

PLEASE QUOTE

Your Ref:

Our Ref: DA 2025/67

Enquiries: Planning Department

80 Wilson Street, Burnie Tasmania
PO Box 973, Burnie TAS 7320

ABN: 29 846 979 690
Phone: (03) 6430 5700
Email: burnie@burnie.tas.gov.au
Web: www.burnie.tas.gov.au

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NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

Advice to Adjoining Land Owner or Occupier

Application No: - DA 2025/67
Development Site: - 32 Cascade Road ROMAINE
CT: 104196/4
Proposal: - Outbuilding (Shed)

Notice of the above application is served on you as an adjoining land owner or occupier.

The application may be viewed at -

Burnie City Council Customer Services Counter
Ground Floor, City Offices,
80 Wilson Street, Burnie

Between the hours of 8.45 am – 4.45 pm Monday to Friday inclusive (excluding public holidays) or on Council's website at www.burnie.tas.gov.au/permits

You are entitled to make representation in writing on any aspect of the proposal addressed to: -

General Manager,
Burnie City Council,
PO Box 973, Burnie 7320

or burnie@burnie.tas.gov.au by no later than 5.00 pm on **20 October 2025**. Council must have regard to any written representation received during the exhibition period when considering its decision on the application.

All persons who make representation will be notified within seven (7) days of the Council's decision. Any persons who made representation and is not satisfied with the Council decision may, under Section 61(5) of the *Land Use Planning and Approvals Act 1993*, lodge an appeal against that decision within fourteen (14) days of the date of that notice to: -

The Tasmanian Civil and Administrative Tribunal,
GPO Box 1311,
HOBART TAS 7001.

Should you have any enquiries regarding this development proposal, please do not hesitate to contact the Planning Department on (03) 6430 5700.

Troy McCarthy

PRINCIPAL PLANNER

Date of Notice: - **4 October 2025**



Land Use Planning and Approvals Act 1993

Tasmanian Planning Scheme

PERMIT APPLICATION

Office use only

Application No _____

Date Received _____

Permit Pathway - *Permitted/Discretionary*

Use or Development Site:

Street Address

Certificate of
Title Reference

Applicant

First Name

Second
Name

Surname

Postal Address:

Phone No:

Mobile:

Email Address:

I/we consent for all giving of information and the serving of notices in relation to this application to be delivered electronically to the above email address?

YES

NO

Applicants Signature:

Owner (note – if more than one owner, all names must be indicated)

First Name

Second Name

Surname

Postal Address:

Phone No:

Instruction for making a permit application

a) *Use or development?*

The application must provide a full description of the proposed use and/or development and of the manner in which the use and/or development is to operate.

“Use” is the purpose or manner for which land is utilised. “Development” is any site works (including any change in natural condition or topography of land and the clearing or conversion of vegetation), and the construction, alteration, or removal of buildings, structures and signs, required in order to prepare a site for use or to change existing conditions within a site. Subdivision is development.

Clause 6.2 Tasmanian Planning Scheme provides the use classes by which all use or development must be described. Development must be categorised by reference to the use class it is to serve.

b) *Required Information*

Adequate statements, plans and specifications must be included within the permit application to address and demonstrate compliance with all applicable requirements of the planning scheme, including any site analysis, impact report and recommendation, and advice, consent or determination required from a State agency or utility entity.

The application must clearly identify the documents relied upon for determination.

Section 51(1AC) *Land Use Planning and Approvals Act 1993* provides that a permit application is not valid unless it includes all of the information required by a planning scheme. Clause 6.1 Tasmanian Planning Scheme prescribes the minimum information that is necessary in order to complete a valid permit application.

S54 *Land Use Planning and Approvals Act 1993* provides that the planning authority may require the applicant to supply further information before it considers a permit application. If the planning authority requires further information to more particularly address one or more of the applicable requirements of the Tasmanian Planning Scheme, the statutory period for determination of a permit application does not run until that information is answered to the satisfaction of the planning authority

c) *Applicable Provisions and Standards*

The permit application must be assessed against the applicable provisions and standards of the Tasmanian Planning Scheme. The application is to identify by reference the clauses it relies upon to demonstrate compliance. (eg *clause 8.4.3 (A1 – A4, and P5)*)

d) *Discretionary Permits*

If a permit is discretionary the permit application must be notified for a period of 14 days to allow opportunity for any interested person to consider the proposed use and/or development and to provide comment on the discretionary matter.

If a permit application relies on performance criteria to satisfy an applicable standard or is discretionary under another provision of the interim planning scheme, the permit is discretionary only with respect to that standard.

The Council must have regard to all representations received during the notification period on a discretionary matter when determining whether to grant or refuse a permit.

e) *If the applicant is not the landowner*

If the applicant is not the owner of the land in the use or development site, the applicant is required to notify all of the owners either prior to or within 7 days from the date of making the permit application.

The permit application must identify all of the landowners; and the applicant must sign the application form to acknowledge the obligation to advise such landowners that the permit application has been made.

If the site includes land owned or administered by the Burnie City Council or by a State government agency, the consent in writing from the Council or the Minister responsible for Crown land must be provided at the time of making the application.

f) *Applicant declaration*

It is an offence for a person to do any act that is contrary to a compliance requirement created under the section 63 *Land Use Planning and Approvals Act 1993*. The applicant is required to complete a declaration that the information given in the permit application is true and correct.

g) *Payment of Fees*

The Council is not required to take any action on the permit application until all the relevant fees have been paid.

Permit Information

(NB If insufficient space, please attach separate document)

Proposed Use:

Use Class

Documents included with the permit application to describe the Use

Proposed Development

Use class to which the development applies

Documents included with the permit application to describe the Development

Provisions and Standards relied upon for grant of a Permit

Value of use and/or development**Notification of Landowner/s****If land is not in applicant's ownership**

I, Christie Smith, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant

Christie Smith

Date : 30.09.2025

If the permit application involves land owned or administered by the BURNIE CITY COUNCIL

Burnie City Council consents to the making of this permit application.

General Manager (Signature)

Date

If the permit application involves land owned or administered by the CROWN

I, the Minister responsible for the land, consent to the making of this permit application.

Minister (Signature)

Date

Applicant Declaration

I, declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant

Christie Smith

Date

Office use only

SEARCH OF TORRENS TITLE

VOLUME 104196	FOLIO 4
EDITION 7	DATE OF ISSUE 10-May-2025

SEARCH DATE : 24-Sep-2025

SEARCH TIME : 12.33 PM

DESCRIPTION OF LAND

City of BURNIE

Lot 4 on Sealed Plan [104196](#)

Derivation : Part of 50,000 Acres (Section 139) Gtd to Van

Diemens Land Company

Prior CT [42031/1](#)

SCHEDULE 1

[N238147](#) TRANSFER to RACHEL MAREE STEVENS Registered
10-May-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP104196](#) FENCING COVENANT in Schedule of Easements

[13/7344](#) CONVEYANCE Made Subject to Exceptions And
Reservations in favour of The V.D.L. Co.

[13/7344](#) CONVEYANCE made SUBJECT TO Fencing Condition

[43/3634](#) CONVEYANCE made SUBJECT TO Fencing Condition

[E411635](#) MORTGAGE to Westpac Banking Corporation Registered
10-May-2025 at 12.01 PM

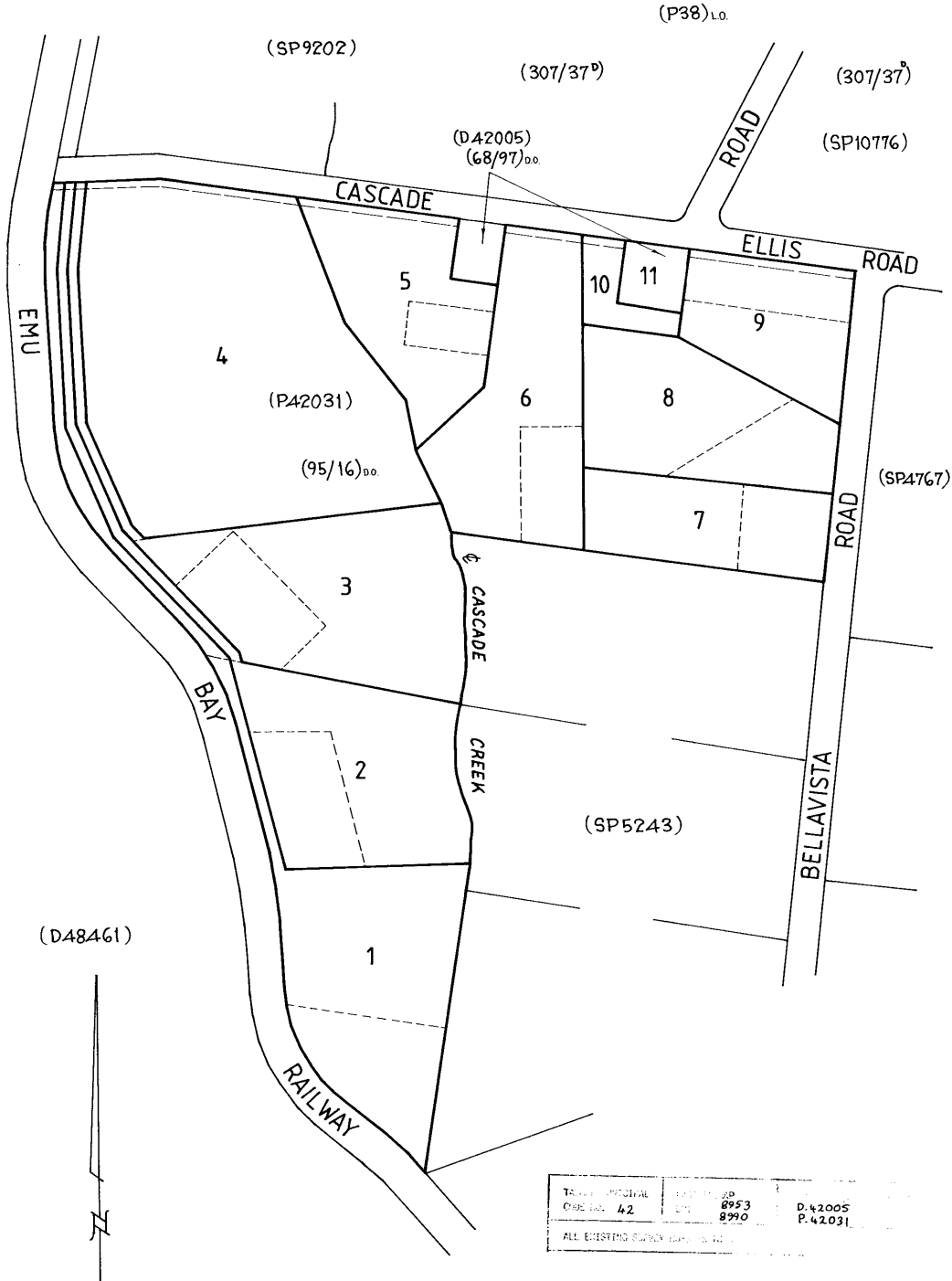
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: Kenneth Ian Pease Neil Richard Hamman & Janice Dawn Hamman.	PLAN OF SURVEY by Surveyor: B. J. Rollins of PEACOCK, DARCEY & ANDERSON PTY. LTD. AUTHORISED SURVEYORS 91 MOUNT STREET - BURNIE of land situated in the	REGISTERED NUMBER 104196 Approved 30 APR 1993 Effective from Recorder of Titles
Title Reference: C.T.4833-91, C.T.4614-63 42031-1 42005-2	CITY OF BURNIE SCALE 1: 2000 MEASUREMENTS IN METRES	
Grantee: Part of Section 139 in the Emu Bay Block of 50,000 Ac. qtd to the Van Diemens Land Co.		

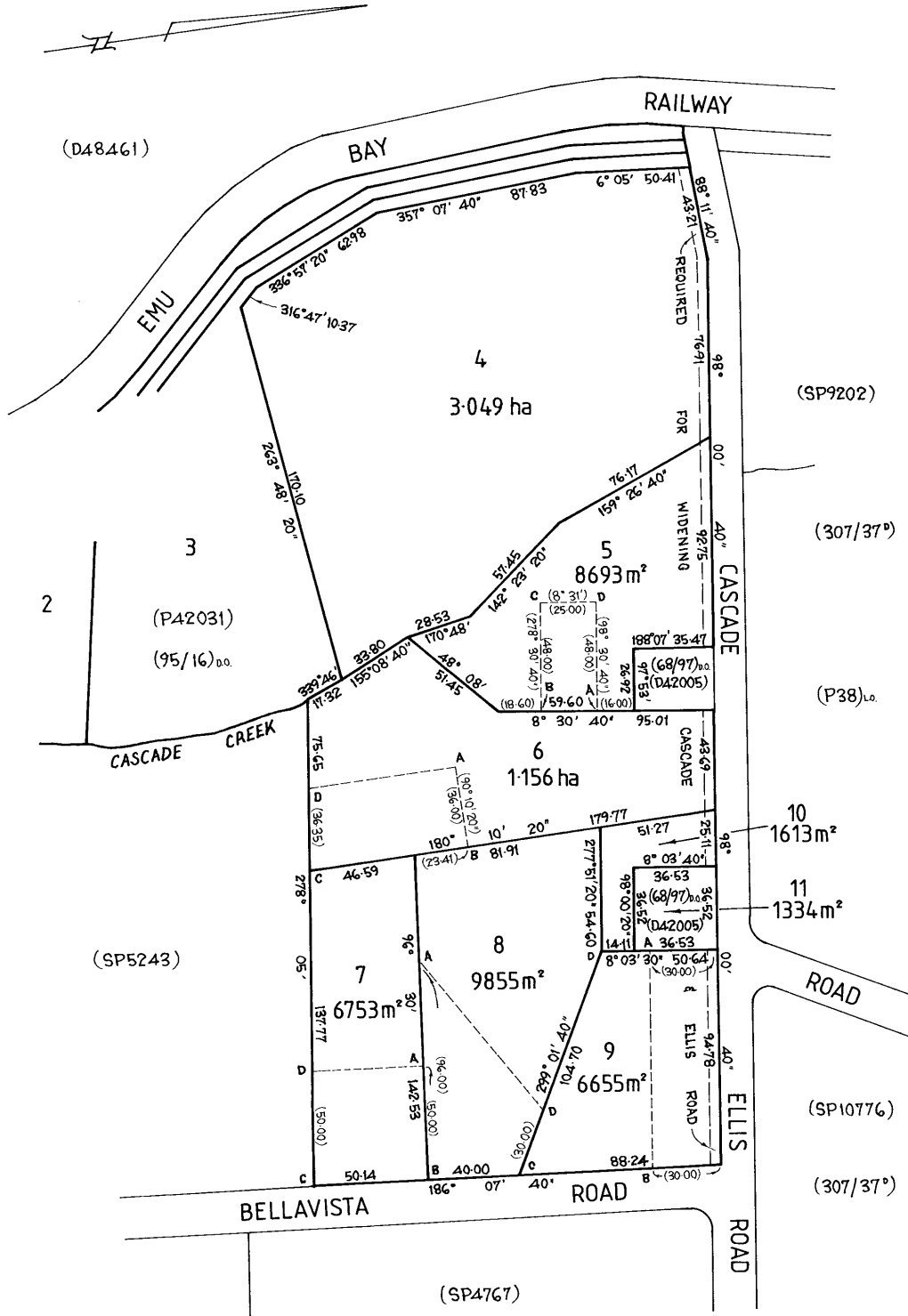
LOT 10 IS TO BE ADDED TO LOT 11
 LOT 10 AND LOT 11 TOGETHER FORM LOT 12


INDEX PLAN

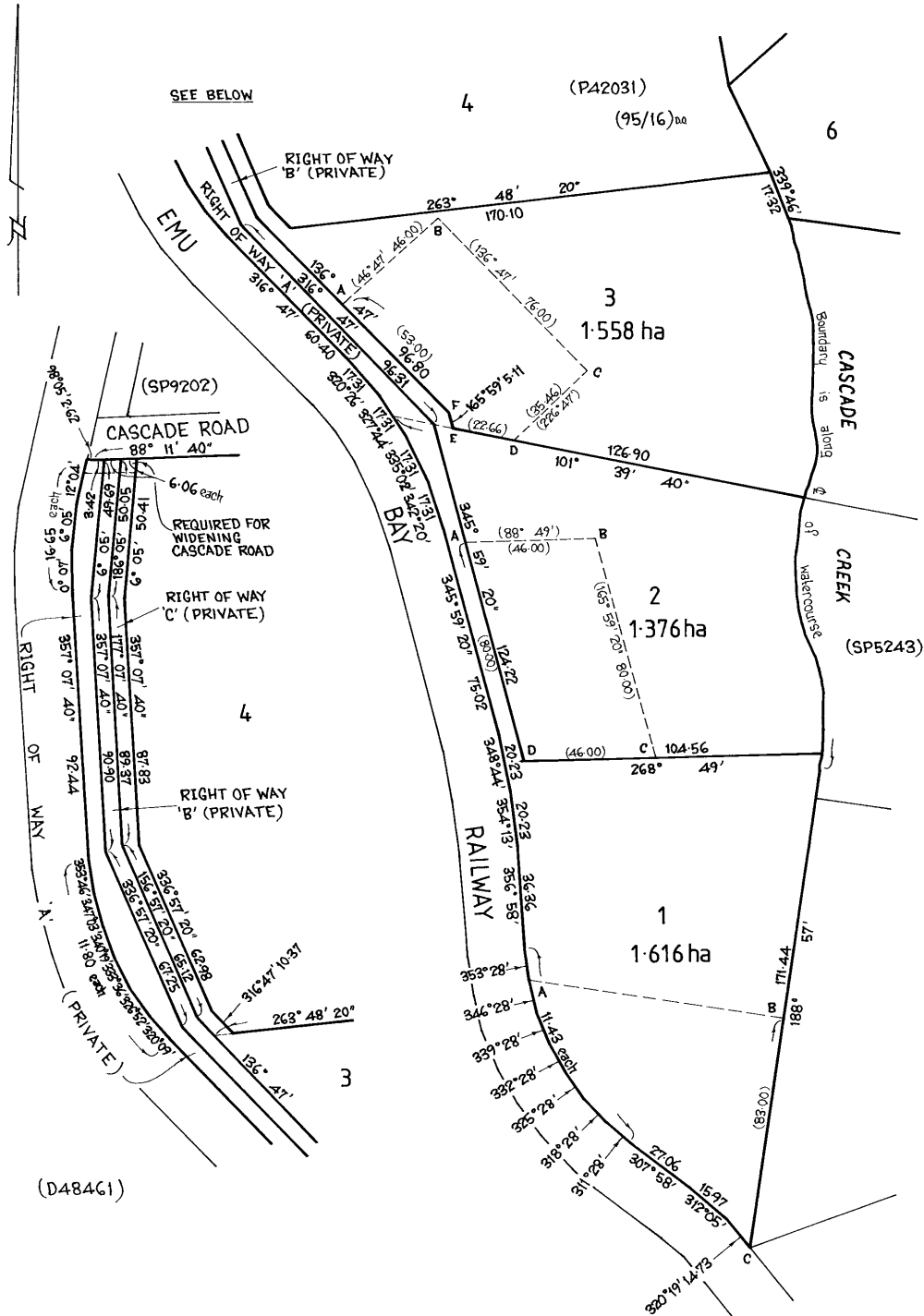


<p>ANNEXURE SHEET No. 1 (of 2 annexures) to plan by Surveyor B. J. Rollins</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 3/11/92 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: SP104196</p>
<p>Signed for the purposes of identification Council Clerk </p>	<p>Surveyor Owner: Kenneth Ian Pease, Neil Richard Harman & Jarrice Dawn Harman. Title Reference: C.T. 4833-91, C.T. 4614-63 42031-1 42005-2</p>	<p>Scale 1: 1500 Measurements in Metres</p>

LOT 10 IS TO BE ADDED TO LOT 11.
LOTS 10 & 11 TOGETHER FORM LOT 12.



<p>ANNEXURE SHEET No. 2 (of 2 annexures) to plan by Surveyor B. J. Rollins</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 9/11/22 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: SP104196</p>
<p>Signed for the purposes of identification Council Clerk </p>	<p>Surveyor B. J. Rollins Owner: Kenneth Ian Pease Title Reference: C.T. 4833-91-42031-1</p>	<p>Scale 1:1250 Measurements in Metres</p>



AMENDMENTS MADE
SURVEYORS CONSENT
WITHIN.

SURVEY NOTES
by Surveyor B.J. Rollins

CITY OF BURNIE

Part of Section 139 in the Emu Bay Block of 50,000 Ac.
Granted to the Van Diemens Land Company

Kenneth Ian Pease - Owner C.T.4833-91
Neil Richard Harman and Janice Dawn Harman - C.T.4614-63.
Survey commenced: 15.9.1992
Survey finished : 21.10.1992
Error of Close : See Calcs.

Notes

- All corners marked thus \blacksquare are C.Ps unless otherwise stated.
- All boundaries are open unless otherwise stated.
- Apply a combined scale factor of 0.99968
- A.M.G. Co-ordinates for :
 - Str (1) : E 407 240.25 N 5 448 883.04 as derived from S.P.45995
 - T : E 407 224.78 N 5 448 877.00
 - U : E 406 770.58 N 5 448 930.79
- Lot 10 is to be added to Lot 11
- The width of land "Required for Widening Cascade Rd...." is adopted as that shown on the plan of 95/16^{PO}, not from survey notes. The adopted dimension, if applied to both sides of the road would have created an ultimate width of 60 feet.
- Building Envelopes are indicated by consecutive letters of the sequence A.B.C.D.E.F.
- Railway bdy chord pegs were not placed by 95/16^{PO}. These corners are not marked by this survey as no benefit is derived.


SURVEY CERTIFICATE

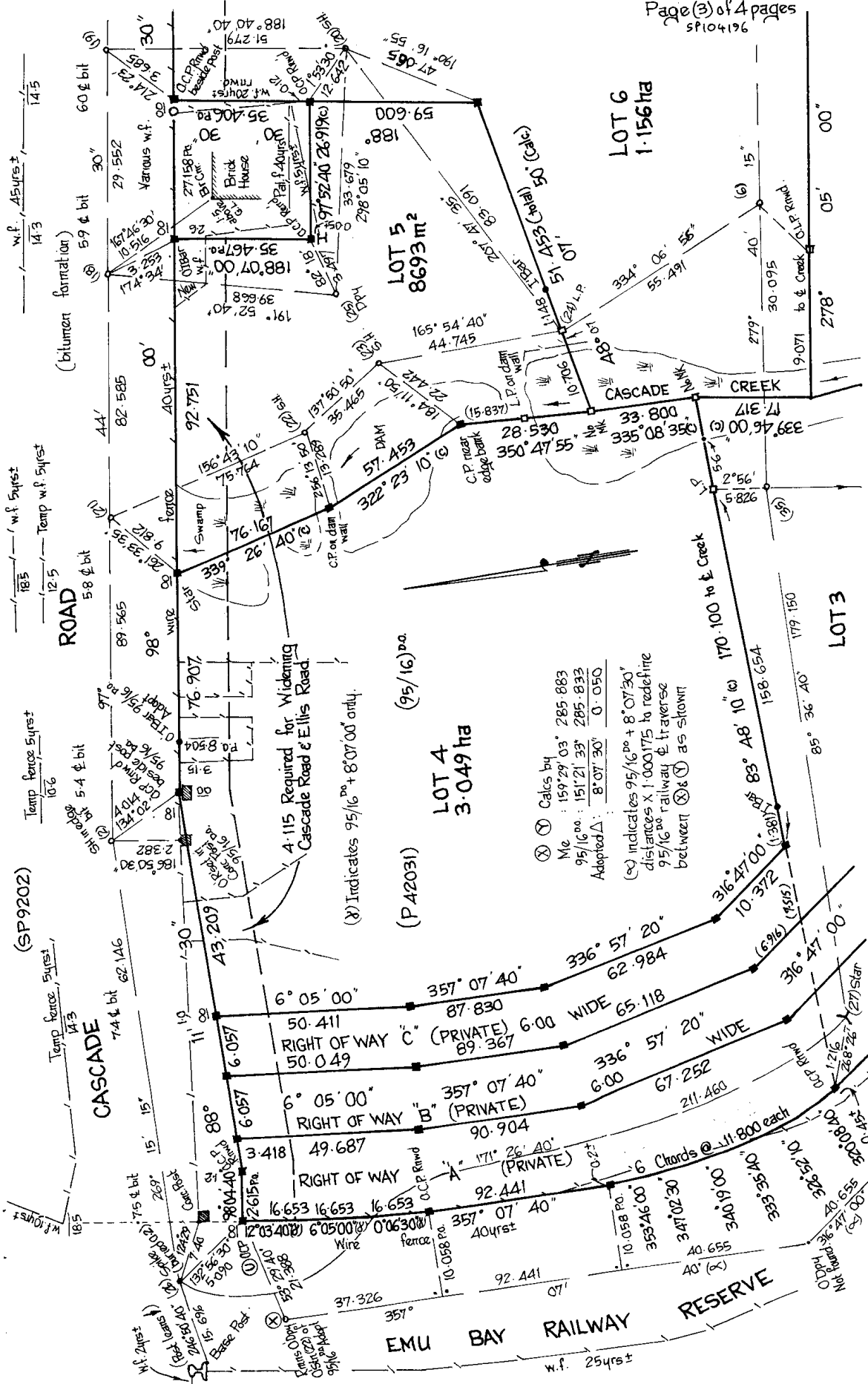
I, Brian John Rollins of Burnie

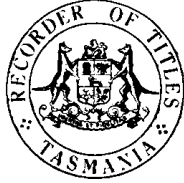
in Tasmania a registered surveyor HEREBY CERTIFY that:

- (a) this survey is based upon the best evidence that the nature of the case admits;
- (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and
- (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.

Signature B. Rollins Date 9/11/92


Reg'd Graduate





SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

FENCING COVENANT:

except Lot 11

The owner of each lot shown on the plan covenants with Kenneth Ian Pease (the Vendor) that the Vendor shall not be required to fence.

except Lot 11

The owner of each lot shown on the plan covenants with Kenneth Ian Pease and the owner for the time being of the balance of any part thereof to the intent that the burden of these covenants may run with the covenants lot and every part thereof and that the benefits thereof may be annexed and devolve with the balance of each and every part thereof to observe the following stipulation namely:—

That the owner will not erect a residential dwelling outside the areas marked

- in respect of Lot 1 the area "A.B.C."
- in respect of Lot 2 the area "A.B.C.D."
- in respect of Lot 3 the area "A.B.C.D.E.F."
- in respect of Lot 5 the area "A.B.C.D."
- in respect of Lot 6 the area "A.B.C.* D."
- in respect of Lot 7 the area "A.B.C.D."
- in respect of Lot 8 the area "A.B.C.D.E.F."
- in respect of Lot 9 the area "A.B.C.D."

EASEMENTS:

Lot 1 is TOGETHER WITH a Right-of-carriageway over the rights of way "B" and "C" (private) 6.06 wide shown passing through Lots 2 and 3

}
}

Lot 2 is TOGETHER WITH a Right-of-carriageway over the rights of way "A" and "C" (private) 6.06 wide shown passing through Lots 1 and 3

Lot 3 is TOGETHER WITH a right-of-carriageway over the rights of way "A" and "B" (private) 6.06 wide shown passing through Lots 1 and 2.

SIGNED by the said KENNETH IAN PEASE)
 the registered proprietor of the land) *K.I. Pease*
 in Certificate of Title Volume 4833)
 Folio 91 in the presence of:) *Wobaker.*

SIGNED by the said LOIS CONSTANCE) *L. C. Pease*
PEASE as Mortgagee in the presence of:) *Affoward.*

SIGNED by the said NEIL RICHARD HARMAN)
 and JANICE DAWN HARMAN the registered) *N.R. Harman*
 proprietors of the land in Certificate) *JD Harman*
 of Title Volume 4614 Folio 63 in the)
 presence of:) *Affoward.*

SIGNED (under seal) by the
 COMMONWEALTH OF AUSTRALIA
 by its duly authorised officer,
 in and to the satisfaction of the
 Registrar-General of the State of Tasmania
 under the provisions of the
 Land Titles Act 1980, in
 pursuance of the powers
 conferred on the Registrar-General
 by section 10 of the said Act.

Affoward
 "C.D." Bank Loans Officer

Lot 1 on the plan is subject to a right of carriageway (appurtenant to Lots 2 and 3 on the plan) over Right of Way A (Private) shown on the plan.
 Lot 2 on the plan is subject to a right of carriageway (appurtenant to Lots 1 and 3 on the plan) over Right of Way B (Private) shown on the plan.
 Lot 3 on the plan is subject to a right of carriageway (appurtenant to Lots 1 and 2 on the plan) over Right of Way C (Private) shown on the plan.

This is the schedule of easements attached to the plan of
(Insert Subdivider's Full Name)

..... affecting land in

.....
(Insert Title Reference)

Scaled by **CITY OF BURNIE** on **2nd February 1992**

Solicitor's Reference
.....
Council Clerk/Town Clerk

OS-K 3134

2. 11.4.1 - Site Coverage

Site Coverage must be not more than 400msq	Answer :
(a) the topography of the site;	Give the access and desired use of the outbuilding the logical location for the outbuilding is as per site plan. It has been located to best provide safe access. Alternative locations would have significant cost implications and additional civil works which are not feasible.
(b) the capacity of the site to absorb runoff;	The site is a 3.049-hectare parcel of land with access to 3 dams and significant open land to absorb any runoff
(c) the size and shape of the site;	Due to the restrictions on the site in relation to the natural slope, this location best suites the lands natural elevations
(d) the existing buildings and any constraints imposed by existing development;	The development will not hinder access or amenity to any existing development.
(e) the need to remove vegetation; and	No vegetation will be removed – only topsoil for the purpose of a new engineered slab.
(f) the character of development existing on established properties in the area	The proposed outbuilding is similar to multiple buildings in the area.

- The site coverage is compatible with other properties in the area, namely 25 Cascade Road, 35 Ellis Road and 22 Bellavista Road all of which exceed 400sqm.

3. 11.4.2

a. A2 Building must have a setback from a frontage of not less than 20m – site plan has been revised to move shed 22m from the front boundary to comply. Please see revised site plan attached.

10.4.2 P3

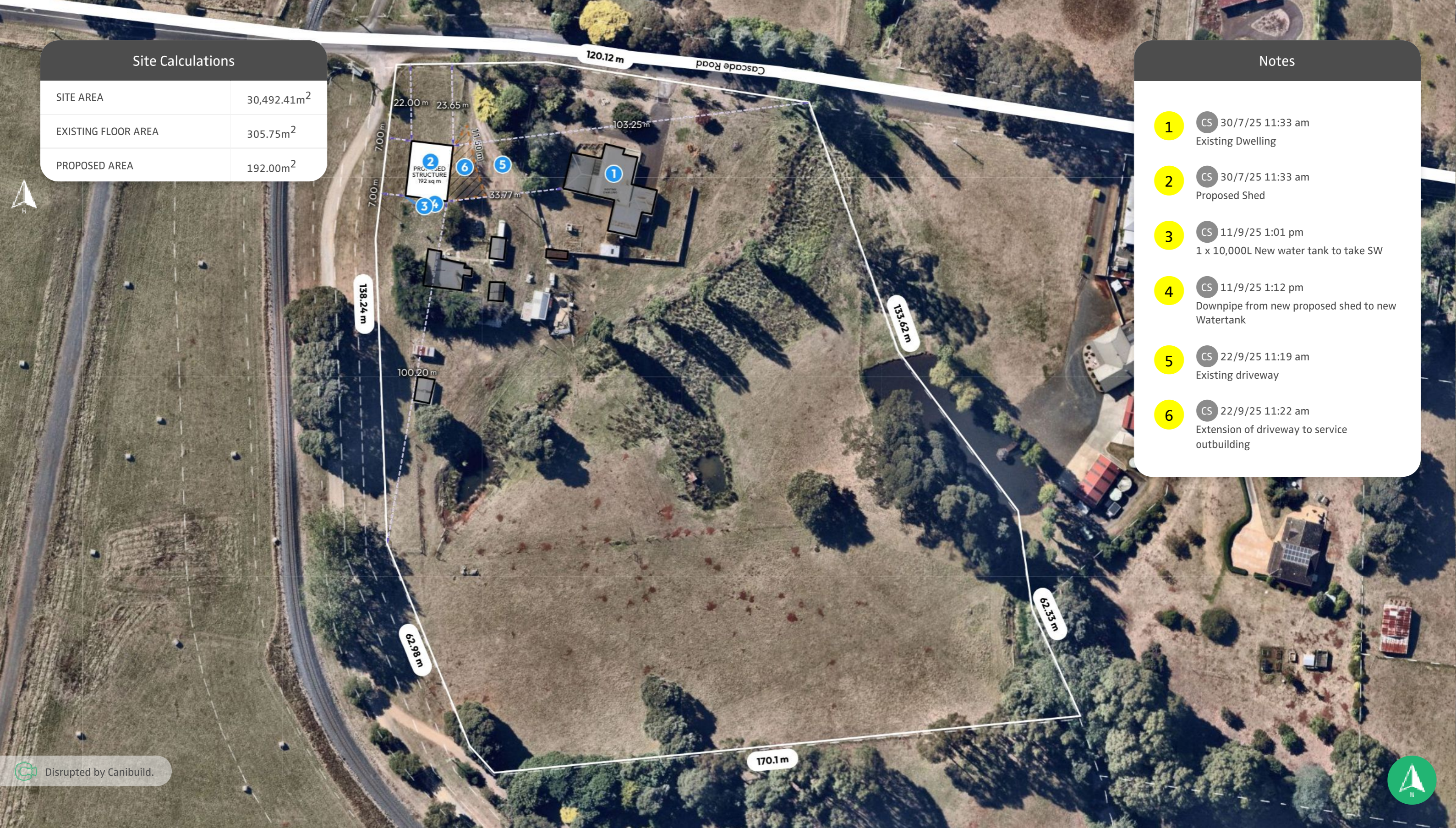
Buildings must have a setback from the side and rear boundaries of not less than 10m:	Answer :
(a) the topography of the site;	Give the access and desired use of the outbuilding the logical location for the outbuilding is as per site plan. It has been located to best provide safe access. Alternative locations would have significant cost implications and additional civil works which are not feasible.
(b) the size, shape and orientation of the site;	Due to the restrictions on the site in relation to the natural slope, this location best suites the lands natural elevations
(c) the setbacks of surrounding buildings;	The outbuildings of No 24 Cascade Road Romaine and No 28 Cascade Road Romaine have a side boundary setback similar to our proposed outbuilding.
(d) the height, bulk and form of existing and proposed buildings;	The proposed outbuilding will have minimal visual impact due to land towards the west of the property being 2 x internal driveways.
(e) the character of the development existing on the established properties in the area; and	The proposed outbuilding is similar to multiple buildings in the area.
(f) any overshadowing of adjoining properties or public places	The side boundary of this property where the shed will be located is adjacent to an internal driveway and does not cause any nuisance

Site Calculations

SITE AREA	30,492.41m ²
EXISTING FLOOR AREA	305.75m ²
PROPOSED AREA	192.00m ²

Notes

- 1 CS 30/7/25 11:33 am
Existing Dwelling
- 2 CS 30/7/25 11:33 am
Proposed Shed
- 3 CS 11/9/25 1:01 pm
1 x 10,000L New water tank to take SW
- 4 CS 11/9/25 1:12 pm
Downpipe from new proposed shed to new Watertank
- 5 CS 22/9/25 11:19 am
Existing driveway
- 6 CS 22/9/25 11:22 am
Extension of driveway to service outbuilding



Disrupted by Canibuild.

Client Name Client Email Client Phone

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Disclaimer
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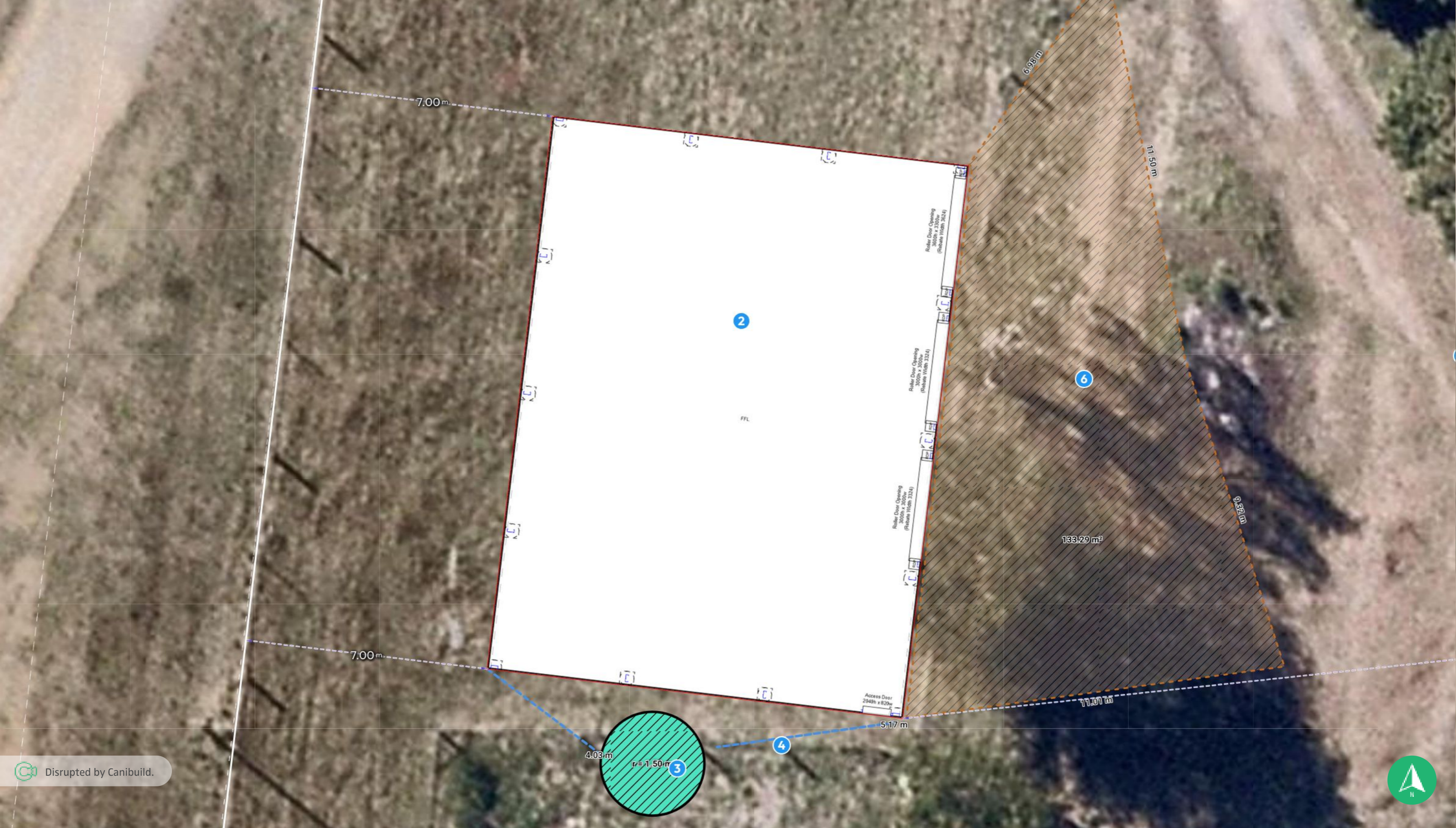
ALL DIMENSIONS ARE IN METERS.

Generated by Christie Smith
christie@rainbowbuilding.com.au

Property Details
32 Cascade Rd, Romaine, TAS 7320, Australia
Lot/DP: 4/104196

Sheet Name Site Plan	Sheet no. 1	Lic no. 181916529	Job no.
Design 12x16x4.2_Romaine		Scale 1:1000@A3	
1 st version date: 11/09/2025	Current version date: 01/10/2025	Version # 4	





Disrupted by Canibuild.

Client Name	Client Email	Client Phone
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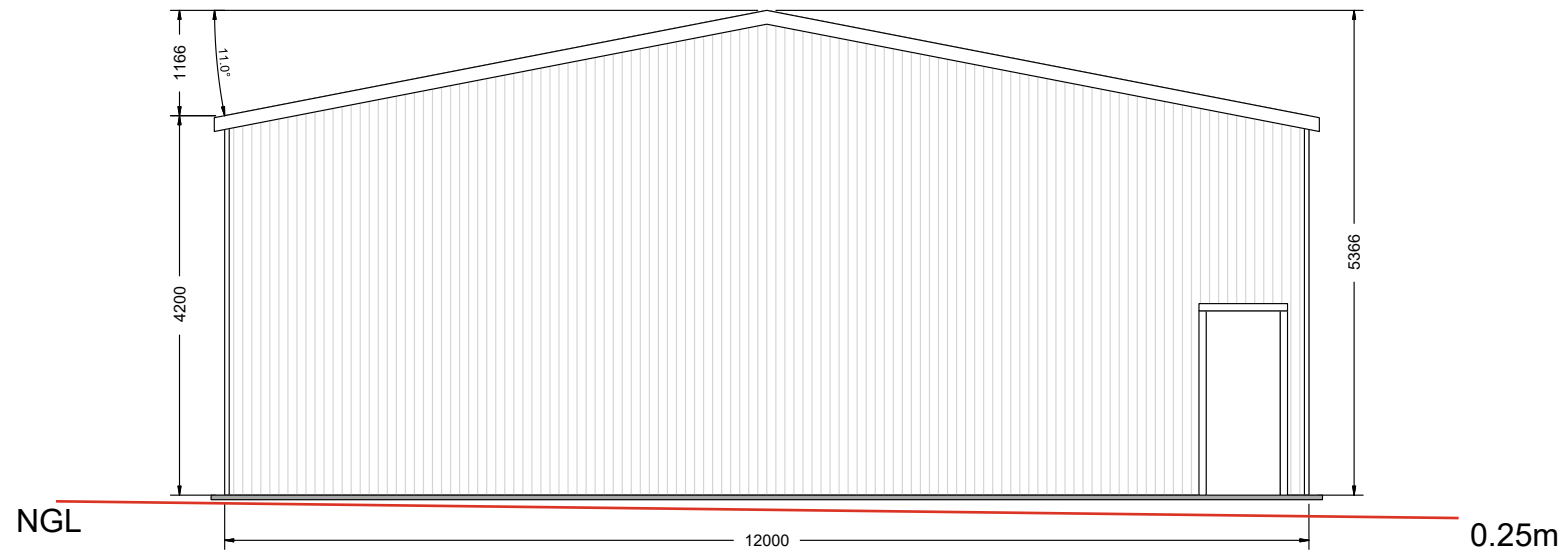
Generated by Christie Smith
 christie@rainbowbuilding.com.au

Property Details
 32 Cascade Rd, Romaine, TAS 7320, Australia
 Lot/DP: 4/104196

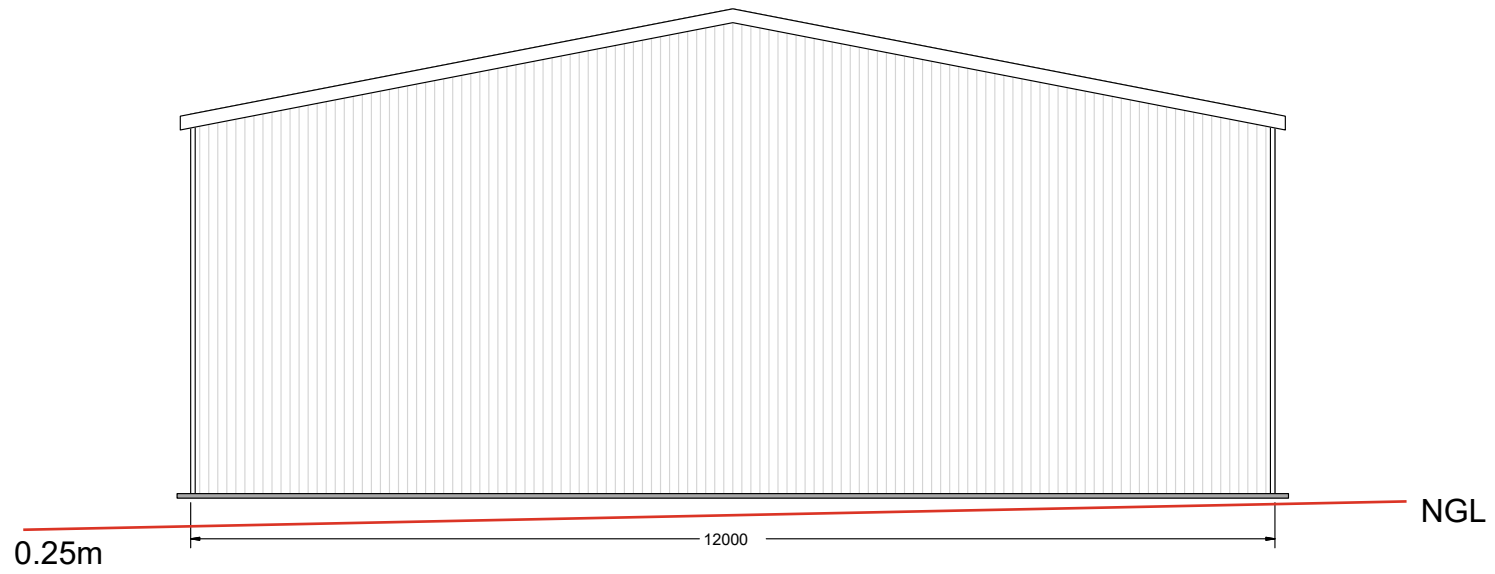
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Design 12x16x4.2_Romaine		Scale 1:100@A3	

1st version date: 11/09/2025	Current version date: 01/10/2025	Version # 4
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LEFT ELEVATION

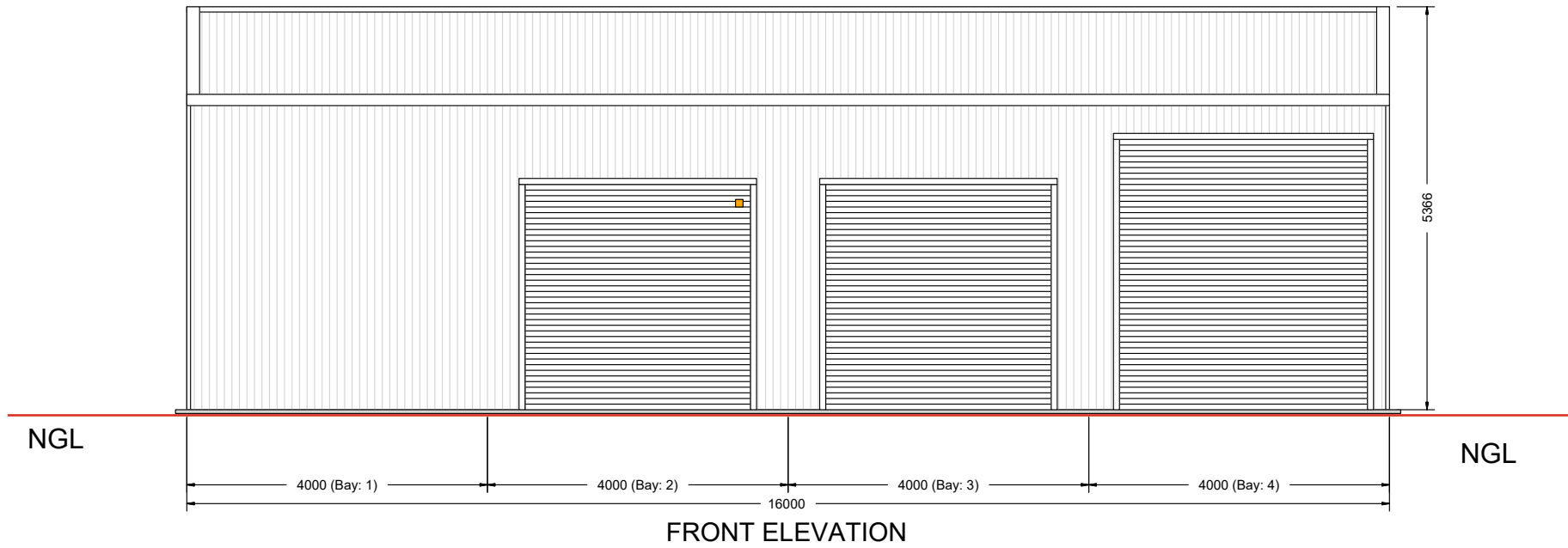
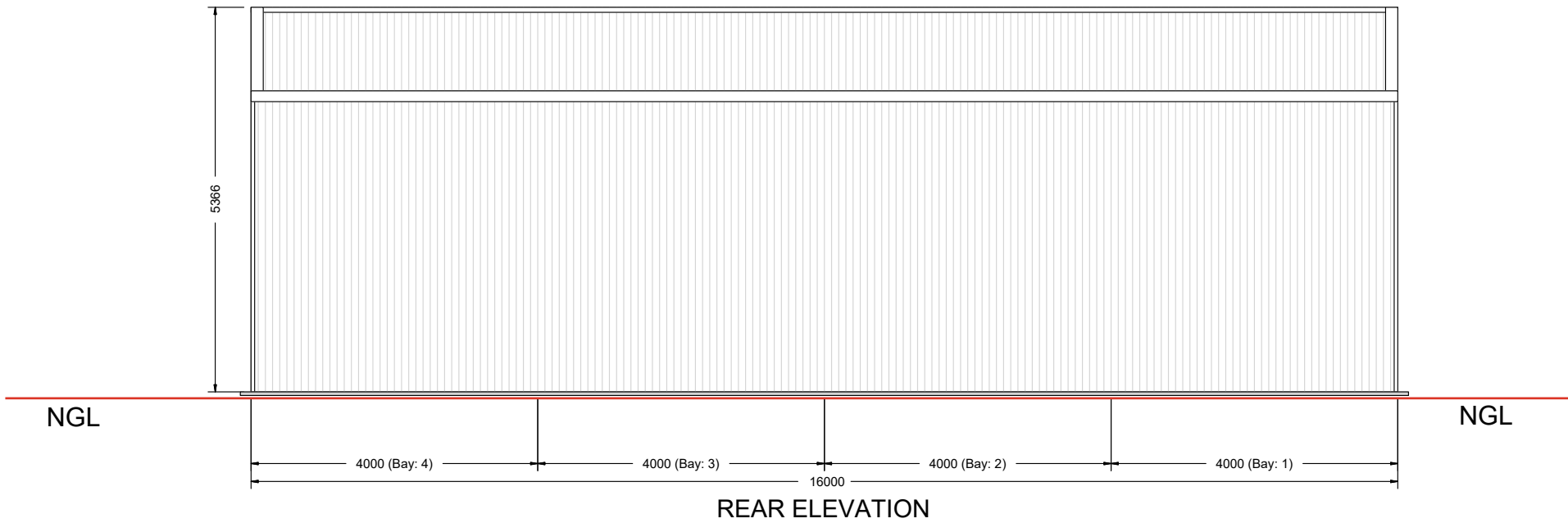


RIGHT ELEVATION

139 Main Road,
Sorell TAS 7172
Phone: 1300 737 910
Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
SITE ADDRESS: 32 Cascade Road, ROMAINE, TAS, 7320
PHONE: 0417506802
EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: End Elevations
SCALE: 1:83.679
DATE: 24-09-2025
Job Number: SOR02_3831
Drawing Number: EE

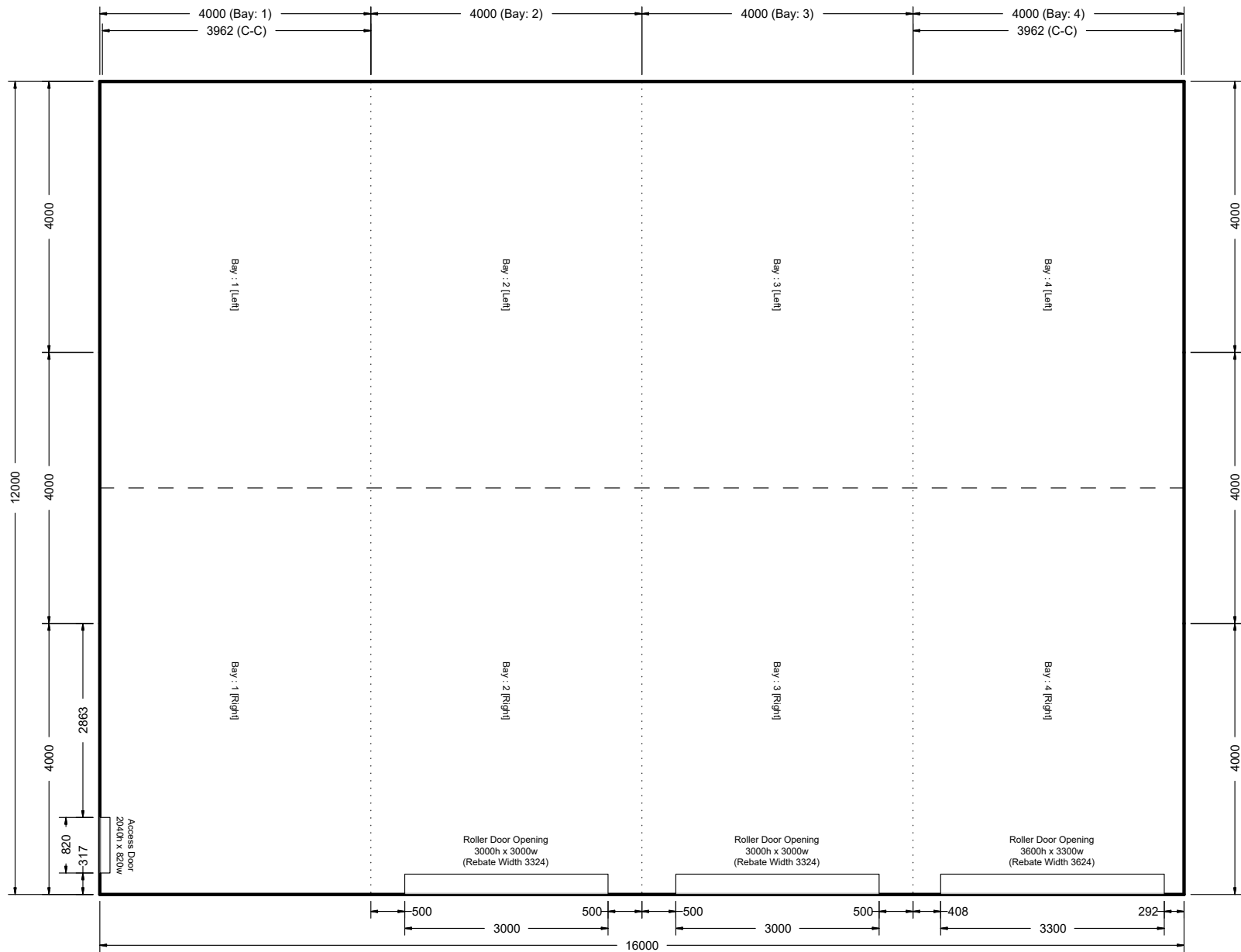


139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
 SITE ADDRESS: 32 Cascade Road, ROMAINE, TAS, 7320
 PHONE: 0417506802
 EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: Side Elevations
 SCALE: 1:86.471
 DATE: 24-09-2025
 Job Number: SOR02_3831
 Drawing Number: SE



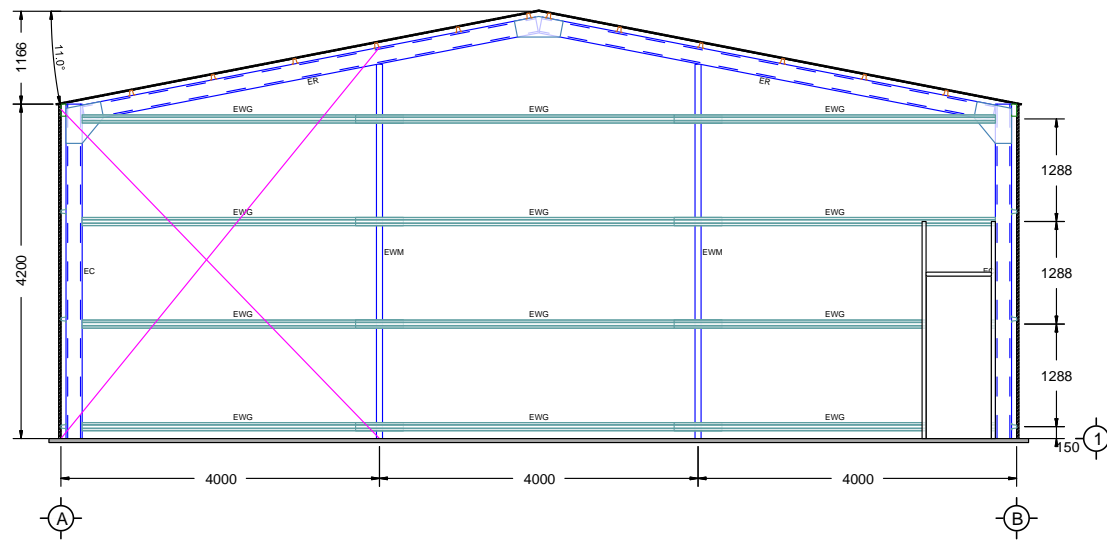


PLAN ELEVATION

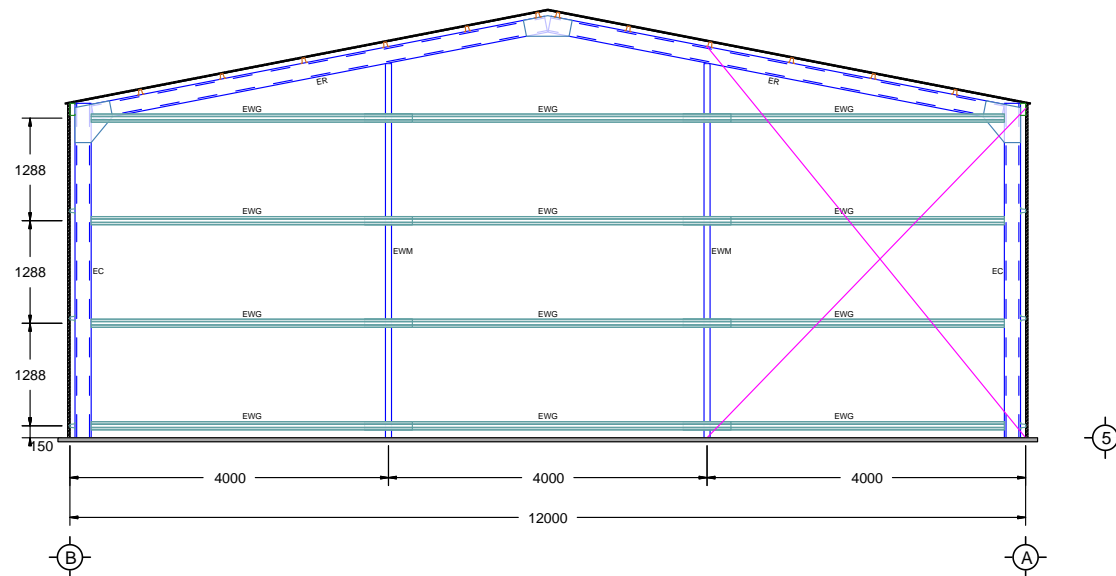
139 Main Road,
Sorell TAS 7172
Phone: 1300 737 910
Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
SITE ADDRESS: 32 Cascade Road, ROMAINE, TAS, 7320
PHONE: 0417506802
EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: Plan Elevation
SCALE: 1:86.432
DATE: 24-09-2025
Job Number: SOR02_3831
Drawing Number: FPE



LEFT ELEVATION

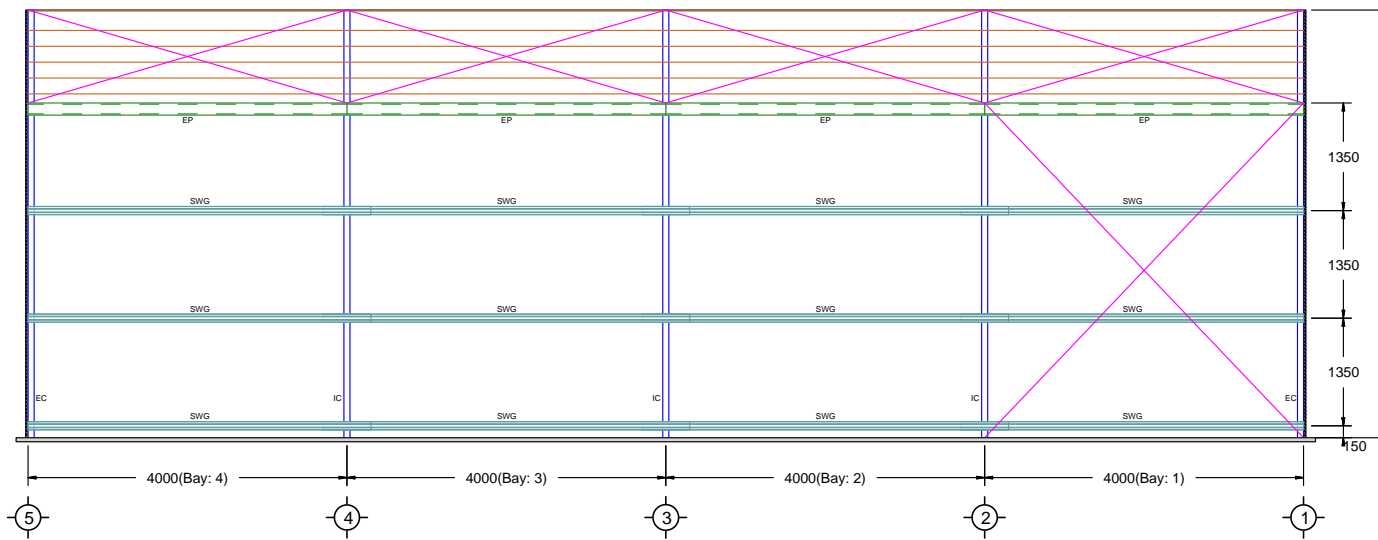


RIGHT ELEVATION

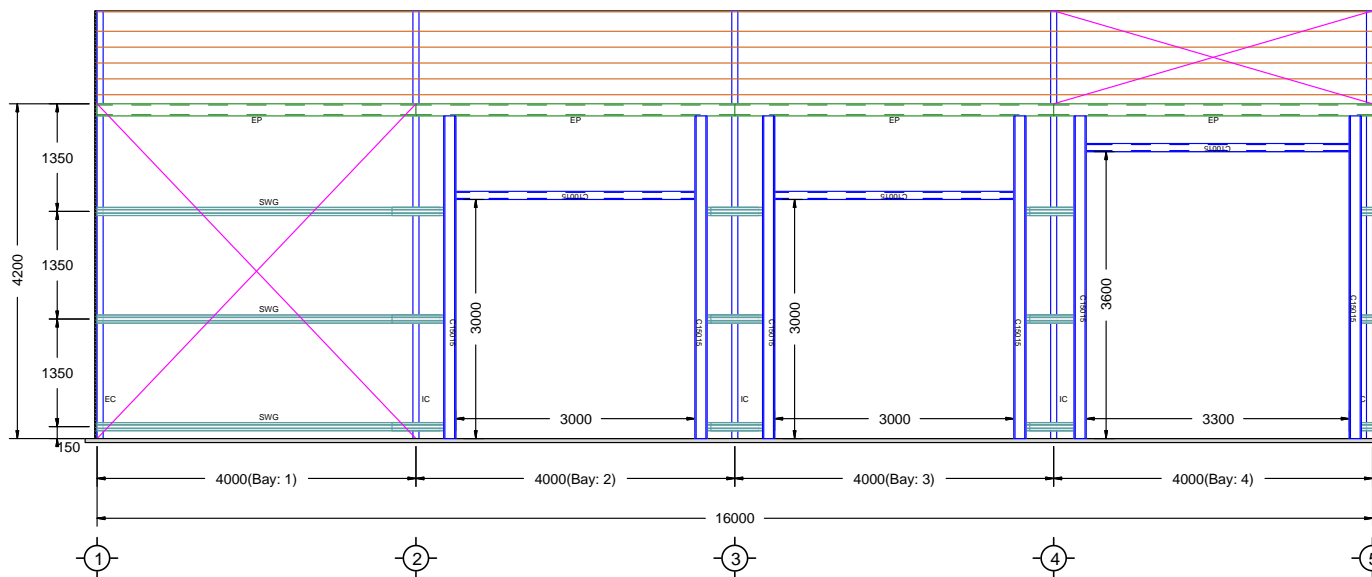
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 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
 SITE ADDRESS: 32 Cascade Road, ROMAINE, TAS, 7320
 PHONE: 0417506802
 EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: End Frame Elevations
 SCALE: 1:94.934
 DATE: 24-09-2025
 Job Number: SOR02_3831
 Drawing Number: EFE



REAR ELEVATION



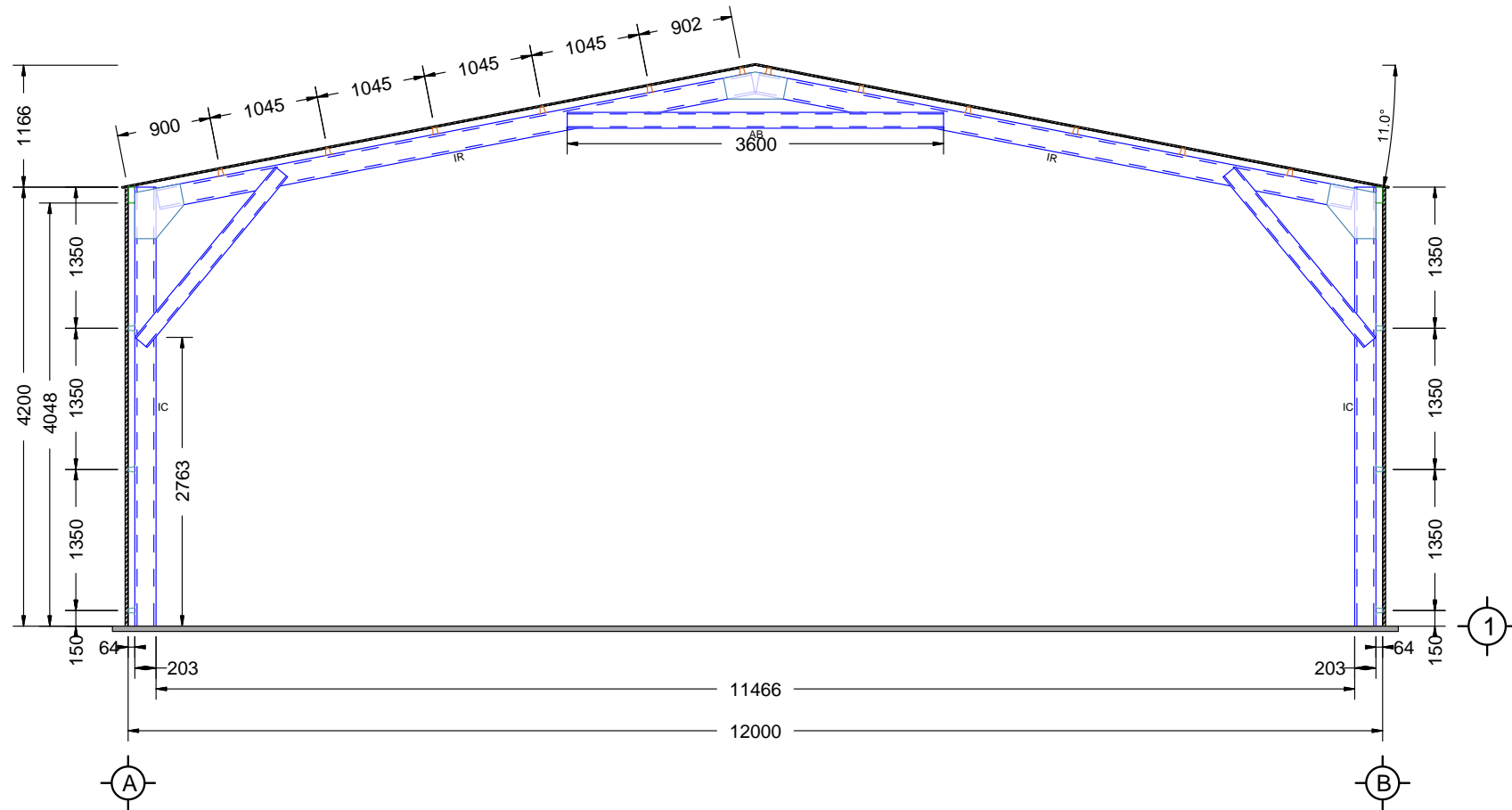
FRONT ELEVATION

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
 SITE ADDRESS: 32 Cascade Road, ROMAINE, TAS, 7320
 PHONE: 0417506802
 EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: Side Frame Elevations
 SCALE: 1:94.847
 DATE: 24-09-2025
 Job Number: SOR02_3831
 Drawing Number: SFE



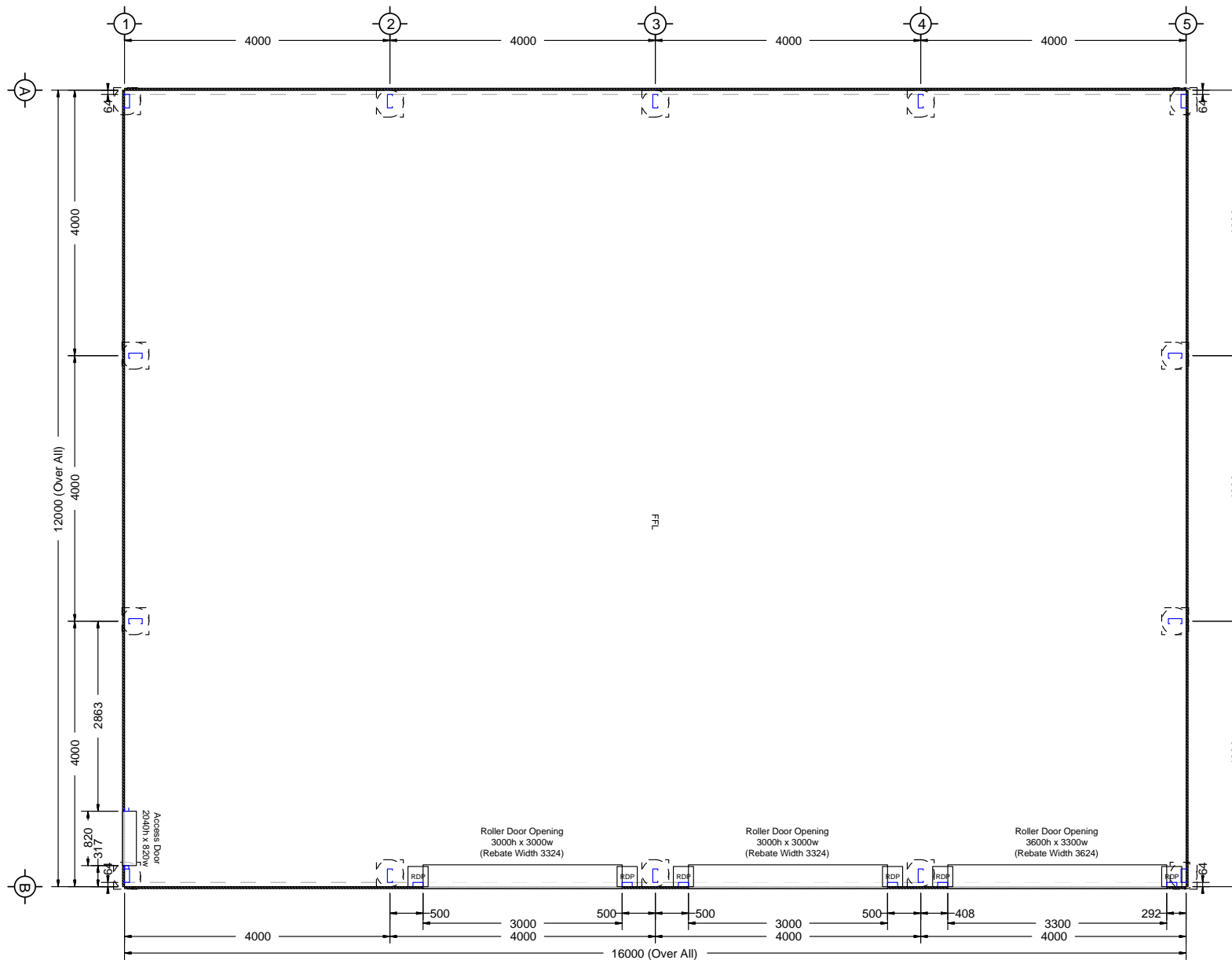


INTERMEDIATE ELEVATION

139 Main Road,
Sorell TAS 7172
Phone: 1300 737 910
Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
SITE ADDRESS: 32 Cascade Road, ROMAINE, TAS, 7320
PHONE: 0417506802
EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: Cross Section
SCALE: 1:64.440
DATE: 24-09-2025
Job Number: SOR02_3831
Drawing Number: CS



FLOOR PLAN

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Rachel Stevens
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 PHONE: 0417506802
 EMAIL: rachel.stevens@ato.gov.au

DRAWING TITLE: Floor Plan
 SCALE: 1:89.478
 DATE: 24-09-2025
 Job Number: SOR02_3831
 Drawing Number: FP

