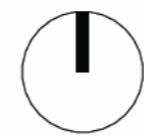
DEMOLISH
EXISTING GARAGE

NOTE:
All contours should be confirmed on site.
Dwelling location to be set out by registered surveyor discrepancies reported prior to commencement.
Drive to be suitably drained away from dwelling to SW pits + connected to mains.
Conveniently located taps to be installed for watering purposes.
Typically dress around house with top soil where not otherwise specified sow with grass seed set down 150mm from FFL max.
Batter grade 1:20.
Garden edging typically treated pine when not against concrete.
Downpipes to be connected into council stormwater as soon as roof is installed.
Any change's to the construction and materials indicated in these drawings is to be approved by S. Group, the Engineer, the Building Surveyor, and the owner before proceeding with the work.
Use written dimensions only.
Do not scale drawings.

1 SITE PLAN
1:200

create.wonder.
S. Group
Level 1, 10-14 Paterson St, Launceston
Level 1, 90-92 Murray St, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

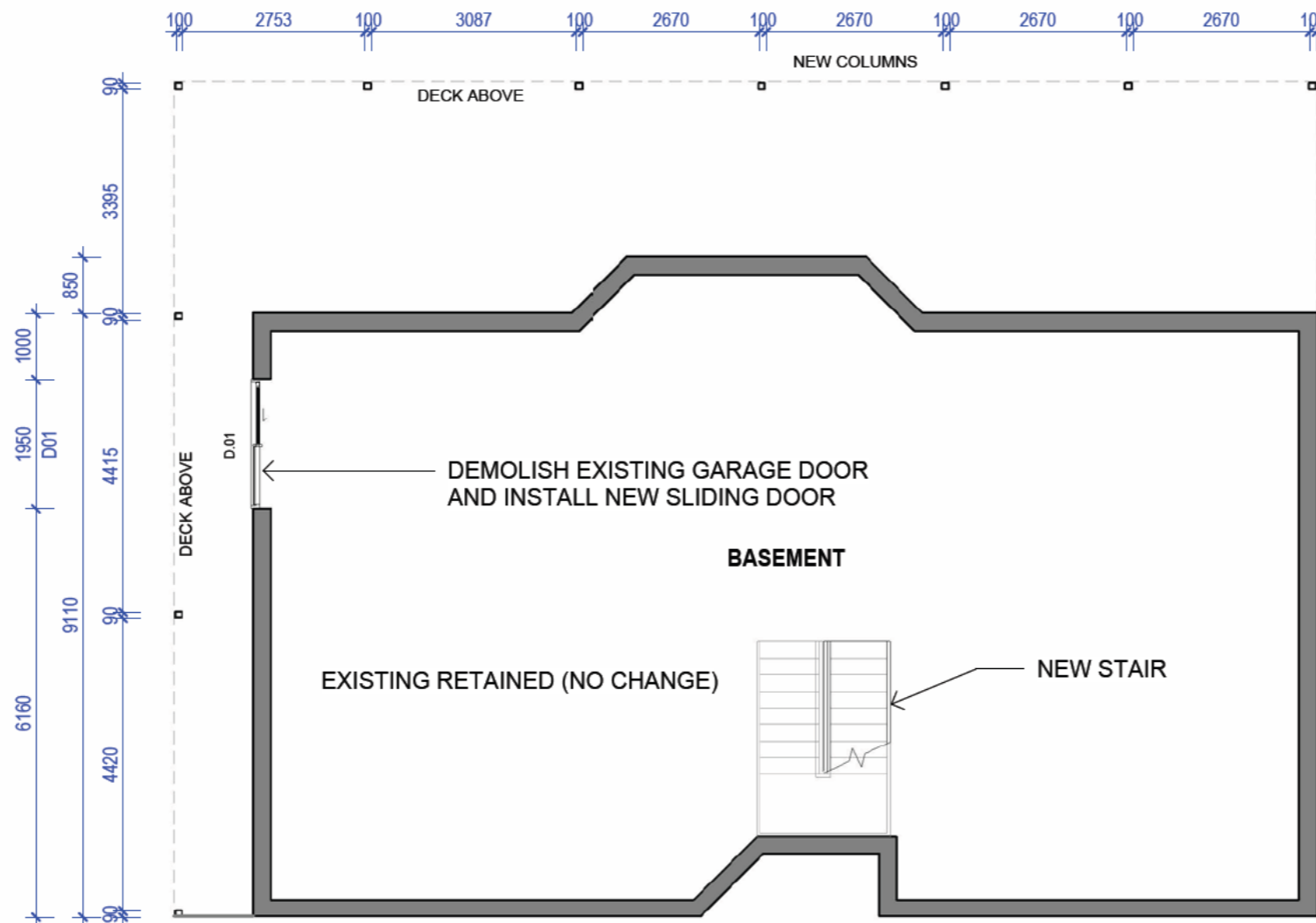
**PLANNING
APPLICATION**



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A102
DWG		SITE PLAN	ACCREDITED DESIGNER CC 5618 U

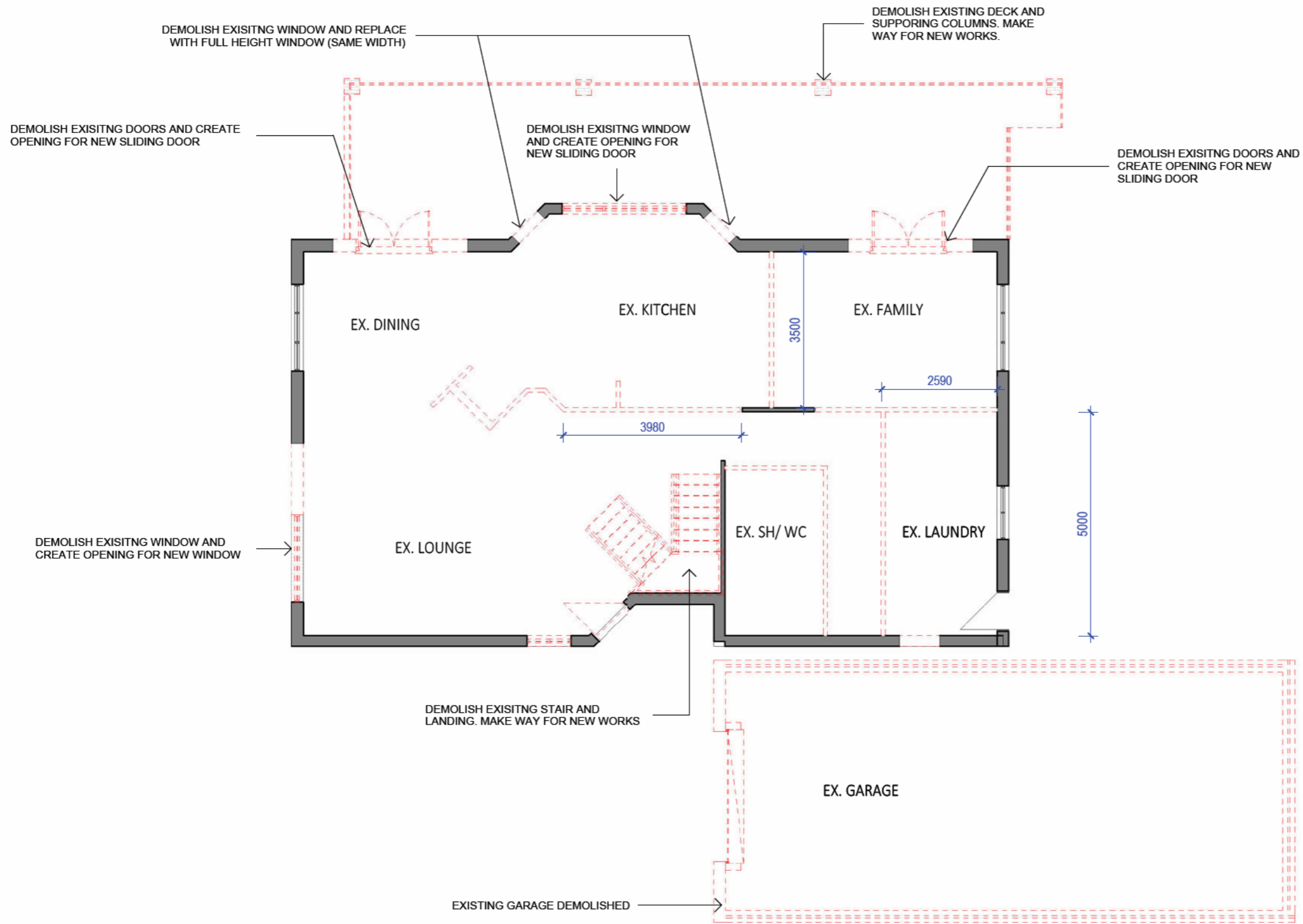
DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

GENERAL NOTES	
ALL 'EXISTING' DIMENSIONS ARE TO BE CONFIRMED ON-SITE. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.	
USE WRITTEN DIMENSIONS ONLY (ie. DO NOT SCALE DRAWINGS).	
CHECK ALL LEVELS, DATUM'S & DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.	
ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
FIXTURES, FITTINGS & EQUIPMENT ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.	
ARCHITRAVES & SKIRTING: ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVILLED EDGE. WINDOWS TO BE SQUARE SET.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.	



1 SUB FLOOR - PROPOSED
1 : 100

REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1 : 100	A201
DWG	SUB FLOOR PLAN - PROPOSED	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U



DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

GENERAL NOTES

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CHECK ALL LEVELS, DATUM'S & DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.

ALL THRESHOLD PLATES TO BE COUNTERSUNK.

FIXTURES, FITTINGS & EQUIPMENT
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

ARCHITRAVES & SKIRTING:
ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVELLED EDGE. WINDOWS TO BE SQUARE SET.

ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.

DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT.

IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

1 **GROUND FLOOR - DEMOLITION**
1 : 100

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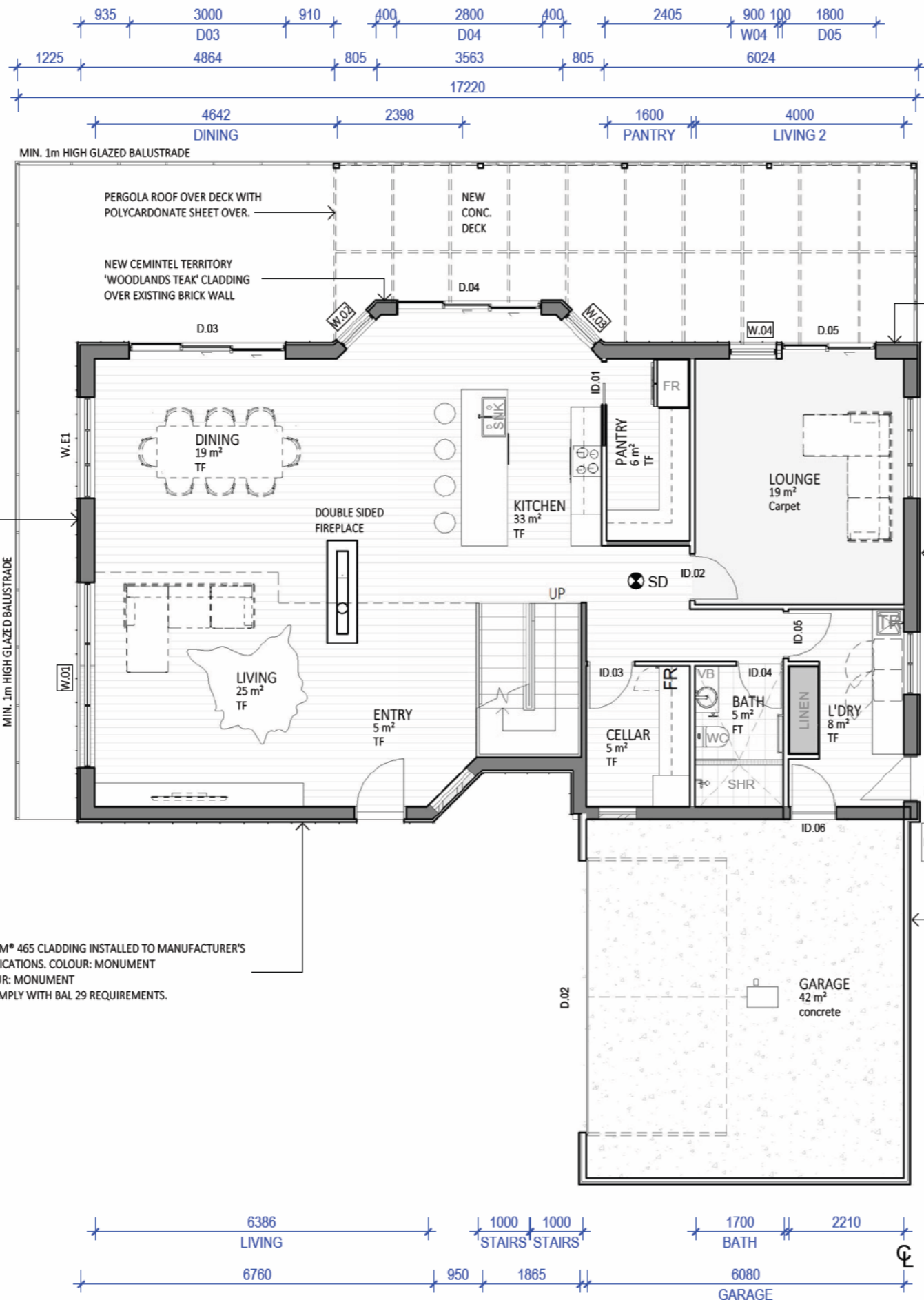
PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A202
DWG		GROUND FLOOR PLAN - EXISTING/DEMO	ACCREDITED DESIGNER CC 5618 U

SCALE 1 : 100
DRAWN CHKD Author Checker

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DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

GENERAL NOTES	
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FIXTURES, FITTINGS & EQUIPMENT ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.	
ARCHITRAVES & SKIRTING: ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVELLED EDGE. WINDOWS TO BE SQUARE SET.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.	

FLOOR FINISHES SCHEDULE	
CARPET (CPT):	CARPET TYPE & COLOUR TO BE CONFIRMED BY OWNER
FLOOR TILE (FT):	FLOOR TILES TO BE CONFIRMED BY OWNER. 150HT TILE SKIRT TO ALL WALLS.
TIMBER (TBR):	TYPE TO BE CONFIRMED BY OWNER
CONC.	TROWEL FINISHED CONC. SLAB

NOTES:	
ALL FLOORING TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.	

ENSEAM® 465 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT TO COMPLY WITH BAL 29 REQUIREMENTS.

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JAMES HARDIE AXON 133 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT TO COMPLY WITH BAL 40 REQUIREMENTS.

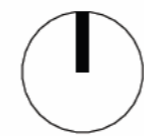
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1 GROUND FLOOR
1 : 100

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REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1 : 100	A203
DWG	GROUND FLOOR PLAN - PROPOSED	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U

DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

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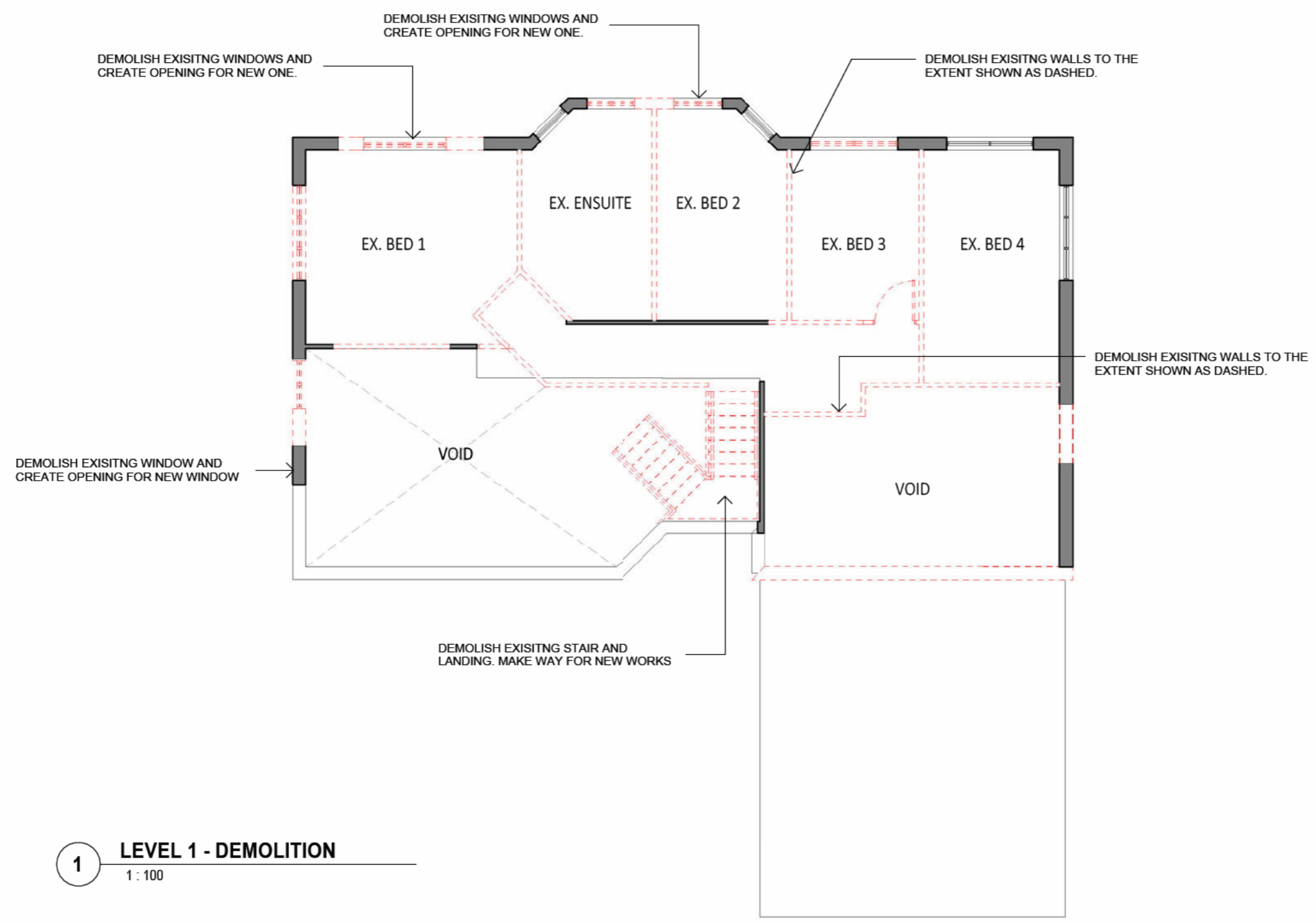
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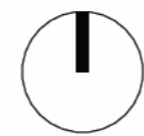


1 LEVEL 1 - DEMOLITION
1 : 100

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REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1 : 100	A204
DWG	LEVEL 1 FLOOR PLAN - EXISTING/ DEMOLISHED	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U

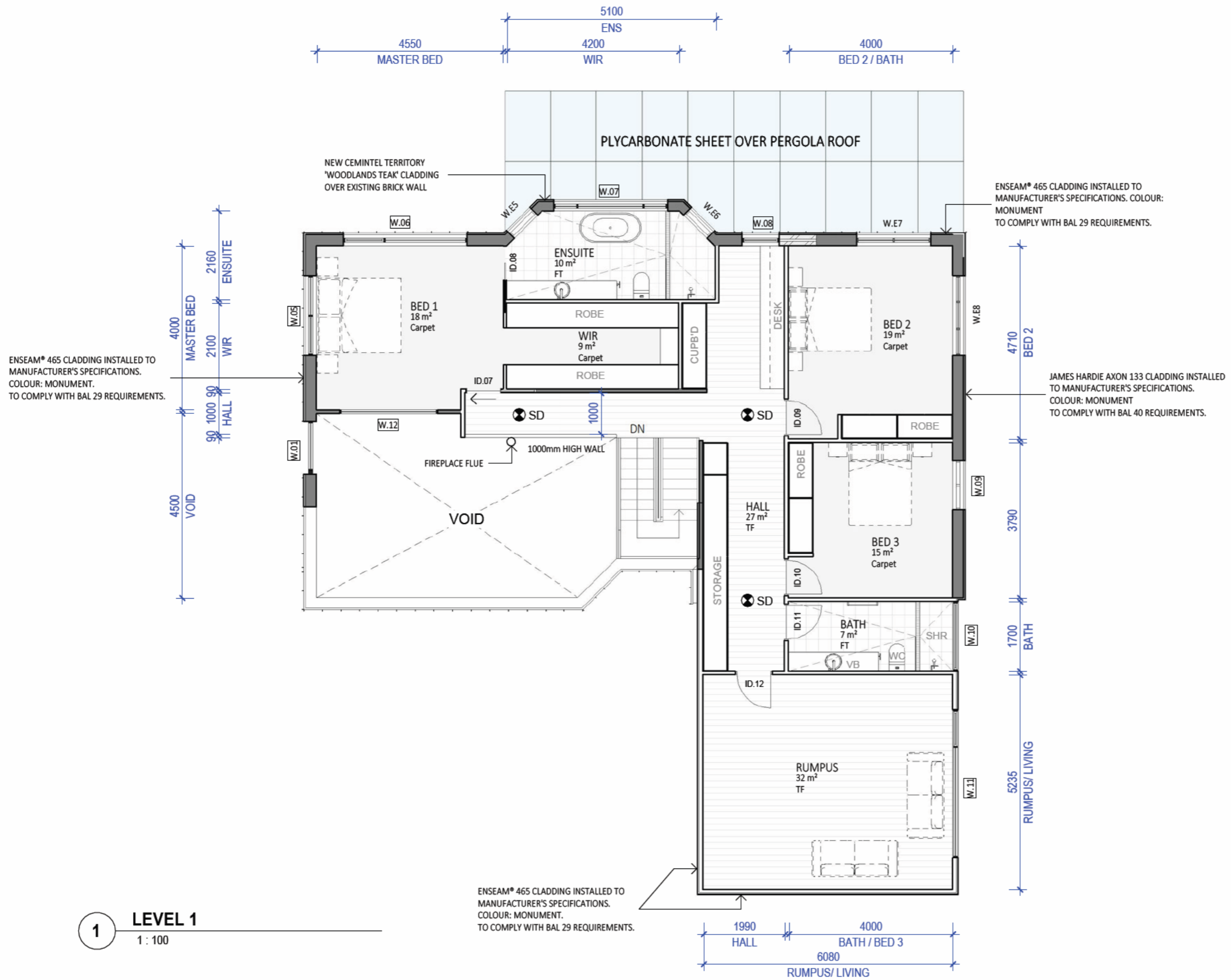
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DRAWING KEY	
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	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

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TIMBER (TBR):	TYPE TO BE CONFIRMED BY OWNER
CONC.	TROWEL FINISHED CONC. SLAB

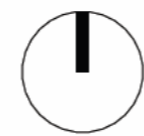
NOTES:	
ALL FLOORING TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.	



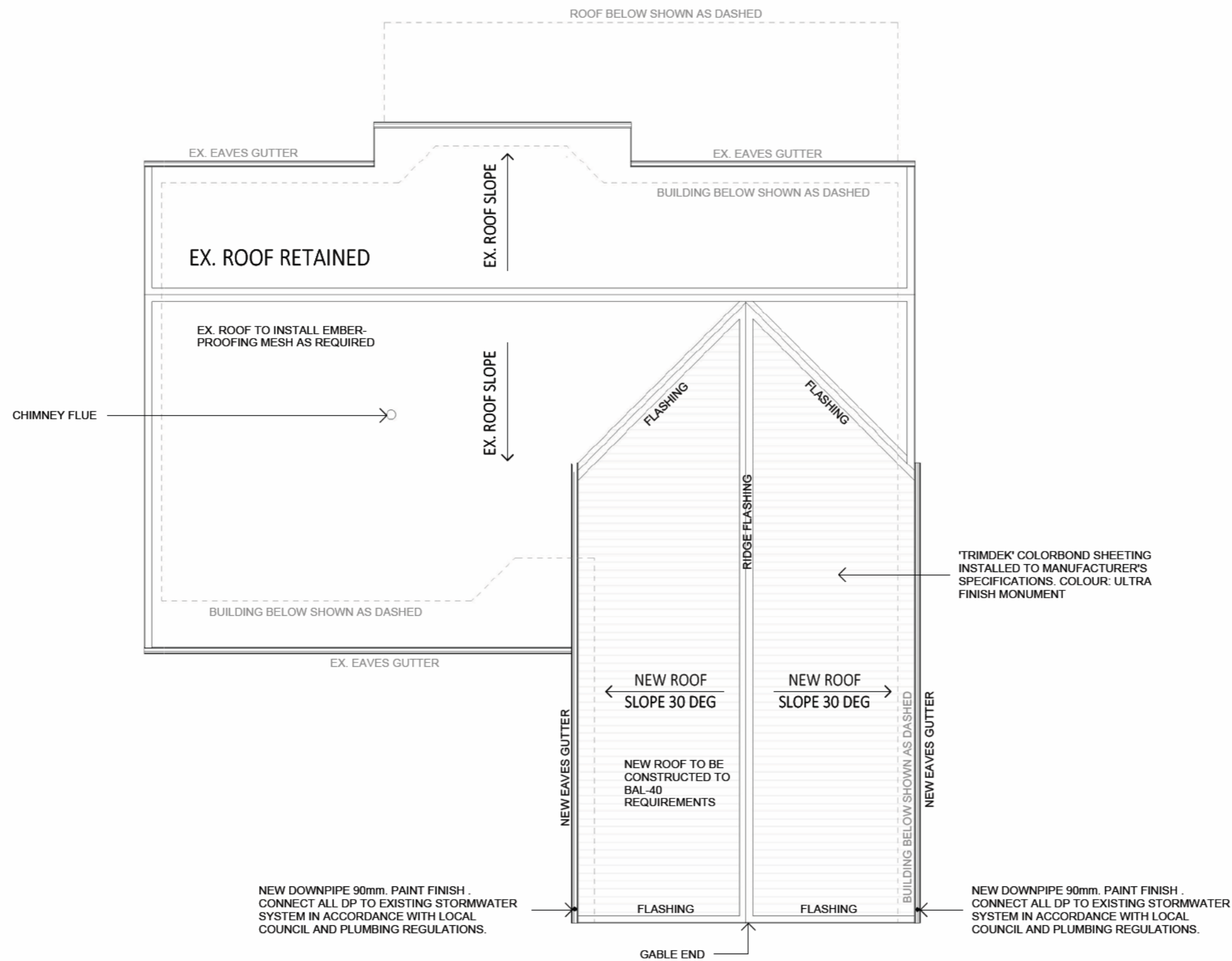
1 LEVEL 1
1 : 100

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REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A205
DWG		LEVEL 1 FLOOR PLAN - PROPOSED	ACCREDITED DESIGNER CC 5618 U

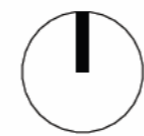


ROOF PLAN SCHEDULE:	
ALL ROOF SHEETING, GUTTERING, DOWNPIPES & CAPPINGS / FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
ROOF TYPE: (RT-1)	
REFER TO ROOF PLAN FOR ROOF PITCH	
TYPE:	LYSAGHT® TRIMDEK® 0.48BMT.
COLOUR:	COLOURBOND® FINISH: ULTRA FINISH 'MONUMENT'.
MEMBRANE:	VAPOUR PERMEABLE SUITABLE FOR CLIMATE ZONE 7.
ROOF BATTEN:	REFER TO STRUCTURAL ENGINEERING
DRAINAGE BATTEN:	18x40mm CAVIBAT OR EQUIVALENT TO APPROVAL.
GUTTER TYPE: (GT-1):	
TYPE:	LYSAGHT® QUADLINE GUTTER
COLOUR:	COLOURBOND® FINISH: ULTRA FINISH 'MONUMENT'.
RAIN WATER PIPES (RWP):	
TYPE:	MIN. 90mm uPVC
PAINT FINISH. COLOURBOND® ULTRA FINISH MONUMENT	
FLASHINGS / CAPPINGS:	
FLASHINGS & CAPPINGS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.	
COLOUR:	COLOUR TO MATCH ROOF
ROOF VENTILATION:	
FOR ROOFS <10° NCC 2022 REQUIREMENTS 25,000mm ² /m MEASURED FROM THE LONGEST HORIZONTAL EDGE OF THE ROOF.	
FASCIA / EAVE VENT (GUTTER SIDE):	
TYPE:	VENT SYSTEMS OVER FASCIA VENTILATOR (G2500N)
RIDGE VENT:	
TYPE:	LYSAGHT VENT-A-ROOF SKILLION RIDGE
NOTE:	
VENTILATION SYSTEMS TO BE INSTALLED ALONG THE FULL LENGTH OF ROOF.	
SYSTEMS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION.	
ENSURE MIN 25mm CONTINUOUS UNIMPEDED AIRFLOW PATH.	
SYSTEMS TO BE USED AS PART OF A COMPLETE VENTILATION SYSTEM.	

1 ROOF PLAN
1:100

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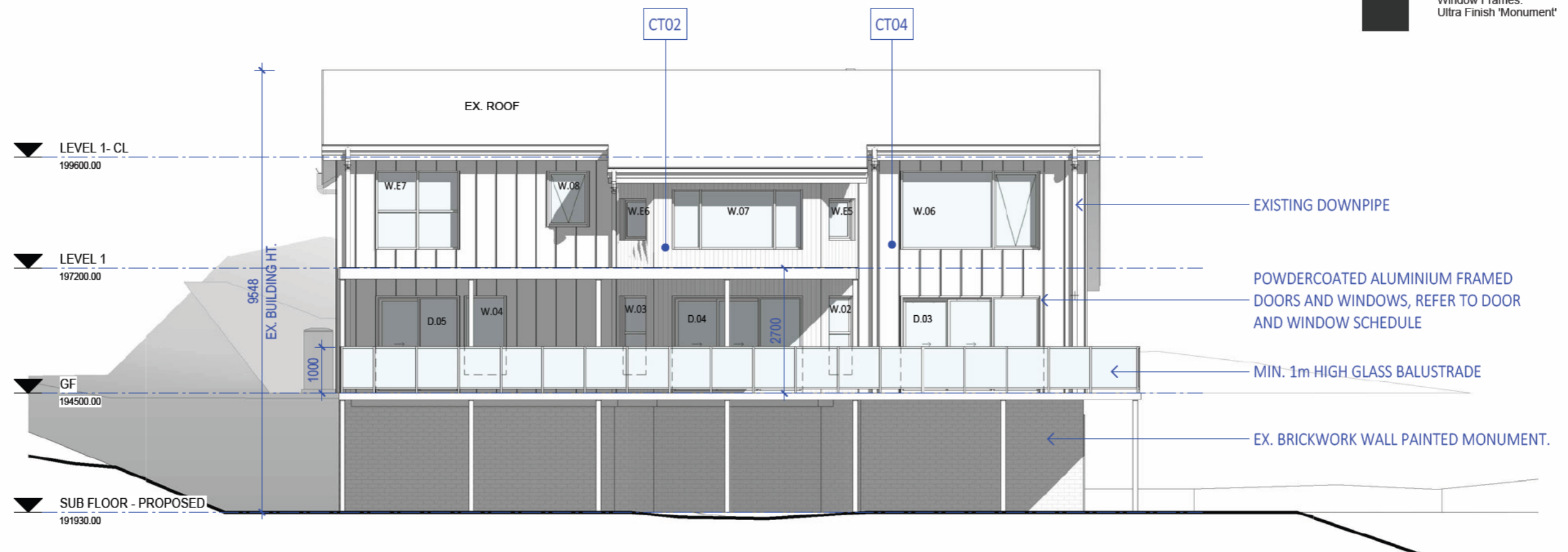
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REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1:100	A206
DWG	ROOF PLAN	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U

Materials & Finishes

-  CT01
Roofing:
Colorbond Ultra Finish 'MONUMENT' Trimdek
-  CT02
Vertical Wall Cladding:
Cemintel Territory 'Woodlands Teak'
-  CT03
Vertical Wall Cladding:
James Hardie Axon 133 Ultra Finish 'Monument'
-  CT04
Vertical Wall Cladding:
ENSEAM® 465 Ultra Finish 'Monument'
-  Window Frames:
Ultra Finish 'Monument'

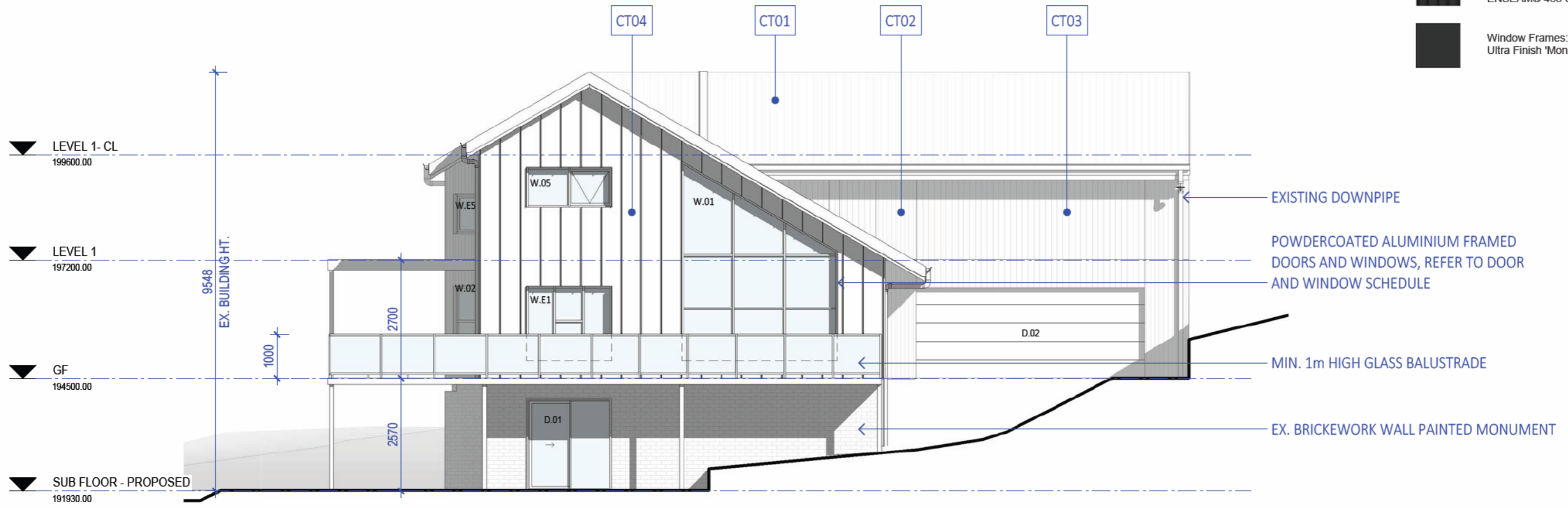


1 NORTH ELEVATION
1 : 100

REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A301
DWG		NORTHERN ELEVATION	ACCREDITED DESIGNER CC 5618 U
	SCALE	1 : 100	
	DRAWN	Author	
	CHKD	Checker	

Materials & Finishes

-  **CT01**
Roofing:
Colorbond Ultra Finish 'MONUMENT' Trimdek
-  **CT02**
Vertical Wall Cladding:
Cemintel Territory 'Woodlands Teak'
-  **CT03**
Vertical Wall Cladding:
James Hardie Axon 133 Ultra Finish 'Monument'
-  **CT04**
Vertical Wall Cladding:
ENSEAM® 465 Ultra Finish 'Monument'
-  **Window Frames:**
Ultra Finish 'Monument'



1 WESTERN ELEVATION
1 : 100






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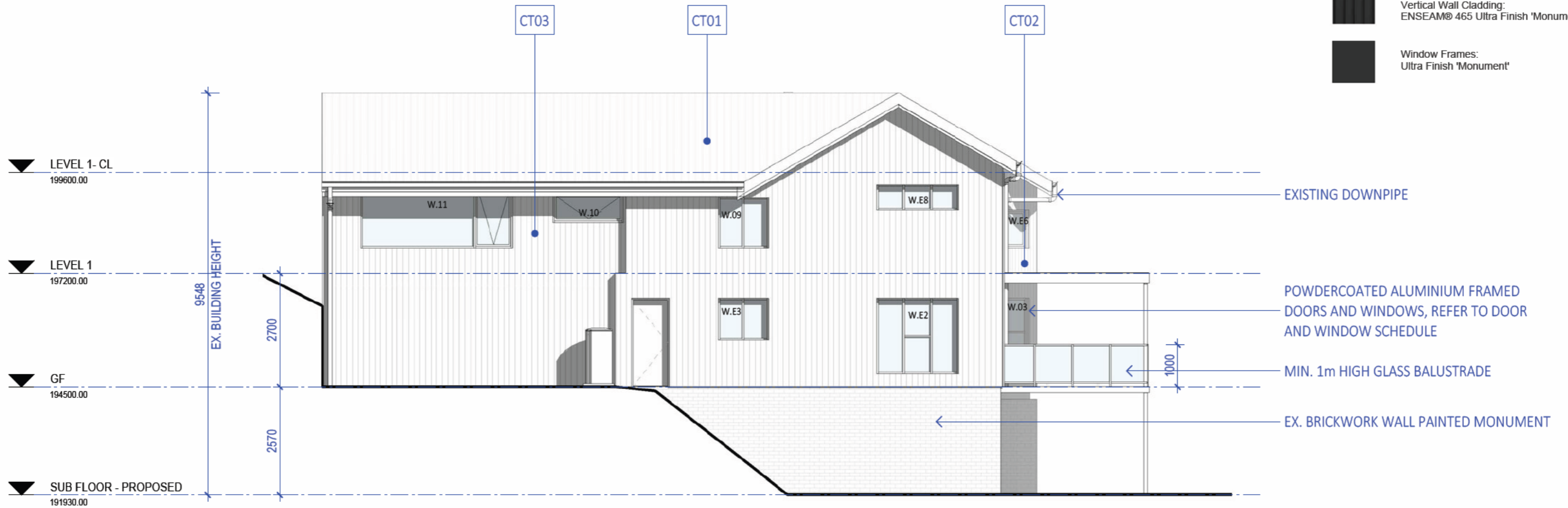
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REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A302
DWG		WESTERN ELEVATION	ACCREDITED DESIGNER CC 5618 U
	SCALE	1 : 100	
	DRAWN	Author	
	CHKD	Checker	

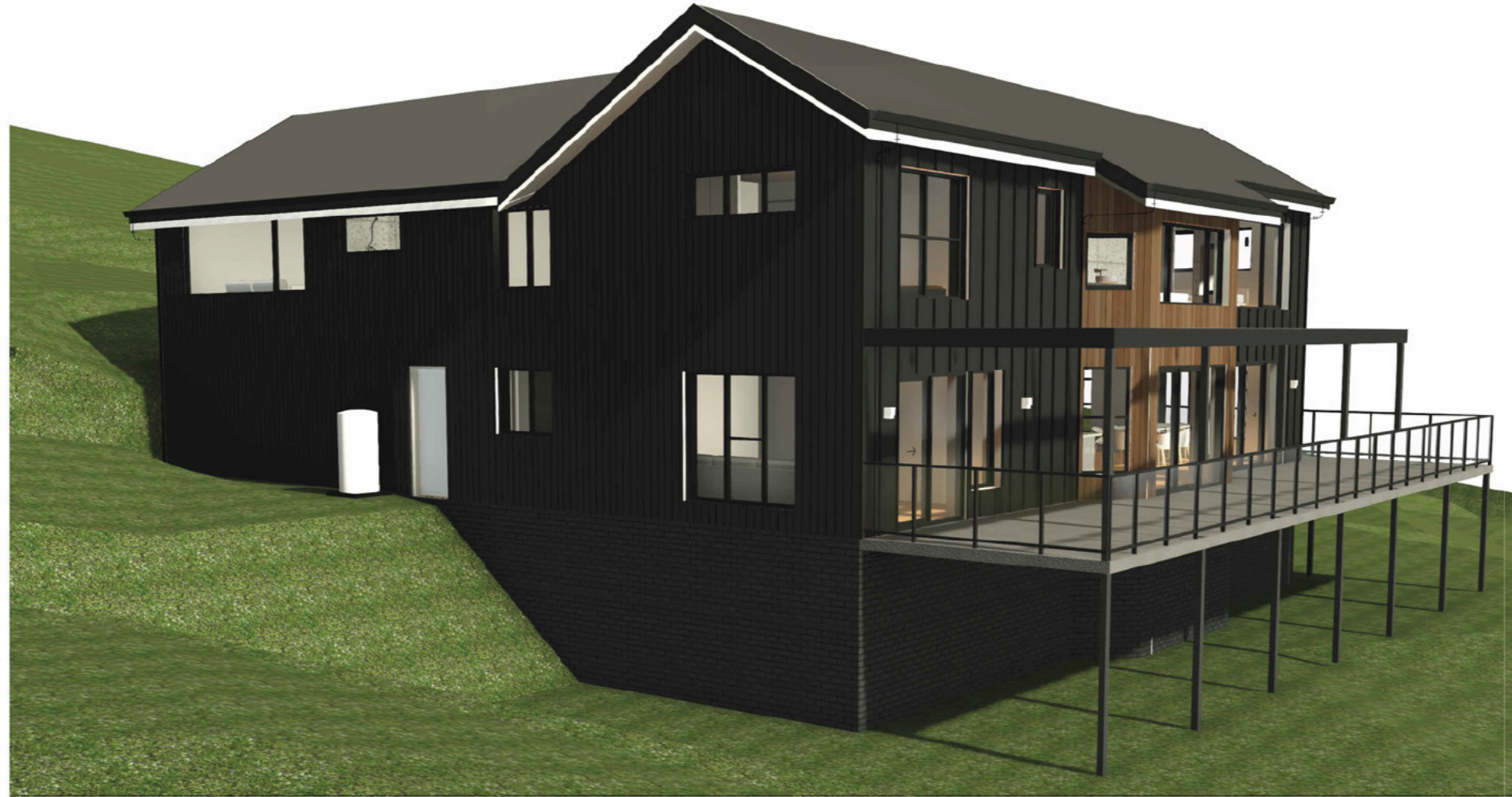
Materials & Finishes

-  CT01
Roofing:
Colorbond Ultra Finish 'MONUMENT' Trimdek
-  CT02
Vertical Wall Cladding:
Cemintel Territory 'Woodlands Teak'
-  CT03
Vertical Wall Cladding:
James Hardie Axon 133 Ultra Finish 'Monument'
-  CT04
Vertical Wall Cladding:
ENSEAM® 465 Ultra Finish 'Monument'
-  Window Frames:
Ultra Finish 'Monument'



1 EASTERN ELEVATION
1:100

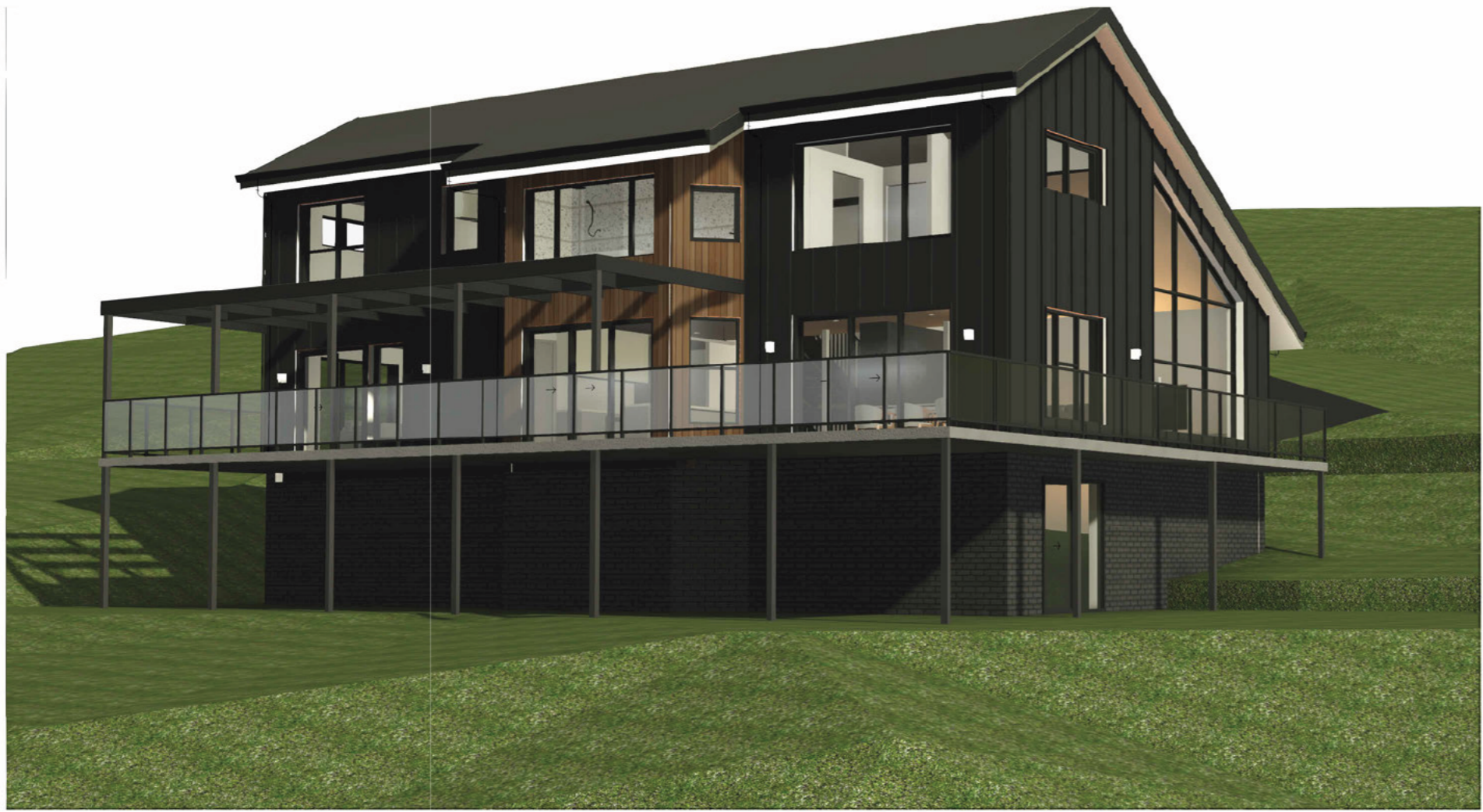
REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1:100	A303
DWG	EASTERN ELEVATION	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U



2 3D VIEW NE CORNER 2



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE	A801
DWG	3D VIEWS 1	DRAWN CHKD	Author Checker ACCREDITED DESIGNER CC 5618 U



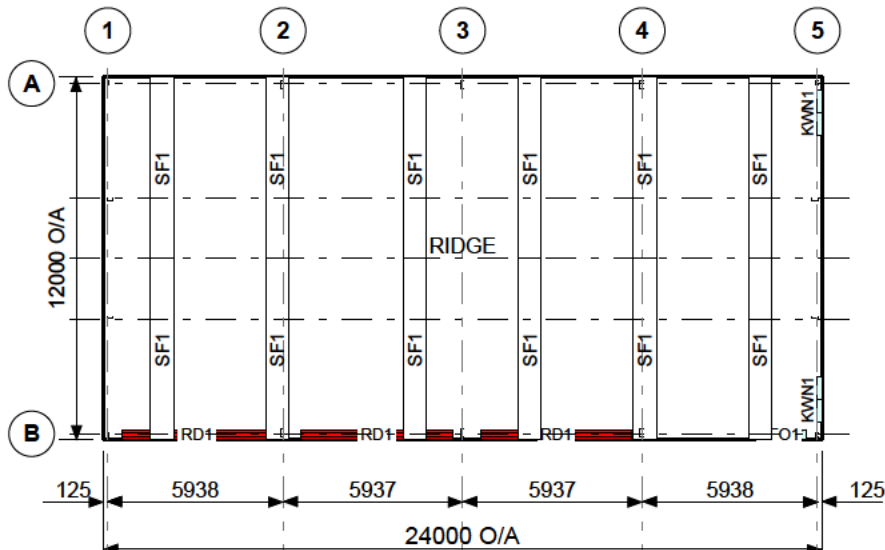
1 3D VIEW NW CORNER 2



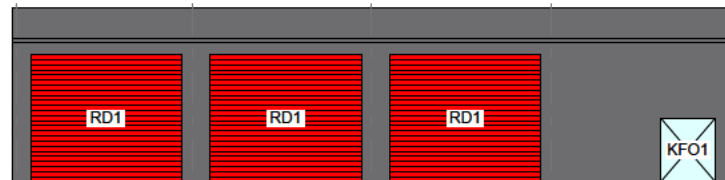
2 3D VIEW WESTERN SIDE 2



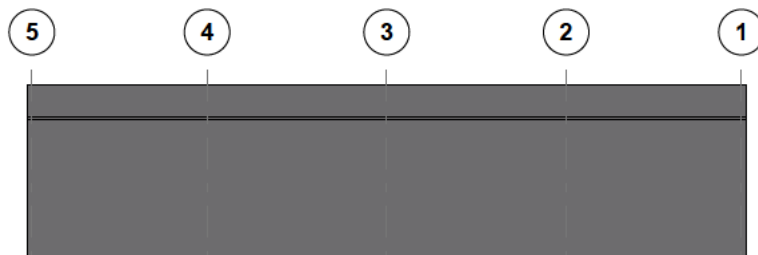
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PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A802
DWG		3D VIEWS 2	ACCREDITED DESIGNER
			CC 5618 U



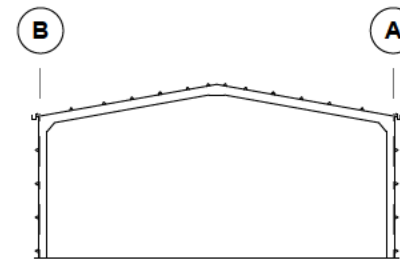
GROUND FLOOR PLAN



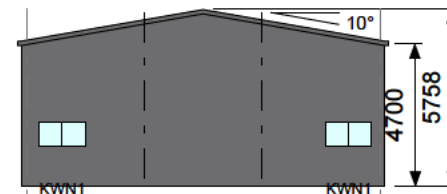
ELEVATION GRID B



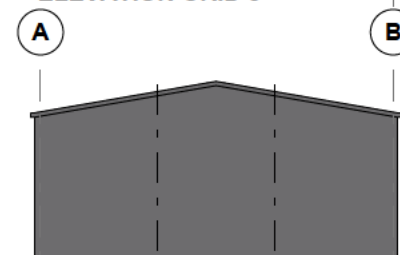
ELEVATION GRID A



SECTION GRID 2, 3, 4



ELEVATION GRID 5



ELEVATION GRID 1

CLADDING			
ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	BY
WALLS	TRIMDEK 0.42 BMT	CB	BY
CORNERS	-	CB	BY
BARGE	-	CB	BY
GUTTER	SQUARELINE	CB	BY

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND		
QTY	MARK	DESCRIPTION
3	RD1	S/Line R.D - W/Lock C2. B 4125 high x 5000 wide Clear Opening C/B
1	KFO1	2100H x 1800W Framed Opening. Door must be fitted
2	KWN1	AMI - Reg A & B, 790x1505 CLR, Window Kit (BG)
12	SF1	Sheeting, Translucent 2400gm F/glass, Trimdek Profile (SGFGS/ABCB)

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

CLIENT jeremy de Bomford			
SITE 46 Ellis Road ROMAINE TAS 7320			
BUILDING BIG G 12000 SPAN x 4700 EAVE x 24000 LONG			
TITLE FLOOR PLAN & ELEVATION			
SCALE A4 SHEET 1:250	DRAWING NUMBER BURN04-2062	REV A	PAGE 1/1



DESKTOP NATURAL VALUES ASSESSMENT

46 Ellis Rd, Romaine



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Postal : PO Box 1971, Launceston Tas

Phone : (03) 6332 6955

Email : info@exceedengineering.com.au

Web : exceedengineering.com.au



CLIENT: De Bomford and Eade
PROJECT: Natural Values Assessment for residential extension and shed
JOB NO:

Date	Purpose of Issue /Nature of Revision	Author	Revision No.	Authorised by
12/12/2025	Issue for DA	SD	01	SD

This report has been prepared by;
Samuel Dingemanse *BBus BSc MEIANZ*
Senior Environmental Consultant

This report is based on data, surveys, analyses, designs, plans, and other information provided by the client and referenced sources, as well as available data and assumptions detailed in the supporting documentation. Unless stated otherwise, Exceed has not independently verified the accuracy or completeness of this information. The designs meet current relevant standards as of the date of this report, but future updates to standards, changes in land use, maintenance practices, rainfall patterns, or extreme weather events beyond the design threshold may affect performance. Similarly, the passage of time, latent conditions, or future events may lead to differences from what is described in this report.

The design and assessment has considered normal and reasonably anticipated conditions, however, it may not cover extraordinary events like natural disasters, extreme weather, unforeseen environmental changes, or future climate impacts on weather patterns, unless stated otherwise.

No responsibility is accepted for using this report in a different context, for a different purpose, or by third parties. This report does not provide legal advice, and readers should consult professional legal advisers for such guidance. The report should be read alongside all notes, warnings, and cautions in the associated design drawings (if applicable).

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1. Introduction

This desktop natural values assessment has been prepared to support a proposed residential extension and new class 10a shed at 6 Ellis Rd, Romaine. The assessment aims to identify and evaluate the natural values present within and adjacent to the site that may be impacted by the proposed works, ensuring that relevant ecological features, threatened species, vegetation communities, and landscape values are appropriately considered.

The primary purpose of this assessment is to justify compliance with the Tasmanian Planning Scheme (TPS), focusing on C7.0 Natural Assets Code (Clauses C7.6.1 and C7.6.2) and C8.0 Scenic Protection Code (Clause C8.6.1).

This report provides a systematic overview of the site's natural values, potential environmental constraints, and the regulatory framework guiding the assessment. It is intended to inform the planning authority, ensuring that the proposed development meets statutory obligations while minimising environmental impacts and maintaining compliance with the Natural Assets Code of the TPS.

2. Background

2.1 Site information

The site is an irregular shaped lot of approx. 1.3 ha. It is extensively vegetated with eucalypt dominated forest in the south and acacia dominated forest in the north. The site slopes gently from 200 m AHD in the south down to 160 m AHD in the north, with an overall elevation drop of around 40 metres.

An un-named watercourse (ID 3824703) forms the northern boundary of the site. This watercourse discharges into Emu River, located ~500m east of the site.

There is an existing residence located in the south east corner of the site. Vegetation clearance has occurred around the house and driveway. A building envelope is defined on the title, which limits development to the south east of the lot.

The priority vegetation overlay is present over the majority of the site, as is the waterway and coastal protection overlay.



Figure 1 Priority vegetation overlay, with site boundary shown as blue outline and maximum extent of clearance shown as orange outline

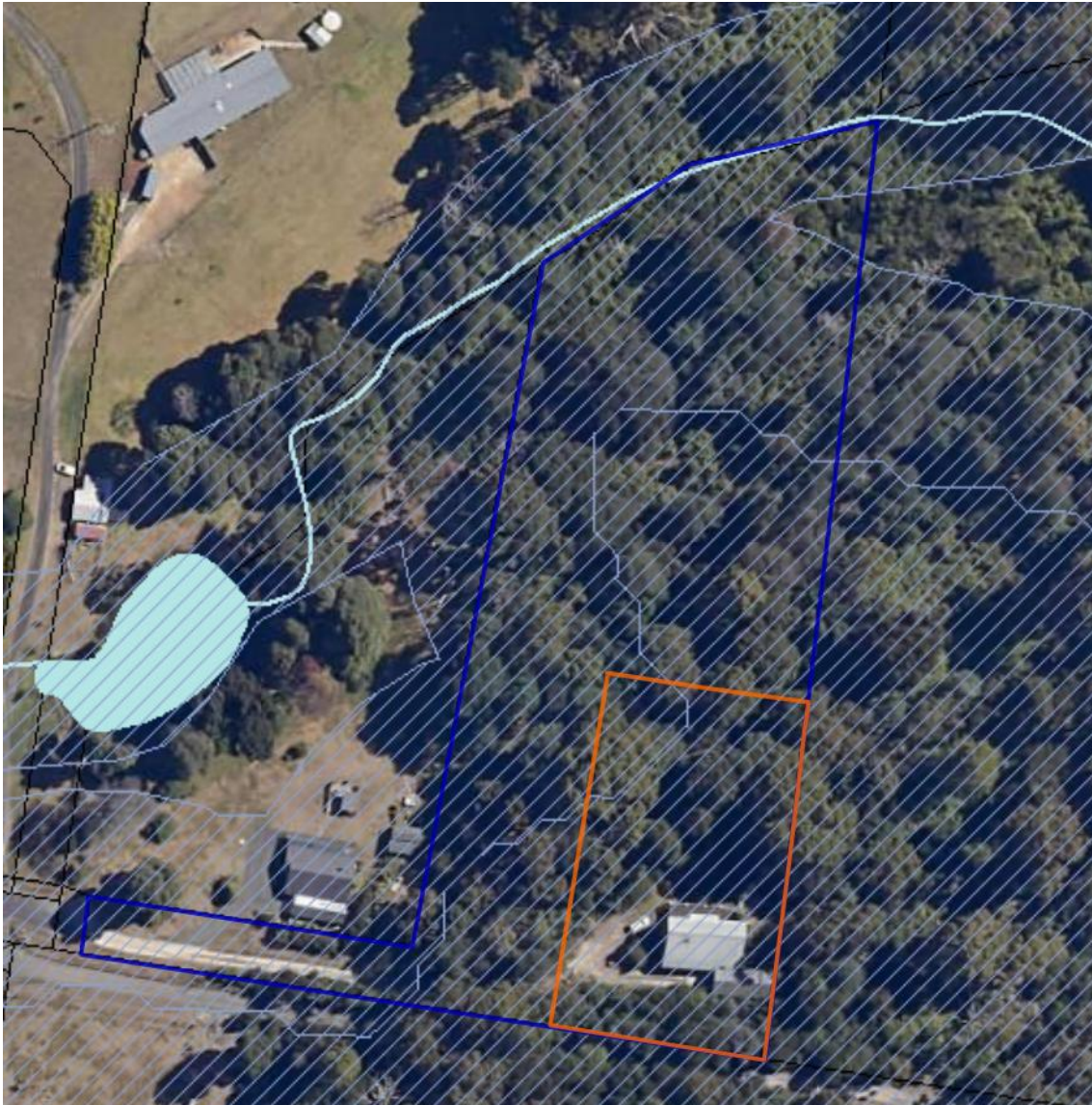


Figure 2 Waterway and coastal protection overlay, with site boundary shown as blue outline and maximum extent of clearance shown as orange outline

2.2 Proposal details

Internal alternations, a new deck and new garage are proposed for the existing residence. A new driveway and 24m x 12m shed is proposed for the central southern part of the site.

A bushfire hazard management plan (BHMP) has been developed for the proposal and requires a hazard management area to be created around the residence of 12m to the north and west, and to the boundary to the south and east. No hazard management area is required for the shed.

Total native vegetation clearance is estimated at <0.15 ha (approximately 1,500 m²), of which ~900 m² is for the permanent shed and driveway footprint and ~600 m² is low-impact slashing/thinning within the bushfire HMA.

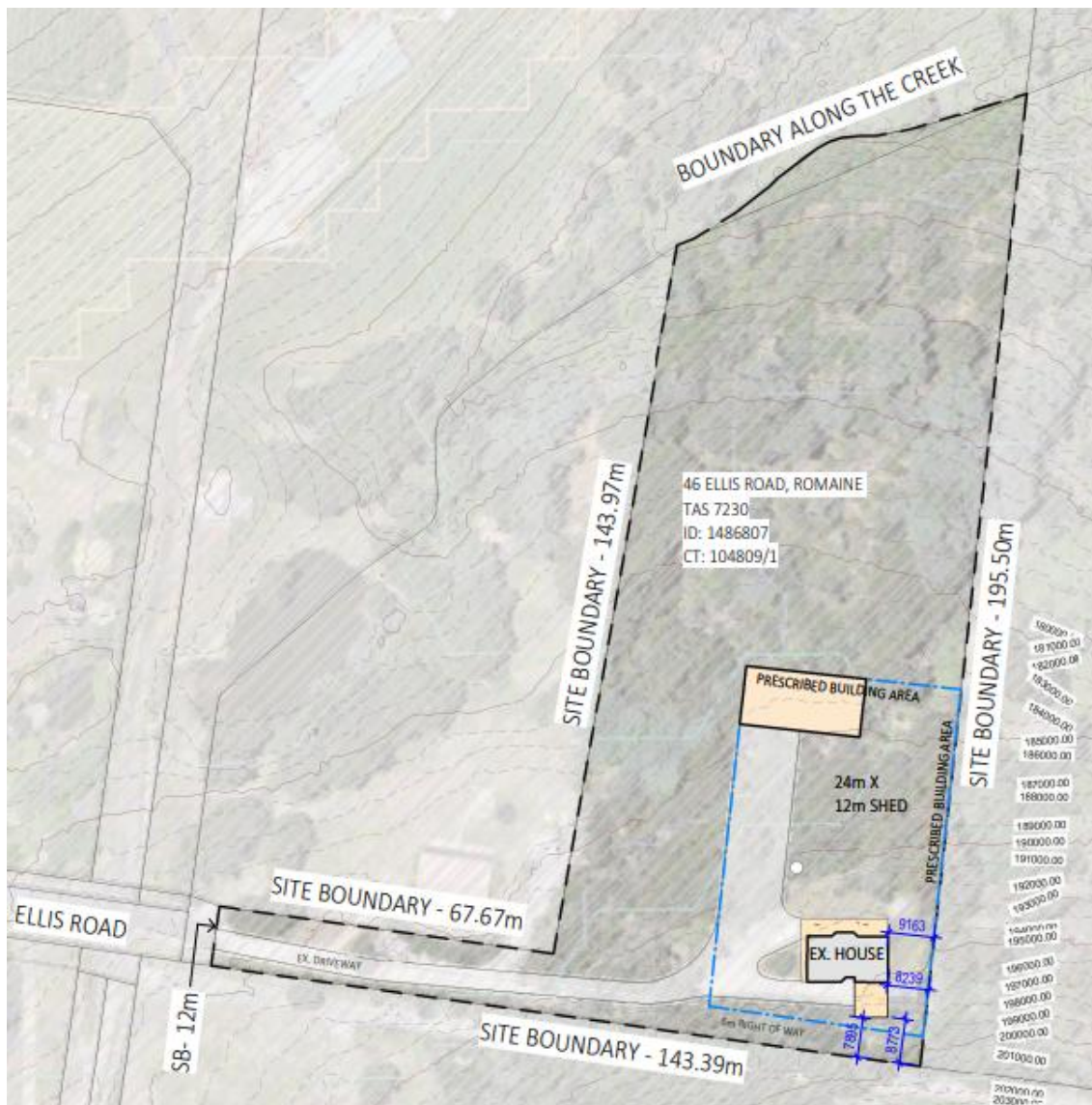


Figure 3: Proposed site plan showing title boundary, building envelope, existing house and proposed development. Source: S Group

3. Desktop natural values assessment

3.1 Methodology

This desktop assessment involves the collection and analysis of data from various sources to determine the natural values and environmental constraints present at the

site. It helps identify major ecological features, threatened species, and habitats that could be impacted by the proposed development.

The following sources of information and databases were consulted during this evaluation:

- Land Information System Tasmania (LISTmap)
- Natural Values Atlas – Department of Natural Resources and Environment Tasmania (NRE Tas)

3.2 Threatened species

3.2.1 Threatened fauna

There are no threatened fauna observations within the property boundary. There are two records within a 500m buffer of the site:

Table 1: Observed Threatened Fauna within 500 m buffer zone (NVA)

Species	Common Name
<i>Aquila audax</i>	Wedge-Tailed Eagle
<i>Lathamus discolor</i>	Swift Parrot

3.2.2 Threatened flora

There are no threatened flora observations within the property boundary or within a 500m buffer of the site.

3.3 Raptor nests

There is one raptor nest recorded within 500m of the site boundary, but >500m from the development footprint. It occurs east of the site in the Emu river gully at ~30m AHD elevation. Given the local topography there is line-of-site from the nest to the development footprint.

3.4 Vegetation type

The site is mapped as having *Eucalyptus obliqua* dry forest (TASVEG: DOB) present in the south and east, and *Acacia dealbata* forest (TASVEG: NAD) in the north, with a small area of modified land (TASVEG: FUR) in the south west (Figure 4).

The priority vegetation overlay broadly reflects the native forest vegetation cover.



Figure 4 TASVEG 5.0 vegetation mapping at the site

There are no threatened native vegetation communities present at the site or surrounding area.

3.5 Hydrology

The nearest surface water feature (from LISTmap hydrology layer) is an un-named watercourse (ID 3824703) which forms the northern boundary of the site. This watercourse discharges into Emu River, located ~500m east of the site.

The waterway and coastal protection overlay appears to be incorrectly identifying a wetland at the site. This is inconsistent with on-ground conditions and is also not supported by the TASVEG mapping. No wetland indicators (hydrophytic vegetation,

saturated/hydric soils, or standing water) are present, and the site drains freely toward the northern boundary watercourse. This overlay should only apply to the northern extent of the site, to ensure risks the un-named watercourse are minimised.

3.6 Discussion

The site does not contain any threatened flora or fauna records, nor a threatened native vegetation community. The required vegetation clearance represents less than 12% of the 1.3 ha lot, equating to a very small proportion of the broader, continuous forested landscape found in the Romaine/Emu Valley area. As such, the proposed vegetation removal is not expected to have a significant impact on the natural values of the site or the surrounding region.

The vegetation present is primarily *Eucalyptus obliqua* dry forest in the south and east, and *Acacia dealbata* forest in the north, with a minor area of modified land in the south-west. These vegetation types are widespread locally and regionally, and the areas proposed for clearance do not intersect with any mapped threatened vegetation communities. In addition, no threatened species of plants or animals have been recorded within the development footprint or immediate surrounds, further reducing the risk of negative impacts associated with the works.

Given the extensive forested landscape that remains untouched in the Romaine/Emu Valley area, the proposed development will not fragment habitat or disrupt ecological connectivity. The retained vegetation surrounding the site will continue to support local biodiversity, providing habitat and movement corridors for native fauna. The small scale of the proposed clearance, relative to the overall landscape, ensures that the project is unlikely to result in any decline in regional biodiversity or ecosystem functionality.

4. Code response

4.1 Clause C7.6.1 – Buildings and works within a waterway and coastal protection area

Objective:

That buildings and works within a waterway and coastal protection area or future coastal refugia area will not have an unnecessary or unacceptable impact on natural assets.

Clause	Response
<p>P1.1 Buildings and works within a waterway and coastal protection area must avoid or minimise adverse impacts on natural assets, having regard to:</p> <p>(a) impacts caused by erosion, siltation, sedimentation and runoff;</p> <p>(b) impacts on riparian or littoral vegetation;</p> <p>(c) maintaining natural streambank and streambed condition, where it exists;</p> <p>(d) impacts on in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation;</p> <p>(e) the need to avoid significantly impeding natural flow and</p>	<p>The proposed works require vegetation clearance within the new shed and driveway area and around the existing house to establish the hazard management area. An erosion and sediment control plan (ESCP) should be prepared for the works in accordance with the guideline document prepared by The Tamar Estuary and Esk Rivers Program and the Derwent Estuary Program (2023). The proposed development footprint is ~80m south of the nearest watercourse, as the wetland is incorrectly mapped at the site.</p> <p>Ensure the ESCP is implemented during construction works to mitigate the risk of erosion, and mobilisation of sediment.</p> <p>The works are 80m away from the nearest watercourse and no riparian or littoral vegetation will be impacted.</p> <p>No works will occur in the waterway.</p> <p>No works will occur in the waterway.</p> <p>No works will occur in the waterway.</p>

<p>drainage;</p> <p>(f) the need to maintain fish passage, where known to exist;</p> <p>(g) the need to avoid land filling of wetlands;</p> <p>(h) the need to group new facilities with existing facilities, where reasonably practical;</p> <p>(i) minimising cut and fill;</p> <p>(j) building design that responds to the particular size, shape, contours or slope of the land;</p> <p>(k) minimising impacts on coastal processes, including sand movement and wave action;</p> <p>(l) minimising the need for future works for the protection of natural assets, infrastructure and property;</p> <p>(m) the environmental best practice guidelines in the Wetlands and Waterways Works Manual; and</p> <p>(n) the guidelines in the Tasmanian Coastal Works Manual.</p>	<p>No works will occur in the waterway.</p> <p>Not applicable</p> <p>The works are confined to the prescribed building area defined on the property title.</p> <p>No substantial cut or fill is required</p> <p>The proposed buildings will be sited on grade to minimise cut and fill and located within the prescribed building area to minimise impacts to natural values.</p> <p>Not applicable</p> <p>The design incorporates the outcomes of the BHMP to minimise bushfire risk to the residence.</p> <p>These guidelines are relevant only to works within waterways, wetlands or associated riparian areas, and thus not relevant to this proposal.</p> <p>Not applicable.</p>
<p>A3 Development within a waterway and coastal protection area or a future coastal refugia area must not involve a new stormwater point discharge into a</p>	<p>The development is not within a waterway and coastal protection area overlay, as this overlay is present on the northern portion of the site. Stormwater from the new shed will be discharged at ground level via an erosion protected outlet like a</p>

watercourse, wetland or lake.	rock apron, which mitigates the risk of erosion and associated soil migration. The stormwater will travel via gravity in a northern direct and will infiltrate in the vegetation and soil profile thus not causing a nuisance to neighbouring properties.
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4.2 Clause C7.6.2 – Clearance within a priority vegetation

Objective

That clearance of native vegetation within a priority vegetation area:

- (a) does not result in unreasonable loss of priority vegetation;
- (b) is appropriately managed to adequately protect identified priority vegetation; and
- (c) minimises and appropriately manages impacts from construction and development activities.

Clause	Response
<p>P1.1 Clearance of native vegetation within a priority vegetation area must be for:</p> <ul style="list-style-type: none"> (a) an existing use on the site, provided any clearance is contained within the minimum area necessary to be cleared to provide adequate bushfire protection, as recommended by the Tasmania Fire Service or an accredited person; (b) buildings and works associated with the construction of a single dwelling or an associated outbuilding; (c) subdivision in the General Residential Zone or Low Density Residential Zone; (d) use or development that will result in significant long term social and economic benefits and there is no feasible alternative location or design; (e) clearance of native vegetation where it is demonstrated that on-going pre-existing management cannot ensure the survival of the priority vegetation and there is little potential for long-term 	<p>The proposed works are for an existing residential use at the site, and vegetation clearance will be limited to that required for the construction of the residence additions and class 10a shed, as well as the driveway extension, and the bushfire hazard management area around the existing residence</p> <p>The proposed works related to a single dwelling and outbuilding only.</p> <p>The small area of clearance of vegetation mapped as priority vegetation is of limited scale relative to the broader extent of the mapped priority vegetation (>300 ha)</p> <p>As such, parts a, b and f can be satisfied.</p>

<p>persistence; or</p> <p>(f) the clearance of native vegetation that is of limited scale relative to the extent of priority vegetation on the site.</p> <p>P1.2 Clearance of native vegetation within a priority vegetation area must minimise adverse impacts on priority vegetation, having regard to:</p> <p>(a) the design and location of buildings and works and any constraints such as topography or land hazards;</p> <p>(b) any particular requirements for the buildings and works;</p> <p>(c) minimising impacts resulting from bushfire hazard management measures through siting and fire-resistant design of habitable buildings;</p> <p>(d) any mitigation measures implemented to minimise the residual impacts on priority vegetation;</p> <p>(e) any on-site biodiversity offsets; and</p> <p>(f) any existing cleared areas on the site.</p>	<p>The proposed works are contained within the prescribed building area defined on the title. This restricts building works and associated vegetation clearance to the south east corner of the site and ensures that the majority of the site will be retained as native forest.</p> <p>The area mapped as priority vegetation does not contain a threatened native vegetation community, nor does it contain any threatened flora or fauna observations recorded on the NVA.</p> <p>The area of proposed clearance represents only a very small component of the broader extent of the mapped priority vegetation.</p>
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4.3 Clause C8.6.1 – Development within a scenic protection area

Objective:

- (a) destruction of vegetation does not cause an unreasonable reduction of the scenic value of a scenic protection area; and
- (b) buildings and works do not cause an unreasonable reduction of the scenic value of a scenic protection area.

Clause	Response
<p>P1.1 Destruction of vegetation within a scenic protection area must not cause an unreasonable impact on the scenic value of a scenic protection area, having regard to:</p> <p>(a) the nature of the vegetation to be removed;</p>	<p>The proposal requires limited native vegetation removal for:</p> <ul style="list-style-type: none"> • a new driveway and turning area to the proposed shed, • formation of a 12 m wide bushfire hazard management area (HMA) to the north and west of the existing and extended dwelling, and

<p>(b) the area of vegetation to be removed;</p> <p>(c) the topography of the site;</p> <p>(d) any visual impact on a skyline;</p> <p>(e) the nature of the reduction of the scenic value; and</p> <p>(f) the purpose of any management objectives identified in the relevant Local Provisions Schedule.</p> <p>P1.2</p> <p>Buildings or works within a scenic protection area must not cause an unreasonable reduction of the scenic value of a scenic protection area, having regard to:</p> <p>(a) the topography of the site;</p> <p>(b) the location of, and materials used in construction of, driveways or access tracks;</p> <p>(c) proposed reflectance and colour of external finishes;</p> <p>(d) design and proposed location of the buildings or works;</p> <p>(e) the extent of any cut or fill required;</p> <p>(f) any visual impact on a skyline;</p> <p>(g) any existing or proposed screening; and</p> <p>(h) the purpose of any management objectives identified in the relevant Local Provisions Schedule.</p>	<ul style="list-style-type: none"> • minor clearing for the shed footprint and immediate curtilage. <p>The assessment against each sub-criterion is as follows:</p> <p>(a) Nature of the vegetation to be removed The vegetation to be cleared generally comprises dry <i>Eucalyptus obliqua</i> forest (TASVEG)</p> <p>While the broader forest contains mature trees (dominant canopy height 25–35 m, occasional emergents to ~40 m), the vegetation to be cleared, being in proximity to the existing residence, does not contain any mature trees as these have already been removed for safety.</p> <p>it is not listed as a threatened community and is widespread and well-reserved in the region. The vegetation to be removed is therefore of moderate local scenic value but is not rare or exceptional.</p> <p>(b) Area of vegetation to be removed Total native vegetation clearance is estimated at <0.15 ha (approximately 1,500 m²), of which ~900 m² is for the permanent shed and driveway footprint and ~600 m² is low-impact slashing/thinning within the bushfire HMA. This represents <12% of the 1.3 ha lot and a very small proportion of the continuous forested landscape in the Romaine/Emu Valley area.</p> <p>(c) Topography of the site The proposed clearing occurs on a broad, gently sloping bench at approximately 170–180 m AHD. Although the works are on the broad ridgeline that extends south–north through the site, the actual clearing is more than 50 m vertically below, and >350m horizontally from, the local high point (~250 m AHD) immediately south of the title boundary. The clearing is therefore mid-slope rather than skyline-dominant.</p>
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	<p>(d) Any visual impact on a skyline When viewed from nearby public roads and nearby residential areas, the skyline remains well above and behind the proposed development envelope. The mature forest canopy on the southern high point and along the ridge crest will continue to form the visible skyline. The shed and house extension will be largely screened by retained mature trees in the foreground and mid-ground, and no part of the new buildings or cleared areas will break the skyline.</p> <p>(e) Nature of the reduction of the scenic value The minor reduction in canopy cover is localised and will not be discernible from key public viewpoints. The scenic values of the broader Romaine hillside will be maintained.</p> <p>(f) Purpose of any management objectives in the Local Provisions Schedule The objectives are to maintain native vegetation as the dominant landscape element, maintain skylines free of visible development and reduce contrast between buildings and works and bushland.</p> <p>The proposed works will not be visible from nearby public roads as works and associated vegetation clearance will be largely screened by retained mature trees on the site.</p> <p>On balance, the extent and location of vegetation removal will not cause an unreasonable impact on the scenic value of the Scenic Protection Area.</p> <p>P1.2 – Buildings or works within a scenic protection area</p> <p>(a)–(b) Topography, location of driveways and access tracks The proposed shed is located on the relatively gentle mid-slope area. The new driveway follows an existing informal track where possible and is set back >30 m from the western title boundary to maximise</p>
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	<p>screening.</p> <p>(c) Reflectance and colour of external finishes The shed is to be clad in colorbond Basalt, a low-reflectance muted tone.</p> <p>(d)–(e) Design, location, and extent of cut and fill The shed is single-storey and is sited to follow the natural contour with minimal cut (<1 m) and fill. The house extension and deck are modest in scale and attached to the existing dwelling.</p> <p>(f) Visual impact on a skyline As noted above, neither the shed nor the extended dwelling will appear on or break the skyline from any public viewpoint.</p> <p>(g) Existing and proposed screening Extensive mature forest is retained to the south, west and immediately north of the development envelope, providing year-round visual screening from all public roads and neighbouring properties.</p> <p>(h) Management objectives The proposal is consistent with the intent of maintaining a forested hillside appearance when viewed from the broader Burnie area and the Bass Highway corridor.</p>
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5. Conclusion and recommendations

Overall, this assessment concludes that the proposed works, including the limited vegetation removal, will not adversely affect the ecological values of the site or the broader Romaine/Emu Valley region.

Key findings:

- No threatened flora, fauna or vegetation communities are present on or immediately adjacent to the site.
- The development footprint and required vegetation clearance (<0.15 ha) avoid the mapped waterway protection overlay relevant to the un-named waterway.
- The apparent wetland and associated waterway overlay is an artefact of broad-scale mapping and does not reflect actual site conditions (dry, freely draining eucalypt forest with no hydrophytic vegetation or hydric soils).
- All works are substantially screened by retained mature forest, and will not be visible from nearby public roads or other public view points.

Ongoing management and mitigation measures, as recommended in the report, will further minimise any residual risk to natural values. These include:

- Minimise clearance to the minimum required for the proposed works and bushfire hazard management area
- Ensure ESCP is developed and implemented during construction
- The shed roof and cladding should be a low-reflectance colour such as colorbond basalt.

6. Appendices

Appendix A NVA Report

Natural Values Atlas Report

Authoritative, comprehensive information on Tasmania's natural values.

Reference: EE1472

Requested For: Romaine residence

Report Type: Summary Report

Timestamp: 10:29:06 AM Tuesday 09 December 2025

Threatened Flora: buffers Min: 0m Max: 500m

Threatened Fauna: buffers Min: 0m Max: 500m

Raptors: buffers Min: 0m Max: 500m

Tasmanian Weed Management Act Weeds: buffers Min: 0m Max: 500m

Priority Weeds: buffers Min: 0m Max: 500m

TASVEG: buffer 500m

Threatened Communities: buffer 500m

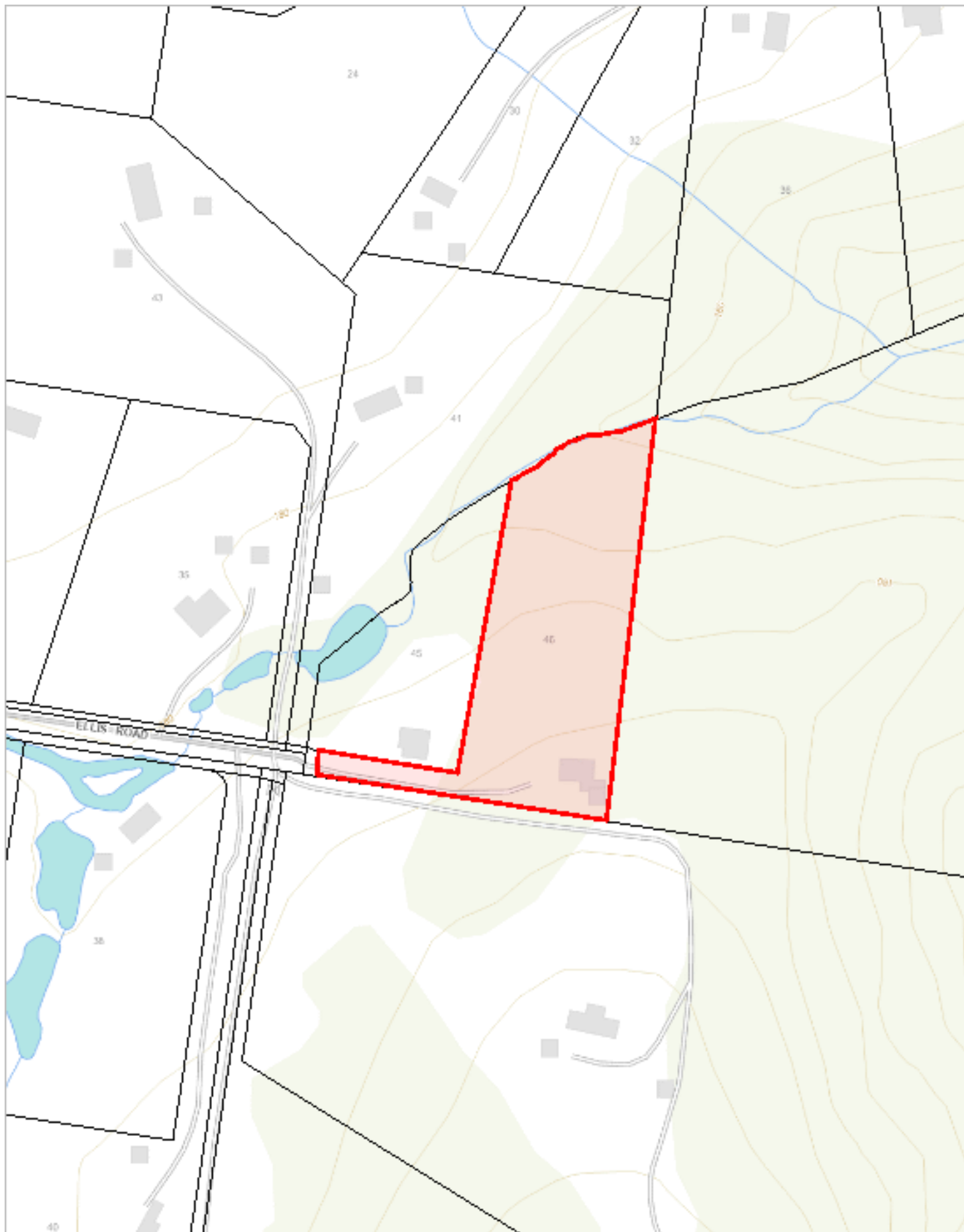


The centroid for this query GDA94: 407809.0, 5449077.0 falls within:

Property: 1486807

*** No threatened flora found within 0 metres ***

*** No threatened flora found within 500 metres ***



407541, 5448786

Please note that some layers may not display at all requested map scales

Threatened fauna within 0 metres

Legend: Verified and Unverified observations

● Point Verified

● Point Unverified

▬ Line Verified

▬ Line Unverified

□ Polygon Verified

□ Polygon Unverified

Legend: Cadastral Parcels



Threatened fauna within 0 metres

Threatened fauna within 0 metres (based on Range Boundaries)

Species	Common Name	SS	NS	BO	Potential	Known	Core
<i>Astacopsis gouldi</i>	luteralipina or giant freshwater crayfish	v	VU	e	1	0	0
<i>Lathamus discolor</i>	swift parrot	e	CR	mbe	1	0	0
<i>Prototroctes maraena</i>	australian grayling	v	VU	ae	1	0	0
<i>Pseudemoia pagenstecheri</i>	tussock skink	v		n	1	0	0
<i>Ceyx azureus</i> subsp. <i>diemenensis</i>	Tasmanian azure kingfisher	e	EN	e	0	0	1
<i>Haliaeetus leucogaster</i>	white-bellied sea-eagle	v		n	2	0	0
<i>Oreisplanus munionga</i> subsp. <i>larana</i>	marrawah skipper	e	VU	e	1	0	0
<i>Tyto novaehollandiae</i> subsp. <i>castanops</i>	Tasmanian masked owl	e	VU	e	1	0	1
<i>Galaxiella pusilla</i>	eastern dwarf galaxias	v	VU	n	1	0	0
<i>Dasyurus maculatus</i> subsp. <i>maculatus</i>	spotted-tailed quoll	r	VU	n	1	0	0
<i>Accipiter novaehollandiae</i>	grey goshawk	e		n	1	0	1
<i>Litoria raniformis</i>	green and gold frog	v	VU	ae	1	0	0
<i>Sarcophilus harrisi</i>	tasmanian devil	e	EN	e	1	0	0
<i>Perameles gunnii</i>	eastern barred bandicoot		VU	n	1	0	0
<i>Aquila audax</i> subsp. <i>fleayi</i>	tasmanian wedge-tailed eagle	e	EN	e	1	0	0

For more information about threatened species, please contact Threatened Species Enquiries.

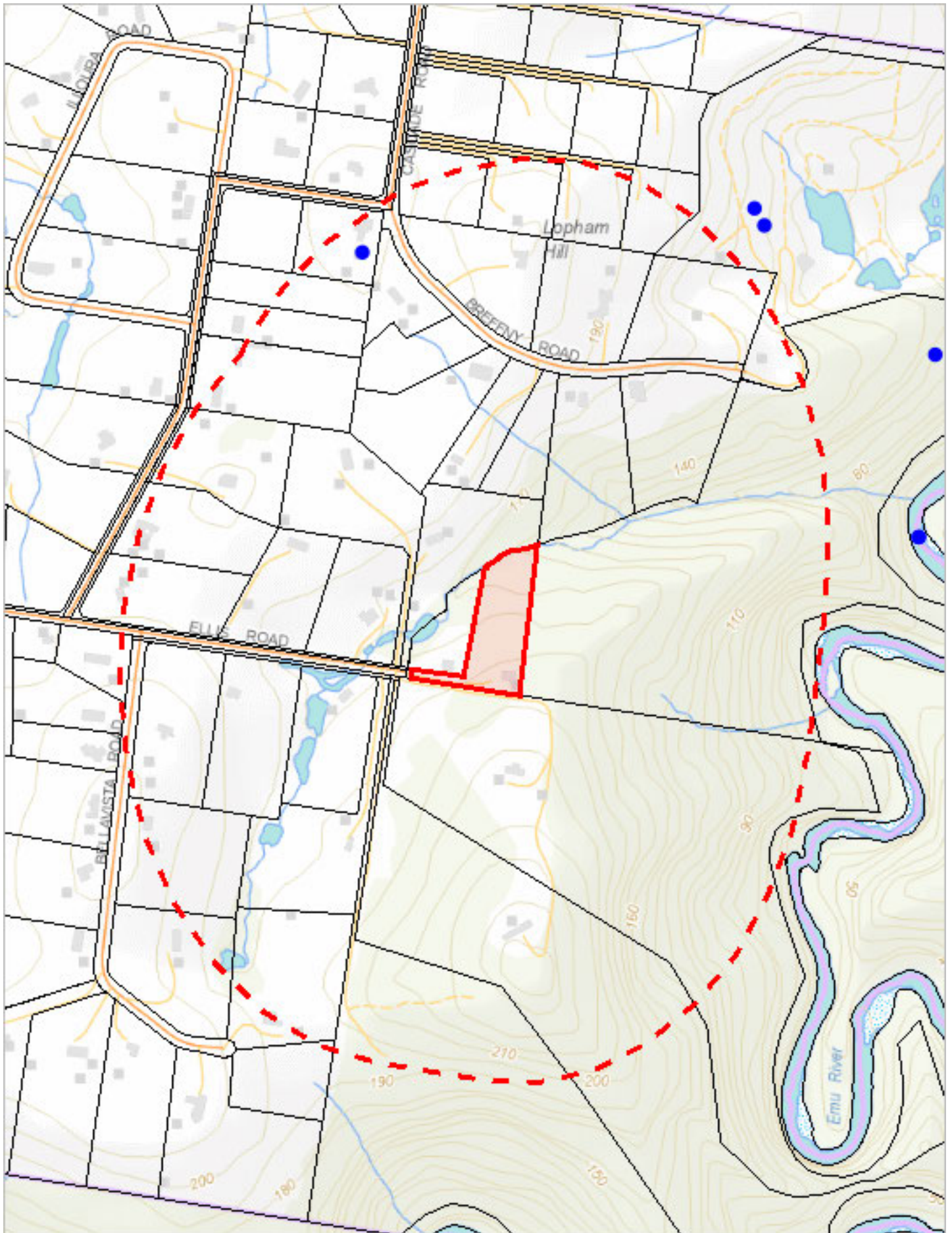
Telephone: 1300 368 550

Email: ThreatenedSpecies.Enquiries@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

Threatened fauna within 500 metres

408400, 5449890



407157, 5448283

Please note that some layers may not display at all requested map scales

Threatened fauna within 500 metres

Legend: Verified and Unverified observations

● Point Verified

● Point Unverified

▬ Line Verified

▬ Line Unverified

▭ Polygon Verified

▭ Polygon Unverified

Legend: Cadastral Parcels



Threatened fauna within 500 metres

Verified Records

Species	Common Name	SS	NS	Bio	Observation Count	Last Recorded
<i>Aquila audax</i> subsp. <i>fleayi</i>	tasmanian wedge-tailed eagle	e	EN	e	2	09-Dec-2024
<i>Lathamus discolor</i>	swift parrot	e	CR	mbe	1	01-Dec-2018

Unverified Records

No unverified records were found!

Threatened fauna within 500 metres

(based on Range Boundaries)

Species	Common Name	SS	NS	BO	Potential	Known	Core
<i>Astacopsis gouldi</i>	lutaralipina or giant freshwater crayfish	v	VU	e	1	0	0
<i>Lathamus discolor</i>	swift parrot	e	CR	mbe	1	0	0
<i>Prototroctes maraena</i>	australian grayling	v	VU	ae	1	0	0
<i>Pseudemoia pagenstecheri</i>	tussock skink	v		n	1	0	0
<i>Ceyx azureus</i> subsp. <i>diemenensis</i>	Tasmanian azure kingfisher	e	EN	e	0	0	1
<i>Haliaeetus leucogaster</i>	white-bellied sea-eagle	v		n	2	0	0
<i>Oreisplanus munionga</i> subsp. <i>larana</i>	marrawah skipper	e	VU	e	1	0	0
<i>Limnodynastes peroni</i>	striped marsh frog	e		n	1	0	0
<i>Tyto novaehollandiae</i> subsp. <i>castanops</i>	Tasmanian masked owl	e	VU	e	1	0	1
<i>Galaxiella pusilla</i>	eastern dwarf galaxias	v	VU	n	1	0	0
<i>Dasyurus maculatus</i> subsp. <i>maculatus</i>	spotted-tailed quoll	r	VU	n	1	0	0
<i>Accipiter novaehollandiae</i>	grey goshawk	e		n	1	0	1
<i>Litoria raniformis</i>	green and gold frog	v	VU	ae	1	0	0
<i>Sarcophilus harrisi</i>	tasmanian devil	e	EN	e	1	0	0
<i>Perameles gunnii</i>	eastern barred bandicoot		VU	n	1	0	0
<i>Aquila audax</i> subsp. <i>fleayi</i>	tasmanian wedge-tailed eagle	e	EN	e	1	0	0
<i>Dasyurus viverrinus</i>	eastern quoll		EN	n	0	0	1

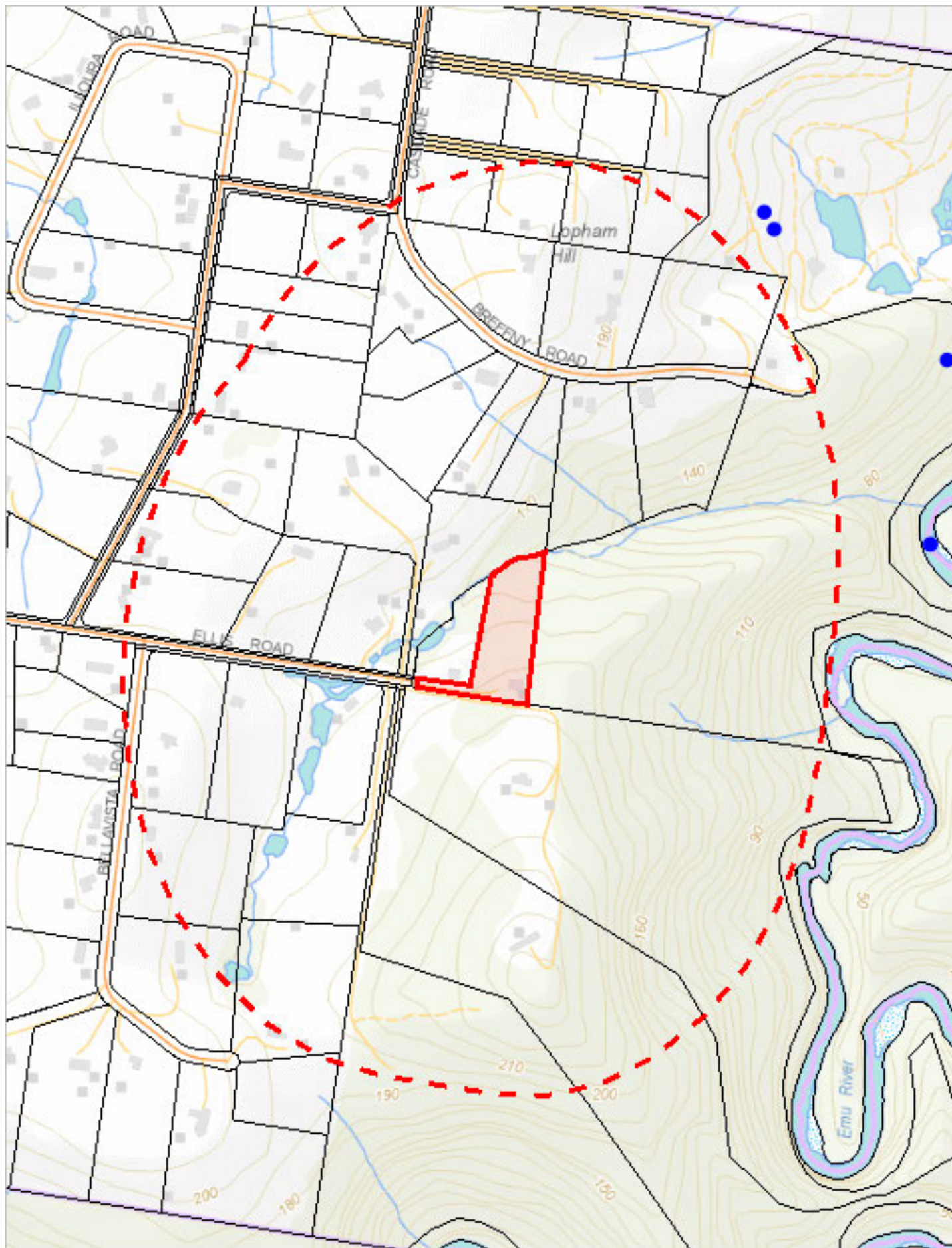
For more information about threatened species, please contact Threatened Species Enquiries.

Telephone: 1300 368 550

Email: ThreatenedSpecies.Enquiries@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

*** No Raptor nests or sightings found within 0 metres. ***



407157, 5448283

Please note that some layers may not display at all requested map scales

Raptor nests and sightings within 500 metres

Legend: Verified and Unverified observations

● Point Verified

● Point Unverified

▬ Line Verified

▬ Line Unverified

□ Polygon Verified

□ Polygon Unverified

Legend: Cadastral Parcels



Raptor nests and sightings within 500 metres

Verified Records

Nest Id/Location Foreign Id	Species	Common Name	Obs Type	Observation Count	Last Recorded
3343	Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	Nest	2	09-Dec-2024

Unverified Records

No unverified records were found!

Raptor nests and sightings within 500 metres (based on Range Boundaries)

Species	Common Name	SS	NS	Potential	Known	Core
Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	e	EN	1	0	0
Accipiter novaehollandiae	grey goshawk	e		1	0	1
Haliaeetus leucogaster	white-bellied sea-eagle	v		2	0	0

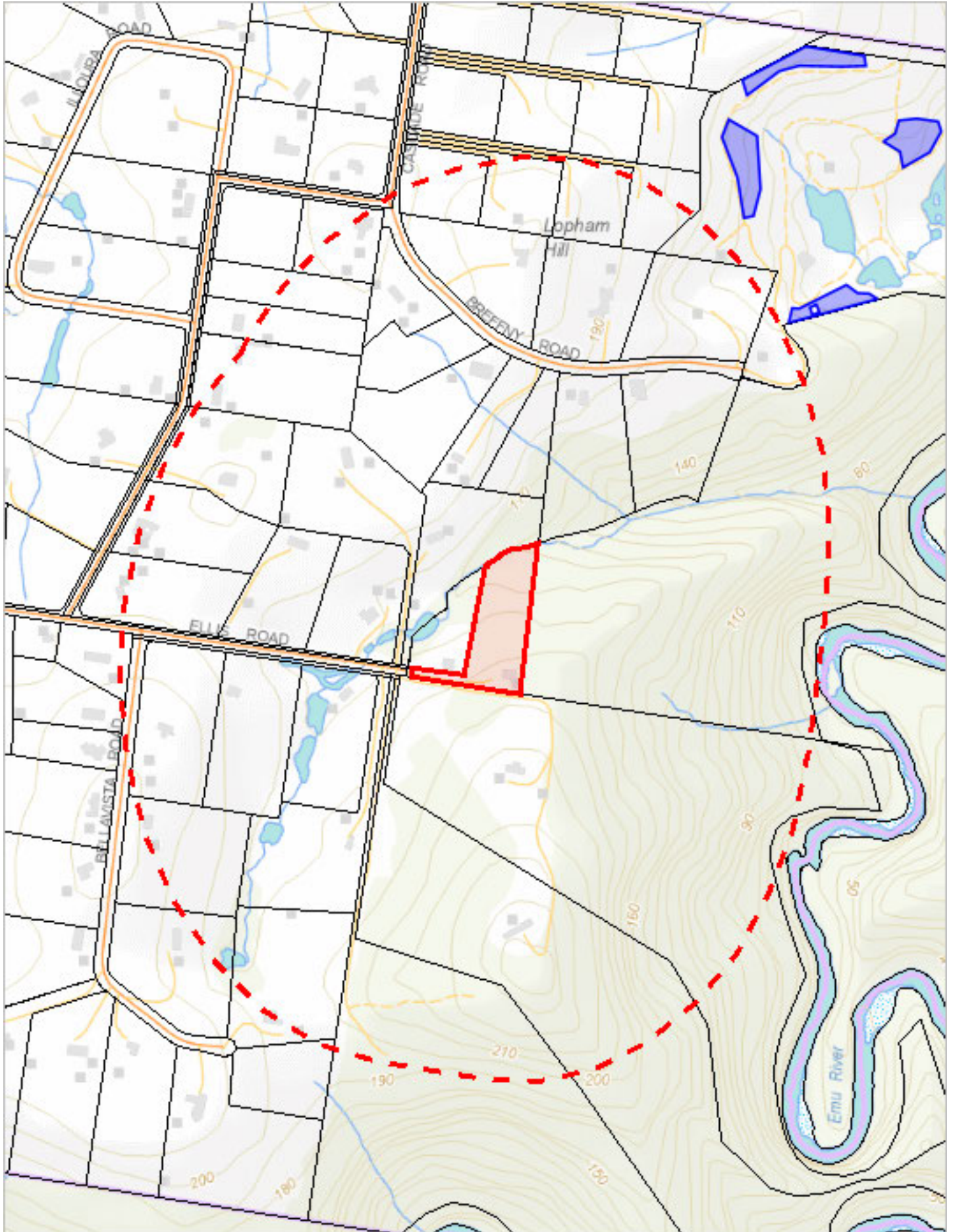
For more information about raptor nests, please contact Threatened Species Enquiries.

Telephone: 1300 368 550

Email: ThreatenedSpecies.Enquiries@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

*** No Tas Management Act Weeds found within 0 metres ***



407157, 5448283

Please note that some layers may not display at all requested map scales

Tas Management Act Weeds within 500 m

Legend: Verified and Unverified observations

● Point Verified

● Point Unverified

▬ Line Verified

▬ Line Unverified

▭ Polygon Verified

▭ Polygon Unverified

Legend: Cadastral Parcels



Tas Management Act Weeds within 500 m

Verified Records

Species	Common Name	Observation Count	Last Recorded
Rubus fruticosus	blackberry	2	05-Jun-2013

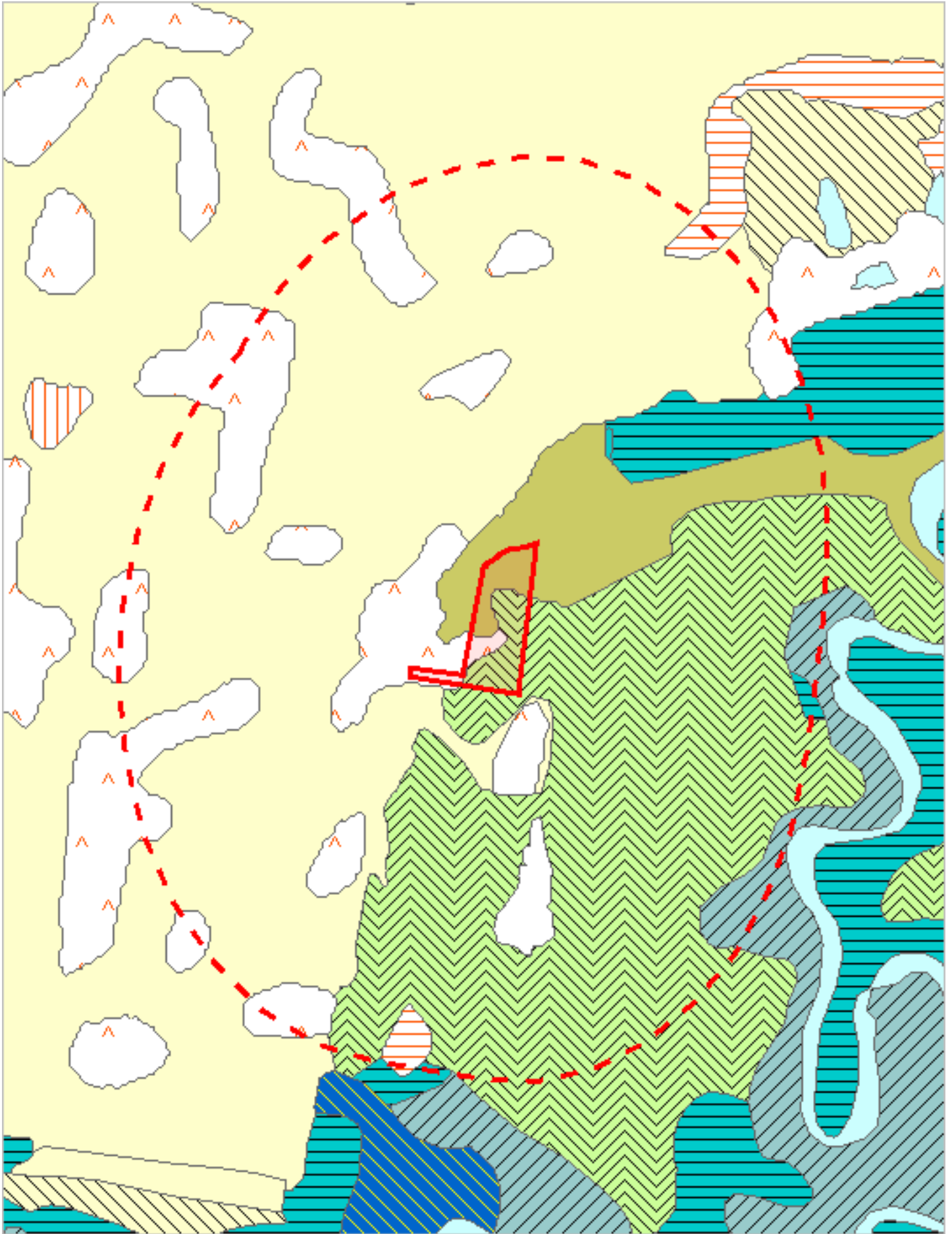
Unverified Records

For more information about introduced weed species, please visit the following URL for contact details in your area:

<https://www.nre.tas.gov.au/invasive-species/weeds>

*** No Priority Weeds found within 0 metres ***

*** No Priority Weeds found within 500 metres ***





























































407157, 5448283






























































Please note that some layers may not display at all requested map scales

TASVEG 5.0 Communities within 500 metres






































Legend: TASVEG 5.0

-  (DAC) Eucalyptus amygdalina coastal forest and woodland
-  (DAD) Eucalyptus amygdalina forest and woodland on dolerite
-  (DAM) Eucalyptus amygdalina forest on mudstone
-  (DAS) Eucalyptus amygdalina forest and woodland on sandstone
-  (DAZ) Eucalyptus amygdalina inland forest and woodland on Cainozoic deposits
-  (DBA) Eucalyptus barberi forest and woodland
-  (DCO) Eucalyptus coccifera forest and woodland
-  (DCR) Eucalyptus cordata forest
-  (DDE) Eucalyptus delegatensis dry forest and woodland
-  (DDP) Eucalyptus dalrympleana - Eucalyptus pauciflora forest and woodland
-  (DFP) Furneaux peppermint forest
-  (DGL) Eucalyptus globulus dry forest and woodland
-  (DGW) Eucalyptus gunnii woodland
-  (DKW) King Island Eucalypt woodland
-  (DMO) Eucalyptus morrisbyi forest and woodland
-  (DMW) Midlands woodland complex
-  (DNI) Eucalyptus nitida dry forest and woodland
-  (DOB) Eucalyptus obliqua dry forest
-  (DOV) Eucalyptus ovata forest and woodland
-  (DOW) Eucalyptus ovata heathy woodland
-  (DPD) Eucalyptus pauciflora forest and woodland on dolerite
-  (DPE) Eucalyptus perriniana forest and woodland
-  (DPO) Eucalyptus pauciflora forest and woodland not on dolerite
-  (DPU) Eucalyptus pulchella forest and woodland
-  (DRI) Eucalyptus risdonii forest and woodland
-  (DRO) Eucalyptus rodwayi forest and woodland
-  (DSC) Eucalyptus amygdalina - Eucalyptus obliqua damp sclerophyll forest
-  (DSG) Eucalyptus sieberi forest and woodland on granite
-  (DSO) Eucalyptus sieberi forest and woodland not on granite
-  (DTD) Eucalyptus tenuiramis forest and woodland on dolerite
-  (DTG) Eucalyptus tenuiramis forest and woodland on granite
-  (DTO) Eucalyptus tenuiramis forest and woodland on sediments
-  (DVC) Eucalyptus viminalis - Eucalyptus globulus coastal forest and woodland
-  (DVF) Eucalyptus viminalis Furneaux forest and woodland
-  (DVG) Eucalyptus viminalis grassy forest and woodland
-  (HCH) Alpine coniferous heathland
-  (HCM) Cushion moorland
-  (HHE) Eastern alpine heathland
-  (HHW) Western alpine heathland
-  (HSE) Eastern alpine sedgeland
-  (HSW) Western alpine sedgeland/herbland
-  (HUE) Eastern alpine vegetation (undifferentiated)
-  (FAC) Improved pasture with native tree canopy
-  (FAL) Agricultural land
-  (FMG) Marram grassland
-  (FPE) Permanent easements
-  (FPF) Pteridium esculentum fernland
-  (FPH) Plantations for silviculture - hardwood
-  (FPS) Plantations for silviculture - softwood
-  (FPU) Unverified plantations for silviculture
-  (FRG) Regenerating cleared land
-  (FSM) Spartina marshland
-  (FUM) Extra-urban miscellaneous
-  (FUR) Urban areas
-  (FWU) Weed infestation
-  (MBE) Eastern buttongrass moorland
-  (MBP) Pure buttongrass moorland
-  (MBR) Sparse buttongrass moorland on slopes
-  (MBS) Buttongrass moorland with emergent shrubs

TASVEG 5.0 Communities within 500 metres

	(MBU) Buttongrass moorland (undifferentiated)
	(MBW) Western buttongrass moorland
	(MDS) Subalpine Diplarrena latifolia rushland
	(MGH) Highland grassy sedgeland
	(MRR) Restionaceae rushland
	(MSW) Western lowland sedgeland
	(GCL) Lowland grassland complex
	(GHC) Coastal grass and herbfield
	(GPH) Highland Poa grassland
	(GPL) Lowland Poa labillardierei grassland
	(GRP) Rockplate grassland
	(GSL) Lowland grassy sedgeland
	(GTL) Lowland Themeda triandra grassland
	(NAD) Acacia dealbata forest
	(NAF) Acacia melanoxylon swamp forest
	(NAL) Allocasuarina littoralis forest
	(NAR) Acacia melanoxylon forest on rises
	(NAV) Allocasuarina verticillata forest
	(NBA) Bursaria - Acacia woodland
	(NBS) Banksia serrata woodland
	(NCR) Callitris rhomboidea forest
	(NLA) Leptospermum scoparium - Acacia mucronata forest
	(NLE) Leptospermum forest
	(NLM) Leptospermum lanigerum - Melaleuca squarrosa swamp forest
	(NLN) Subalpine Leptospermum nitidum woodland
	(NME) Melaleuca ericifolia swamp forest
	(OAQ) Water, sea
	(ORO) Lichen lithosere
	(OSM) Sand, mud
	(RCO) Coastal rainforest
	(RFE) Rainforest fernland
	(RFS) Nothofagus gunnii rainforest scrub
	(RHP) Lagarostrobos franklinii rainforest and scrub
	(RKF) Athrotaxis selaginoides - Nothofagus gunnii short rainforest
	(RKP) Athrotaxis selaginoides rainforest
	(RKS) Athrotaxis selaginoides subalpine scrub
	(RKK) Highland rainforest scrub with dead Athrotaxis selaginoides
	(RML) Nothofagus - Leptospermum short rainforest
	(RMS) Nothofagus - Phyllocladus short rainforest
	(RMT) Nothofagus - Atherosperma rainforest
	(RMU) Nothofagus rainforest (undifferentiated)
	(RPF) Athrotaxis cupressoides - Nothofagus gunnii short rainforest
	(RPP) Athrotaxis cupressoides rainforest
	(RPW) Athrotaxis cupressoides open woodland
	(RSH) Highland low rainforest and scrub
	(AAP) Alkaline pans
	(AHF) Freshwater aquatic herbland
	(AHL) Lacustrine herbland
	(AHS) Saline aquatic herbland
	(ARS) Saline sedgeland / rushland
	(ASF) Freshwater aquatic sedgeland and rushland
	(ASP) Sphagnum peatland
	(ASS) Succulent saline herbland
	(AUS) Saltmarsh (undifferentiated)
	(AWU) Wetland (undifferentiated)
	(SAL) Acacia longifolia coastal scrub
	(SBM) Banksia marginata wet scrub
	(SBR) Broad-leaf scrub
	(SCA) Coastal scrub on alkaline sands
	(SCH) Coastal heathland
	(SCL) Heathland on calcareous substrates

TASVEG 5.0 Communities within 500 metres

-  (SED) Eastern scrub on dolerite
-  (SHS) Subalpine heathland
-  (SHW) Wet heathland
-  (SKA) Kunzea ambigua regrowth scrub
-  (SLG) Leptospermum glaucescens heathland and scrub
-  (SLL) Leptospermum lanigerum scrub
-  (SLS) Leptospermum scoparium heathland and scrub
-  (SMM) Melaleuca squamea heathland
-  (SMP) Melaleuca pustulata scrub
-  (SMR) Melaleuca squarrosa scrub
-  (SRE) Eastern riparian scrub
-  (SRF) Leptospermum with rainforest scrub
-  (SRH) Rookery halophytic herbland
-  (SSC) Coastal scrub
-  (SSK) Scrub complex on King Island
-  (SSW) Western subalpine scrub
-  (SSZ) Spray zone coastal complex
-  (SWR) Western regrowth complex
-  (SWW) Western wet scrub
-  (WBR) Eucalyptus brookeriana wet forest
-  (WDA) Eucalyptus dalrympleana forest
-  (WDB) Eucalyptus delegatensis forest with broad-leaf shrubs
-  (WDL) Eucalyptus delegatensis forest over Leptospermum
-  (WDR) Eucalyptus delegatensis forest over rainforest
-  (WDU) Eucalyptus delegatensis wet forest (undifferentiated)
-  (W GK) Eucalyptus globulus King Island forest
-  (WGL) Eucalyptus globulus wet forest
-  (WNL) Eucalyptus nitida forest over Leptospermum
-  (WNR) Eucalyptus nitida forest over rainforest
-  (WNU) Eucalyptus nitida wet forest (undifferentiated)
-  (WOB) Eucalyptus obliqua forest with broad-leaf shrubs
-  (WOL) Eucalyptus obliqua forest over Leptospermum
-  (WOR) Eucalyptus obliqua forest over rainforest
-  (WOU) Eucalyptus obliqua wet forest (undifferentiated)
-  (WRE) Eucalyptus regnans forest
-  (WSU) Eucalyptus subcrenulata forest and woodland
-  (WVI) Eucalyptus viminalis wet forest

Legend: Cadastral Parcels



TASVEG 5.0 Communities within 500 metres

Code	Community	Notable Tree
DOB	(DOB) Eucalyptus obliqua dry forest	
FAL	(FAL) Agricultural land	
FUM	(FUM) Extra-urban miscellaneous	
FUR	(FUR) Urban areas	
NAD	(NAD) Acacia dealbata forest	
WOB	(WOB) Eucalyptus obliqua forest with broad-leaf shrubs	
WOR	(WOR) Eucalyptus obliqua forest over rainforest	
WOU	(WOU) Eucalyptus obliqua wet forest (undifferentiated)	

For more information contact: Coordinator, Tasmanian Vegetation Monitoring and Mapping Program.

Telephone: (03) 6165 4320

Email: TVMMPsupport@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

*** No threatened Communities (TNVC 2020) found within 500 metres ***

Bushfire Hazard Report

**46 Ellis Road
Romaine**

Performance Solution

Tasmanian Planning Scheme

Property ID 1486807 Title Reference 104809/1
Alterations & additions

J de Bomford

August 2025

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0411 609 906
Accreditation No. BFP - 162

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Executive summary

I am an Accredited person permitted to assess bushfire hazards and to define Hazard Management Areas and to prepare appropriate plans for their ongoing management. A summary of my *curriculum vitae* is Annexure A.

This report concerns proposed alterations and additions to a single family dwelling in a bushfire-prone area within a Tasmanian Planning Scheme area, assessed under the provisions of the *Director's Determination Bushfire Hazard Areas v 1.1* (DDBHA).

Presently unmanaged Forest vegetation immediately adjacent to the existing and to be replaced attached 0garage creates a Flame Zone setting and so a Performance Solution has been prepared.



Roger Fenwick BFP 162 Scope 1, 2, 3A, 3B



View up driveway towards existing house.

Purpose

I have been engaged to undertake a Bushfire Hazard Report for proposed alterations and additions to a dwelling located at 46 Ellis Road, Romaine known as Property ID 1486807, Title Reference 104809/1.

This report provides an assessment of the bushfire risk as required by the provisions of the *Director's Determination Bushfire Hazard Areas v 1.2 (DDBHA)*.

The proximity of the existing house to presently unmanaged vegetation creates a Flame Zone setting. The proposal external works involve replacing an existing garage with a smaller structure, upgrading most external windows and door assemblies, replacing an existing deck, and constructing a polycarbonate cover over the pergola over the deck.

A new shed will be built on the property, but more than 6m from the dwelling and therefore not a subject of this report. Following vegetation removal on the southern side of the site, some of the new works (the new garage and its roof) will be in a Bushfire Attack Level (BAL)-29 setting, and the rest of the house (apart from the connected roof) will be in no higher than a BAL-19 exposure.

Unmanaged vegetation to the east presently creates a BAL-Flame Zone exposure, and under the proposed new design will create BAL-40 relative to the re-built garage and BAL-29 for the house and deck.

Methodology

The assessment protocol relies on definitions and specifications in the Australian Standard *Construction of buildings in bushfire-prone area 2018 (AS 3959)*, *Nash Standard – Steel Framed Construction in Bushfire Areas (NASH)*, vegetation classification by Specht 1970, and in particular, State variations defined in the DDBHA. Those variations specify additional requirements for access, water supply, and a Hazard Management Area plan (BHMP).

For defined vegetation classes, litter and other flammable vegetation component standard values have been determined. These, slope values and standard weather conditions are used to calculate bushfire behaviour, including rate of forward spread, radiant heat output and flame height. When considered in conjunction with the distance between the edge of the fire and the point of measurement (eg the wall of a house), they show the intensity of the fire exposure.

Those combined values are expressed as a Bushfire Attack Level (BAL) plus a number which expresses the radiant heat output in kilowatts per square metre (kWm^{-2}). The BAL rating determines the required construction standard. As the setback distance increases, the BAL rating decreases.

Vegetated areas close to the proposed building creates a Flame Zone setting in the Deemed to Satisfy (DtS) table in AS 3959. This requires a Performance Solution assessment as outlined in the Standard. That in turn requires a Performance-Based Design Brief, defining how compliance with specified fire safety outcomes will be achieved, in accordance with the protocol specified in the NCC. I propose using Method 2 calculations for all exposures.

General site description

This 13390m² site is located on the western side of a minor ridge with falls to the Emu River, generally to the east.

The existing house is constructed of brick, with a metal roof.

Vegetation and Topography

Adjoining vegetated land is a mixture of gentle up and downslope, with Tasmanian Dry Eucalypt Forest based plus Wattle regrowth vegetation.

Significant vegetation to the south is a relatively narrow strip of remnant forest and wattle regrowth, beside a larger block of retained shrubby vegetation within a large clearing for the adjacent house. Vegetation to the north (on the subject site) is dominated by *E obliqua* (Messmate stringybark) and tall wattles, approaching senescence. Vegetation on adjoining land to the east is sparser but generally similar to that to the north

The site and surrounds slope down to the west and north at 6°, up to the south at 4°, and up at 1° over 50m to the east.

The vegetation type as described by Dr Marsden-Smedley *et al*¹ is *E obliqua* forest, with a higher percentage of wattle than eucalypt growth but overall still representative of the type. The site at present is overgrown and messy, and it is difficult to properly illustrate the nearby vegetation beyond the rather thick edge effect. What is present now will become irrelevant once the necessary HMA is created. It is understood that all protection works will need to be undertaken on the subject site, not formally involving neighbouring land. To the north there is an access lane parallel and close to the property boundary, but that aspect is not the limiting exposure for the new works and need not be considered in more detail.

Fire history

The LIST records no bushfires over the site.

Bushfire Context

A bushfire prone area is defined as land so mapped, or land within 100m of bushfire prone vegetation equal to or exceeding 1 hectare in area. Bushfire prone vegetation includes areas of grasses and shrubs other than defined exceptions such as maintained lawns, gardens, some horticultural land and the like.

The slope used in bushfire assessments is the gradient beneath unmanaged adjoining vegetation able to support fire movement towards structures. It varies from Upslope and Level (both defined as 0°) to groups of Downslope in 5° increments. Downslope means that fire is travelling uphill when moving towards the structure.

Setbacks are defined as the plan view (horizontal) distance between the edge of unmanaged vegetation and the nearest part of a structure subject to the assessment. This means to the nearest wall, or if there is no wall, to the nearest supporting post or column of a carport, deck, veranda, landing, stairs or ramps. Eaves and overhangs, tanks, chimneys, unroofed pergolas and sun blinds are excluded.

For planning purposes, it is assumed that the McArthur Forest Fire Danger Index (FDI) is 50. This defined FDI may not cover the worst case exposure at a site, and even strict adherence to the mandatory and other recommended specifications will not guarantee that structures will not be ignited by bushfire.

Access

The property is at the end of Ellis Road, off Cascade Rd off the Ridgley Highway. The on-site driveway is 140m in length from the end of Ellis Rd, and the carriageway is 4m in width,

¹ Marsden-Smedley, Anderson & Pyrke, Fuels in dry Tasmanian forests, Fire 2022, 5, 103 MDPI Table 4

albeit slightly overgrown. There will be ample room on site to create a complying turning Y and hardstanding beside the fire fighting water reserve tank to be provided in the existing driveway clearing, and to be supplemented by access to the new shed. While existing access is (DDBPA2.3.2 (2)) acceptable, it will be improved to near full compliance with current standards.

Water

The site is not in a reticulated area, and the provisions of DDBHA Table 3A apply. A metal or concrete tank with not less than 10kl reserved for fire fighting use is required to be installed with an outlet, fittings and signage as detailed in Annexure C, near the hardstanding at the end of the access driveway.

Environmental & other constraints

Waterway and coastal protection, Priority vegetation and Scenic protection overlays cover the bulk of the site. It is thought unlikely that any values will be significantly affected by any of the proposed works.

Performance-Based Design Brief (PBDB)

Objective

The intention is to ensure that adequate setback distances from fire in nearby unmanaged vegetation are provided so as to reduce the likelihood of ignition to an acceptable level, and ensure a tolerable risk to occupants and firefighters.

Table 2.6 in AS 3959 provides specifications for recognised vegetation types and slope classes, showing the combinations of setback distance and construction level generally regarded as providing acceptable levels of fire resistance. The Standard also specifies additional design and material features intended to protect against other elements of bushfire behaviour, most of which increase with the BAL rating.

Many houses, including this one, were built prior to the introduction of protective bushfire setbacks, and are located in what is now considered to be unacceptably close proximity to unmanaged vegetation. Retrospective measures to remedy non-compliance with current construction specifications are not usually required to be applied, apart from water supply and access issues. However, it is a requirement that new works do not increase the threat from approaching bushfire, and that efforts are made to surround the entire structure with a complying HMA. AS 3959 specifies (in Appendix B, Method 2) the methodology by which fire behaviour and resultant radiant heat output are calculated. I have written an Excel spreadsheet which performs the calculations specified in the Standard.

The approved PBDB protocol requires that the relevant stakeholders agree on the required outcome and the means by which proposed solutions will be assessed.

Relevant stakeholders

The relevant stakeholders in this case include the property owner, the building designer/planner (Damon Marshall of S Group), the Building Surveyor (Brock Gregg of Project Comply), the Tasmania Fire Service and the bushfire practitioner.

Agreed input data

Nearby vegetation types are assessed by the application of the standard tables and methodology specified in AS 3959. The relevant vegetation type is *E obliqua*-based Dry Tasmanian Forest described by Dr Marsden-Smedley (*ibid*) characterised by surface and

bark fuel values of ($w =$) 13.7tha^{-1} , and overall fuel loads of ($W =$) 23.7tha^{-1} . The relevant slopes are up 1° to the east. Up 4° to the south, and down 6° to the north and west.

It is assumed that the width of approaching fires will be the standard 100m.

DtS departures and relevant Performance Requirements

The applicable requirements are provided in the *Director's Determination Bushfire Hazard Areas v 1.1* (DDBHA).

DtS provision	DtS compliance	Relevant performance requirement
2.3.1 Design & Construction	Not possible in BAL-40	Design and construction to reduce likelihood of ignition from bushfire as appropriate to achieve tolerable risk.
2.3.2 Property Access	Will comply with DtS	-
2.3.3 Water Supply	Will comply with DtS	-
2.3.4 Hazard Management Area	HMA will not fully comply with DtS.	The rebuilt garage and its roof and other new works along the eastern façade will meet BAL-40 specifications. The rebuilt deck along the northern side and all other new works will meet BAL-29 specifications.
2.3.5 Emergency Plan	Not required	-

Assessment Methods

In accordance with A2.2(1)(a) the Performance Solution demonstrates compliance with the Performance Requirements.

The relevant NCC Assessment Methods under A2.2(2) are:

- (b)(ii) – Other Verification Method, being AS 3959 Method 2 calculations to determine the minimum separation required for BAL-29
- (c) – Expert judgement

Acceptance Criteria

The proposed Acceptance Criterion is

- Construction provides an acceptable standard of safety for occupants and firefighters.

Some of the works cannot comply with DtS provisions, which do not apply to BAL-40 exposures. Under A2G2(2) the applicable Assessment Methods are (b)(ii), Method 2 calculations and (c), Expert Judgement, for which I rely on my own expertise. I have prepared numerous reports for works in BAL-40 and BAL-FZ settings in other States (particularly NSW) and am comfortable that the measures proposed here are adequate for the defined exposure.

Documentation and evidence to be provided

The following documentation will be provided to the building surveyor:

- Bushfire hazard management plan;
- Bushfire hazard report that includes:
 - DtS assessment,
 - Method 2 calculations,
 - Expert judgement assessment.

- Design documentation demonstrating compliance with the design BAL (to be provided by designer).

Assessment

Hazard Management Area

The exposures to vegetation off-site and therefore considered to be unmanageable are:

From	Direction	distance	Slope	Heat flux kWm ⁻²
SW house corner	South	16m	Up 4°	13.4
SW garage corner	South	9m	Up 4°	25.4
SE garage corner	South	8m	Up 4°	28.7
SE garage corner	East	7.5m	Up 1°	34.5
SE house corner	East	8.1m	Up 1°	31.9
NE house corner/ SE deck corner	East	9.1m	Up 1°	28.7
North & West		>12m	Down 6°	<29

Once vegetation beside the house along the southern side of the lot is treated, the clearance will become an additional 5m wider as a result of the access driveway to the house on the lot to the south.

As a consequence of unmanageable vegetation on adjacent land, the eastern side of the house and its attached garage are partially in a BAL-40 exposure. This will remain the case. All the rest of the house and the deck are potentially within a BAL-29 setting.

Setbacks to (non-standard) Forest to the north and west on a 6° downslope must be 12m in width (from the outer edge of the deck) to meet the necessary BAL-29 construction standard.

Access

Direct property access is from Ellis Road, a locally 7m wide sealed public road. The house access is 140m long in a non-reticulated area, and therefore access must comply with the provisions of DDBHA Table 2B. A minor amount of vegetation management along the access driveway is required.

Water

As no reticulated water supply exists DDBHA Table 3B applies. At present there is no dedicated firefighting water reserve but an above-ground metal tank of 10kl capacity, with appropriate fittings and signage, will be provided beside a complying hardstand/turning area.

Environmental & other constraints

Priority vegetation, Waterway & coastal protection and Scenic overlays cover most of the site.

Assessment

Hazard Management Area

The HMA to the specifications in DDBHA Table 4 is shown on the plan at Annexure B. Within the area outlined only managed lawn, occasional garden shrubs and scattered trees to the management regime shown at Annexure C are permitted.

HMA dimensions are 12m to the west and north, 8m to the SW, and to the property boundary to the east.

Construction specification

The walls of the garage, all roofs and all new works on the eastern side of the house must be built to BAL-40 specifications. The rebuilt deck plus its (new) awning and all other new works must meet BAL-29.

The new deck awning features a polycarbonate roof. Normally limited to BAL-19 exposures, if this product in this setting were to fail, burning material falling though it would land only on the already exposed deck. The roof will provide a debris collection area beside the wall of the upper storey, all of which will be Colorbond or new fibre-cement sheet cladding, over existing brick. All adjacent windows will be at least 400mm above the level of the roof.

In addition to the specifications within AS 3959, I recommend that non-combustible leaf guard be fitted to every roof gutter.

Property access

The existing access is sufficient to meet the requirements of DDBHA 2.3.2. The distance from the hardstanding beside the water outlet (to be provided) to the furthest part of the house is be less than 90m.

Water supply

10kl of water reserved for fire fighting will be provided in an above-ground metal tank fitted with a ball or gate valve and a 65mm Storz coupling plus captive cap, within 3m of a hardstanding area beside the access, and readily accessible to a tanker. Standard signage (Annexure C) will be fitted in a location clearly visible to approaching vehicles. Water supply will meet the requirements of DDBHA Table 3 B.

Conclusion

The hazard separation distances to be achieved **and maintained** in accordance with the plan for the Hazard Management Area, combined with construction to the recommended specifications, will result in what I regard as an acceptably protected structure against the anticipated exposure to bushfire attack. Under bushfire weather conditions that exceed the design criteria, the probable survival of structures is less likely.

This report complies with the provisions of NCC Clause A2G2(4)(d)

Summary of requirements

Initial checklist

1. Install and fill the fire-fighting water tank, outlet and signage (as prescribed in Annexure C) next to the hardstanding beside the access driveway.
2. Construct the garage and its roof and the eastern side of the house to BAL-40 specifications (AS 3959 sections 3 & 8).
3. Construct the remainder of the house and all of the deck and awning to BAL-29 specifications (AS 3959 sections 3 & 7), except that polycarbonate awning covering is permitted October.
4. Fit non-combustible gutter guard to all roof gutters.
5. Create the Hazard Management Area as prescribed in Annexure C, to the dimensions shown in Annexure B. In particular, keep lawn mown to less than 50mm, and to the extent possible, keep it green by regular watering.

Annual checklist

1. Maintain the Hazard Management Area as prescribed in Annexure C, to the dimensions shown in Annexure B. In particular, keep lawn mown to less than 50mm, and to the extent possible, keep it green by regular watering.
2. Check that the fire fighting water tank is full and all fittings are in proper working order prior to each fire season.

Annexure A Curriculum vitae

Qualifications	<p>Graduate Certificate in Bushfire Protection, UWS, 2013</p> <p>Bachelor of Science (Forestry), ANU, 1969</p>
Work Experience	<p>Self-employed consultant – 1988 to present</p> <p>ACT Bush Fire Council</p> <p>Chief Fire Control Officer – 1986 to 1987</p> <p>Secretary – 1985</p> <p>Chief Fire Control Officer -1976 to 1978</p> <p>Deputy Chief Fire Control Officer – 1972 to 1975</p> <p>Assistant to Chief Fire Control Officer - 1970 to 1971</p> <p>CSIRO</p> <p>Experimental Officer, Project Aquarius 1982 to 1984</p> <p>Chemonics Industries USA 1979 to 1981</p> <p>Field Service Representative, chemical fire retardants</p>
Project Experience	<ul style="list-style-type: none"> • Responsible for all aspects of staff administration, finance, bush fire safety planning, fire management, training, and fire control operations in the ACT. • Attended approximately 2000 wildfires, experimental fires and controlled burns. • Attended to an additional approximately 1000 wildfires. • Personally prepared approximately 2800 compliance reports to accompany Development Applications for subdivisions, Special Purpose structures, houses, industrial buildings and Defence complexes. • Prepared assessments for 31 schools in the Nation-Building Program for the Dept of Education, Employment & Workplace Relations. • Gave evidence in the Land & Environment Court on contested DA matters. • Prepared Vegetation Management Plans for large (primarily Defence) estates throughout Australia. • Prepared training plans and the Bushfire Response Action Plan for Puckapunyal Base, Dept of Defence. • Provided studies of bush fire behaviour to assist planning and risk management by plantation insurance companies, Councils and other land management agencies. • As an Expert Witness, investigated, reported on and gave evidence in 47 matters involving fire causation and fire management activities, mainly in connection with civil litigation. • As Senior Research Officer, assisted in the experiment design and data analysis and responsible for all field operations for Project Aquarius, the major study of large aircraft assisted bush fire control by CSIRO Division of Forestry Research. • As a field representative for Chemonics Industries in the USA, maintained and oversaw the operation of all of the US Forest Service air tanker bases in Washington & Oregon, and introduced the use of fire retardants by ground application for fire management in the western states. • Lectured in bush fire behaviour and control principles at the ANU and the Canberra College of Advanced Education (now University of Canberra). • Wrote the bush fire training module for the ACT Fire Brigade. • Prepared the first urban-rural interface bush fire protection planning guidelines in the ACT for the National Capital Development Commission.

Annexure B Bushfire Hazard Management Plan

BUSHFIRE HAZARD MANAGEMENT PLAN

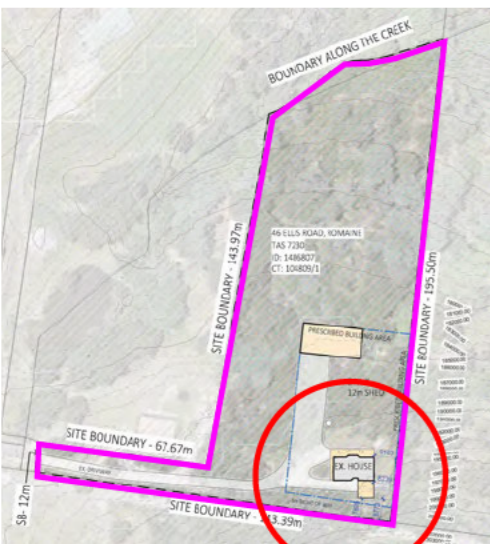
46 Ellis Road, Romaine

Property ID 1486807 Title 104809/1

Report 2406DAM.ROM.ELL1.0

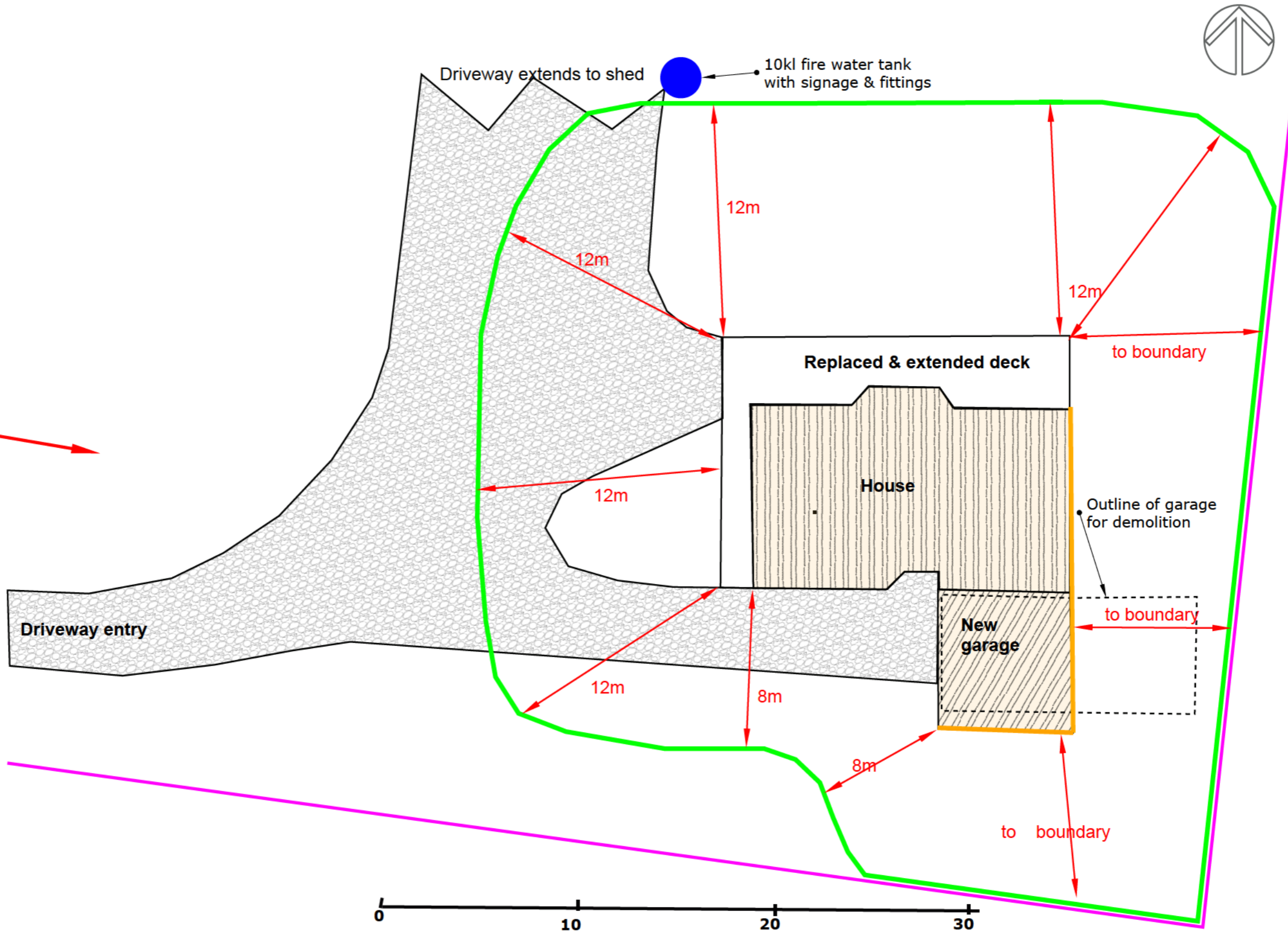
Roger Fenwick BFP 162 Scope 1, 2, 3A, 3B

19 August 2025



The Hazard Management Area covers the area outlined in solid green

Within the HMA maintain lawn to 50mm, kept green if possible, or garden with only isolated trees pruned to 2m. Scattered shrubs at least 2m from walls & 5m from windows, and not beneath trees, are permitted. Do not store exposed combustible rubbish or firewood within the HMA. **Construction to BAL-40 (orange garage walls, eastern side of house and all roofs) and balance BAL-29. Refer to the Report for full specifications.**



Annexure C Management specifications

Hazard Management Areas

The intent is to maintain the Hazard Management Area in a condition that will not allow the development or passage of fire able to ignite structures through radiant heat or flame contact. In addition, providing protection against ember attack is highly desirable. Much of the aim is to limit the intensity of the approaching fire to a level which can be absorbed without damage by the passive protection measures included in the house construction. The materials used have been chosen to (probably) not be ignited (eg walls) or be sufficiently heat-affected to break (eg windows) during the passage of the fire. It is assumed that nobody will necessarily be present during the passage of the fire, so that the structure will hopefully survive by itself. Heat from the head of the approaching fire will probably be at its peak for around 5 minutes, but embers, smoke and uncomfortably high heat will continue for around an hour or so. Attendance by suitably clothed, trained, fit and able-bodied people with appropriate equipment immediately after passage of the fire increases the likelihood of the structure surviving, particularly if small local patches have ignited.

Fire must be kept far enough away to limit the radiant heat which will threaten both structures and anyone (homeowners, fire-fighters) in the path of the fire. Basically, fire spreads rapidly in surface litter and low grassy growth, and develops tall flames in the shrub layer. That makes things difficult for fire-fighters trying to work the fire edge. With enough heat generated by vigorous fire in the shrubs and sapling (understorey) layers, the fire flame height will increase, and involve the crowns of the overstorey trees. Flames also run up the bark of many fibrous-barked eucalypt species, adding to the overall heat output but primarily creating showers of embers

Limiting fire behaviour is achieved by separating the various vegetation components both vertically and horizontally. Less surface litter will result in a slightly slower-moving fire, putting out less heat and therefore slower to ignite the shrub layer. Partial removal of the shrub layer significantly reduces the low-level flame height, making it easier for fire-fighters to work near the fire edge, and becoming less likely to ignite the sapling layer. Keeping the shrub and sapling layer fire intensity low means that fire is unlikely to move into the canopy of the overstorey. That is a crown fire, and is completely uncontrollable by any means.

Protecting against ember attack relies largely on proper construction material selection and design that will not trap embers or the litter on which they may land and ignite. Properly screened openings are essential, but good plant selection and layout can create an ember shield, to deflect or trap embers approaching the house. Remember that embers will also accumulate in the sheltered side, in the eddy zone behind the house. Anywhere leaves accumulate, so will embers.

It is essential to keep even low creeping flames from contacting walls of the house. Maintain a path at least 30cm wide (1m is recommended) completely clear of all flammable material immediately between the garden/ lawn area – a concrete or gravel path, bare soil, whatever – and the house.

The HMA is to be kept in a substantially cleared condition, with a minimum of flammable material and plants.

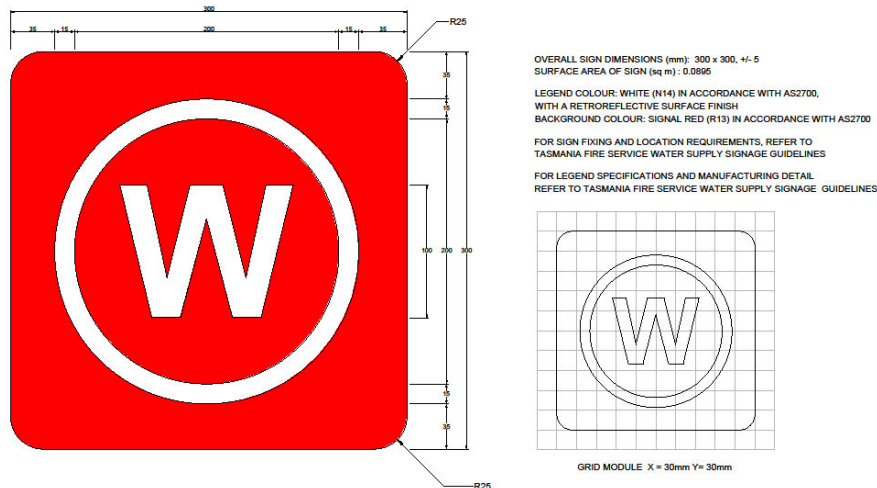
Within the HMA, mown lawn and only occasional scattered low-flammability ornamental shrubs, garden plants and the like should be allowed.

- Immediately beside the house there must be a strip not less than 30cm wide which is kept bare of any combustible material.
- Grass must be kept mown to not more than 50mm in height, and should be kept watered and green within 5m of a wall or window.
- Shrubs should not be located within 2m of a wall, or within 5m of a window.
- Avoid using combustible mulch within 2m of a window and within 1m of a wall – use pebbles instead in these settings.
- Trees are to be kept well-spaced, with one crown diameter between canopy crowns, and one shrub (or shrub cluster to 5m diameter) between shrubs or shrub clusters. (If trees have a

10m diameter canopy, there should be 10m between their canopies, ie 20m between trunks. Similarly, a 2m diameter cluster of shrubs should not be within 2m of other shrubs.

- Favour smooth-barked over rough-barked trees, and low-flammability species.
- Prune all tree branches to a height of 2m.
- Shrubs should not be located directly under trees.
- Don't have open woodpiles or locate rubbish heaps within the HMA.

Water tank signage meeting the requirements of AS 2304-2011 or as per the design below, is required. The sign must be within 1m of the location of the outlet, at least 400mm above ground level, located to be visible from an approaching vehicle, and not obstruct access to the outlet.



All above-ground components must be metal, or lagged with non-combustible material. Buried components must be not less than 300mm deep.

The (not less than 50mm bore) outlet and ball or gate valve must be

- on the water storage tank, or
- beside an approved remote takeoff point located in a protected position, 450-600mm above ground and supplied by a pipe not less than 50mm internal diameter, so that all parts of the building are within 90m of the outlet.

Water takeoff points must be fitted with a Storz 65mm coupling and suction washer, plus a blank cap on a chain at least 220mm long. They must not be within a parking area, and must be accessible from a hardstanding area located within 3m of the take-off point and not closer than 6m to the building.

The hardstanding area must be at least 3m in width, and connected to the general access driveway, and be constructed so that when occupied by a tanker, the tanker will not obstruct the passage of other vehicles. A tanker must have direct access from the hardstanding to a turning area.

Annexure D Form 55 Certificate

**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM**

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55****Qualified person details:**

Qualified person:
 Address: Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details:
(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:
(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate:
(description of the assessable item being certified)
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed
 Note that alterations and additions within a BAL40 or BAL-FZ setting must be approved by TFS via a Form 47, for a Performance Solution.

Certificate details:

Certificate type:
(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (*tick one*)

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report dated August 2025 including Bushfire Hazard Management Plan dated August 2025 AS 3959-2018 <i>Construction of buildings in bushfire-prone areas</i> Plans by S Group
Relevant calculations:	AS 3959-2018 Method 2 calculations
References:	N/A

Substance of Certificate: (what it is that is being certified)

A bushfire assessment and management plan for proposed new construction, in accordance with BAL-40 & modified BAL-29 construction standards of AS 3959-2018.

Approval of a Performance Solution for alterations and additions to a dwelling in a BAL-40 setting requires a Form 47 from the TFS.

Scope and/or Limitations

A Bushfire Hazard Assessment was commissioned by D Marshall to identify the potential bushfire risk and BAL rating, and to recommend appropriate compliance and protection measures.

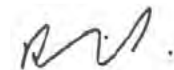
Limitations: The proposed measures comply with the guidelines. Full compliance with the requirements in this report and/or AS 3959-2018 does not guarantee survival of structures or persons.

I certify the matters described in this certificate.

Signed:

Certificate No:

Date:



2403DAM.ROM.ELL1.0

19 August 2025

Qualified person:

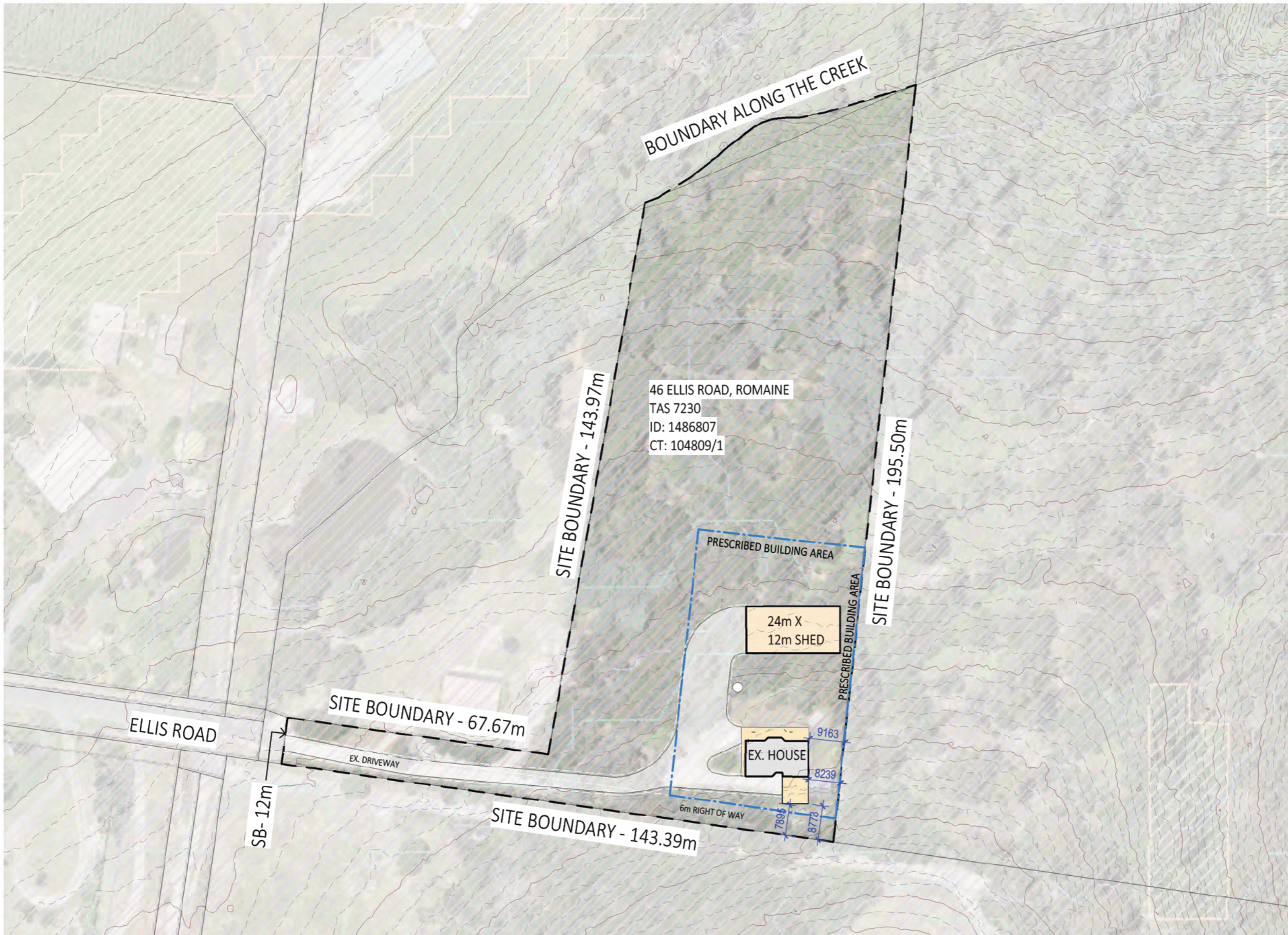
Annexure E Site plans



General location



House site and surrounds

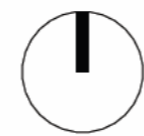


- SITE PLAN NOTES:**
 CONTOURS SHOWN ON PLAN ARE DERIVED FROM LIDAR. (2013) @ 0.5m INTERVALS.
- SITE LEVELS ARE TO BE CONFIRMED BY LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORKS.
- SITE SERVICES ARE APPROXIMATES & SHALL BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- CONTRACTOR TO CONFIRM SERVICES WITH DIAL-BEFORE-YOU-DIG.
- AREA SCHEDULE:**
- | | |
|--------------------------------|-------------------|
| SITE AREA | 1.339Ha |
| EXISTING BUILDING (INCL. SHED) | 190m ² |
- SOIL & WATER MANAGEMENT NOTES**
- ALL RUNOFF & SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY & MAINTAINED IN A FUNCTIONAL CONDITION.
 - ALL VEGETATION OUTSIDE THE BUILDING ENVELOPE WILL BE RETAINED.
- SEDIMENT CONTROL FENCE NOTES**
- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
 - DRIVE 1.5M LONG STAR PICKETS INTO GROUND @ MAX. 3.0M SPACINGS.
 - DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 - BACKFILL TRENCH OVER BASE OF FABRIC.
 - FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
 - JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150MM OVERLAP.
- AREA OF GROUND DISTURBANCE = ± 220 SQM. (SHOWN SHADED).
- SEDIMENT RETENTION NOTES**
- GENERAL:
 - TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
 - ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING UP-SLOPE EARTHWORKS.
 - ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
 - CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
 - IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
 - STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.
 - SEDIMENT FENCE:
 - NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.
 - NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100M LENGTH OF FENCE.
 - WOVEN FABRICS ARE PREFERRED, NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
 - WHERE FENCES NEED TO BE LOCATED ACROSS THE CONTOUR THE LAYOUT SHALL CONFORM TO 'TYPICAL LAYOUT ACROSS GRADE'.
 - FENCES ARE REQUIRED 2M MIN. FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN. AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE.
 - TEMP. CONSTRUCTION ENTRY / EXIT SEDIMENT TRAP.
 - ADJACENT STORMWATER RUNOFF TO BE DIVERTED AWAY FROM ENTRY/EXIT.
 - WHEEL - WASH OR SPRAY UNIT MAY BE REQUIRED DURING WET WEATHER.
 - SAFETY ISSUES MUST BE CONSIDERED AT ALL TIMES, INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.
 - ALL DIMENSIONS IN MILLIMETRES UNLESS INDICATED OTHERWISE.

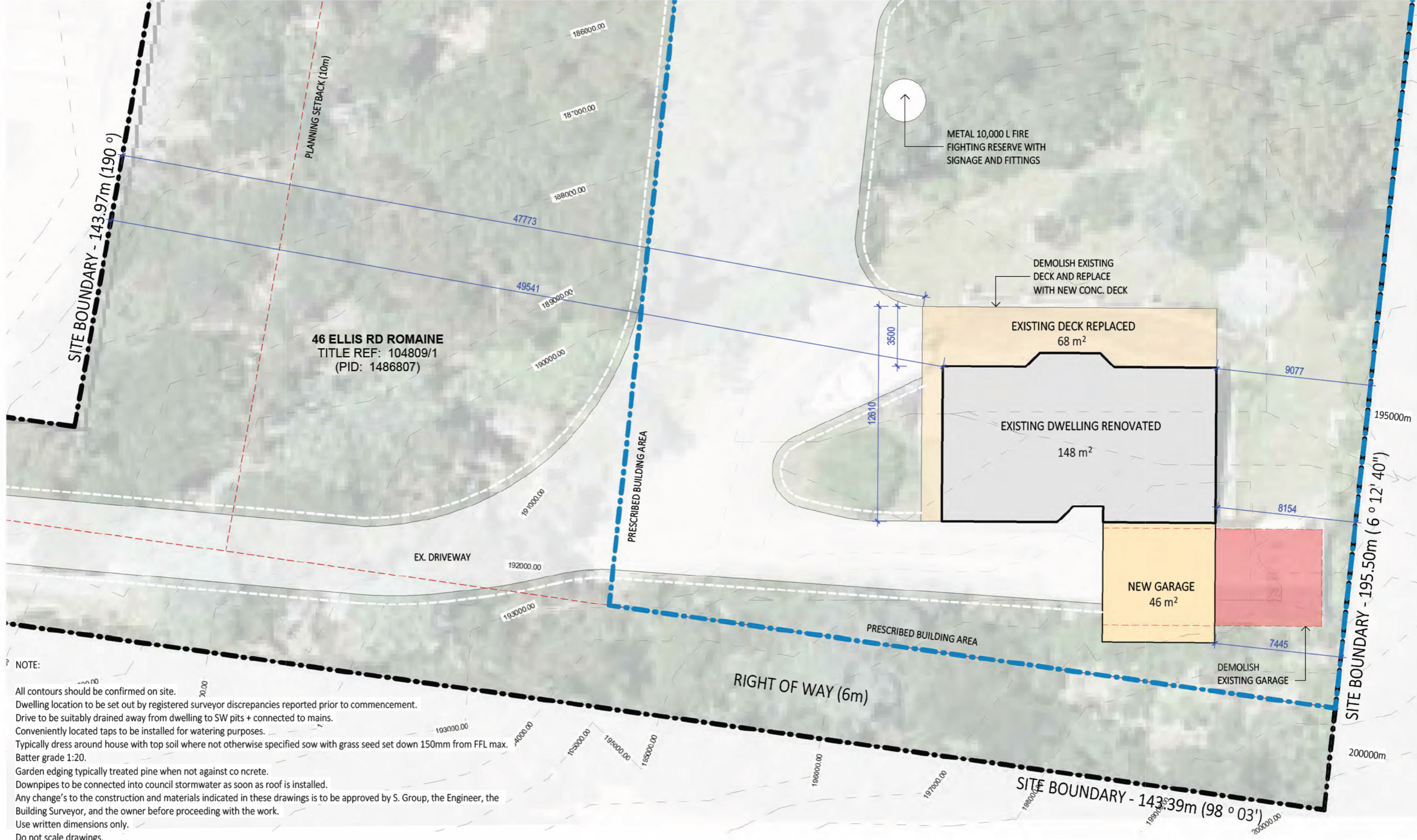
1 LOCATION PLAN
1 : 1000

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 S. Group
 Level 1, 10-14 Paterson St, Launceston
 Level 1, 90-92 Murray St, Hobart
 552 Victoria St, North Melbourne, VIC
 p 03 6311 1403 e info@sgroup.com.au
 abn 33 625 566 618 sgroup.com.au

PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A101
DWG		LOCATION PLAN	ACCREDITED DESIGNER CC 5618 U



46 ELLIS RD ROMAINE
TITLE REF: 104809/1
(PID: 1486807)

METAL 10,000 L FIRE
FIGHTING RESERVE WITH
SIGNAGE AND FITTINGS

DEMOLISH EXISTING
DECK AND REPLACE
WITH NEW CONC. DECK

EXISTING DECK REPLACED
68 m²

EXISTING DWELLING RENOVATED
148 m²

NEW GARAGE
46 m²

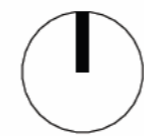
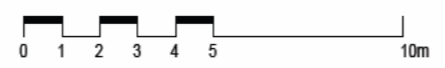
DEMOLISH
EXISTING GARAGE

NOTE:
All contours should be confirmed on site.
Dwelling location to be set out by registered surveyor discrepancies reported prior to commencement.
Drive to be suitably drained away from dwelling to SW pits + connected to mains.
Conveniently located taps to be installed for watering purposes.
Typically dress around house with top soil where not otherwise specified sow with grass seed set down 150mm from FFL max.
Batter grade 1:20.
Garden edging typically treated pine when not against concrete.
Downpipes to be connected into council stormwater as soon as roof is installed.
Any change's to the construction and materials indicated in these drawings is to be approved by S. Group, the Engineer, the Building Surveyor, and the owner before proceeding with the work.
Use written dimensions only.
Do not scale drawings.

1 SITE PLAN
1:200

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Level 1, 90-92 Murray St, Hobart
552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

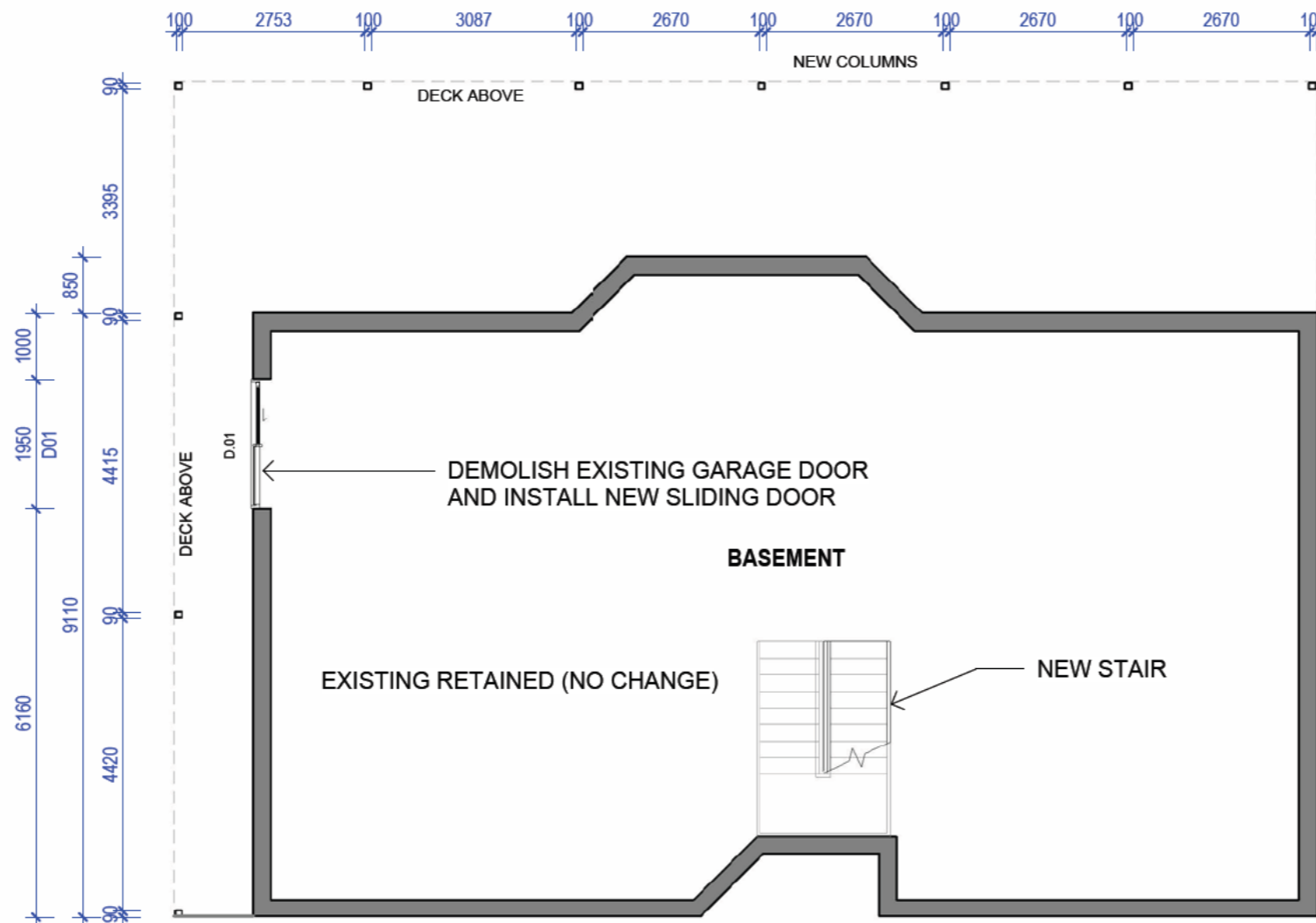
**PLANNING
APPLICATION**



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A102
DWG		SITE PLAN	ACCREDITED DESIGNER CC 5618 U

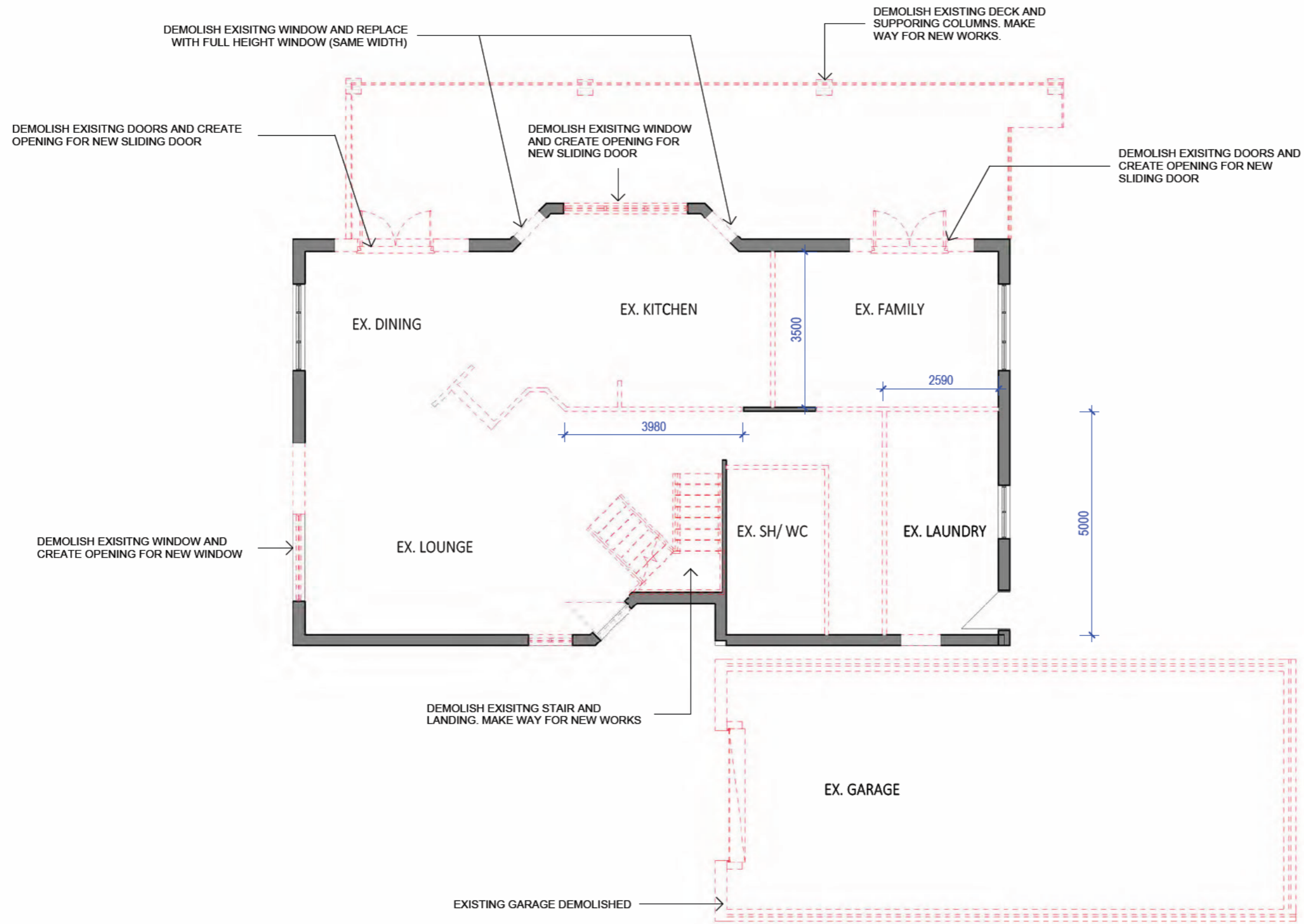
DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

GENERAL NOTES	
ALL 'EXISTING' DIMENSIONS ARE TO BE CONFIRMED ON-SITE. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.	
USE WRITTEN DIMENSIONS ONLY (ie. DO NOT SCALE DRAWINGS).	
CHECK ALL LEVELS, DATUM'S & DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.	
ALL THRESHOLD PLATES TO BE COUNTERSUNK.	
FIXTURES, FITTINGS & EQUIPMENT ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.	
ARCHITRAVES & SKIRTING: ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVELLED EDGE. WINDOWS TO BE SQUARE SET.	
ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.	



1 SUB FLOOR - PROPOSED
1 : 100

REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1 : 100	A201
DWG	SUB FLOOR PLAN - PROPOSED	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U



DRAWING KEY

- NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
- EXISTING WALLS
- DEMOLITION WORKS
- EXISTING DOORS
- NEW DOORS

GENERAL NOTES

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ALL THRESHOLD PLATES TO BE COUNTERSUNK.

FIXTURES, FITTINGS & EQUIPMENT
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

ARCHITRAVES & SKIRTING:
ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVELLED EDGE. WINDOWS TO BE SQUARE SET.

ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.

DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT.

IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

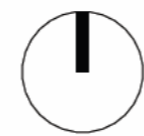
GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

1 GROUND FLOOR - DEMOLITION
1 : 100

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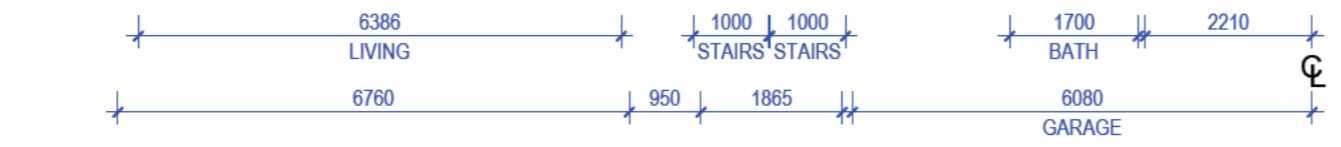
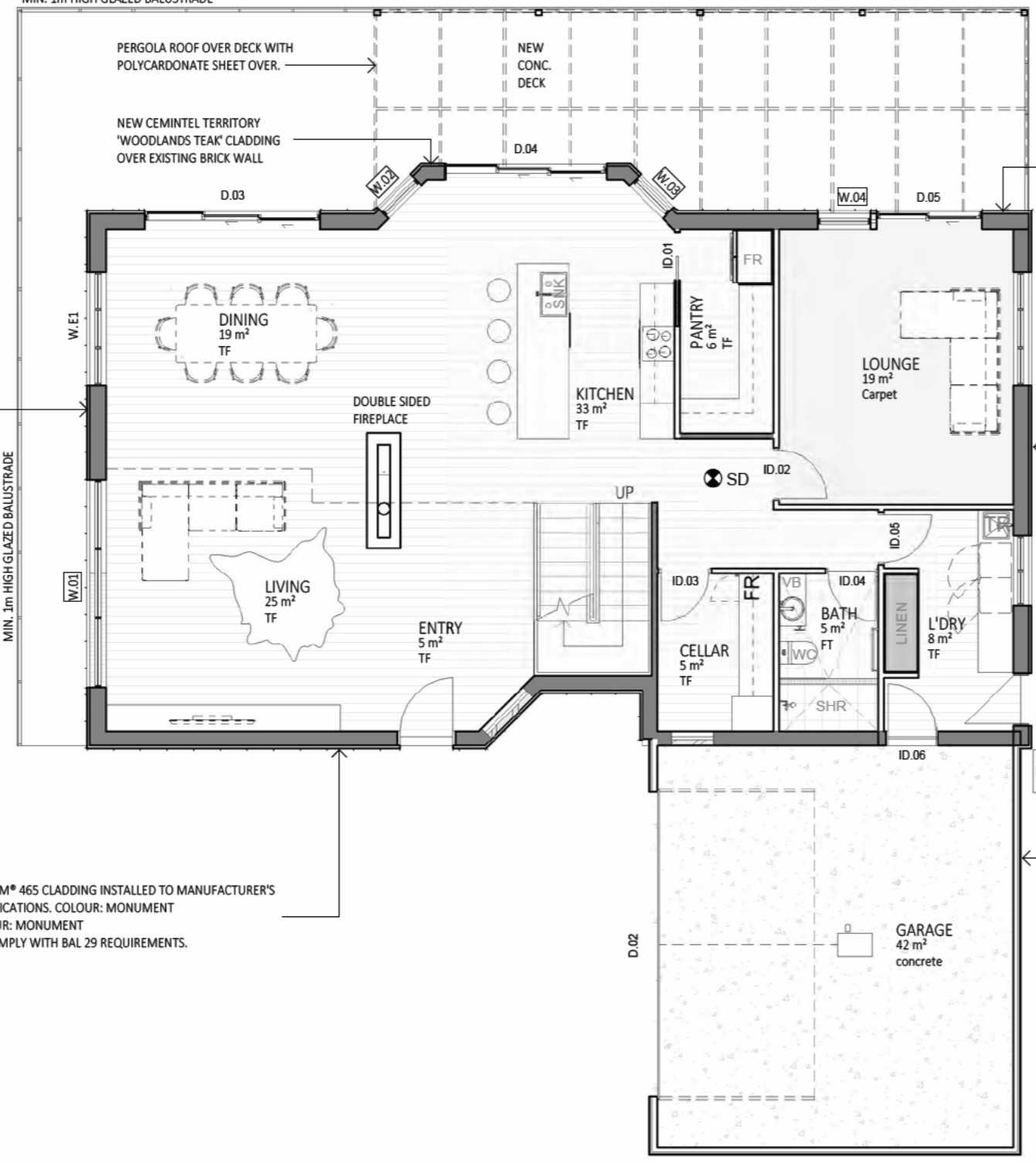
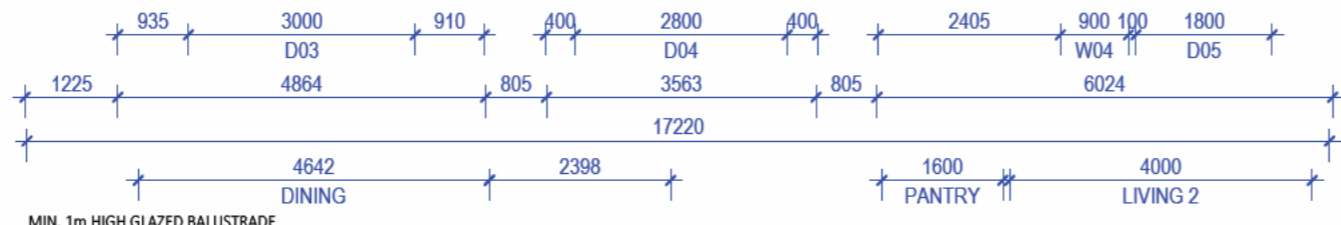
S. Group
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552 Victoria St, North Melbourne, VIC
p 03 6311 1403 e info@sgroup.com.au
abn 33 625 566 618 sgroup.com.au

PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1 : 100	A202
DWG	GROUND FLOOR PLAN - EXISTING/DEMO	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U

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DRAWING KEY

- NEW WALLS
REFER TO SCHEDULE FOR CONSTRUCTION
- EXISTING WALLS
- DEMOLITION WORKS
- EXISTING DOORS
- NEW DOORS

GENERAL NOTES

ALL 'EXISTING' DIMENSIONS ARE TO BE CONFIRMED ON-SITE. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.

USE WRITTEN DIMENSIONS ONLY (ie. DO NOT SCALE DRAWINGS).

CHECK ALL LEVELS, DATUM'S & DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.

ALL THRESHOLD PLATES TO BE COUNTERSUNK.

FIXTURES, FITTINGS & EQUIPMENT
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

ARCHITRAVES & SKIRTING:
ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVELLED EDGE. WINDOWS TO BE SQUARE SET.

ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.

FLOOR FINISHES SCHEDULE

CARPET (CPT):	CARPET TYPE & COLOUR TO BE CONFIRMED BY OWNER
FLOOR TILE (FT):	FLOOR TILES TO BE CONFIRMED BY OWNER. 150HT TILE SKIRT TO ALL WALLS.
TIMBER (TBR):	TYPE TO BE CONFIRMED BY OWNER
CONC.	TROWEL FINISHED CONC. SLAB

NOTES:
ALL FLOORING TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

ENSEAM® 465 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT TO COMPLY WITH BAL 29 REQUIREMENTS.

ENSEAM® 465 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT. TO COMPLY WITH BAL 29 REQUIREMENTS.

JAMES HARDIE AXON 133 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT TO COMPLY WITH BAL 40 REQUIREMENTS.

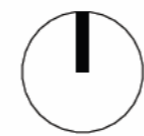
ENSEAM® 465 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT TO COMPLY WITH BAL 29 REQUIREMENTS.

JAMES HARDIE AXON 133 CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS. COLOUR: MONUMENT TO COMPLY WITH BAL 40 REQUIREMENTS.

1 GROUND FLOOR
1 : 100

create wonder.
S. Group
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PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A203
DWG		GROUND FLOOR PLAN - PROPOSED	SCALE 1 : 100
		DRAWN CHKD	Author Checker
			ACCREDITED DESIGNER CC 5618 U

DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

GENERAL NOTES

ALL 'EXISTING' DIMENSIONS ARE TO BE CONFIRMED ON-SITE. ANY ANOMALIES ARE TO BE DIRECTED TO THE DESIGNER.

USE WRITTEN DIMENSIONS ONLY (ie. DO NOT SCALE DRAWINGS).

CHECK ALL LEVELS, DATUM'S & DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS.

ALL THRESHOLD PLATES TO BE COUNTERSUNK.

FIXTURES, FITTINGS & EQUIPMENT
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

ARCHITRAVES & SKIRTING:
ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVELLED EDGE. WINDOWS TO BE SQUARE SET.

ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.

DEMOLITION NOTES

GENERALLY DEMOLITION WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES & REGULATIONS 45, 46 & 47 OF THE BUILDING REGULATIONS (Tas.) 2016.

PROCEDURES & METHODS OF DEMOLITION MUST BE ADEQUATE TO PREVENT INJURY TO PERSONS & AVOID DAMAGE TO NEIGHBORING PROPERTIES.

ALL DEMOLISHED MATERIALS, RUBBISH & DEBRIS SHALL BE REMOVED FROM THE SITE ON COMPLETION OF DEMOLITION.

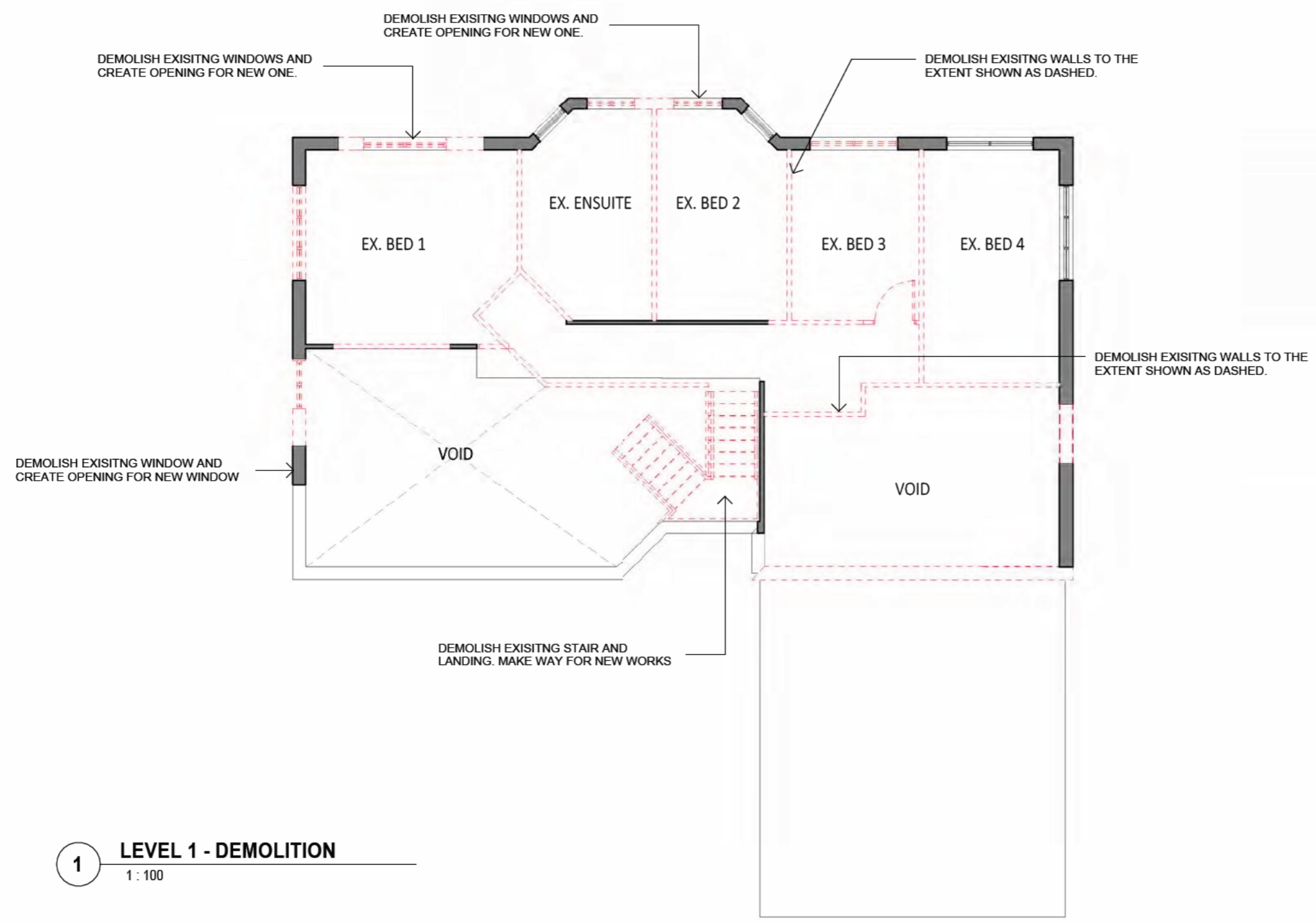
BEFORE REMOVING EXISTING WALLS SHOWN TO BE DEMOLISHED, BUILDER SHALL CONFIRM ON-SITE WHETHER THEY ARE LOADBEARING / BRACING OR NOT.

IF IT IS FOUND THAT THEY ARE LOADBEARING / BRACING, A STRUCTURAL ENGINEER MUST BE ENGAGED TO DETERMINE ANY BEAMS REQUIRED TO SUPPORT THESE EXISTING LOADS.

ALL REDUNDANT STORMWATER, SEWER AND WATER CONNECTIONS ASSOCIATED WITH THE DEMOLITION SHALL BE CUT & SEALED TO THE SATISFACTION OF COUNCIL'S SENIOR PLUMBING INSPECTOR.

THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE & VENT PIPES, FLOOR DRAINS, WATER SERVICE PIPEWORK BRACKETS, SUPPORTS etc. & SEAL OFF EXISTING SERVICES. SEAL OFF & MAKE GOOD ALL FLOOR, WALL & ROOF PENETRATIONS.

GENERALLY, MAKE GOOD TO EXISTING FLOORS, WALLS & CEILINGS WHERE ALL DEMOLITION WORK OCCURS TO MATCH EXISTING AS & WHERE REQUIRED.

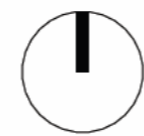


1 LEVEL 1 - DEMOLITION
1 : 100

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PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A204
DWG		LEVEL 1 FLOOR PLAN - EXISTING/ DEMOLISHED	ACCREDITED DESIGNER CC 5618 U
		SCALE 1 : 100	Author Checker

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DRAWING KEY	
	NEW WALLS REFER TO SCHEDULE FOR CONSTRUCTION
	EXISTING WALLS
	DEMOLITION WORKS
	EXISTING DOORS
	NEW DOORS

GENERAL NOTES

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ALL THRESHOLD PLATES TO BE COUNTERSUNK.

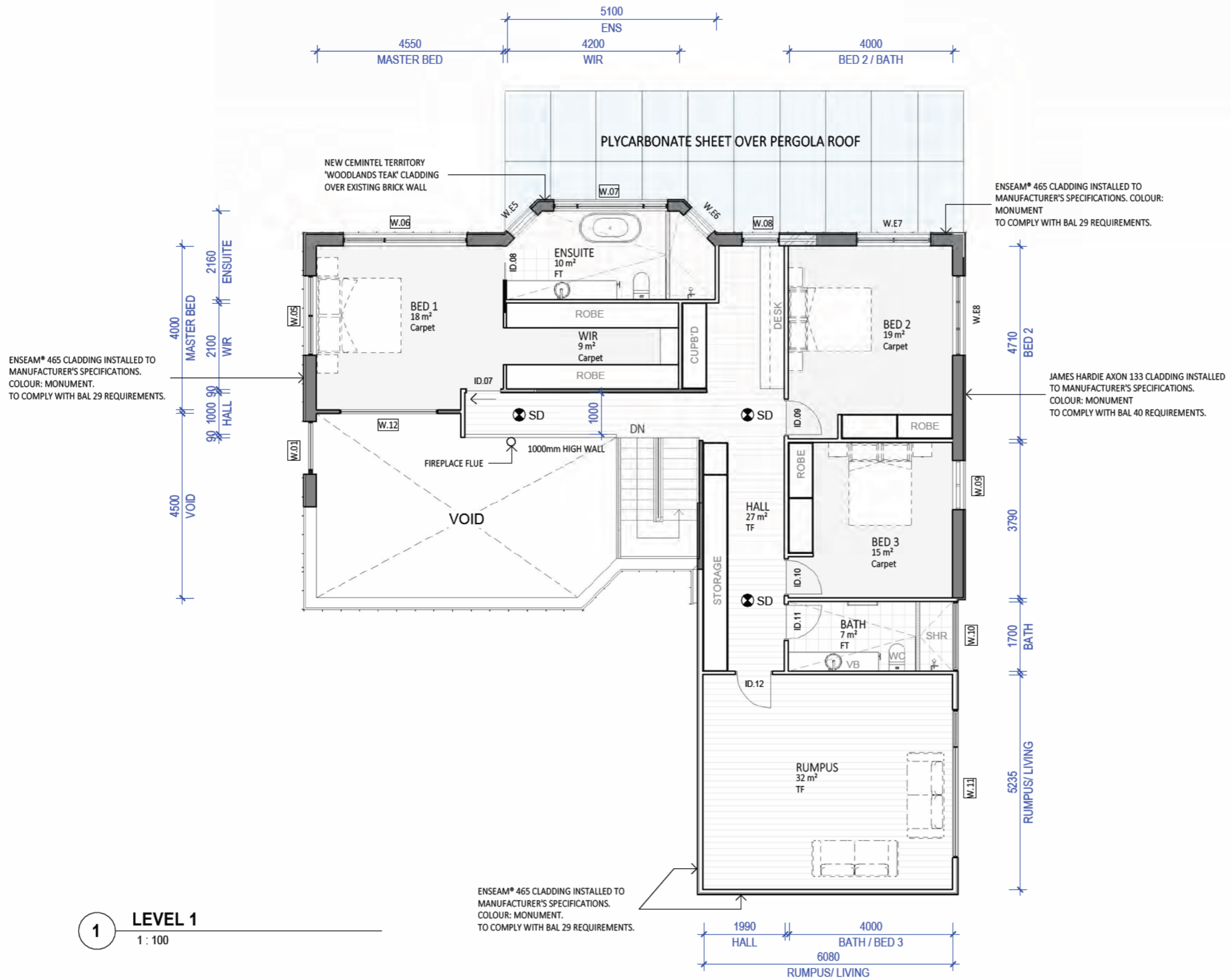
FIXTURES, FITTINGS & EQUIPMENT
ALL FIXTURE, FITTINGS & EQUIPMENT SHOWN DASHED ARE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

ARCHITRAVES & SKIRTING:
ARCHITRAVES AROUND ALL DOORS TO BE 66X11MM PRIMED FJ PINE-BEVILLED EDGE. WINDOWS TO BE SQUARE SET.

ARCHITECTURAL PLANS & DRAWINGS & SPECIFICATIONS ARE TO BE READ IN-CONJUNCTION WITH DRAWINGS BY OTHERS FOR STRUCTURAL WORKS & SPECIFICATIONS.

FLOOR FINISHES SCHEDULE	
CARPET (CPT):	CARPET TYPE & COLOUR TO BE CONFIRMED BY OWNER
FLOOR TILE (FT):	FLOOR TILES TO BE CONFIRMED BY OWNER. 150HT TILE SKIRT TO ALL WALLS.
TIMBER (TBR):	TYPE TO BE CONFIRMED BY OWNER
CONC.	TROWEL FINISHED CONC. SLAB

NOTES:
ALL FLOORING TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

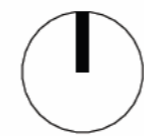


1 LEVEL 1
1 : 100

create wonder.

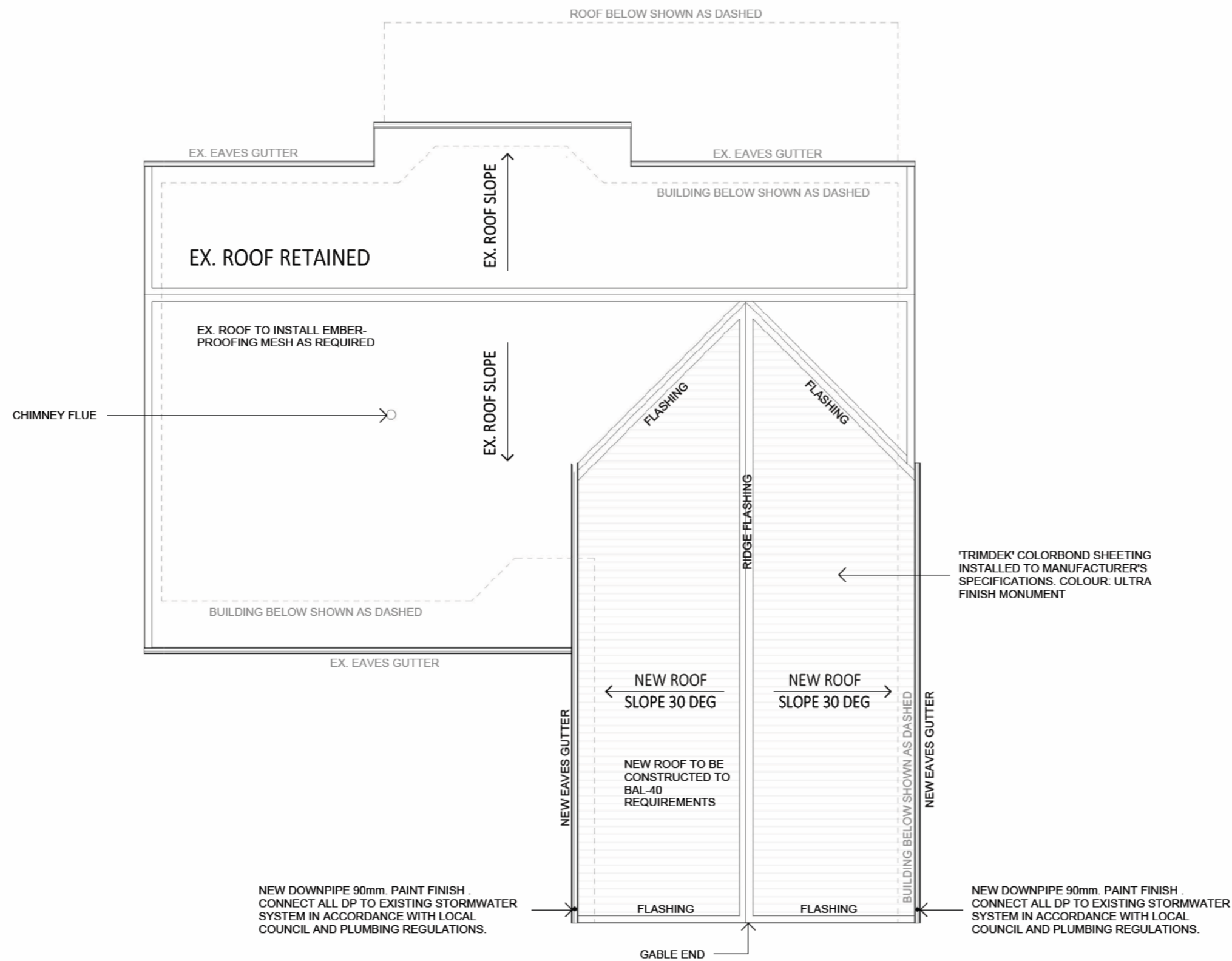
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abn 33 625 566 618 sgroup.com.au

PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A205
DWG		LEVEL 1 FLOOR PLAN - PROPOSED	ACCREDITED DESIGNER CC 5618 U

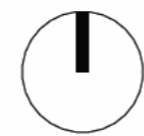
SCALE 1 : 100
DRAWN CHKD Author Checker



ROOF PLAN SCHEDULE:	
ALL ROOF SHEETING, GUTTERING, DOWNPIPES & CAPPINGS / FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
ROOF TYPE: (RT-1)	
REFER TO ROOF PLAN FOR ROOF PITCH	
TYPE:	LYSAGHT® TRIMDEK® 0.48BMT.
COLOUR:	COLOURBOND® FINISH: ULTRA FINISH 'MONUMENT'.
MEMBRANE:	VAPOUR PERMEABLE SUITABLE FOR CLIMATE ZONE 7.
ROOF BATTEN:	REFER TO STRUCTURAL ENGINEERING
DRAINAGE BATTEN:	18x40mm CAVIBAT OR EQUIVALENT TO APPROVAL.
GUTTER TYPE: (GT-1):	
TYPE:	LYSAGHT® QUADLINE GUTTER
COLOUR:	COLOURBOND® FINISH: ULTRA FINISH 'MONUMENT'.
RAIN WATER PIPES (RWP):	
TYPE:	MIN. 90mm uPVC
PAINT FINISH. COLOURBOND® ULTRA FINISH MONUMENT	
FLASHINGS / CAPPINGS:	
FLASHINGS & CAPPINGS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.	
COLOUR:	COLOUR TO MATCH ROOF
ROOF VENTILATION:	
FOR ROOFS <10° NCC 2022 REQUIREMENTS 25,000mm ² /m MEASURED FROM THE LONGEST HORIZONTAL EDGE OF THE ROOF.	
FASCIA / EAVE VENT (GUTTER SIDE):	
TYPE:	VENT SYSTEMS OVER FASCIA VENTILATOR (G2500N)
RIDGE VENT:	
TYPE:	LYSAGHT VENT-A-ROOF SKILLION RIDGE
NOTE:	
VENTILATION SYSTEMS TO BE INSTALLED ALONG THE FULL LENGTH OF ROOF.	
SYSTEMS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION.	
ENSURE MIN 25mm CONTINUOUS UNIMPEDED AIRFLOW PATH.	
SYSTEMS TO BE USED AS PART OF A COMPLETE VENTILATION SYSTEM.	

1 ROOF PLAN
1:100

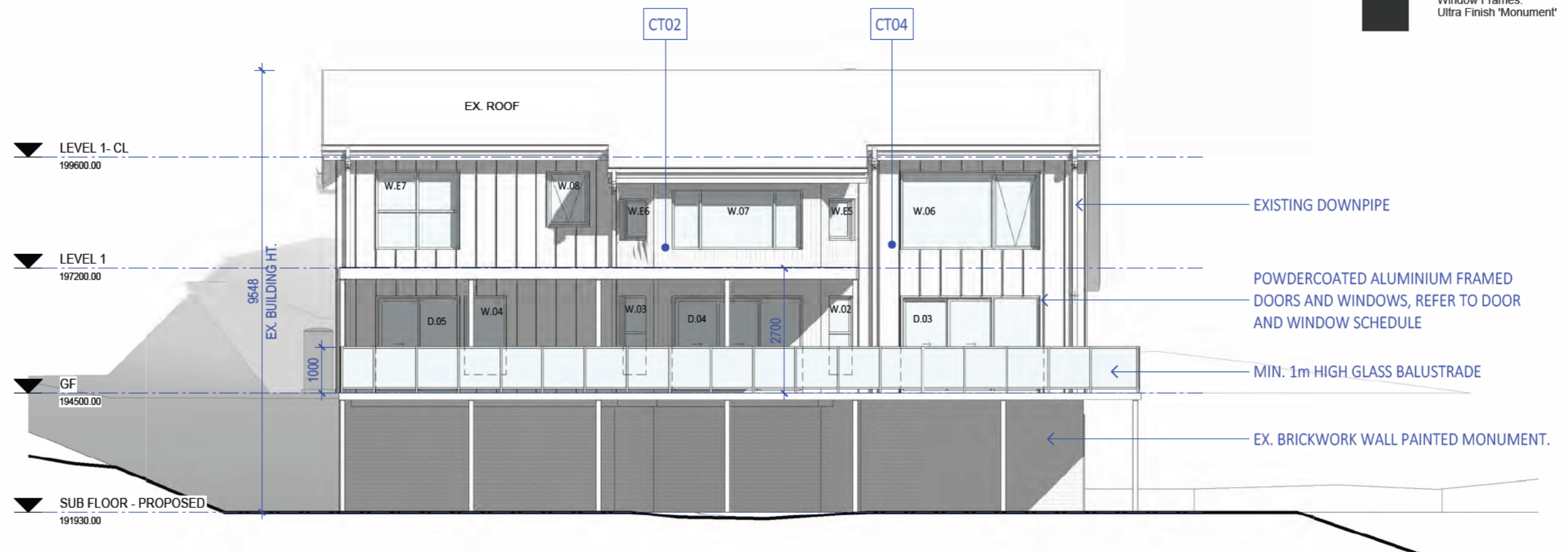
PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1:100	A206
DWG	ROOF PLAN	DRAWN CHKD	Author Checker ACCREDITED DESIGNER CC 5618 U

Materials & Finishes

-  CT01
Roofing:
Colorbond Ultra Finish 'MONUMENT' Trimdek
-  CT02
Vertical Wall Cladding:
Cemintel Territory 'Woodlands Teak'
-  CT03
Vertical Wall Cladding:
James Hardie Axon 133 Ultra Finish 'Monument'
-  CT04
Vertical Wall Cladding:
ENSEAM® 465 Ultra Finish 'Monument'
-  Window Frames:
Ultra Finish 'Monument'

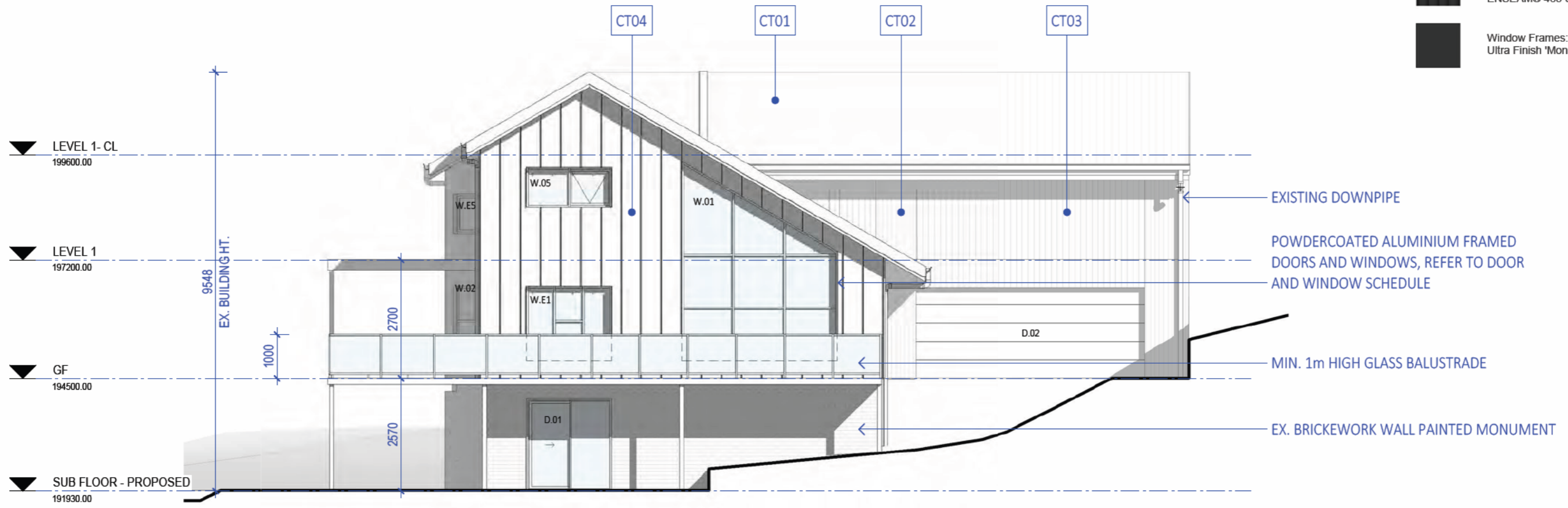


1 NORTH ELEVATION
1 : 100

REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1 : 100	A301
DWG	NORTHERN ELEVATION	DRAWN CHKD Author Checker	ACCREDITED DESIGNER CC 5618 U

Materials & Finishes

-  CT01
Roofing:
Colorbond Ultra Finish 'MONUMENT' Trimdek
-  CT02
Vertical Wall Cladding:
Cemintel Territory 'Woodlands Teak'
-  CT03
Vertical Wall Cladding:
James Hardie Axon 133 Ultra Finish 'Monument'
-  CT04
Vertical Wall Cladding:
ENSEAM® 465 Ultra Finish 'Monument'
-  Window Frames:
Ultra Finish 'Monument'



1 WESTERN ELEVATION
1 : 100






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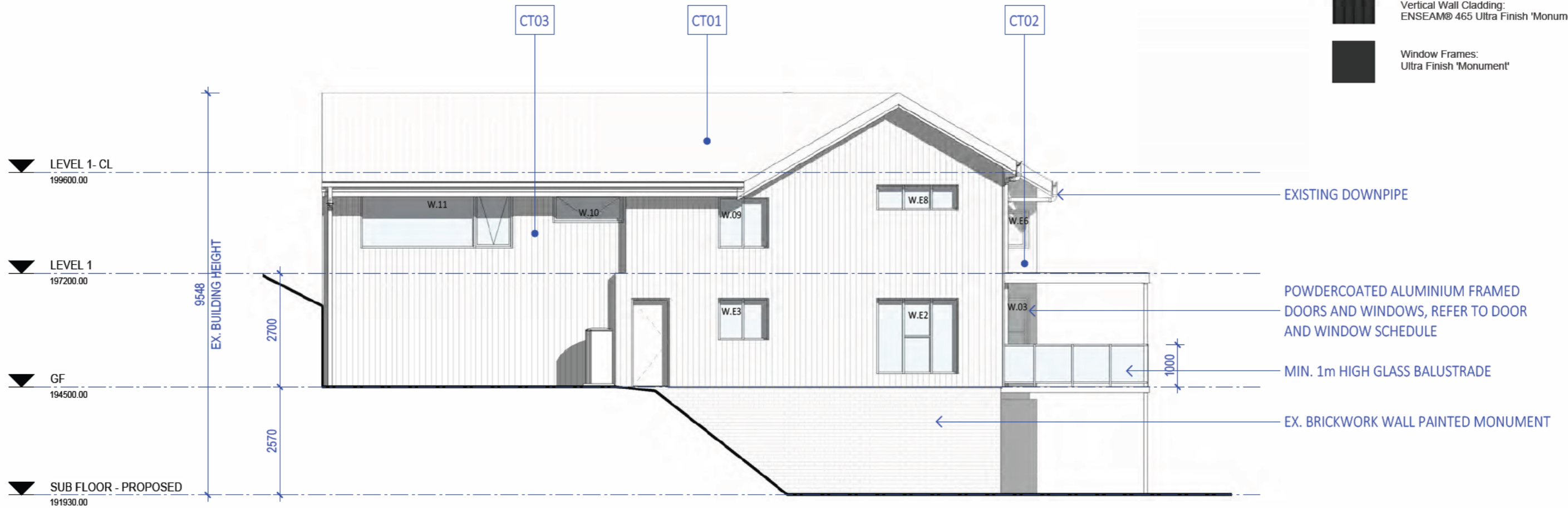
PLANNING APPLICATION



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A302
DWG		WESTERN ELEVATION	ACCREDITED DESIGNER CC 5618 U
	SCALE	1 : 100	
	DRAWN	Author	
	CHKD	Checker	

Materials & Finishes

-  CT01
Roofing:
Colorbond Ultra Finish 'MONUMENT' Trimdek
-  CT02
Vertical Wall Cladding:
Cemintel Territory 'Woodlands Teak'
-  CT03
Vertical Wall Cladding:
James Hardie Axon 133 Ultra Finish 'Monument'
-  CT04
Vertical Wall Cladding:
ENSEAM® 465 Ultra Finish 'Monument'
-  Window Frames:
Ultra Finish 'Monument'



1 EASTERN ELEVATION
1:100

PLANNING APPLICATION



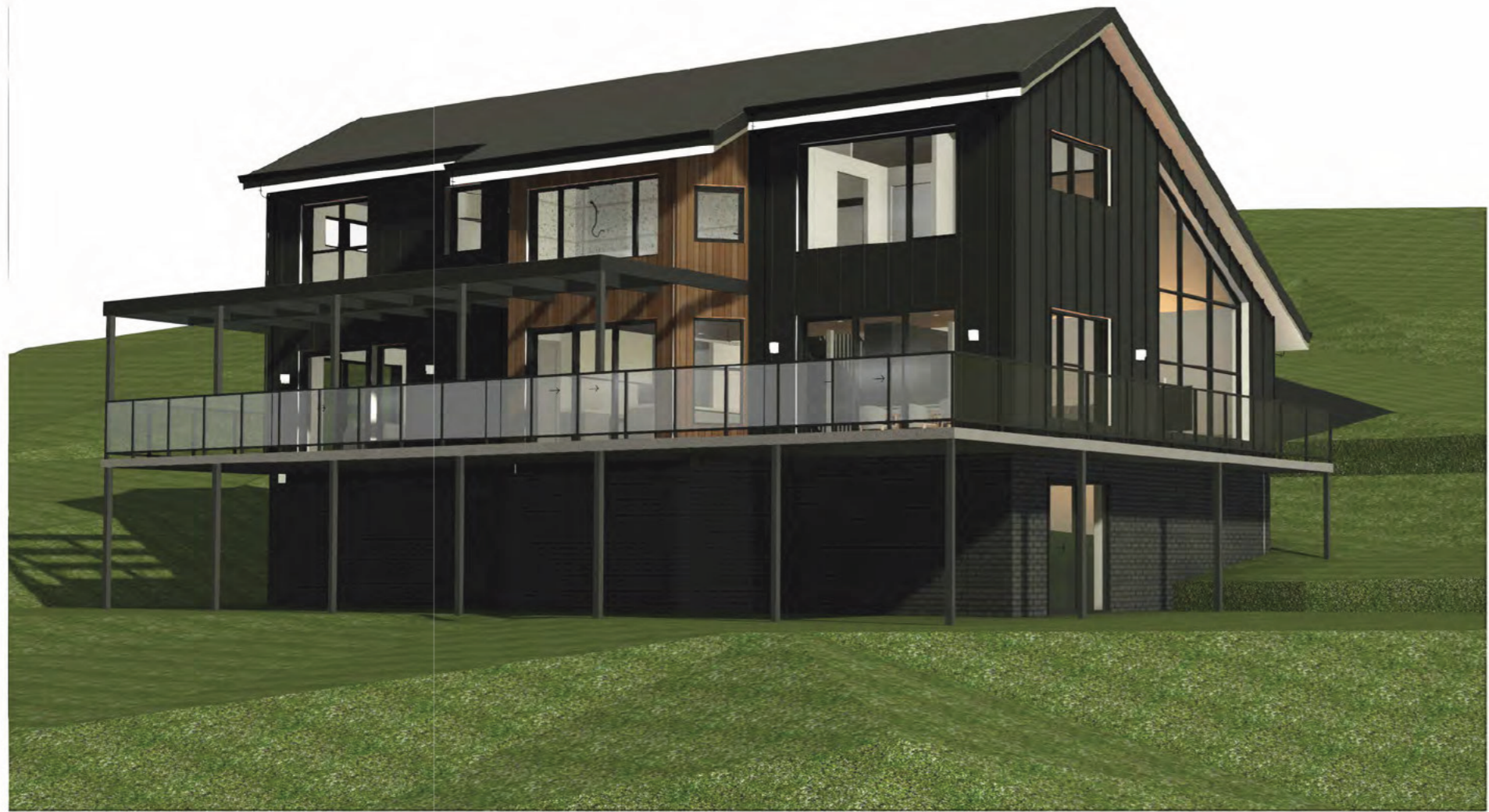
REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT	RESIDENTIAL EXTENSION		J008071
ADDRESS	46 ELLIS RD, ROMAINE		DWG #
CLIENT	EADE & DE BOMFORD	SCALE 1:100	A303
DWG	EASTERN ELEVATION	DRAWN CHKD	Author Checker ACCREDITED DESIGNER CC 5618 U



2 3D VIEW NE CORNER 2



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A801
DWG		3D VIEWS 1	ACCREDITED DESIGNER
			CC 5618 U



1 3D VIEW NW CORNER 2



2 3D VIEW WESTERN SIDE 2



REVISION	DATE	DESCRIPTION	PROJECT #
PROJECT		RESIDENTIAL EXTENSION	J008071
ADDRESS		46 ELLIS RD, ROMAINE	DWG #
CLIENT		EADE & DE BOMFORD	A802
DWG		3D VIEWS 2	ACCREDITED DESIGNER
			CC 5618 U

AS 3959 Method 2 calculations							
Address	46 Ellis Road, Romaine						
PID	1486807		Title ref	104809/1			
	Inputs	derived figures	outputs				
FDI	50	w	ros				
Vegetation	D	13.7	0.8				
Veg Slope		derived figures		degrees	-1	Forest	F
HMA slope	0	23.7	F length	degrees	0	Dry Tasmanian Forest	D
HMA width	7.5	R slope	7.8	Elevation receiver	3	Woodland	W
Flame width	100	0.8	7.8			Low heath	L
		W	7.8			Heath	H
		23.7	7.8			Grass	G
			7.8			forest wetland	fw
			7.8				
			7.8				
		R (slope)	F length	Intensity		Radiation	34.45
Forest & Woodland		0.77	7.83	9394			kWm ⁻²
Shrub, Heath, Scrub		0.77	5.4	10065		temp (1090, 1200)	1090
Grass		0.77	3.7	9394			
flame angle	65						
The variable inputs to this spreadsheet appear in the yellow-highlighted boxes.							
The derived values w and W are as they appear in AS 3959, apart from individually allocated figures for D vegetation types, taken from Marsden-Smedley <i>et al</i> , Fuel in Tasmanian Dry Eucalypt Forests, Fire 2022, 5, 103. Table 4							
The usual output is Radiation in kWm ⁻² but the program can be forced to find input values matching a desired outcome.							
Simulations of the shielding effect of fences are made by manually adjusting the F length value							
If that is done, the first column of F length values will show mis-matching numbers							
						Garage to East	

AS 3959 Method 2 calculations							
Address	46 Ellis Road, Romaine						
PID	1486807	Title ref	104809/1				
	Inputs	derived figures	outputs				
FDI	50	w	ros				
Vegetation	D	13.7	0.8				
Veg Slope		derived figures	degrees		-4 Forest	F	
HMA slope	0	23.7	F length	degrees	0 Dry Tasmanian Forest	D	
HMA width	9	R slope	6.9	Elevation receiver	3 Rainforest	R	
Flame width	100	0.6	6.9		3 Woodland	W	
		W	6.9		Low heath	L	Shrubland
		23.7	6.9		Heath	H	Scrub
			6.9		Grass	G	
			6.9		forest wetland	fw	
			6.9				
		R (slope)	F length	Intensity	Radiation	25.37	kWm ⁻²
Forest & Woodland		0.62	6.90	7638			
Shrub, Heath, Scrub		0.62	5.4	10065	temp (1090, 1200)	1090	
Grass		0.62	3.3	7638			
flame angle	65						
The variable inputs to this spreadsheet appear in the yellow-highlighted boxes.							
The derived values w and W are as they appear in AS 3959, apart from individually allocated figures for D vegetation types, taken from Marsden-Smedley <i>et al</i> , Fuel in Tasmanian Dry Eucalypt Forests, Fire 2022, 5, 103. Table 4							
The usual output is Radiation in kWm ⁻² but the program can be forced to find input values matching a desired outcome.							
Simulations of the shielding effect of fences are made by manually adjusting the F length value							
If that is done, the first column of F length values will show mis-matching numbers							
Garage to South							

AS 3959 Method 2 calculations							
Address	46 Ellis Road, Romaine		Title ref	104809/1			
PID	1486807						
	Inputs	derived figures	outputs				
FDI	50	w	ros				
Vegetation	D	13.7	0.8				
Veg Slope		derived figures		degrees	6 Forest	F	
HMA slope	0	23.7	F length	degrees	0 Dry Tasmanian Forest	D	
HMA width	12	R slope	10.9	Elevation receiver	Rainforest	R	
		1.2	10.9		3 Woodland	W	
Flame width	100	W	10.9		Low heath	L	Shrubland
		23.7	10.9		Heath	H	Scrub
			10.9		Grass	G	
			10.9		forest wetland	fw	
			10.9				
			10.9				
		R (slope)	F length	Intensity	Radiation	28.91	kWm ⁻²
Forest & Woodland		1.24	10.93	15227			
Shrub, Heath, Scrub		1.24	5.4	10065	temp (1090, 1200)	1090	
Grass		1.24	4.7	15227			
flame angle	60						
The variable inputs to this spreadsheet appear in the yellow-highlighted boxes.							
The derived values w and W are as they appear in AS 3959, apart from individually allocated figures for D vegetation types, taken from Marsden-Smedley <i>et al</i> , Fuel in Tasmanian Dry Eucalypt Forests, Fire 2022, 5, 103. Table 4							
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Simulations of the shielding effect of fences are made by manually adjusting the F length value							
If that is done, the first column of F length values will show mis-matching numbers							
N & W							

AS 3959 Method 2 calculations							
Address	46 Ellis Road, Romaine			Title ref	104809/1		
PID	1486807						
	Inputs	derived figures	outputs				
FDI	50	w	ros				
Vegetation	D	13.7	0.8				
Veg Slope		derived figures		degrees	-1	Forest	F
HMA slope	0	23.7	F length	degrees	0	Dry Tasmanian Forest	D
HMA width	9	R slope	7.8	Elevation receiver	3	Woodland	W
Flame width	100	0.8	7.8			Low heath	L
		W	7.8			Heath	H
		23.7	7.8			Grass	G
			7.8			forest wetland	fw
			7.8				
			7.8				
		R (slope)	F length	Intensity		Radiation	28.71 kWm ⁻²
Forest & Woodland		0.77	7.83	9394			
Shrub, Heath, Scrub		0.77	5.4	10065		temp (1090, 1200)	1090
Grass		0.77	3.7	9394			
flame angle	65						
The variable inputs to this spreadsheet appear in the yellow-highlighted boxes.							
The derived values w and W are as they appear in AS 3959, apart from individually allocated figures for D vegetation types, taken from Marsden-Smedley <i>et al</i> , Fuel in Tasmanian Dry Eucalypt Forests, Fire 2022, 5, 103. Table 4							
The usual output is Radiation in kWm ⁻² but the program can be forced to find input values matching a desired outcome.							
Simulations of the shielding effect of fences are made by manually adjusting the F length value							
If that is done, the first column of F length values will show mis-matching numbers							
NE house to E							

