

PLEASE QUOTE

Your Ref:

Our Ref: DA 2025/68

Enquiries: Planning Department

80 Wilson Street, Burnie Tasmania
PO Box 973, Burnie TAS 7320

ABN: 29 846 979 690
Phone: (03) 6430 5700
Email: burnie@burnie.tas.gov.au
Web: www.burnie.tas.gov.au

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NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

Advice to Adjoining Land Owner or Occupier

Application No: - DA 2025/68
Development Site: - 27 Webb Avenue MOOREVILLE
CT: 188875/1
Proposal: - Dwelling - Single

Notice of the above application is served on you as an adjoining land owner or occupier.

The application may be viewed at -

Burnie City Council Customer Services Counter
Ground Floor, City Offices,
80 Wilson Street, Burnie

Between the hours of 8.45 am – 4.45 pm Monday to Friday inclusive (excluding public holidays) or on Council's website at www.burnie.tas.gov.au/permits

You are entitled to make representation in writing on any aspect of the proposal addressed to: -

General Manager,
Burnie City Council,
PO Box 973, Burnie 7320

or burnie@burnie.tas.gov.au by no later than 5.00 pm on **10 November 2025**. Council must have regard to any written representation received during the exhibition period when considering its decision on the application.

All persons who make representation will be notified within seven (7) days of the Council's decision. Any persons who made representation and is not satisfied with the Council decision may, under Section 61(5) of the *Land Use Planning and Approvals Act 1993*, lodge an appeal against that decision within fourteen (14) days of the date of that notice to: -

The Tasmanian Civil and Administrative Tribunal,
GPO Box 1311,
HOBART TAS 7001.

Should you have any enquiries regarding this development proposal, please do not hesitate to contact the Planning Department on (03) 6430 5700.

Troy McCarthy

PRINCIPAL PLANNER

Date of Notice: - **25 October 2025**

BURNIE CITY COUNCIL
PO Box 973, BURNIE, TASMANIA 7320.
Ph : (03) 6430 5700
Email : burnie@burnie.tas.gov.au



Land Use Planning and Approvals Act 1993

Tasmanian Planning Scheme

PERMIT APPLICATION

Office use only

Application No _____

Date Received _____

Permit Pathway - *Permitted/Discretionary*

Use or Development Site:

Street Address

Certificate of
Title Reference

Applicant

First Name

Second
Name

Surname

Postal Address:

Phone No:

Mobile:

Email Address:

I/we consent for all giving of information and the serving of notices in relation to this application to be delivered electronically to the above email address?

YES

NO

Applicants Signature:



Owner (note – if more than one owner, all names must be indicated)

First Name

Second Name

Surname

Postal Address:

Phone No:

Instruction for making a permit application

a) *Use or development?*

The application must provide a full description of the proposed use and/or development and of the manner in which the use and/or development is to operate.

“Use” is the purpose or manner for which land is utilised. “Development” is any site works (including any change in natural condition or topography of land and the clearing or conversion of vegetation), and the construction, alteration, or removal of buildings, structures and signs, required in order to prepare a site for use or to change existing conditions within a site. Subdivision is development.

Clause 6.2 Tasmanian Planning Scheme provides the use classes by which all use or development must be described. Development must be categorised by reference to the use class it is to serve.

b) *Required Information*

Adequate statements, plans and specifications must be included within the permit application to address and demonstrate compliance with all applicable requirements of the planning scheme, including any site analysis, impact report and recommendation, and advice, consent or determination required from a State agency or utility entity.

The application must clearly identify the documents relied upon for determination.

Section 51(1AC) *Land Use Planning and Approvals Act 1993* provides that a permit application is not valid unless it includes all of the information required by a planning scheme. Clause 6.1 Tasmanian Planning Scheme prescribes the minimum information that is necessary in order to complete a valid permit application.

S54 *Land Use Planning and Approvals Act 1993* provides that the planning authority may require the applicant to supply further information before it considers a permit application. If the planning authority requires further information to more particularly address one or more of the applicable requirements of the Tasmanian Planning Scheme, the statutory period for determination of a permit application does not run until that information is answered to the satisfaction of the planning authority

c) *Applicable Provisions and Standards*

The permit application must be assessed against the applicable provisions and standards of the Tasmanian Planning Scheme. The application is to identify by reference the clauses it relies upon to demonstrate compliance. (eg *clause 8.4.3 (A1 – A4, and P5)*)

d) *Discretionary Permits*

If a permit is discretionary the permit application must be notified for a period of 14 days to allow opportunity for any interested person to consider the proposed use and/or development and to provide comment on the discretionary matter.

If a permit application relies on performance criteria to satisfy an applicable standard or is discretionary under another provision of the interim planning scheme, the permit is discretionary only with respect to that standard.

The Council must have regard to all representations received during the notification period on a discretionary matter when determining whether to grant or refuse a permit.

e) *If the applicant is not the landowner*

If the applicant is not the owner of the land in the use or development site, the applicant is required to notify all of the owners either prior to or within 7 days from the date of making the permit application.

The permit application must identify all of the landowners; and the applicant must sign the application form to acknowledge the obligation to advise such landowners that the permit application has been made.

If the site includes land owned or administered by the Burnie City Council or by a State government agency, the consent in writing from the Council or the Minister responsible for Crown land must be provided at the time of making the application.

f) *Applicant declaration*

It is an offence for a person to do any act that is contrary to a compliance requirement created under the section 63 *Land Use Planning and Approvals Act 1993*. The applicant is required to complete a declaration that the information given in the permit application is true and correct.

g) *Payment of Fees*

The Council is not required to take any action on the permit application until all the relevant fees have been paid.

Permit Information

(NB If insufficient space, please attach separate document)

Proposed Use:

Use Class

Documents included with the permit application to describe the Use

Proposed Development

Use class to which the development applies

Documents included with the permit application to describe the Development


Provisions and Standards relied upon for grant of a Permit

Value of use and/or development

Notification of Landowner/s

If land is not in applicant's ownership

I, _____, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant  Date

If the permit application involves land owned or administered by the BURNIE CITY COUNCIL

Burnie City Council consents to the making of this permit application.

General Manager (Signature) _____ Date


If the permit application involves land owned or administered by the CROWN

I, the Minister responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date

Applicant Declaration

I, _____, declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant  Date

Office use only



SEARCH OF TORRENS TITLE

VOLUME 188875	FOLIO 1
EDITION 1	DATE OF ISSUE 30-Jul-2025

SEARCH DATE : 26-Aug-2025
SEARCH TIME : 01.16 PM

DESCRIPTION OF LAND

City of BURNIE
Lot 1 on Sealed Plan [188875](#)
Derivation : Part of Section 131, 50,000 Acres Gtd. to Van
Diemens Land Company
Prior CTs [187072/82](#) and [187072/84](#)

SCHEDULE 1


[N214670](#) TRANSFER to LUKE BENJAMIN WAY and CARINA JULIE WAY
Registered 01-Feb-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP188875](#) COVENANTS in Schedule of Easements
[SP167715](#), [SP176405](#), [SP179284](#), [SP179616](#), [SP180545](#) & [SP187072](#)
COVENANTS in Schedule of Easements
[SP176405](#), [SP179284](#), [SP179616](#), [SP180545](#) & [SP187072](#) FENCING
PROVISION in Schedule of Easements
[SP167715](#) FENCING COVENANT in Schedule of Easements
13/135 CONVEYANCE Made Subject to Exceptions And
Reservations in favour of The V.D.L. Co.
13/135 CONVEYANCE Made Subject to Boundary Fences Condition
[E384690](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
15-Jun-2024 at noon
[E393706](#) MORTGAGE to Commonwealth Bank of Australia
Registered 21-Sep-2024 at 12.01 PM

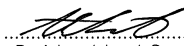
UNREGISTERED DEALINGS AND NOTATIONS


No unregistered dealings or other notations

OWNER: LUKE BENJAMIN WAY & CARINA JULIE WAY FOLIO REFERENCE: 187072/82 & 187072/84 GRANTEE: PART OF SECTION 131, 50,000 ACRES GTD. TO VAN DIEMENS LAND COMPANY.	PLAN OF SURVEY BY SURVEYOR: JOHN E W MAGEE of PDA 6 QUEEN STREET, BURNIE LOCATION: CITY OF BURNIE SCALE 1:300 LENGTHS IN METRES	REGISTERED NUMBER SP188875
		APPROVED- EFFECTIVE FROM 30 JUL 2025  Recorder of Titles

LOT 1 IS COMPILED FROM FR.187072/82 & FR.187072/84 **PRIORITY FINAL PLAN** ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN




 17/01/2025 53515
 Registered Land Surveyor Date Ref No.


 30 JUL 2025
 Council Delegate Date

LUKE BENJAMIN WAY & CARINA JULIE WAY

PROPOSED RESIDENCE

27 WEBB AVENUE / 44 MADELINE DRIVE, MOOREVILLE

Drawing Schedule

SHEET	DESCRIPTION	REV	ISSUE DATE
A100	COVER PAGE	A	29/07/25
A101	SITE PLAN	A	29/07/25
A102	ELEVATIONS 1 OF 2	A	29/07/25
A103	ELEVATIONS 2 OF 2	A	29/07/25
A104	FLOOR PLAN	A	29/07/25
A105	SETOUT PLAN	A	29/07/25
A106	DRAINAGE PLAN	A	29/07/25
A107	WALL FRAMING PLAN	A	29/07/25
A108	ELECTRICAL PLAN	A	29/07/25
A109	REFLECTED CEILING PLAN	A	29/07/25
A110	ROOF FRAMING PLAN	A	29/07/25
A111	ROOF PLAN	A	29/07/25
A112	SECTION A-A	A	29/07/25
A113	DETAILS	A	29/07/25
A114	WALL TYPES	A	29/07/25
A115	WATERPROOFING 1 OF 2	A	29/07/25
A116	WATERPROOFING 2 OF 2	A	29/07/25
A117	WINDOW & DOOR SCHEDULE	A	29/07/25
A118	NCC COMPLIANCE CALCULATORS	A	29/07/25
A119	CONSTRUCTION NOTES 1 OF 2	A	29/07/25
A120	CONSTRUCTION NOTES 2 OF 2	A	29/07/25
A121	BAL CONSTRUCTION NOTES	A	29/07/25
A122	3D REPRESENTATIONS	A	29/07/25
A123	ENGINEERING NOTES	A	29/07/25
A124	SLAB & FOOTING LAYOUT PLAN	A	29/07/25
A125	SLAB & FOOTING DETAILS	A	29/07/25
A126	WIND BRACING LAYOUT PLAN	A	29/07/25
A127	3D BUILDING ENVELOPES		

GENERAL INFORMATION

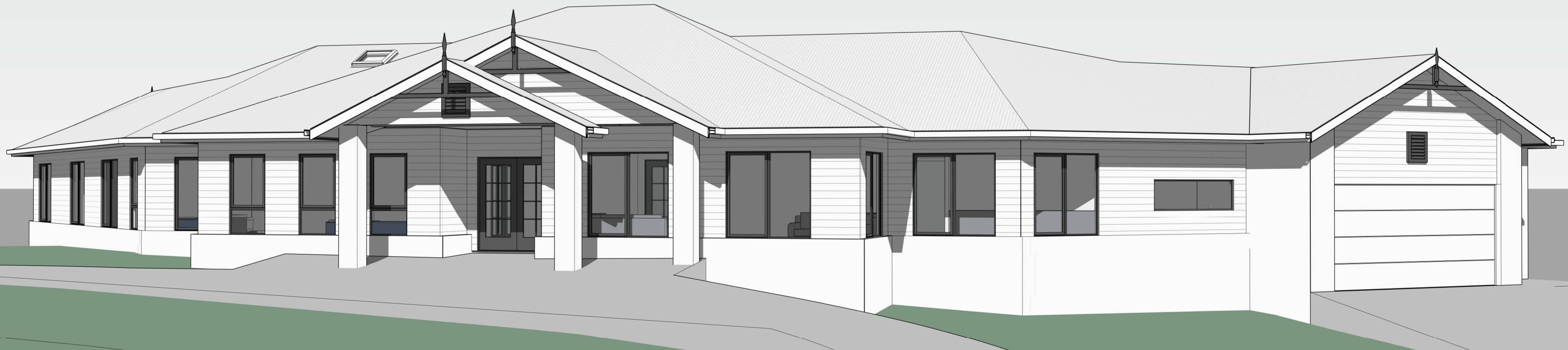
ACCREDITED DESIGNER: NICHOLAS BRANDSEMA
ACCREDITATION NUMBER: 047538582
LAND TITLE REFERENCE NUMBER: TITLE REF 187072/82 & 187072/84
ENERGY ASSESSMENT: TBA
COUNCIL ZONE: GENERAL RESIDENTIAL
COUNCIL: BURNIE COUNCIL

FLOOR AREAS

PROPOSED FLOOR AREA: 445m2 (48 SQUARES)

SITE INFORMATION

SITE AREA: 1588m2
DESIGN WIND SPEED: TBA
SOIL CLASSIFICATION: TBA
ALPINE AREA: N/A
CORROSION ENVIRONMENT: N/A
BUSHFIRE ATTACK LEVEL: TBA
CLIMATE ZONE: 7



n+b

22 Fieldings Way
Ulverstone, Tasmania
Australia
7315

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Revision No. Date Description
A 29/07/25 Issued as PRELIMINARY

do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant NCC & AS

Project
PROPOSED RESIDENCE
Location
27 WEBB AVENUE / 44 MADELINE DRIVE, MOOREVILLE
Client
LUKE BENJAMIN WAY & CARINA JULIE WAY

Sheet Title
COVER PAGE

Drawn Issue Date Project No. Revision
NJB 29/07/25 P12388 A

Sheet Number
A100
/ A126



SITE PLAN
 PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS
 SECONDARY CONTOURS SHOWN AT 250mm INTERVALS
 ALL RL LEVELS REFER TO FFL LEVEL, SITE DATUM POINT
 TBA

DRIVEWAY
 EXPOSED AGGREGATE 120mm THICK 25MPa CONCRETE
 WITH SAW CUTS AT 4000mm CRS, 24 HOURS AFTER POURING.
 AGGREGATE STYLE AND FINISH TO BE CONFIRMED BY OWNER.

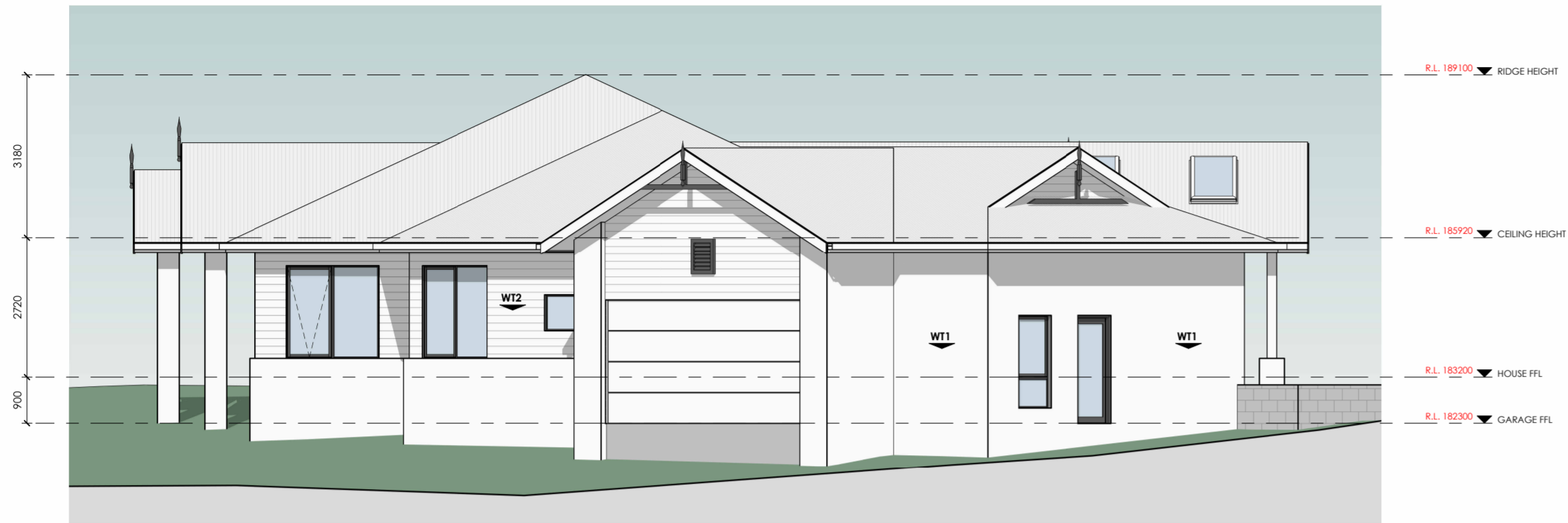
GENERAL NOTES:
 DURING CONSTRUCTION SOIL AND WATER IS TO BE
 APPROPRIATELY MANAGED. THIS INCLUDES THE
 PROVISION OF SILT FENCING, FILTER SCREENS OR
 DEDICATED SILT TRAPS TO PREVENT THE
 DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS
 TO ANY EXISTING WATER COURSE OR ADJOINING
 PROPERTY DURING THE CONSTRUCTION PROCESS.

EXCAVATION:
 ALLOW FOR BULK EXCAVATION WHERE REQUIRED
 AND ALL EXCAVATION, FILLING, BACK FILLING
 AND CONSOLIDATION REQUIRED FOR THE
 FOOTINGS AND SLAB. RETAIN ALL ACCESSES
 AND SERVICES AS INDICATED. MAKE GOOD.

SETTING OUT:
 THE BUILDER SHALL ACCURATELY SET-OUT THE
 WORKS AND VERIFY ALL DIMENSIONS AND LEVELS
 BEFORE COMMENCING ANY WORKS, AND SHALL
 MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS
 ARISING FROM INACCURACIES OF THE SETOUT.

PROTECTION WORK
 (PART 6 - PROTECTION WORK OF THE BUILDING ACT 2016)
 IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING
 OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3
 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER,
 THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A
 SUPPORT. ADJOINING OWNER TO BE NOTIFIED USING FORM 6
 (NOTICE FOR PROPOSED PROTECTION WORK).

SITE PLAN
 Scale 1 : 200



EAST ELEVATION
Scale 1 : 100

- WALL | FACADE MATERIALS & FINISHES**
- WT-1** BRICK VENEER, RENDER & PAINT TO FINISH.
 - WT-2** JAMES HARDIE SCYON LINEA, PAINT TO FINISH
INSTALLED AS PER MANUFACTURERS SPECIFICATION
 - WT-3** SELECTED STONE CLADDING, STYLE BY OWNER.
INSTALLED AS PER MANUFACTURERS SPECIFICATION



- EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5**
EAVE WIDTH OVERHANG - 600mm
- EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS
- FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS
- SELECTED ROOF TILES, COLOUR & STYLE BY OWNER**
INSTALLED AS PER MANUFACTURERS SPECIFICATION.
- SELECTED ALUMINIUM FRAMED WINDOWS & DOORS**
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED, REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS
- GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



SOUTH ELEVATION
Scale 1 : 100



WEST ELEVATION
Scale 1 : 100

- WALL | FACADE MATERIALS & FINISHES**
- WT-1** BRICK VENEER, RENDER & PAINT TO FINISH.
 - WT-2** JAMES HARDIE SCYON LINEA, PAINT TO FINISH
INSTALLED AS PER MANUFACTURERS SPECIFICATION
 - WT-3** SELECTED STONE CLADDING, STYLE BY OWNER.
INSTALLED AS PER MANUFACTURERS SPECIFICATION



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

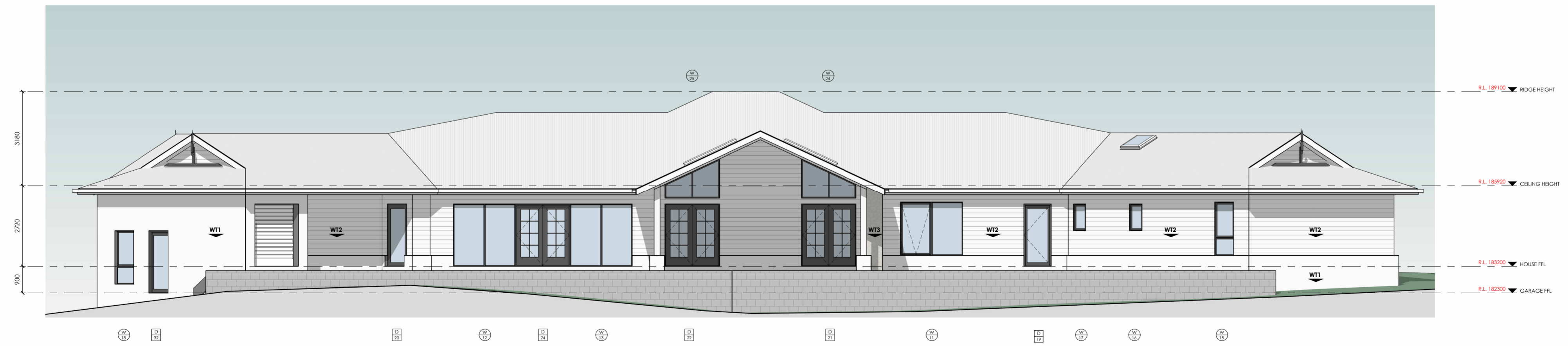
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

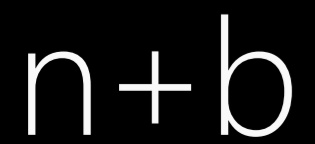
SELECTED ROOF TILES, COLOUR & STYLE BY OWNER
INSTALLED AS PER MANUFACTURERS SPECIFICATION.

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED, REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



NORTH ELEVATION
Scale 1 : 100



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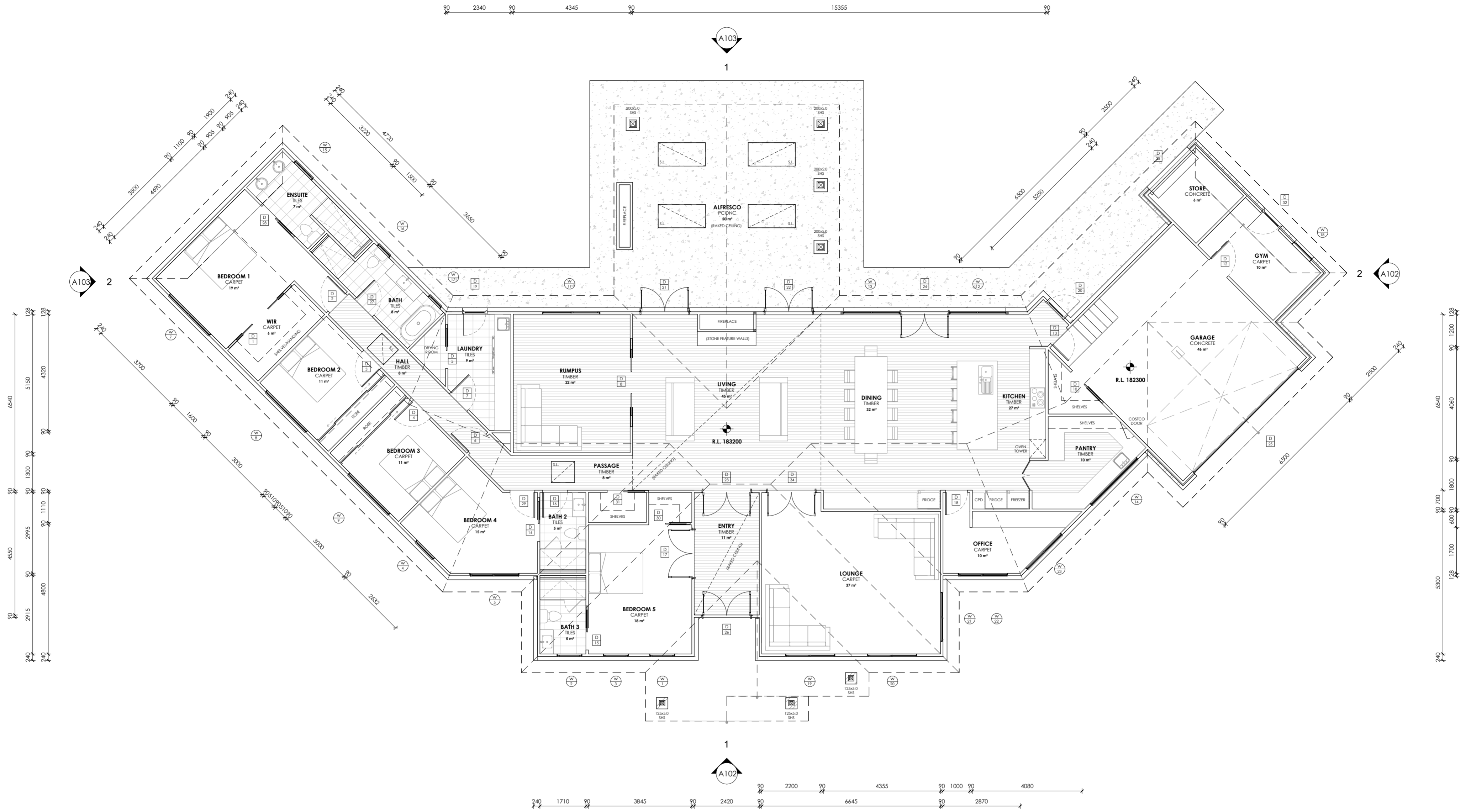
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Scale A2
1 : 100
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Revision
No. A Date 29/07/25 Description
Issued as PRELIMINARY
do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant NCC & AS

Project
PROPOSED RESIDENCE
Location
27 WEBB AVENUE / 44 MADELINE DRIVE, MOOREVILLE
Client
LUKE BENJAMIN WAY & CARINA JULIE WAY

Sheet Title
ELEVATIONS 2 OF 2
Drawn NJB Issue Date 29/07/25 Project No. P12388 Revision A

Sheet Number
A103
/ A126



FLOOR AREAS & FINISHES

FLOOR AREA - 445m²

SKIRTING 66x18 PRE PRIMED BEVELLED
SKIRTINGBOARD, PAINT TO FINISH.

NOTES

ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH
CLIENT PRIOR TO CONSTRUCTION BEGINNING.

ALL GLAZING TO COMPLY WITH WITH NCC PART 8.2 & AS1288 & AS2047
ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & AS3740
ALL TIMBER FRAMING TO COMPLY WITH NCC PART 6 & AS1684
ALL WORKS TO BE IN COMPLIANCE WITH NCC PART 13 & ENERGY EFFICIENCY

FLOOR PLAN
Scale 1:100

	22 Fieldings Way Ulverstone, Tasmania Australia 7315	Issued As PRELIMINARY	Scale A2 1:100	Revision No. A Date 29/07/25 Description Issued as PRELIMINARY	Project PROPOSED RESIDENCE Location 27 WEBB AVENUE / 44 MADELINE DRIVE, MOOREVILLE Client LUKE BENJAMIN WAY & CARINA JULIE WAY	Sheet Title FLOOR PLAN	Drawn NJB	Issue Date 29/07/25	Project No. P12388	Revision A	Sheet Number A104 / A126
	m0417 134 369 License No. 047538582	nick@nplusb.com.au ABN946 222 219 16	<small>©COPYRIGHT These drawings and designs and the copyright there of are the property of nplusb and must not be used, retained or copied without the written permission of nplusb. ABN 946 222 219 16</small>		<small>do not scale off plans all dimensions are in millimeters confirm all dimensions on site all work relevant NCC & AS</small>	Drawn NJB	Issue Date 29/07/25	Project No. P12388	Revision A	Sheet Number A104 / A126	

ROOF FRAMING LEGEND & NOTES:

ROOF PITCH - 25 DEGREES
 CEILING HEIGHT - 2700mm

ROOF BATTENS 70x35 MGP10 BATTENS AT 450 MAX CRS.

WINDOW & DOOR LINELS

- L1 - 90x45 meySPAN14
- L2 - 120x45 meySPAN14
- L3 - 190x45 meySPAN14
- L4 - 230x85 GL15C
- L5 - 195x85 GL15C
- L6 - 250 PFC

- R1 - 90x45 meySPAN14 RAFTERS AT 900 CRS
- RB1 - 2/240x45 meySPAN14 RIDGE BEAM

- C1 - 200x5.0 SHS
- C2 - 125x5.0 SHS
- C3 - 89x3.5 SHS
- TS - TRIPLE STUD

GT - GIRDER TRUSS

POSITION OF GIRDER TRUSSES TO BE CONFIRMED PRIOR TO CONSTRUCTION.
 THE DESIGNER/ENGINEER SHOULD BE CONTACTED IF GIRDER LOCATION VARIES FROM LAYOUT PROVIDED.

GALVANISED STEEL BRICK LINTELS

MAXIMUM CLEAR SPAN OF LINTEL (mm):
 ≤ 600 mm OF MASONRY OVER OPENING
 FLAT 75 X 8 700
 FLAT 100 X 10 900
 ANGLE 90 X 90 X 6EA 3000
 ANGLE 90 X 90 X 8EA 3200

MAXIMUM CLEAR SPAN OF LINTEL (mm):
 > 600 mm OF MASONRY OVER OPENING
 FLAT 75 X 8 700
 FLAT 100 X 10 900
 ANGLE 90 X 90 X 6EA 2650
 ANGLE 90 X 90 X 8EA 2800

WALL FRAMING

WALL FRAMING TO BE MGP10 MACHINE GRADED PINE (2700mm MAX)
 WALL FRAMING TO BE 90x45 MGP12 STUDS GREATER THAN 2700mm

- COMMON STUDS 90x35 MGP10 @ 450 CRS
- STUDS AROUND WET AREAS 90x35 MGP10 @ 450 CRS
- NOGGINGS 90x35 MGP10
- JAMB & JACK STUDS 90x35 MGP10
- TOP, RIBBON & BOTTOM PLATES 90x35 MGP10

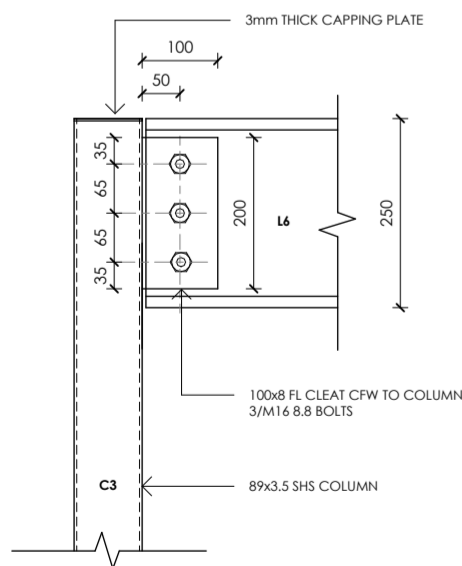
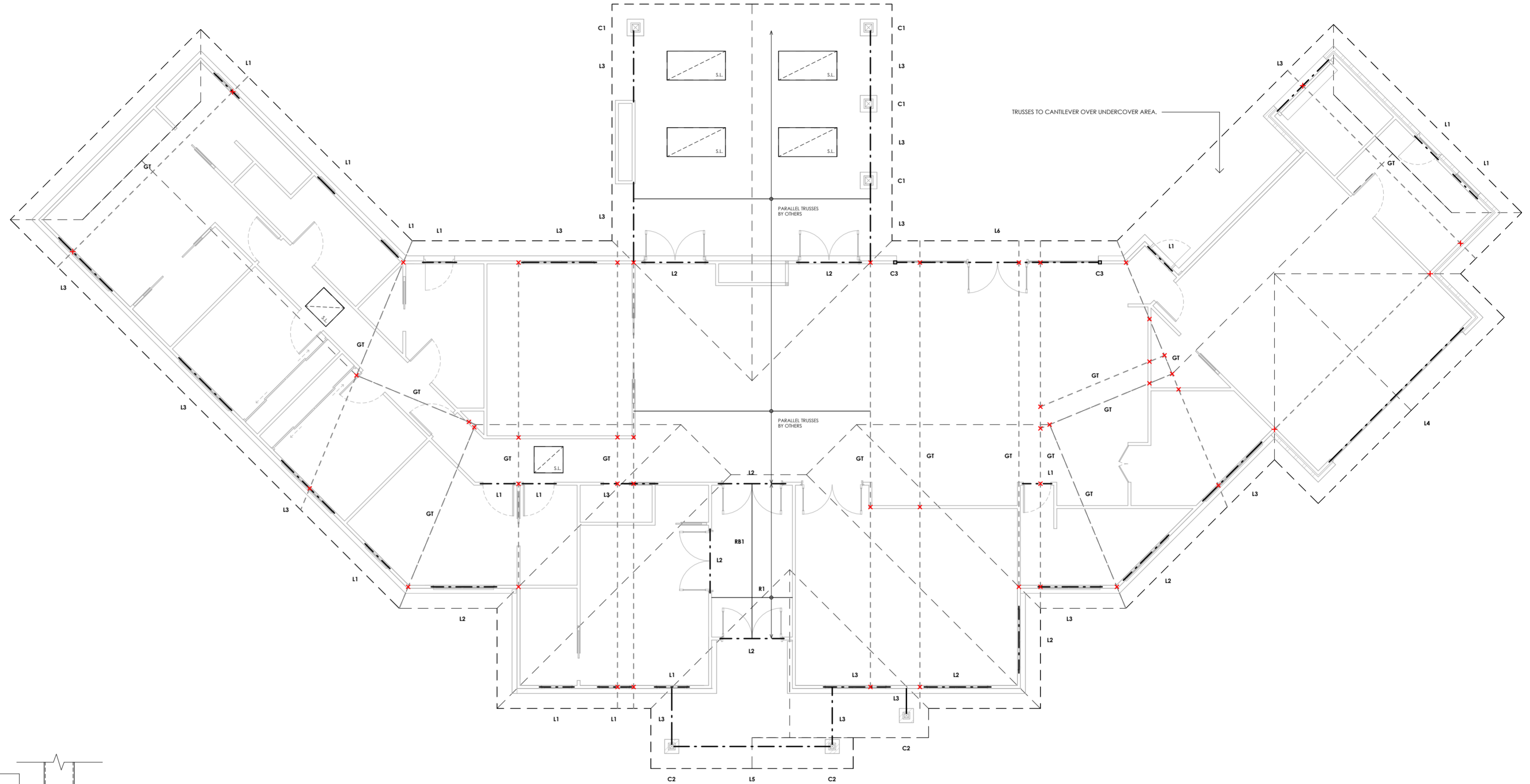
DOUBLE STUD ADJACENT TO OPENINGS UP TO 2400mm
 TRIPLE STUD ADJACENT TO OPENINGS GREATER THAN 2400mm

BRACING & TIE-DOWN DETAILS

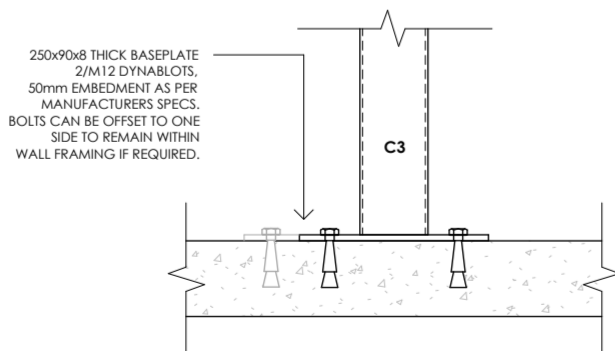
AS PER ENGINEERING DOCUMENTATION

ROOF FRAMING

ROOF TRUSSES SPACED AT 900 CRS MAX, AS PER TRUSS MANUFACTURERS SPECIFICATION, RAKED ROOF FRAMING AS PER ENGINEERING DOCUMENTATION.



C3 TO L6 DETAIL
 Scale 1 : 10



C3 BASEPLATE DETAIL
 Scale 1 : 10



ROOF FRAMING PLAN
 Scale 1 : 100

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 Ulverstone, Tasmania
 Australia
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Issued As PRELIMINARY	Scale A2 As indicated	Revision No. A Date 29/07/25 Description Issued as PRELIMINARY
<p>do not scale off plans all dimensions are in millimeters confirm all dimensions on site all work relevant NCC & AS</p>		

Project PROPOSED RESIDENCE Location 27 WEBB AVENUE / 44 MADELINE DRIVE, MOOREVILLE Client LUKE BENJAMIN WAY & CARINA JULIE WAY
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Sheet Title ROOF FRAMING PLAN	Drawn NJB	Issue Date 29/07/25	Project No. P12388	Revision A
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Sheet Number
A110
 / A126

WINDOW & DOOR SCHEDULE NOTES

FLYSCREENS TO BE FITTED TO ALL OPENABLE WINDOWS AND DOORS (ENTRY EXEMPT).

GLAZING TYPES AVAILABLE IN TASMANIA CAN BE ACCESSED AT WWW.WERS.NET.

SHOWER SCREENS

1800H SEMI-FRAMELESS SHOWER SCREENS TO COMPLY WITH NCC TABLE 8.4.6. & AS1288. MINIMUM 6mm THICK GRADE A TOUGHENED SAFETY GLASS, LABELLED TO COMPLY WITH INDUSTRY STANDARDS.

OPAQUE BANDS

WHERE GLAZED DOORS OR SIDE PANELS ARE CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, THE GLASS MUST BE MARKED TO MAKE IT READILY VISIBLE AS FOLLOWS:

- MARKING IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT;
- THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR;
- THE LOWER EDGE IS NOT MORE THAN 1200mm ABOVE THE FLOOR.

FLASHINGS TO WALL OPENINGS

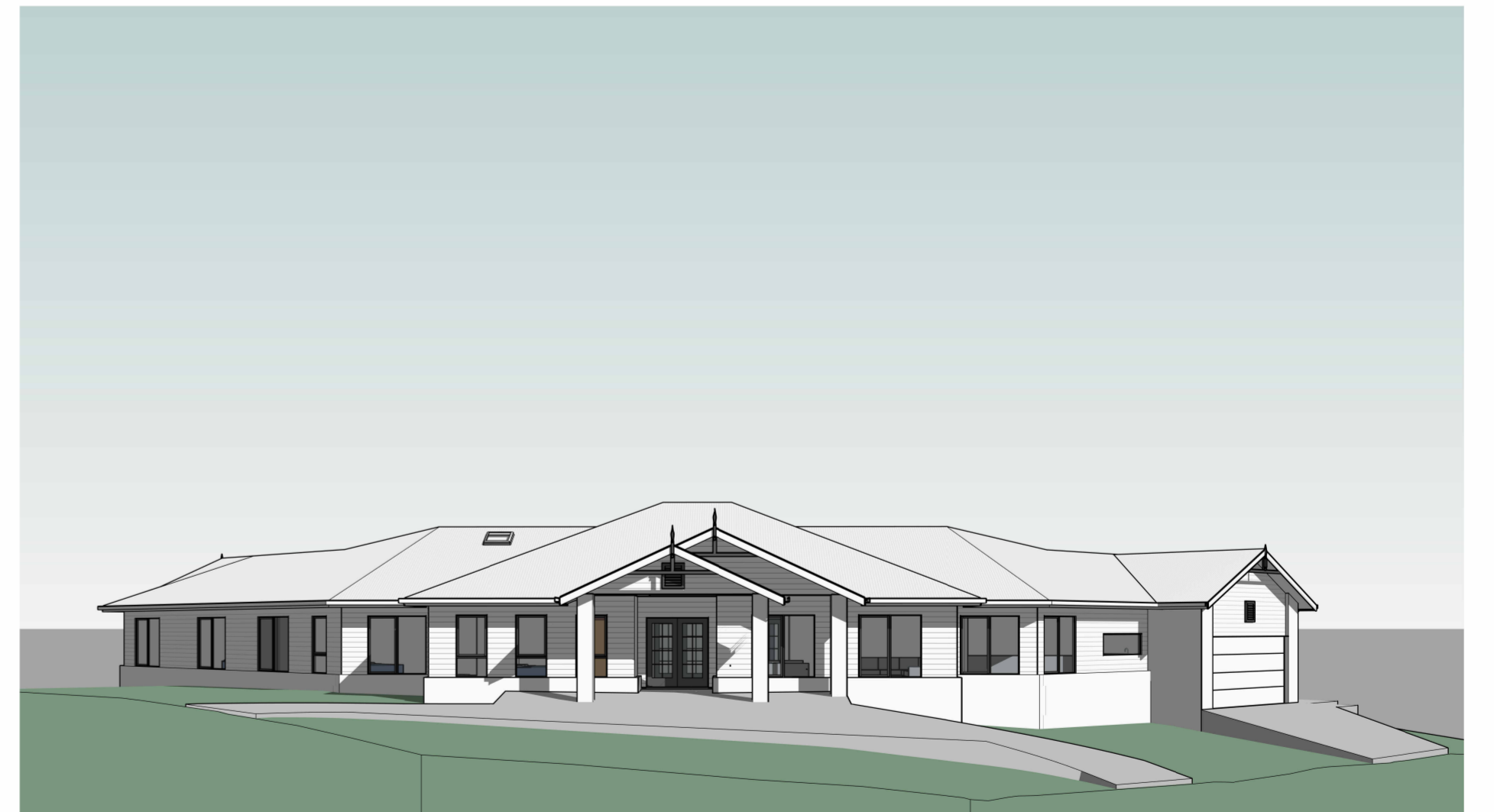
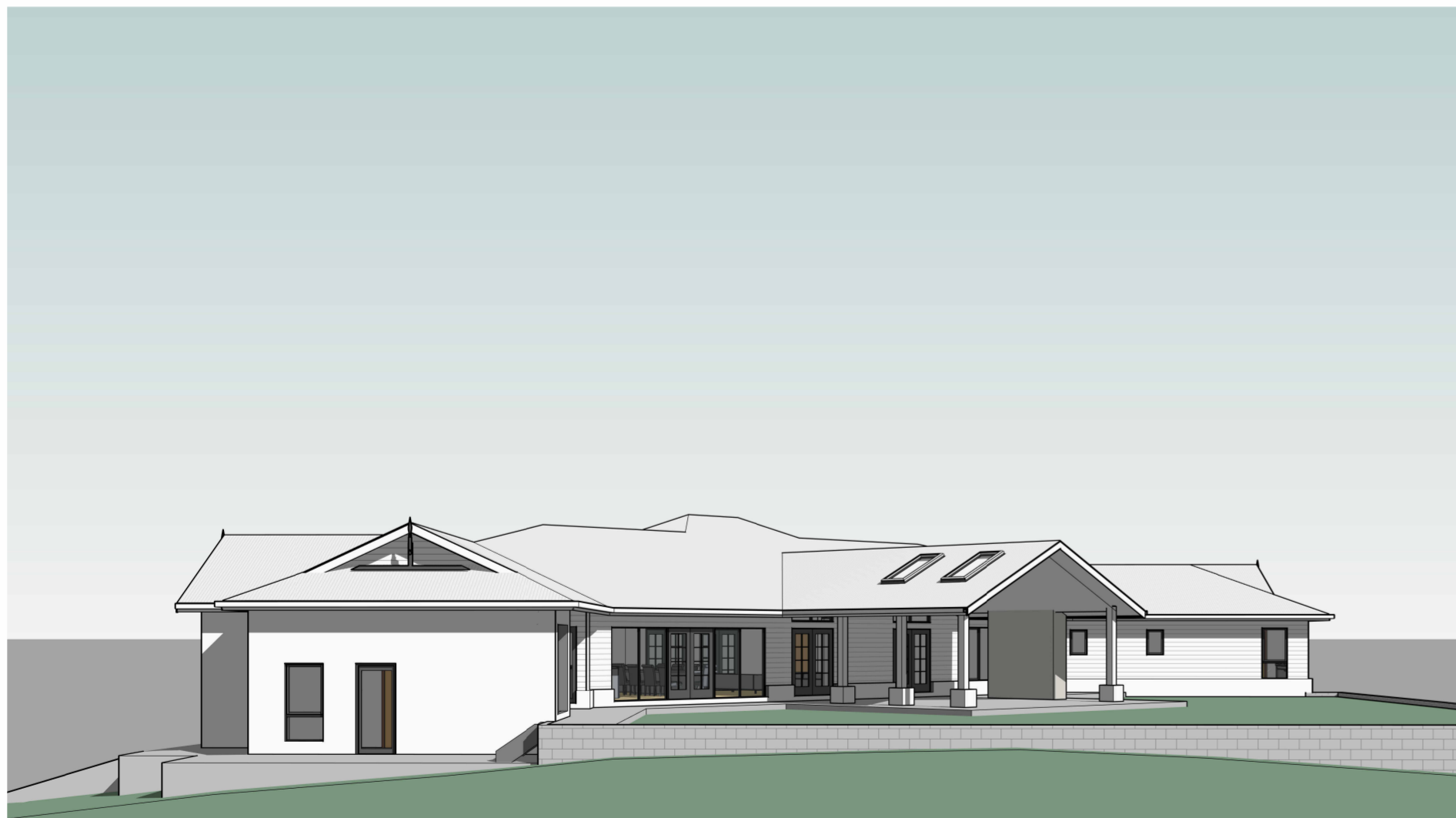
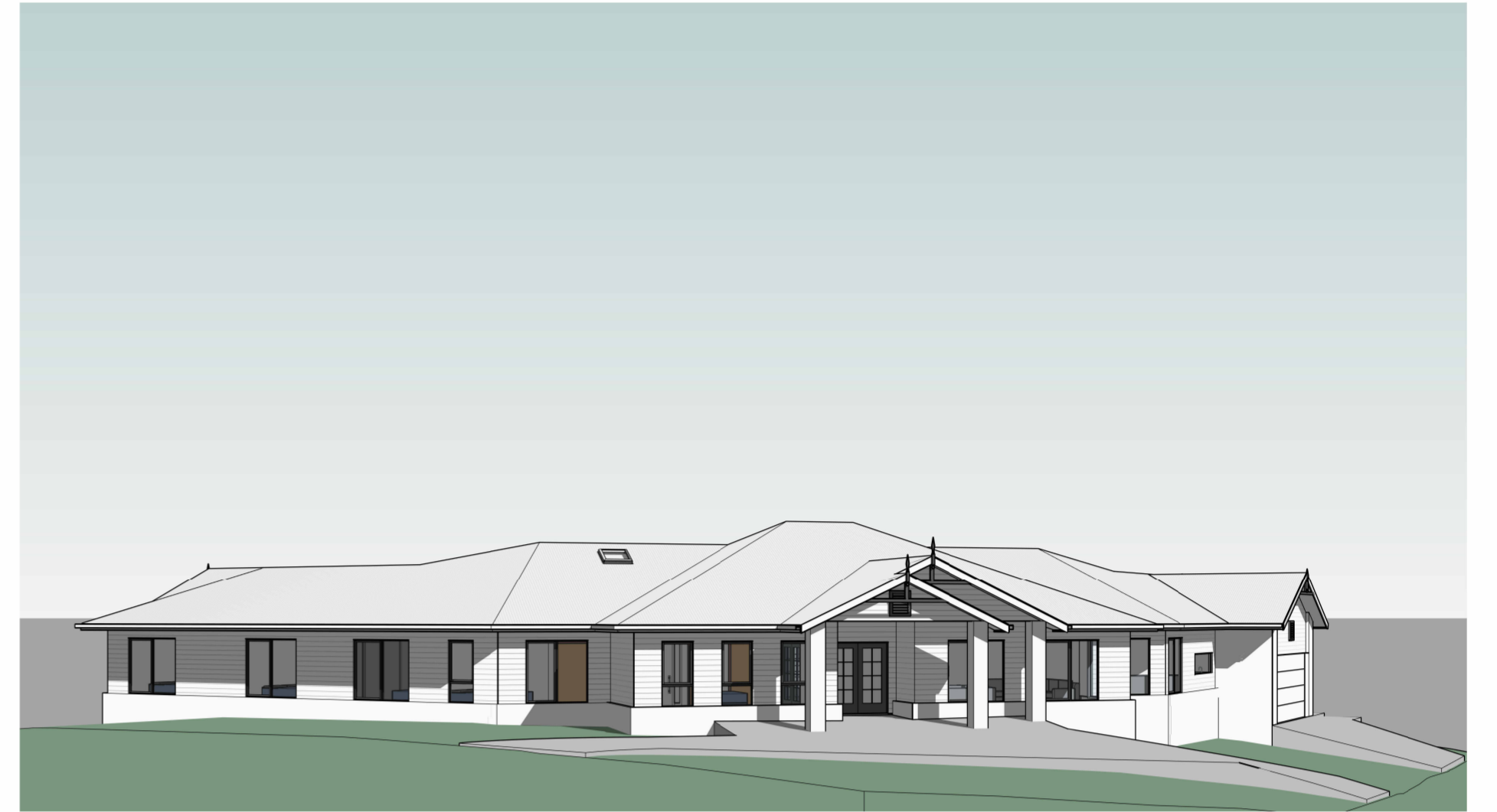
ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS2904. REFER TO DRAWING A117 FOR WINDOW HEAD AND SILL DETAILS. FLASHING TO BE INSTALLED WITH GLAZING MANUFACTURER'S SPECIFICATIONS FOR BRICK VENEER CONSTRUCTION.

NOTE:

ALL WINDOWS & DOORS ARE SHOWN AS REPRESENTATIONAL ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER AND CLIENT TO REVIEW ALL WINDOW & DOOR STYLE'S PRIOR TO ORDERING. THIS INCLUDES DOOR MATERIAL (I.E. ALUMINIUM/TIMBER) & COLOUR, FRAME COLOUR, AWNING/SLIDING OPERATION (INCLUDING SLIDING DOORS), GLASS TINT & TRANSOM & MILLION LAYOUT.






Window Schedule									
Mark	Floor Level	Operation	Size		Sill Height (Height Above FFL)	Location	SHGC	U-Value	Glazing
			Height	Width					
1	HOUSE FFL	Awning	1800	900	365	BEDROOM 5	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
2	HOUSE FFL	Awning	1800	900	365	BATH 3	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
3	HOUSE FFL	Awning	1800	900	365	BEDROOM 5	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
4	HOUSE FFL	Awning	1800	900	365	BEDROOM 4	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
5	HOUSE FFL	Awning	1800	1800	365	BEDROOM 4	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
7	HOUSE FFL	Awning	1800	2100	365	BEDROOM 1	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
8	HOUSE FFL	Awning	1800	2100	365	BEDROOM 2	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
9	HOUSE FFL	Awning	1800	2100	365	BEDROOM 3	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
11	HOUSE FFL	Awning	1800	2100	365	RUMPUS	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
12	HOUSE FFL	Fixed	2100	2100	0	KITCHEN	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
13	HOUSE FFL	Fixed	2100	2100	0	DINING	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
14	HOUSE FFL	Fixed	700	2400	900	PANTRY	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
15	HOUSE FFL	Awning	1800	900	365	ENSUITE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
16	HOUSE FFL	Awning	900	600	1200	BATH	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
17	HOUSE FFL	Awning	900	600	1200	BATH	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
18	GARAGE FFL	Awning	1800	900	300	GYM	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
19	HOUSE FFL	Awning	1800	1800	365	LOUNGE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
20	HOUSE FFL	Awning	1800	1800	365	LOUNGE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
21	HOUSE FFL	Awning	1800	1800	365	LOUNGE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
22	HOUSE FFL	Awning	1800	1800	365	OFFICE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
23	HOUSE FFL	Awning	1800	1800	365	OFFICE	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
24	HOUSE FFL	Fixed	475-1035	1840	2300	ALFRESCO	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr
25	HOUSE FFL	Fixed	475-1035	1840	2300	ALFRESCO	0.55	4.3 W/(m²·K)	DOUBLE GLAZED - 4Clr/10/4Clr

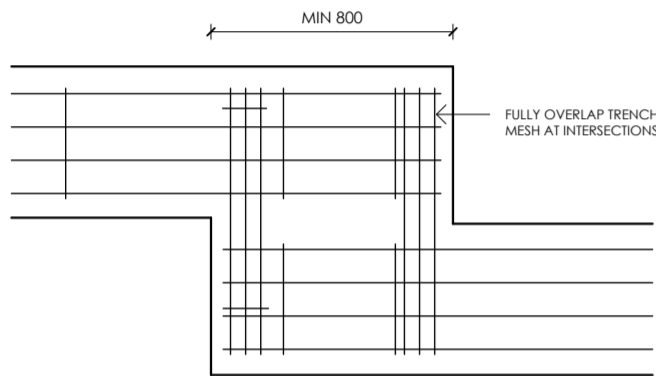
Door Schedule					
Mark	Level	Location	Height	Width	Operation
1	HOUSE FFL	WIR	2100	1640	Dual Glazed Cavity Slider (Frosted)
2	HOUSE FFL	BEDROOM 1	2040	920	Internal Hinged
3	HOUSE FFL	BEDROOM 2	2040	920	Internal Hinged
4	HOUSE FFL	BEDROOM 3	2040	920	Internal Hinged
5	HOUSE FFL	LAUNDRY	2040	820	Cavity Slider
6	HOUSE FFL	PASSAGE	2040	920	Internal Hinged
7	HOUSE FFL	LAUNDRY	2040	920	Internal Hinged
8	HOUSE FFL	RUMPUS	2100	1640	Dual Glazed Cavity Slider (Frosted)
10	HOUSE FFL	GARAGE	2040	820	Cavity Slider
12	GARAGE FFL	GYM	2040	920	Internal Hinged
13	HOUSE FFL	KITCHEN	2040	820	Internal Hinged
14	HOUSE FFL	BEDROOM 4	2040	820	Cavity Slider
15	HOUSE FFL	BATH 3	2040	820	Cavity Slider
16	HOUSE FFL	PASSAGE	2040	920	Internal Hinged
17	HOUSE FFL	ENTRY	2100	1840	Dual Hinged External Door
18	HOUSE FFL	KITCHEN	2040	820	Internal Hinged
19	HOUSE FFL	LAUNDRY	2100	920	External Hinged
20	HOUSE FFL	KITCHEN	2100	920	External Hinged
21	HOUSE FFL	ALFRESCO	2100	1840	Dual Hinged External Door
22	HOUSE FFL	ALFRESCO	2100	1840	Dual Hinged External Door
23	HOUSE FFL	ENTRY	2100	1840	Dual Hinged External Door
24	HOUSE FFL	DINING	2100	1840	Dual Hinged External Door
25	GARAGE FFL	GARAGE	2400	5500	Panelift Garage Door
26	HOUSE FFL	ENTRY	2100	1840	Dual Hinged External Door
27	HOUSE FFL	HALL	2040	920	Internal Hinged
28	HOUSE FFL	ENSUITE	2040	820	Cavity Slider
29	HOUSE FFL	BEDROOM 4	2040	920	Internal Hinged
30	HOUSE FFL	BEDROOM 5	2040	770	Cavity Slider
31	HOUSE FFL	PASSAGE	2040	770	Cavity Slider
32	GARAGE FFL	GYM	2100	920	External Hinged
33	HOUSE FFL	STORE	2100	2100	Roller Door
34	HOUSE FFL	LOUNGE	2100	1840	Dual Hinged External Door



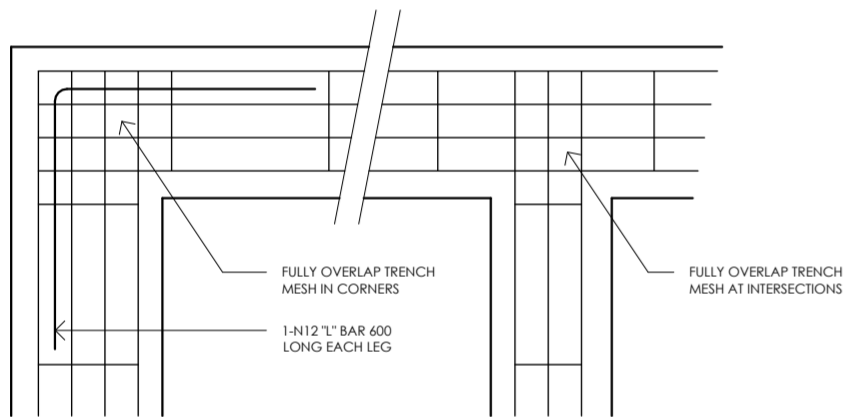
NOTES:

1. SITE CLASSIFICATION CLASS "H1", IN ACCORDANCE WITH AS2870. REFER SITE CLASSIFICATION REPORT BY GEOTON PTY LTD REF GL24454ab
2. STRUCTURAL DESIGN IN ACCORDANCE WITH AS2870 FOR ARTICULATED MASONRY VENEER CONSTRUCTION.
3. COMPACTED BASE FOR WAFFLE SLAB FOUNDATIONS ASSUMES ALL TOP SOIL, VEGETATION OR FILL HAS BEEN STRIPPED FROM THE BUILDING FOOTPRINT. COMPACTED ROAD BASE OR SIMILAR APPROVED BASE TO BE FOUND ON FIRM NATURAL MATERIAL WITH A MINIMUM BEARING CAPACITY OF 100kPa.
4. FOR DIMENSIONS REFER TO ARCHITECTURAL DRAWINGS.

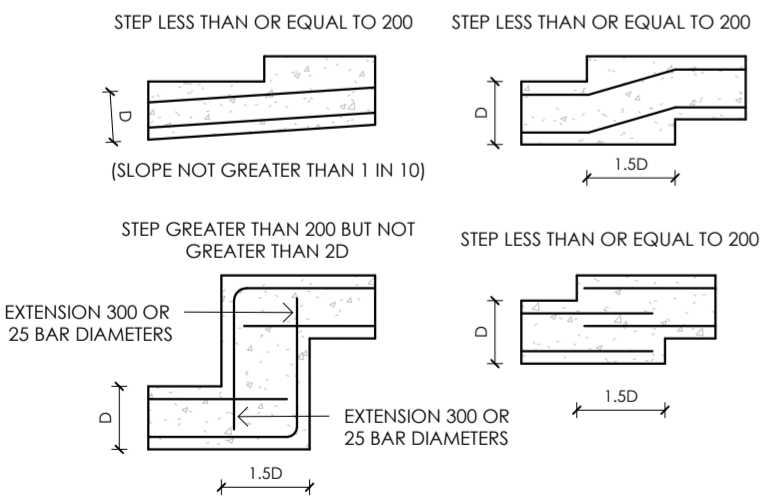
-  85 THICK SLAB. SL92 TOP 20mm COVER 0.2 POLYETHYLENE VAPOUR BARRIER.
-  1090x1090x300 "POLYFOAM" WAFFLE POD.
-  1090x1090x300 "POLYFOAM" WAFFLE POD, SETDOWN 50mm
-  DENOTES 2000mm LENGTH OF 3-L11TM OR 3-N12 BARS FIXED TO UNDERSIDE OF SLAB MESH DIAGONALLY ACROSS RE-ENTRANT CORNER.
-  DENOTES LOCATION WHERE IB1 BEAM MUST BE PLACED TO MAINTAIN BEAM CONTINUITY. ALL OTHER IB1 LOCATIONS CAN BE CHANGED ON SITE TO SUIT WAFFLE POD ARRANGEMENT.



STRIP FOOTING TM ARRANGEMENT

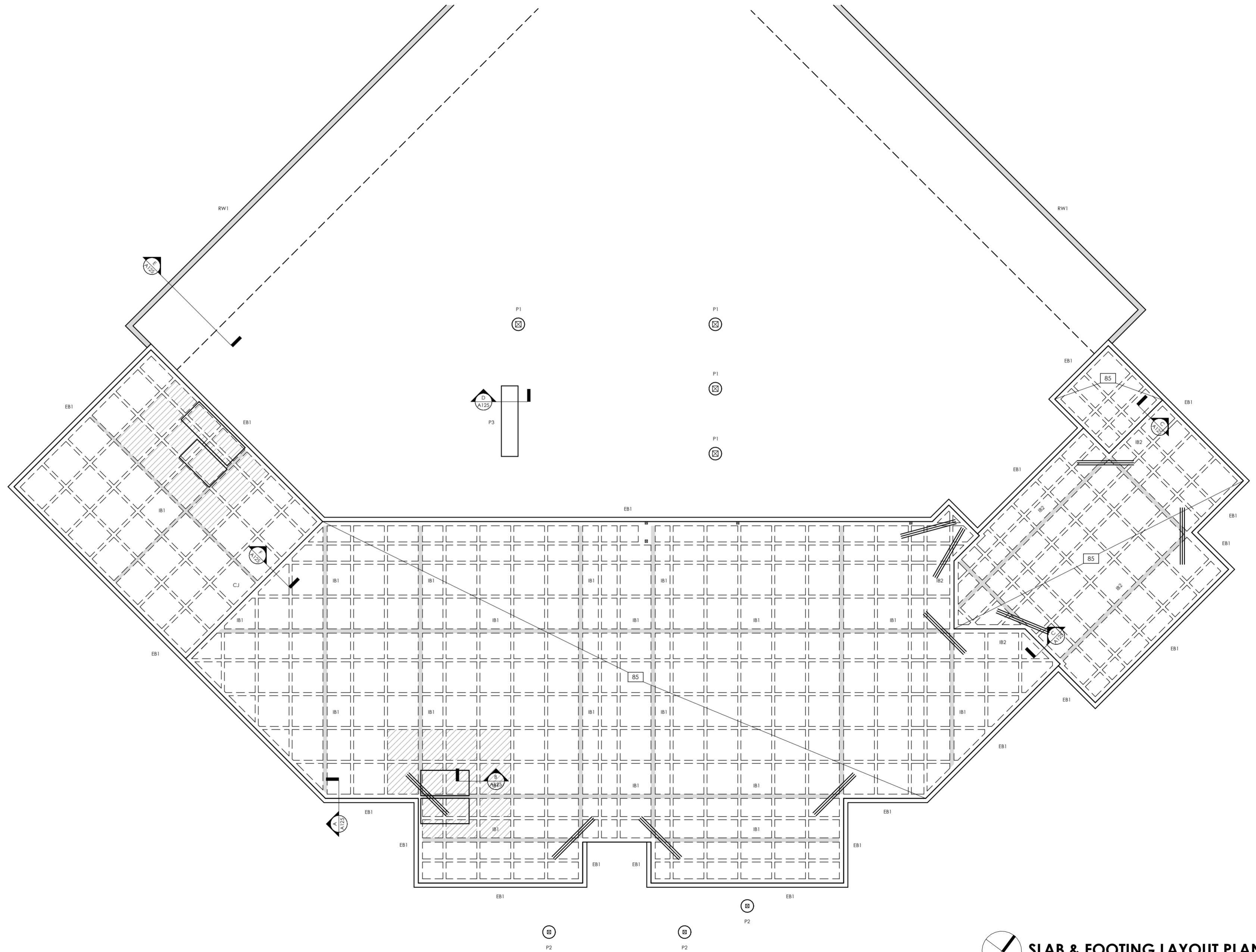


TYPICAL TRENCH MESH INTERSECTION AND CORNER DETAIL

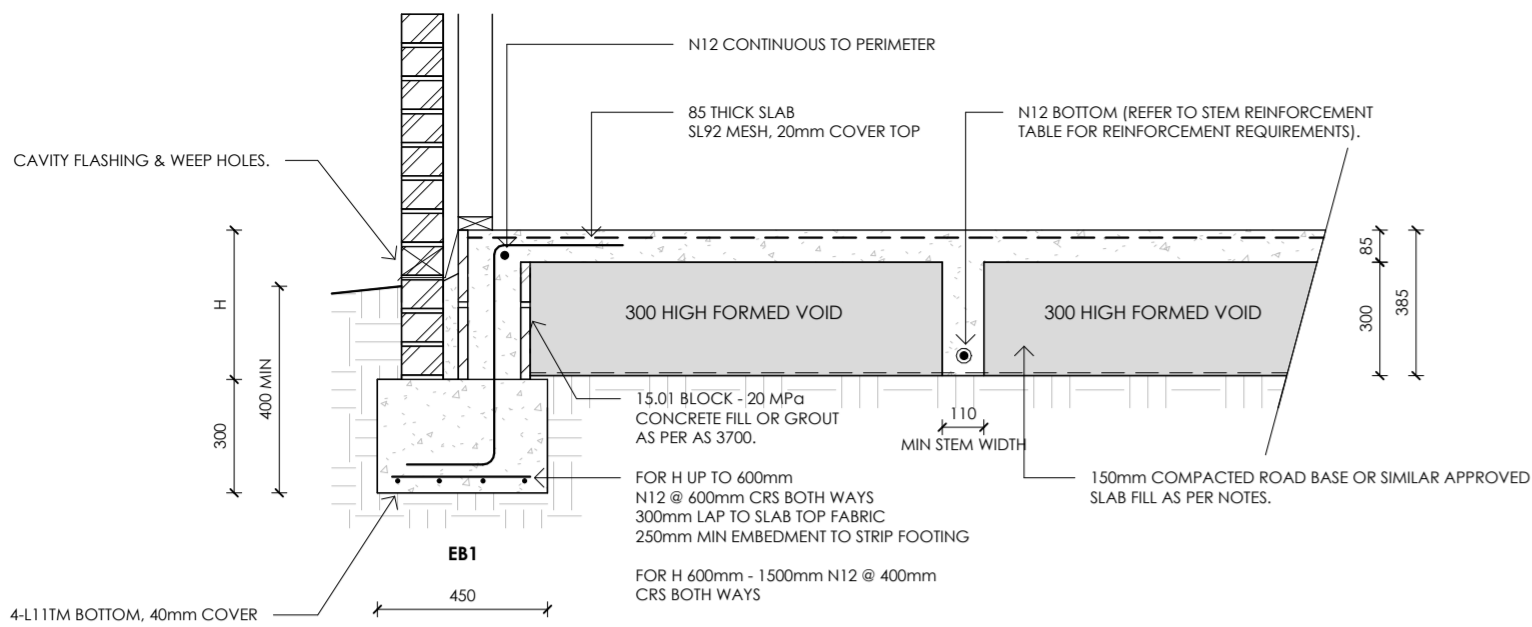


FOR DETAILS ON THE TYPE OF EXTENSION BARS TO BE USED AND THEIR LENGTHS SEE NOTES.

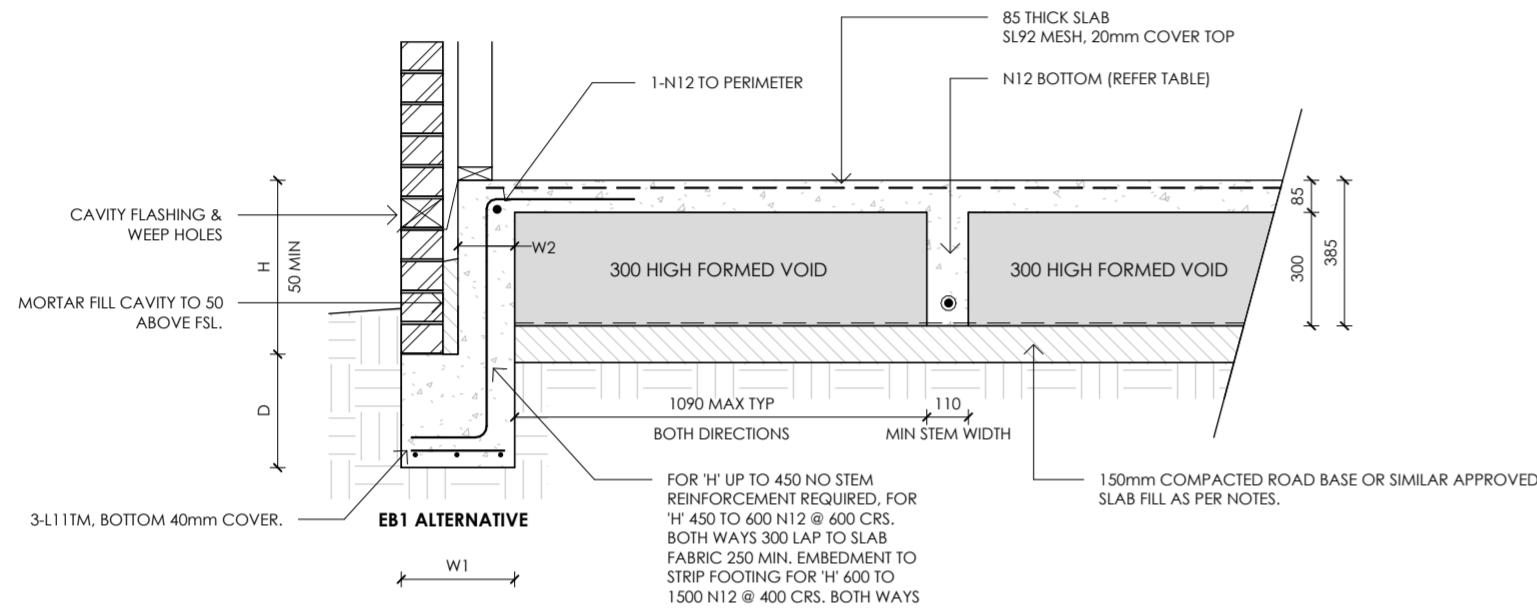
ALTERNATE METHODS FOR STEPPING STRIP FOOTINGS
NOT TO SCALE



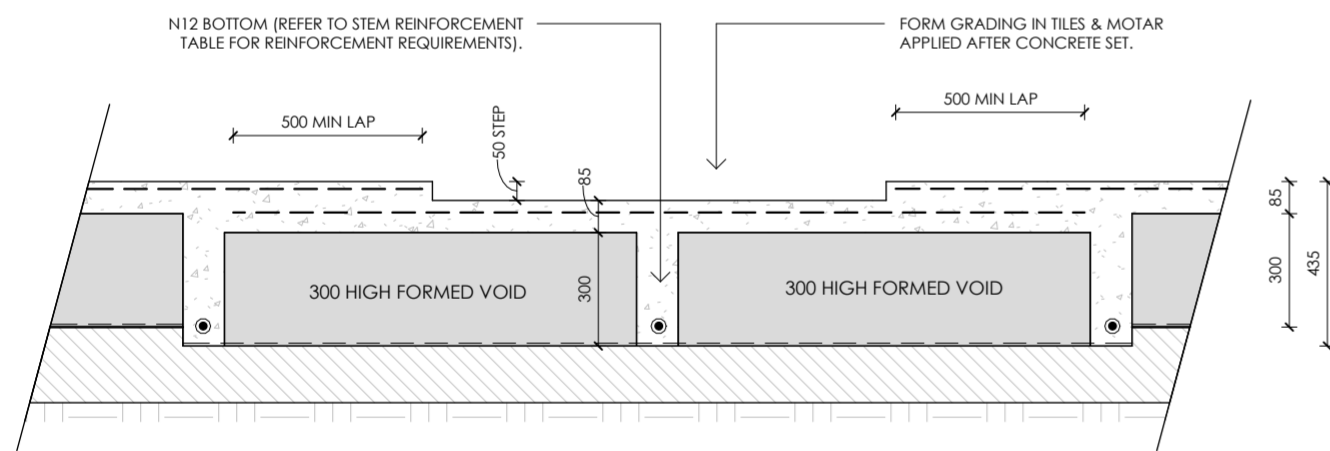
SLAB & FOOTING LAYOUT PLAN
Scale 1 : 100



EB1 - SECTION A
Scale 1 : 20



EB1 ALTERNATIVE TYPICAL DETAIL
Scale 1 : 20

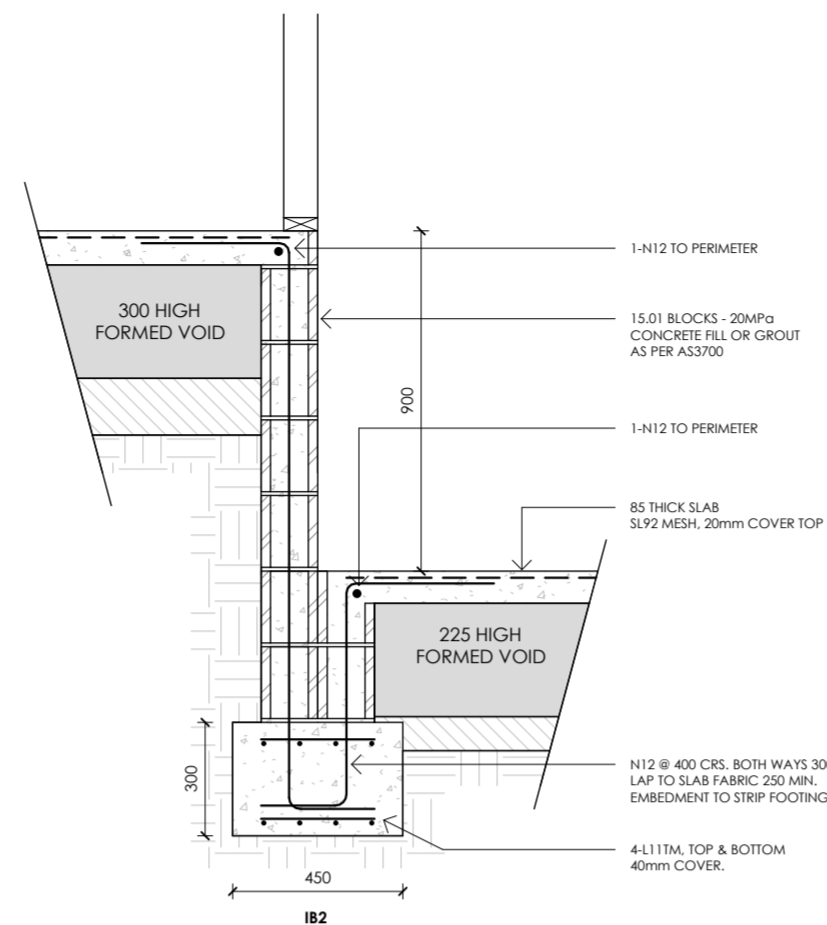


SHOWER STEPDOWN - SECTION B
Scale 1 : 20

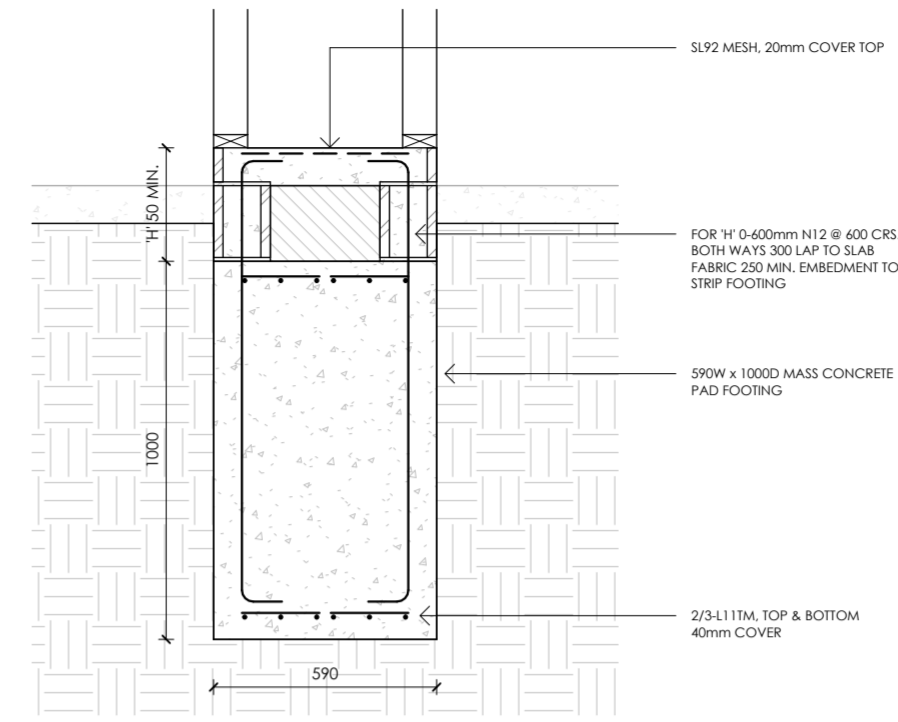


ALTERNATIVE FOOTING DIMENSIONS			
H	D	W1	W2
<450	150	300	150
450-600	300	300	150
600-1500	300	350	200

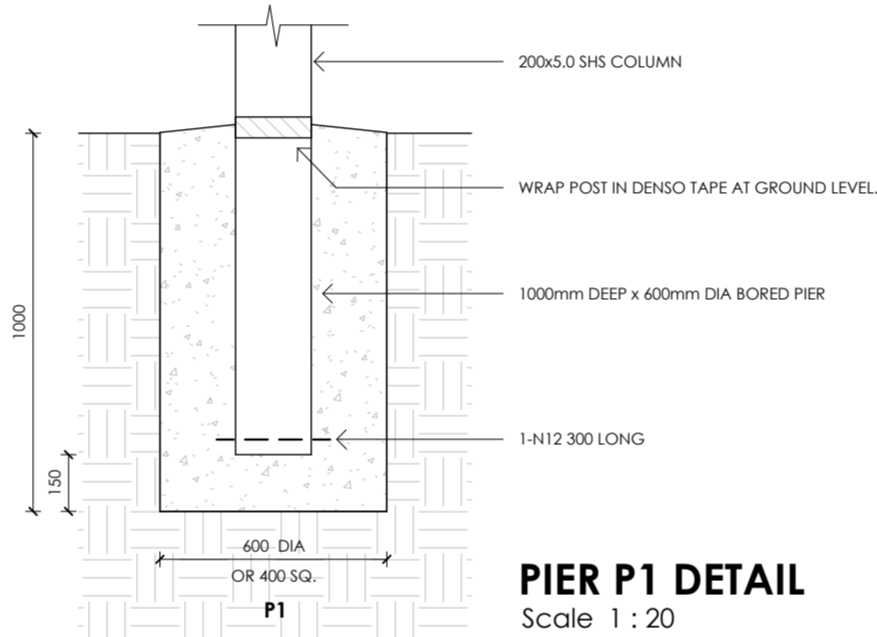
STEM WIDTH	ADDITIONAL REINFORCEMENT TO SLAB MESH	
	TOP STEEL	BOTTOM STEEL
110-150	0	1-N12
151-220	1-N12	2-N12
221-330	2-N12	3-L12TM
331-440	3-L12TM	4-L12TM



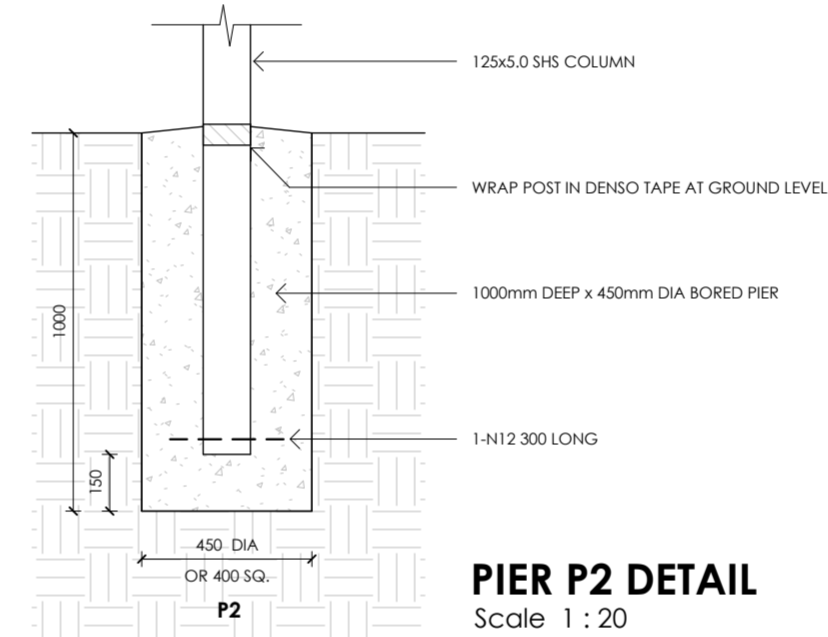
IB2 DETAIL - SECTION C
Scale 1 : 20



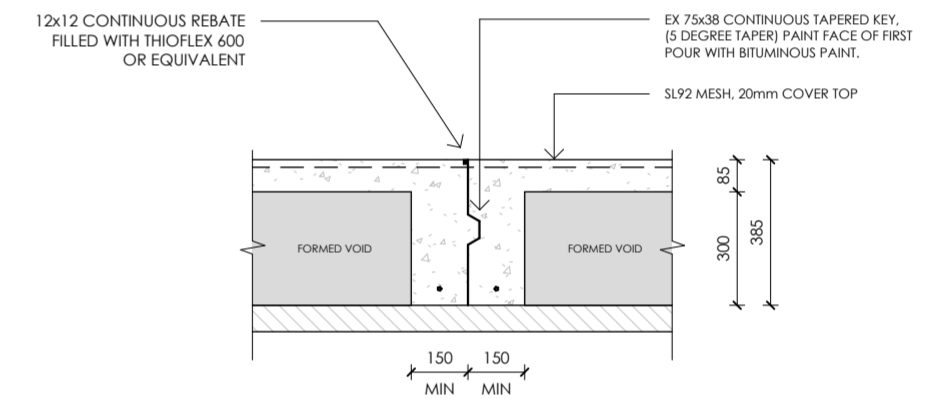
P3 - SECTION D
Scale 1 : 20



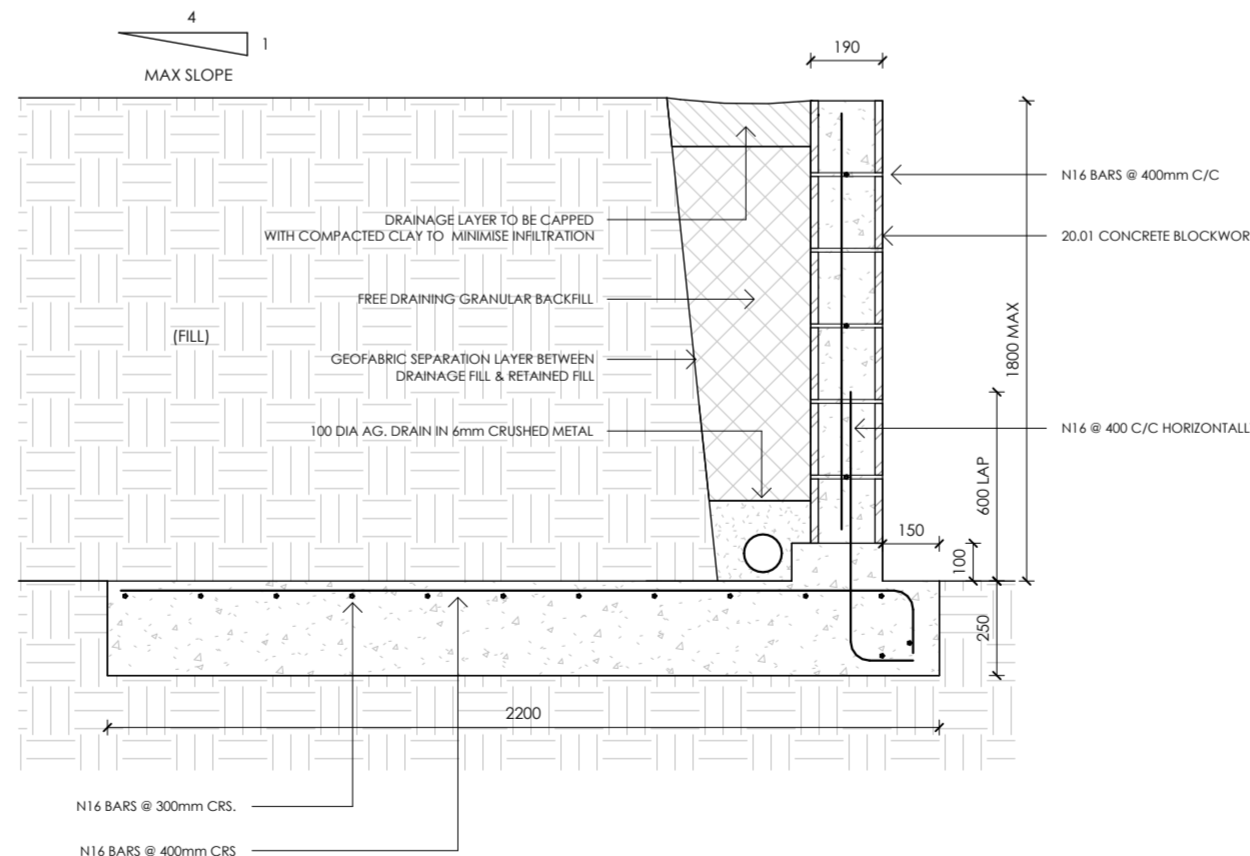
PIER P1 DETAIL
Scale 1 : 20



PIER P2 DETAIL
Scale 1 : 20



KEYED CONSTRUCTION JOINT - SECTION F
SCALE 1:20



RW1 DETAIL - SECTION E
Scale 1 : 20

RETAINING WALL NOTES:

1. GEOTEXTILE SEPARATION LAYER TO BE A LAYER OF A-14 BIDIM OR EQUIVALENT
 2. PVC DRAINAGE PIPE TO BE LAID TO A MINIMUM GRADE OF 1 IN 100. THE LOW END IS TO BE DRAINED THROUGH THE HOB TO A STORMWATER SYSTEM. THE UPPER END IS TO BE BROUGHT TO THE SURFACE AND CAPPED.
 3. THE DRAINAGE FILL MATERIAL TO BE SINGLE SIZED CRUSHED ROCK 10 TO 20mm, MINIMUM 300mm THICK, AROUND DRAINAGE PIPE AND EXTENDING UP THE WALL
 4. ALL CONCRETE MASONRY BLOCKWORK TO BE CORE FILLED WITH CONCRETE OR GROUT IN ACCORDANCE WITH AS 3700
 5. THE BASE OF THE KEY FOR EACH RETAINING WALL MUST BE A MINIMUM 400mm BELOW THE NATURAL SURFACE LEVEL OF THE GROUND
- MAX 1800mm HIGH WALL WITH SINGLE SKIN OF 20.01 BLOCKS. WHERE WALL HEIGHT EXCEEDS 1800mm, BOTTOM COURSES TO ADOPT 30.01 BLOCKS.
- FOR WALL HEIGHTS BELOW 600mm, ADOPT 600 DEEPx450 WIDE FOOTING, 4-L11TM TOP & BOTTOM, N12 VERTICAL & HORIZONTAL BARS IN WALL @ 400 C/C, COG VERTICAL STARTERS & LAP WITH BOTTOM REO

NOTES:

1. WIND CLASSIFICATION CLASS N2, IN ACCORDANCE WITH AS1684.2. REFER SITE CLASSIFICATION REPORT BY GEOTON PTY LTD REF TBA.
2. REFER TO SHEET A126 FOR BRACING TYPE AND INSTALLATION DETAILS.
3. ONLY THE MINIMUM BRACING IS INDICATED ON THESE PLANS. ADDITIONAL BRACING MAY BE PLACED AS NECESSARY TO PREVENT RACKING OF THE STRUCTURE DURING CONSTRUCTION.
4. FOR DIMENSIONS REFER TO ARCHITECTURAL DRAWINGS.

AJ MASONRY ARTICULATION JOINT, SPACED AT 5.5m INTERVALS MAX.

TIE-DOWNS

BOTTOM PLATES TO FLOOR FIXINGS AT 900mm CRS
TRUSS SPAN 0m - 9m UPLIFT 4kN
 M10 DYNABOLT 35mm MIN EMBEDMENT TO MANUFACTURERS SPECIFICATIONS.

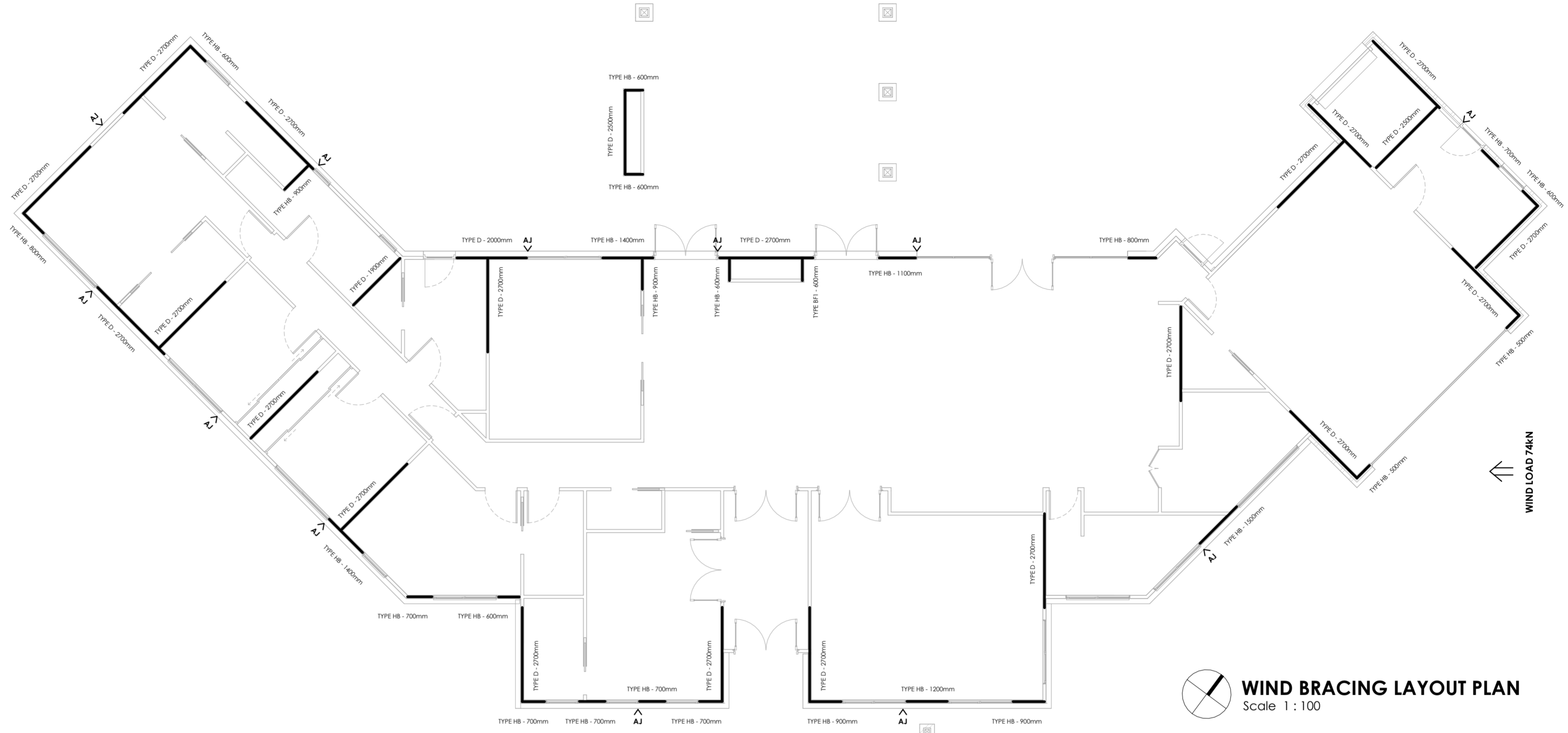
TOP & BOTTOM PLATES TO STUDS FIXINGS AT 900mm CRS
TRUSS SPAN 0m - 9m UPLIFT 5.3kN
 30x0.8 G.I. STRAP WITH 4/2.8 DIAMETER NAILS EACH END AS PER AS1684.2 - TABLE 9.19

SIMPSON STRONG-TIE DRIVE SCREW ALTERNATIVE:
 ADOPT 127mm LONG (SDWS22500DB) SCREWS INTO BOTTOM PLATE
 ADOPT 152mm LONG (SDWS22600DB) SCREWS INTO TOP PLATE
 AT ALL OPENINGS ADOPT ONE SCREW PER JAMB STUD.

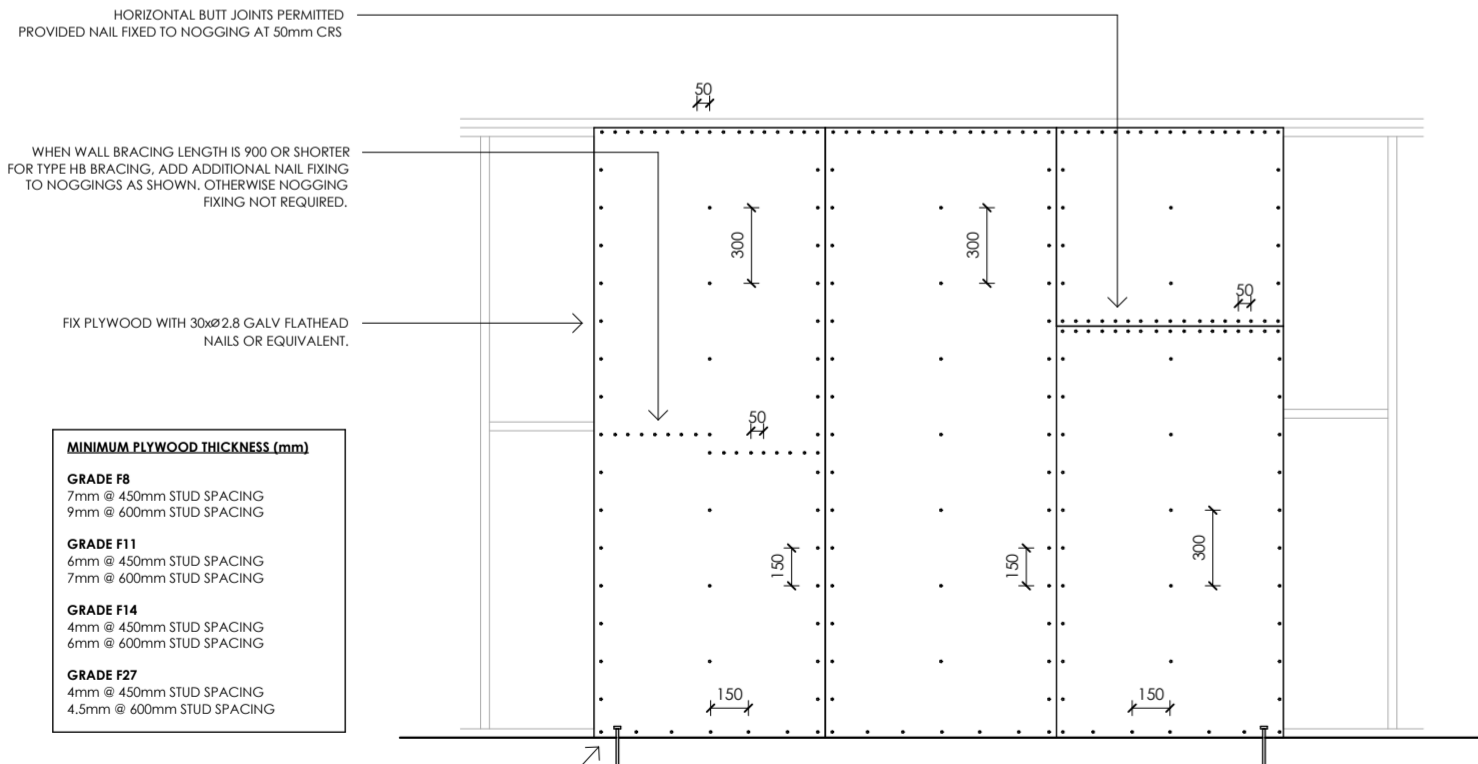
ROOF TRUSSES/RAFTERS TO TOP PLATES OR BEAMS FIXINGS AT 900mm CRS
TRUSS SPAN 0m - 9m UPLIFT 5.3kN
 30x0.8 G.I. STRAP OVER RAFTERS/TRUSSES WITH 4/2.8 DIAMETER NAILS EACH END AS PER AS1684.2 - TABLE 9.21 OR TRUSS MANUFACTURERS SPECIFICATION.

ROOF BATTENS TO TRUSSES/RAFTERS. BATTENS AT 900mm CRS
UPLIFT GENERAL 0.79kN
 2/75x3.05 DIAMETER DEFORMED SHANK NAILS FOR 35x70mm BATTEN AS PER AS1684.2 TABLE 9.25

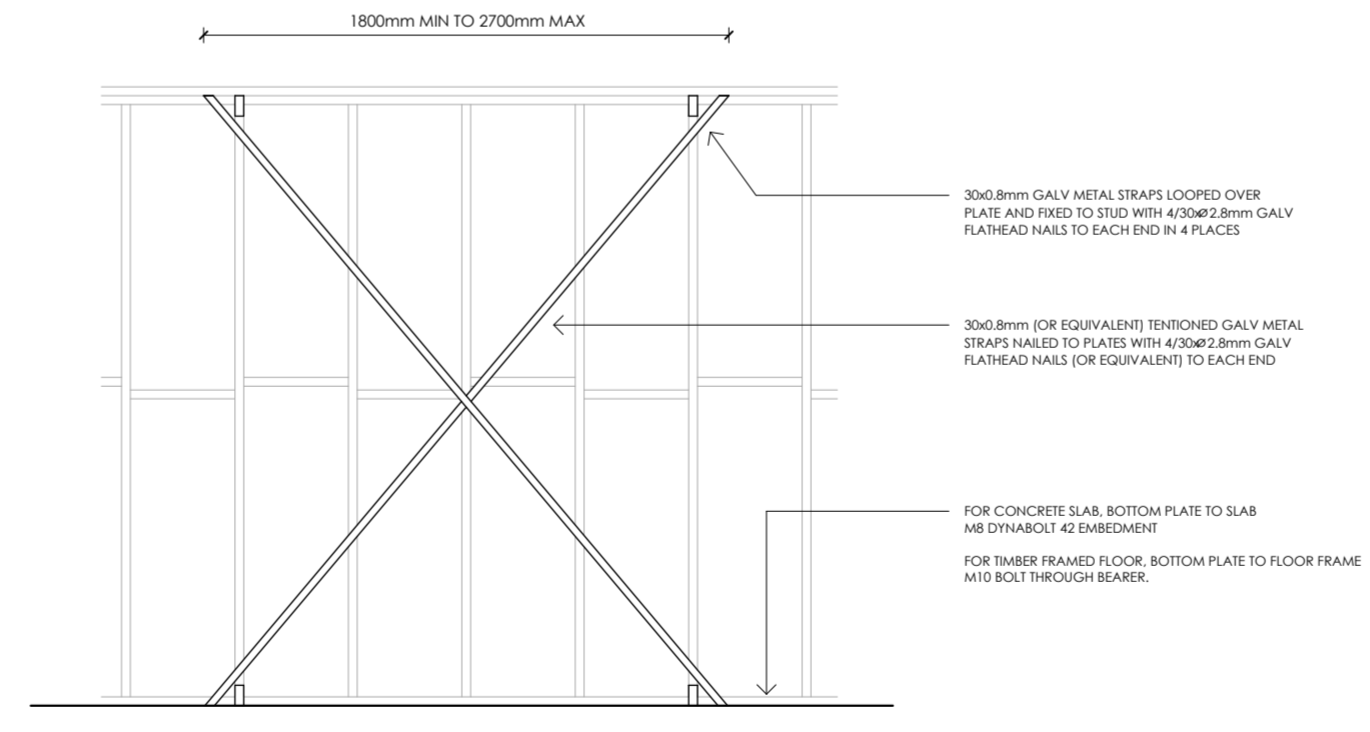
UPLIFT EDGES 1.5kN
 1/75mm LONG No.14 TYPE 17 SCREW FOR 35x70mm BATTEN AS PER AS1684.2 TABLE 9.25



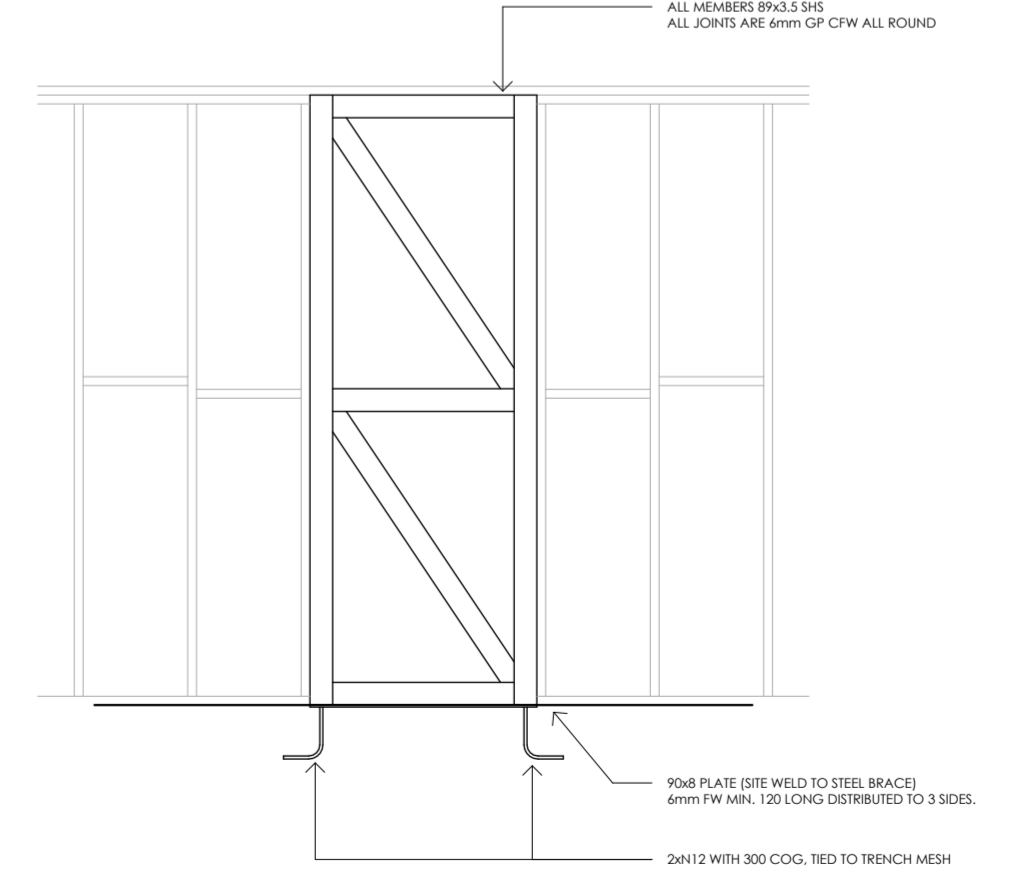
WIND BRACING LAYOUT PLAN
 Scale 1:100



TYPE HB BRACE (5.2kN/m)



TYPE D BRACE (3.0kN/m)



BFI BRACE DETAIL

MINIMUM PLYWOOD THICKNESS (mm)

GRADE F8	7mm @ 450mm STUD SPACING 9mm @ 600mm STUD SPACING
GRADE F11	6mm @ 450mm STUD SPACING 7mm @ 600mm STUD SPACING
GRADE F14	4mm @ 450mm STUD SPACING 6mm @ 600mm STUD SPACING
GRADE F27	4mm @ 450mm STUD SPACING 4.5mm @ 600mm STUD SPACING

FOR CONCRETE SLAB CONSTRUCTION
 FIX BOTH ENDS OF PANEL TO FLOOR SLAB
 WITH M12 CHEVSEAT ANCHORS, 110 EMBEDMENT.

FOR TIMBER FRAMED FLOOR CONSTRUCTION
 FIX BOTTOM PLATE TO FLOOR FRAME AT ENDS
 WITH M12 BOLT THROUGH DOUBLE JOISTS
 AND AT 1200/C WITH 1/1610 BOLT OR
 2/No14 TYPE 17 SCREWS

