

PLEASE QUOTE

Your Ref:

Our Ref: DA 2025/74

Enquiries: Planning Department

80 Wilson Street, Burnie Tasmania  
PO Box 973, Burnie TAS 7320

ABN: 29 846 979 690  
Phone: (03) 6430 5700  
Email: burnie@burnie.tas.gov.au  
Web: www.burnie.tas.gov.au

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## NOTICE OF APPLICATION FOR LAND USE PERMIT

(Section 57(3) Land Use Planning and Approvals Act 1993)

### *Advice to Adjoining Land Owner or Occupier*

**Application No: -** DA 2025/74  
**Development Site: -** 22-24 Mooreville Road SHOREWELL PARK  
CT: 115740/1  
**Proposal: -** Vegetation clearing (retrospective)

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Notice of the above application is served on you as an adjoining land owner or occupier.

The application may be viewed at -

**Burnie City Council Customer Services Counter  
Ground Floor, City Offices,  
80 Wilson Street, Burnie**

Between the hours of 8.45 am – 4.45 pm Monday to Friday inclusive (excluding public holidays) or on Council's website at [www.burnie.tas.gov.au/permits](http://www.burnie.tas.gov.au/permits)

You are entitled to make representation in writing on any aspect of the proposal addressed to: -

**General Manager,  
Burnie City Council,  
PO Box 973, Burnie 7320**

or [burnie@burnie.tas.gov.au](mailto:burnie@burnie.tas.gov.au) by no later than 5.00 pm on **10 April 2026**. Council must have regard to any written representation received during the exhibition period when considering its decision on the application.

All persons who make representation will be notified within seven (7) days of the Council's decision. Any persons who made representation and is not satisfied with the Council decision may, under Section 61(5) of the *Land Use Planning and Approvals Act 1993*, lodge an appeal against that decision within fourteen (14) days of the date of that notice to: -

**The Tasmanian Civil and Administrative Tribunal,  
GPO Box 1311,  
HOBART TAS 7001.**

Should you have any enquiries regarding this development proposal, please do not hesitate to contact the Planning Department on (03) 6430 5700.

Troy McCarthy  
**EXECUTIVE MANAGER – DEVELOPMENT SERVICES**  
Date of Notice: - **21 March 2026**



**Land Use Planning and Approvals Act 1993**

**Tasmanian Planning Scheme**

**PERMIT APPLICATION**

*Office use only*

Application No \_\_\_\_\_

Date Received \_\_\_\_\_

Permit Pathway - *Permitted/Discretionary*

**Use or Development Site:**

Street Address  
22 - 24 Mooreville Road  
Shorewell Park  
Burnie 7320

Certificate of  
Title Reference  
SP115740

**Applicant**

First Name  
OneCare Limited

Second  
Name

Surname

Postal Address:

Phone No:

Mobile:

Email Address:

I/we consent for all giving of information and the serving of notices in relation to this application to be delivered electronically to the above email address?

YES



NO



Applicants Signature: bdWalter Manager Property and Contracts

**Owner** (note – if more than one owner, all names must be indicated)

First Name

Second Name

Surname

Postal Address:

Phone No:

## Instruction for making a permit application

### a) **Use or development?**

The application must provide a full description of the proposed use and/or development and of the manner in which the use and/or development is to operate.

“Use” is the purpose or manner for which land is utilised. “Development” is any site works (including any change in natural condition or topography of land and the clearing or conversion of vegetation), and the construction, alteration, or removal of buildings, structures and signs, required in order to prepare a site for use or to change existing conditions within a site. Subdivision is development.

Clause 6.2 Tasmanian Planning Scheme provides the use classes by which all use or development must be described. Development must be categorised by reference to the use class it is to serve.

### b) **Required Information**

Adequate statements, plans and specifications must be included within the permit application to address and demonstrate compliance with all applicable requirements of the planning scheme, including any site analysis, impact report and recommendation, and advice, consent or determination required from a State agency or utility entity.

The application must clearly identify the documents relied upon for determination.

Section 51(1AC) *Land Use Planning and Approvals Act 1993* provides that a permit application is not valid unless it includes all of the information required by a planning scheme. Clause 6.1 Tasmanian Planning Scheme prescribes the minimum information that is necessary in order to complete a valid permit application.

S54 *Land Use Planning and Approvals Act 1993* provides that the planning authority may require the applicant to supply further information before it considers a permit application. If the planning authority requires further information to more particularly address one or more of the applicable requirements of the Tasmanian Planning Scheme, the statutory period for determination of a permit application does not run until that information is answered to the satisfaction of the planning authority

### c) **Applicable Provisions and Standards**

The permit application must be assessed against the applicable provisions and standards of the Tasmanian Planning Scheme. The application is to identify by reference the clauses it relies upon to demonstrate compliance. (eg *clause 8.4.3 (A1 – A4, and P5)*)

### d) **Discretionary Permits**

If a permit is discretionary the permit application must be notified for a period of 14 days to allow opportunity for any interested person to consider the proposed use and/or development and to provide comment on the discretionary matter.

If a permit application relies on performance criteria to satisfy an applicable standard or is discretionary under another provision of the interim planning scheme, the permit is discretionary only with respect to that standard.

The Council must have regard to all representations received during the notification period on a discretionary matter when determining whether to grant or refuse a permit.

### e) **If the applicant is not the landowner**

If the applicant is not the owner of the land in the use or development site, the applicant is required to notify all of the owners either prior to or within 7 days from the date of making the permit application.

The permit application must identify all of the landowners; and the applicant must sign the application form to acknowledge the obligation to advise such landowners that the permit application has been made.

If the site includes land owned or administered by the Burnie City Council or by a State government agency, the consent in writing from the Council or the Minister responsible for Crown land must be provided at the time of making the application.

### f) **Applicant declaration**

It is an offence for a person to do any act that is contrary to a compliance requirement created under the section 63 *Land Use Planning and Approvals Act 1993*. The applicant is required to complete a declaration that the information given in the permit application is true and correct.

### g) **Payment of Fees**

The Council is not required to take any action on the permit application until all the relevant fees have been paid.

**Permit Information**

(NB If insufficient space, please attach separate document)

**Proposed Use:****Use Class****Documents included with the permit application to describe the Use**

- 1) Certificate of Title
- 2) Details of clearing that has occurred
- 3) Proposed rehabilitation plan for fire break
- 4) Quote from contractor to remediate the area

**Proposed Development****Use class to which the development applies****Documents included with the permit application to describe the Development**

Fall larger trees from the fire break zone  
Remove suitable logs from the area  
Sort out processable materials  
Sort out rubbish from vegetation including fencing wire, irrigation and hoses that have been heaped up by others  
Create 5 - 6 meter fire break along northern boundary  
Area to be left in natural bush state with mulch on ground and some larger debris for local fauna and flora habitats

**Provisions and Standards relied upon for grant of a Permit**

03.03.2025 Request by adjoining property owner to remove section of trees that were posing safety concern to his property.  
06.04.2025 Trees were felled by engaged contracting company.  
09.04.2025 Was identified that there were other trees that posed safety concern and the fire break was required between adjoining properties.  
10.04.2025 and 29.04.2025 Quotes received.  
11.07.2025 Notice received by Burnie Council of Notice of Intention to issue an Enforcement Notice to which OneCare responded to the council same day.  
18.07.2025 Quote reviewed with contractor.  
30.07.2025 on site meeting with Burnie City Council and OneCare to review the area as was identified that adjoining property owner had taken it upon themselves to push the fence line, current irrigation system, hoses and fallen trees into OneCare property causing the breaches to the Environmental Act.  
04.08.2025 Request from council to plant foliage to minimise erosion at the creek bank.  
04.08.2025 Lomandra Longifolia were planted.  
13.08.2025 Request from Burnie Council to remediate the area and rehabilitate the area.

**Value of use and/or development**

**Notification of Landowner/s**

**If land is not in applicant's ownership**

I, Caryn Walters - Manager Property and Contracts, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application.

Signature of Applicant *Caryn Walters* Date 02.10.2025

**If the permit application involves land owned or administered by the BURNIE CITY COUNCIL**

Burnie City Council consents to the making of this permit application.

General Manager (Signature) Date

**If the permit application involves land owned or administered by the CROWN**

I, the Minister responsible for the land, consent to the making of this permit application.

Minister (Signature) Date

**Applicant Declaration**

I, Caryn Walters - Manager Property and Contracts declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant *Caryn Walters* Date 02.10.2025

**Office use only**



SEARCH OF TORRENS TITLE

VOLUME 115740	FOLIO 1
EDITION 5	DATE OF ISSUE 15-Mar-2012

SEARCH DATE : 02-Feb-2017

SEARCH TIME : 12.17 PM

DESCRIPTION OF LAND

City of BURNIE  
 Lot 1 on Sealed Plan 115740  
 Derivation : Part of 50000 Acres Gtd to The Van Diemens Land  
 Company.  
 Prior CTs 114511/1 and 39588/1

SCHEDULE 1

C527389 TRANSFER to ONECARE LIMITED Registered 13-Dec-2004  
 at 12.01 PM

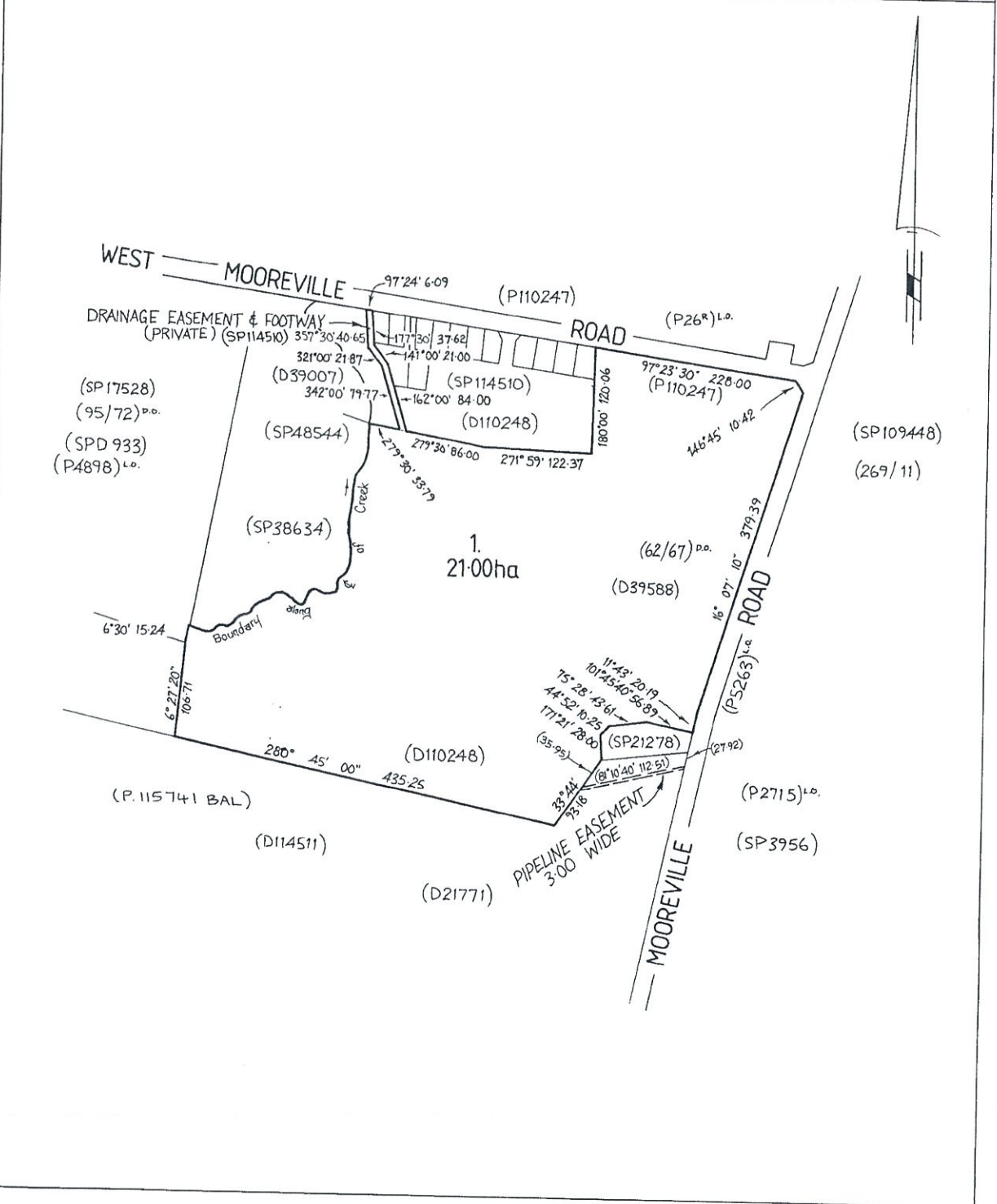
SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 18/4509 CONVEYANCE Made Subject to Exceptions And  
 Reservations in favour of The V.D.L. Co.  
 18/4509 CONVEYANCE Made Subject to Boundary Fences Condition  
 SP 115740 EASEMENTS in Schedule of Easements  
 SP 21278 & SP 115740 FENCING COVENANT in Schedule of Easements  
 D44671 MORTGAGE to Bendigo and Adelaide Bank Limited  
 Registered 15-Mar-2012 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER <i>Umina Park Home for the Aged (Anglican Church of Australia)</i> FOLIO REFERENCE <i>C.T.114511/1 &amp; C.T.39588/1</i> GRANTEE <i>Part of 50,000 Acres. Granted to the Van Diemens Land Company</i>		<b>PLAN OF SURVEY</b> BY SURVEYOR <i>P.M. Plunkett of PEACOCK, DARCEY &amp; ANDERSON PTY.LTD. AUTHORISED SURVEYORS</i> LOCATION <i>91 MOUNT STREET - BURNIE</i> <b>CITY OF BURNIE</b>		REGISTERED NUMBER <b>SP1 15740</b> APPROVED EFFECTIVE FROM <i>1.6 FEB. 1995</i> 
MAPSHEET MUNICIPAL CODE No. <i>42</i>	LAST UPI No. <i>4070, 4088</i>	LAST PLAN No. <i>D114511</i>	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



A-148



SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

LOT 1 is SUBJECT TO a right of footway <sup>AND A RIGHT OF DRAINAGE</sup> over the strip of land marked "drainage easement and footway private 6.00 wide" shown on the plan, APPURTENANT TO LOTS 11, 13 AND 14 ON SEALED PLAN No. 114510.

LOT 1 is TOGETHER WITH a right to construct, lay and maintain water pipes in, over and under the strip of land marked pipeline easement 3.00 wide shown on the plan.

FENCING COVENANT

The owner of each lot on the plan covenants with Umina Park Home for the Aged (Anglican Church of Australia) (herein called "the Vendor") that the Vendor shall not be required to fence.

THE COMMON SEAL of UMINA PARK )  
HOME FOR THE AGED (ANGLICAN )  
CHURCH OF AUSTRALIA) was )  
 hereunto affixed in the )  
 presence of: )

*[Signature]*  
 DIRECTOR



*[Signature]* (zls/umina.eoe2)  
 DIRECTOR

This is the schedule of easements attached to the plan of .....  
(Insert Subdivider's Full Name)

..... affecting land in

.....  
(Insert Title Reference)

Sealed by ..... on ..... 19.....

Solicitor's Reference MR SAMEC

*Patricia Lane*  
Council Clerk/Town Clerk  
ACTING GENERAL MANAGER

OS 4 3134



# QUOTE

Umina Park Onecare Limited

Date

Quote Number

ABN

52 747 671 871

Andrew's Tree Care

Ph#

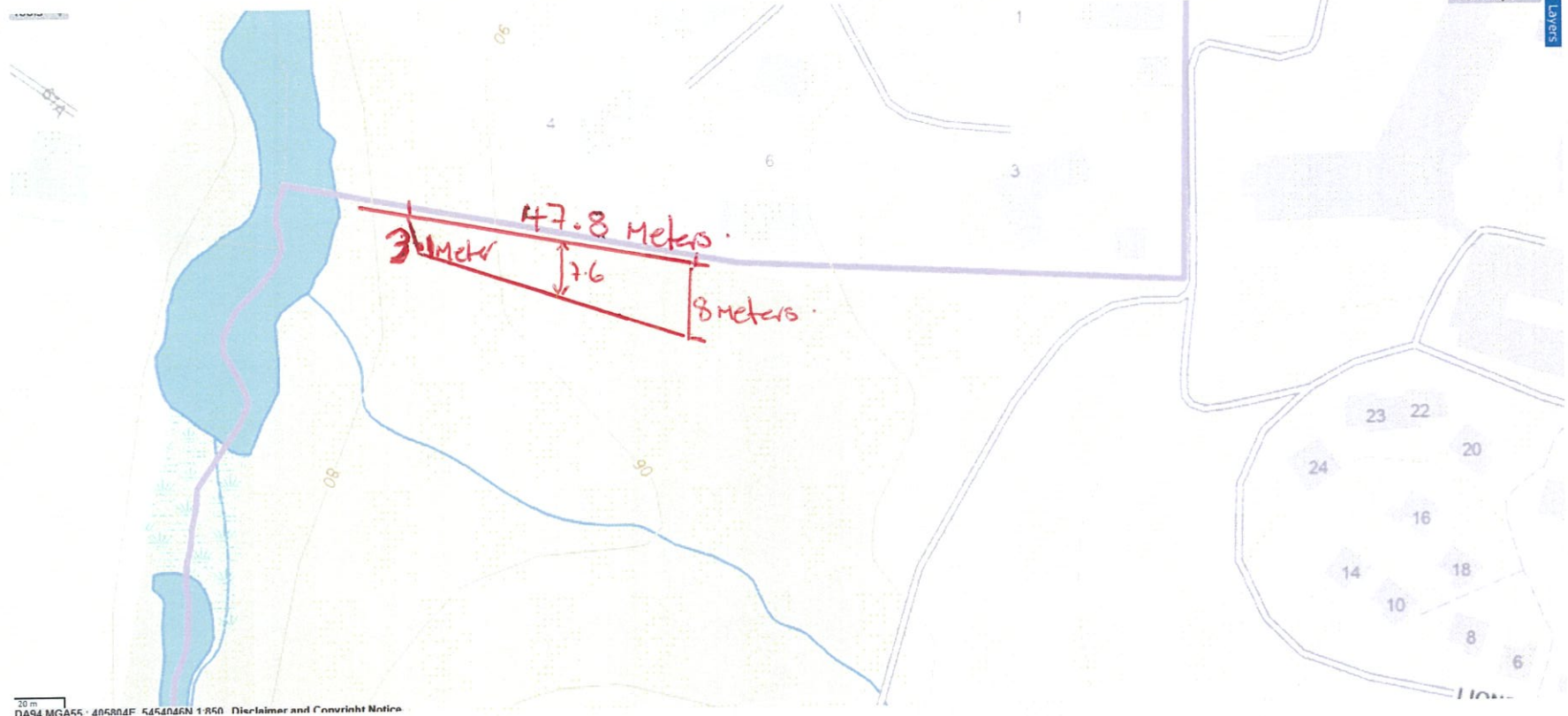
E-Mail:

Description	Quantity	Unit Price	Discount	GST	Amount AUD
<p>Create 5-6m fire break along nothern boundry of property behind houses down towards dam/Creek. Fall larger trees in fire break zone. Remove larger logs from zone and stack neatly. Use excavator with mulching head and mulch vegetation in break zone. Qualified Arborist to fall trees to Australian standards. Qualified and experienced excavator operator to operate machinery. **DAY RATE**</p> <p>*This Quote is an estimate only.*</p>					
<p>Rectify other works carried out by other party. Option 1: Remove suitable logs from area. Sort out processable materials so mulcher can grind. Sort out rubbish from vegetation IE: fencing and hoses ect. Area to be left in a natural bush state with mulch on ground and some larger debris for local fauna and flora habitats.</p>					
<p>Rectify other works carried out by other party. Option 2: Remove all vegetation debris from site.</p> <p>***This would be added to option 1***</p>					
<p>Rectify other works carried out by other party. Option 3: Remove larger logs from piles. Stack other vegetation into burn piles and burn.</p>					



OneCare - 06.04.2025 Area of tress felled.





20m  
NAD84 MGA55 405804F 545406N 1850 Disclaimer and Copyright Notice

382.4 square meters







OneCare - Proposed Fire Break and works area



