



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0167
Proposed Use or Development:	Residential (secondary residence and carport)
Address of the Land:	8 Fonthill Place, East Devonport
Date of Notice:	10/01/2026

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **27/01/2026**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.

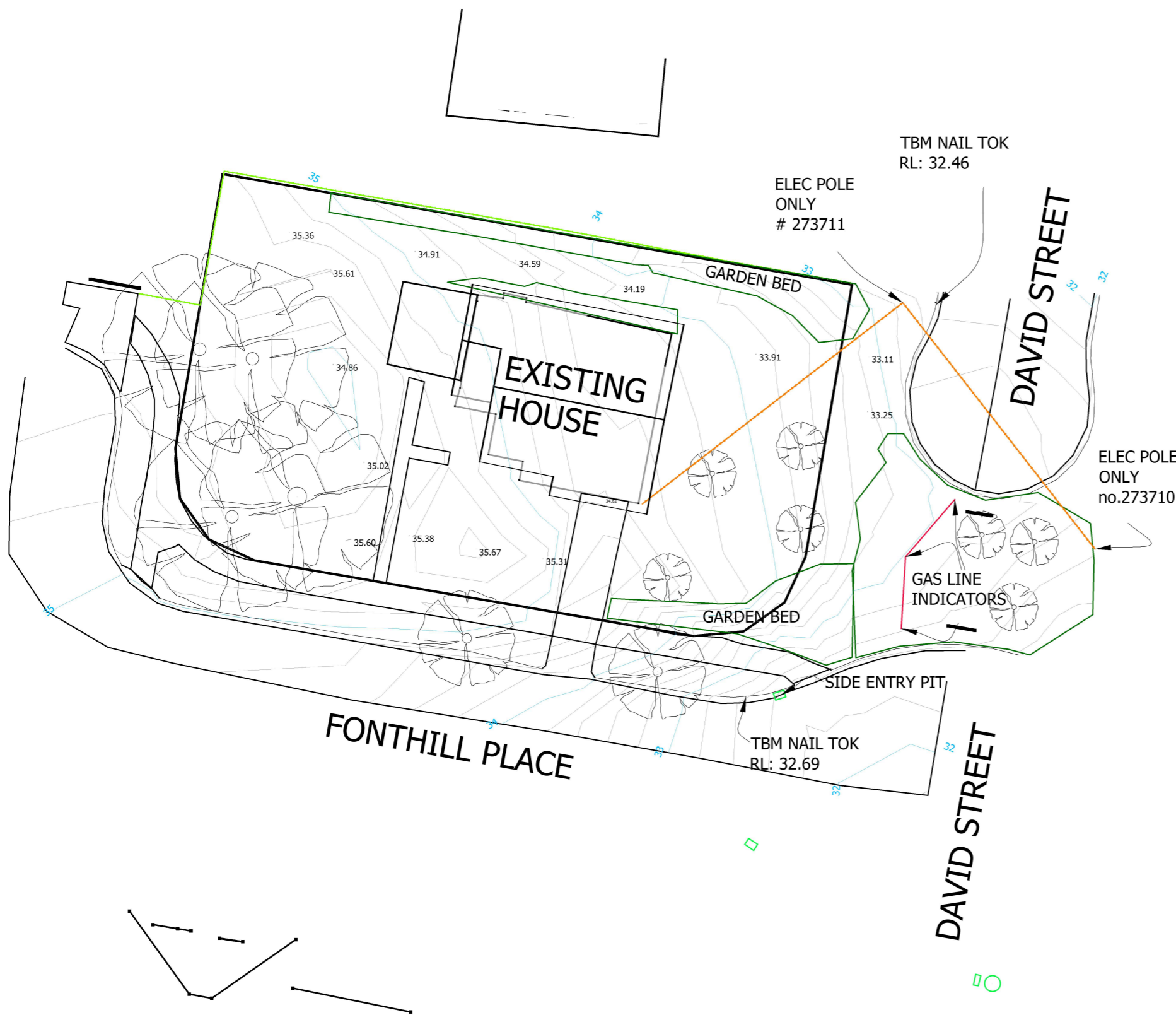
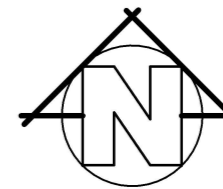


8 Fonthill Place, East Devonport



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.





- SURVEYOR: SSR, LJJ DATE: 30/09/25
1. THIS PLAN HAS BEEN PREPARED BY WOOLCOTT LAND SERVICES FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 2. TITLE BOUNDARIES SHOWN WERE NOT MARKED AT THE TIME OF THIS SURVEY.
 3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
 4. WOOLCOTT LAND SERVICES CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
 5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF WOOLCOTT SERVICES.
 6. HORIZONTAL BEARING DATUM IS MGA2020.
 7. VERTICAL DATUM IS AHD83.
 8. CONTOUR INTERVAL IS 0.2m INDEX IS 1.0m.
 9. BOUNDARIES AND EASEMENTS ARE COMPILED FROM SP170349, SP333 AND SP13900; AND ARE APPROXIMATE AND SUBJECT TO SURVEY.
 10. CO-ORDINATES ARE PLANE BASED ON GDA2020.

Notes:

EXISTING SITE PLAN
 8 FONTHILL PLACE,
 EAST DEVONPORT.
 7310
 C.T.61394/6



10 Goodman Court Invermay TAS 7248
 PO Box 593 Mowbray Heights TAS 7248
 Phone (03) 6332 3760
 Fax (03) 6332 3764
 Email: enquiries@woolcott.au

Job Number
 L250820

Drawn LJJ	File name L250820_detail_final_sr100925	Date 1/10/25	Scale 1:300@A3	Edition v1	Sheet 1/1
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NOTES:

SITE PREPARATION

The site is to be disturbed as minimally as possible to the extent required to carry out the building works. Earthworks shall be carried out in accordance with NCC Part 3.2. Un-retained embankment gradients shall be in accordance with NCC Table 3.2.1. Drainage shall be in accordance with NCC Part 3.3.2. The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening & undermining of any building and its footing system. Location of all existing services to be confirmed on site prior to construction.

SOIL AND WATER MANAGEMENT NOTES:

drainage lines are to be installed prior to the placement of roof and guttering. Once dwelling is roofed, connect immediately. Apply temporary covering to disturbed areas that will remain exposed for 14 days or more during construction (eg. waterproof blanket, vegetation or mulch) Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them. Limit entry/exit to one point and stabilise. Install facilities to remove dirt/ mud from vehicle wheels before they leave the site. Site to be vegetated and planted according to the regional soil and water management code of practice.

BUILDER AND SUBCONTRACTORS:

Give 24 hours minimum notice where amendments are required to drawings. These drawings are to be read in conjunction with documentation listed on the cover page. Do not scale drawings. Dimensions are to take preference over scale. building specification and engineers drawings shall override architectural drawings. -This drawing is to be read in conjunction with all other drawing sheets, consultants drawings, documents, schedules & specifications (as applicable). -The builder and subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening & undermining of any building and its footing system. - Location of all existing onsite services to be confirmed onsite prior to construction.

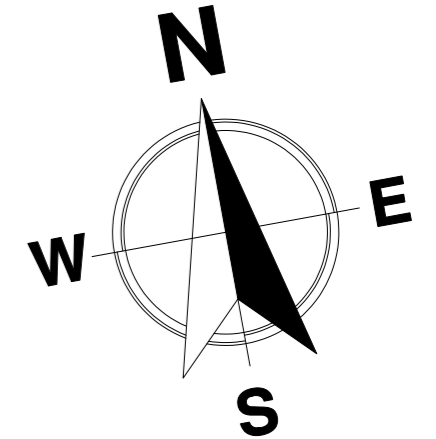
ATTENTION OF OWNER

The owners attention is drawn to the fact that foundations and associated drainage for all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the csiro building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.



GENERAL NOTES:

- Builder to verify all dimensions and levels on site prior to commencement of work. Any discrepancy to be reported to the designer immediately.
- Written dimensions take precedence over drawing scale.
- Floor plans are dimensioned to stud frame.
- All work to be carried out in accordance with the National Construction Code 2022 and must confirm to the latest Australian Standards.



AMENDMENTS:

REV	DESCRIPTION:	BY	DATE
A	CARPORT	M.K	19.11.2025
B	RFI - NEW FLOOR PLAN, NO CARPORT	M.K	23.12.2025



POSTAL ADDRESS: U6/34a FAIRVIEW DRIVE, KINGSTON 7050 REVISION: B

EMAIL ADDRESS: hello@ikonikdesigns.com.au SHEET SIZE: A3

BUILDING DESIGNER: MICHAL KONIK ACCREDITATION NO: CC 5768 S

DRAWN BY: M.K DATE: 13.11.25 AMENDED: 23.12.25 BAL RATING: -

PROJECT ADDRESS: PROPOSED NEW GRANNY FLAT AT 8 FONTHILL PLACE, EAST DEVONPORT

CLIENT NAME: SARA POH SHEET NO: 1 OF 4

SCALE: 1:250 DRAWING NO: IK-2510009

DRAWING TITLE: SITE PLAN

01

SITE PLAN
SCALE 1:250

SITE COVERAGE = 20.0 %

FRAMING NCC H1D6:

All timber framing, fixing and bracing shall comply with AS 1684 and therequirements of NCC H1D6. Manufactured sizes must not be undersized to those specified, for all timber sizes, stress grades, spacing and wall bracing refer to Engineer's details. Tie-down details shall be in accordance with Engineer's details and comply with NCC H1D6 (4). Any Structural steel members shall comply with the requirements of clauses in NCC H1D6 (3). Refer to Engineer's details where provided.

GLAZING NCC H1D8:

All windows to be aluminium awning style, double glazed (obscured safety glass to bathrooms as shown on drawings) All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC H1D8. Human impact safety requirements shall comply with NCC H1D8 (3) and Part 8.4 of the ABCB Housing provisions.

ENERGY EFFICIENCY:

Insulation must comply with AS/NZS4859.1 and be installed in accordance with ABCB housing provisions Part 13.2.2 and comply with minimum R values for climate zone 7. Bulk insulation between external studs to be insulated with min R2.0. (Ensure batts fit within cavity without compression, making sure that there is at least 25mm gap from the reflective surface). External walls are to be clad with vapour permeable reflective foil over the outside of the timber frame. Ceiling to be insulated with R4.0 and vapour permeable sarking. Floor to be insulated with Min R1.7 batts where applicable. Seal exhaust fans to Ensuite, Bathroom, Laundry and Kitchen. All downlights to be IC rated. Construction of the external walls, floor and roof for compliance with building sealing requirements shall comply with NCC 2022 Part 13.4.

GENERAL:

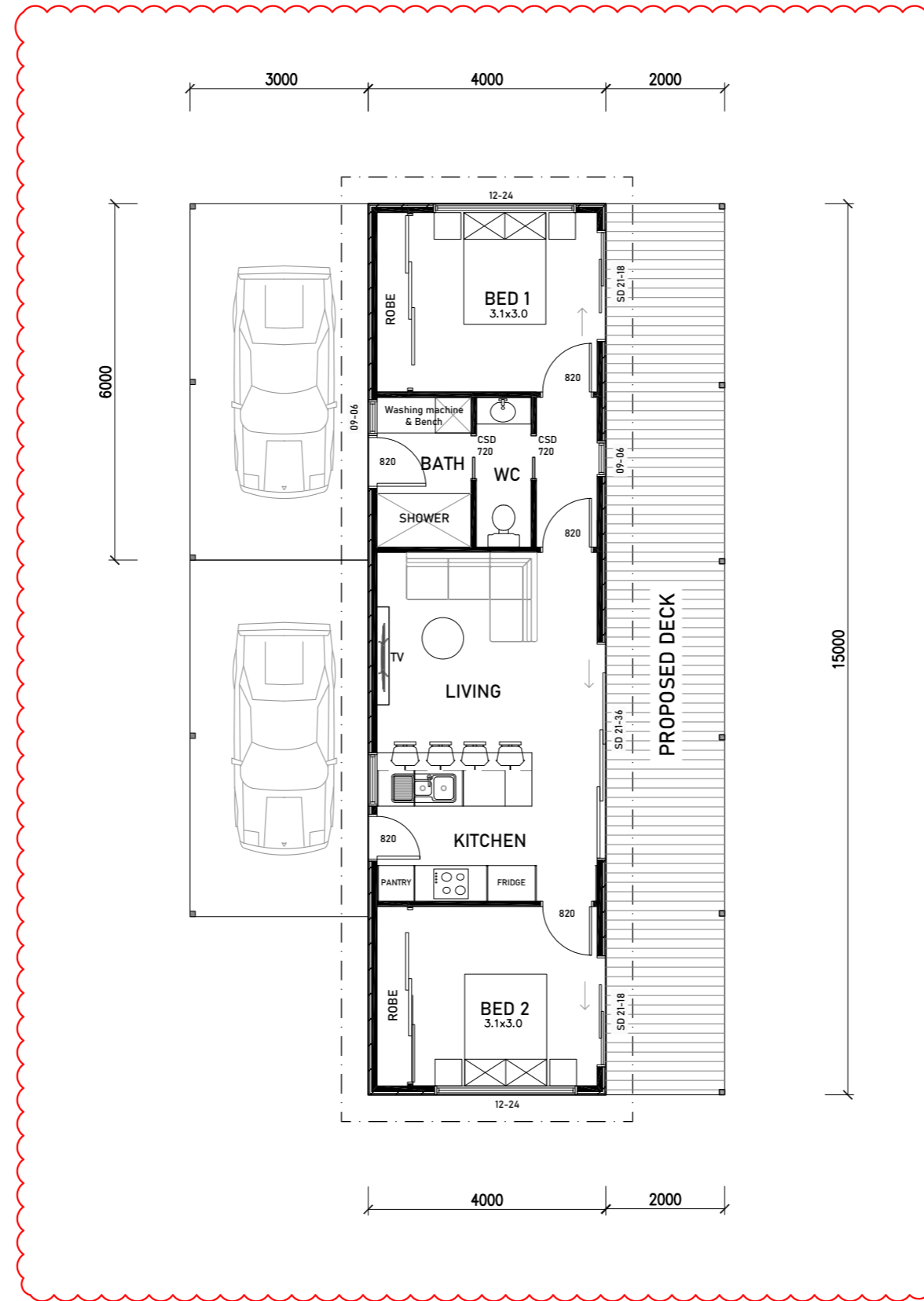
All flashings, weep holes and damp proof coursing to be in accordance with NCC Housing provisions Part 5.7. Fibre cement sheet in accordance with NCC Housing provisions Part 7.5. Block construction in accordance NCC Housing provisions Part 5. Plasterboard linings to internal walls and ceilings with selected cornice. (see below for wet areas) Wet areas: All wet areas shall comply with the requirements of ABCB Housing provisions Part 10.2. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles or other approved water resistant lining in accordance with Part 10.2.9 to a minimum height of 1800mm to shower walls and to a height of min 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures. For construction of floor wastes refer to NCC ABCB Housing provisions part 10.2.12 For typical installation requirements for substrate preparation, penetrations, flashings/ junctions, membranes, screeds, hobs, baths, showers, door jambs and screens refer to ABCB Housing provisions part 10.2.14-32.

SAFE MOVEMENT & EGRESS:

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125 mm sphere can not pass through . Except for Bedrooms , where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 o f NCC 2022 for further information on suitable protective devices.

CONSTRUCTION OF SANITARY:

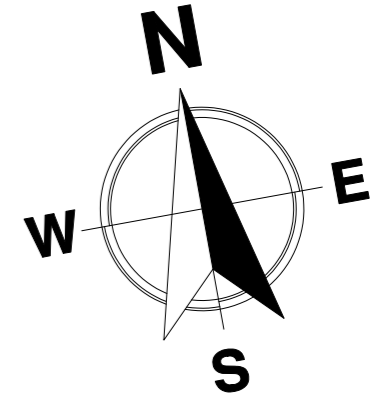
Compartments 10.4.2 of NCC 2022 The door to a fully enclosed sanitary compartment must : Open outwards; or slide; or be readily removable from the outside of the compartment. Unless there is a clear space of at least 1,2 m, measured in accordance with Figure 10.4.2 of NCC 2022, between the closet pan within the sanitary compartment and the doorway .



REV: 'A'

GENERAL NOTES:

- Builder to verify all dimensions and levels on site prior to commencement of work. Any discrepancy to be reported to the designer immediately.
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- Floor plans are dimensioned to stud frame.
- All work to be carried out in accordance with the National Construction Code 2022 and must confirm to the latest Australian Standards.



AMENDMENTS:

REV	DESCRIPTION:	BY	DATE
A	RFI - AMENDED FLOOR PLAN	M.K	23.12.2025



POSTAL ADDRESS: U6/34a FAIRVIEW DRIVE, KINGSTON 7050 REVISION: A

EMAIL ADDRESS: hello@ikonikdesigns.com.au SHEET SIZE: A3

BUILDING DESIGNER: MICHAL KONIK ACCREDITATION NO: CC 5768 S

DRAWN BY: M.K DATE: 13.11.25 AMENDED: 23.12.25 BAL RATING: -

PROJECT ADDRESS: PROPOSED NEW GRANNY FLAT AT 8 FONTHILL PLACE, EAST DEVONPORT

CLIENT NAME: SARA POH SHEET NO: 2 OF 4

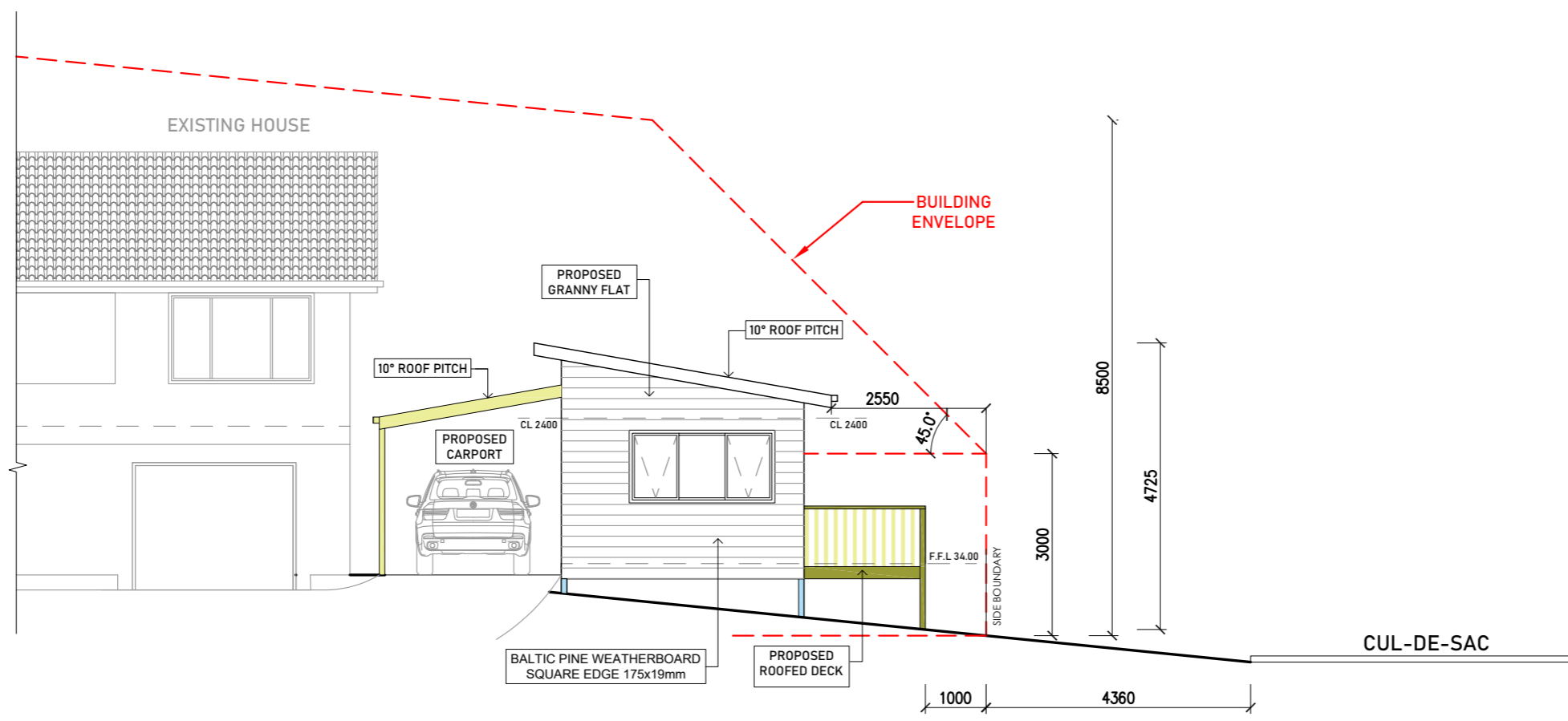
SCALE: 1:100 DRAWING NO: IK-2510009

DRAWING TITLE: FLOOR PLAN 02

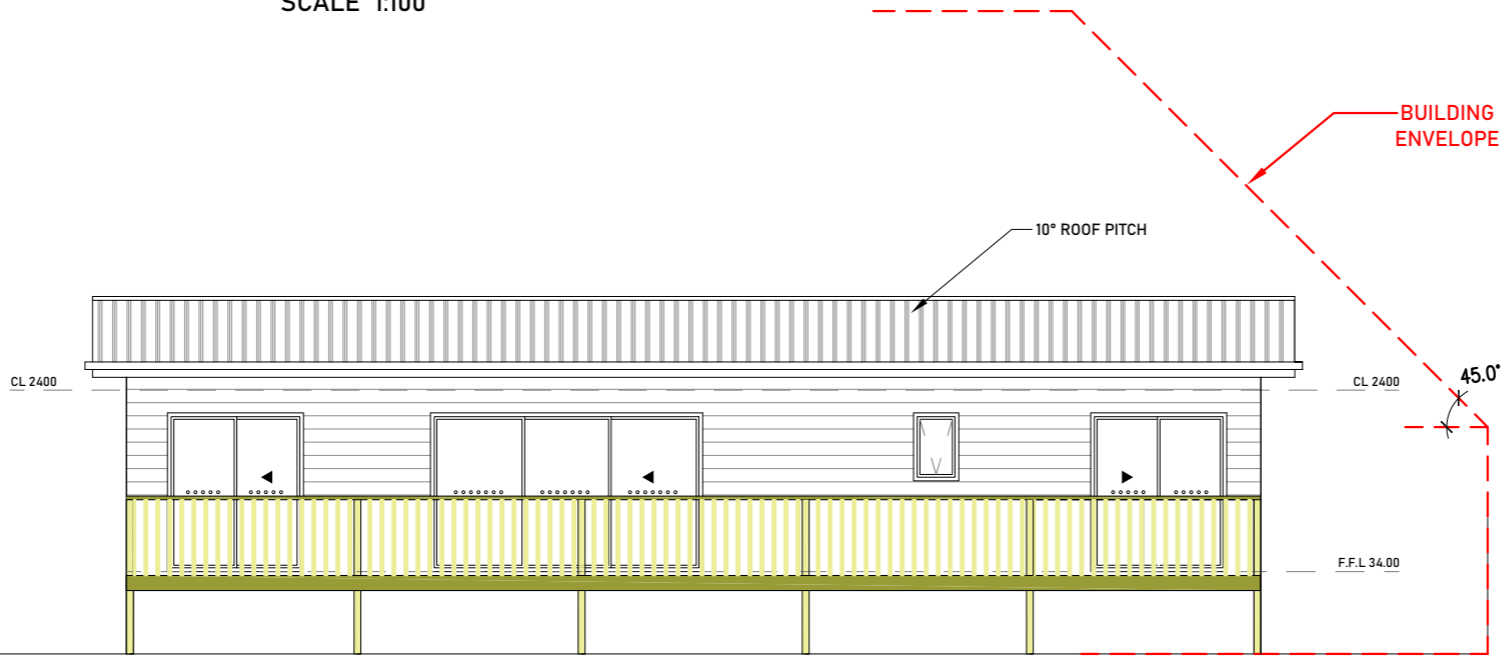
FLOOR PLAN

SCALE 1:100

FLOOR AREA: 60m²



SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

REV: 'B'

GENERAL NOTES:

- Builder to verify all dimensions and levels on site prior to commencement of work. Any discrepancy to be reported to the designer immediately.
- Written dimensions take precedence over drawing scale.
- Floor plans are dimensioned to stud frame.
- All work to be carried out in accordance with the National Construction Code 2022 and must conform to the latest Australian Standards.

FIRE SAFETY:

- Smoke Alarms to be mains powered and installed as per AS3786. Locations as per NCC 9.5.1
- Installation of wood heaters to comply with AS/NZ2918.2018
- Provide local authorities with insulation and compliance certificates.

WET AREAS:

- Walls to wet areas to be finished with wet area plasterboard.
- Floors to wet areas to be finished with ceramic tiling with a minimum 150mm skirting tile to base of walls and minimum 150mm splashback above baths, benches, vanities & through.
- Shower compartments to have prefabricated base, framed shower screen and wall tiling to a minimum 1800mm above floor level.

STAIRCASES & BALUSTRADES:

- NCC 10.2 - Wet Areas
 - (a) be waterproof or water resistant in accordance with Figure 10.2 and
 - (b) comply with AS 3740.
- Stair treads - 240mm min. - 355mm max.
- Stair risers - 115mm min. - 190mm max.
- No gaps in staircase or balustrades to be greater than 125mm.
- Balustrade required where level of landing or deck is greater than 1.0 metre above adjacent ground level.

WALL CLADDING NOTES:

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case. Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

ROOFING CLADDING:

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

EAVES & SOFFIT LININGS:

- To comply with NCC 2022 Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-
- (a) comply with AS/NZS 2908.2 or ISO 8336; and
 - (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6mm sheets only).
- Refer to table 7.5.5 for trimmer and fastener spacings.

CLEARANCE BETWEEN CLADDING AND GROUND
50mm above impermeable (paved or concreted) areas that slope away from the building in accordance with 3.3.3(a)

AMENDMENTS:			
REV	DESCRIPTION:	BY:	DATE:
A	CARPORT	M.K	19.11.2025
B	RFI - AMENDED ELEVATIONS	M.K	23.12.2025

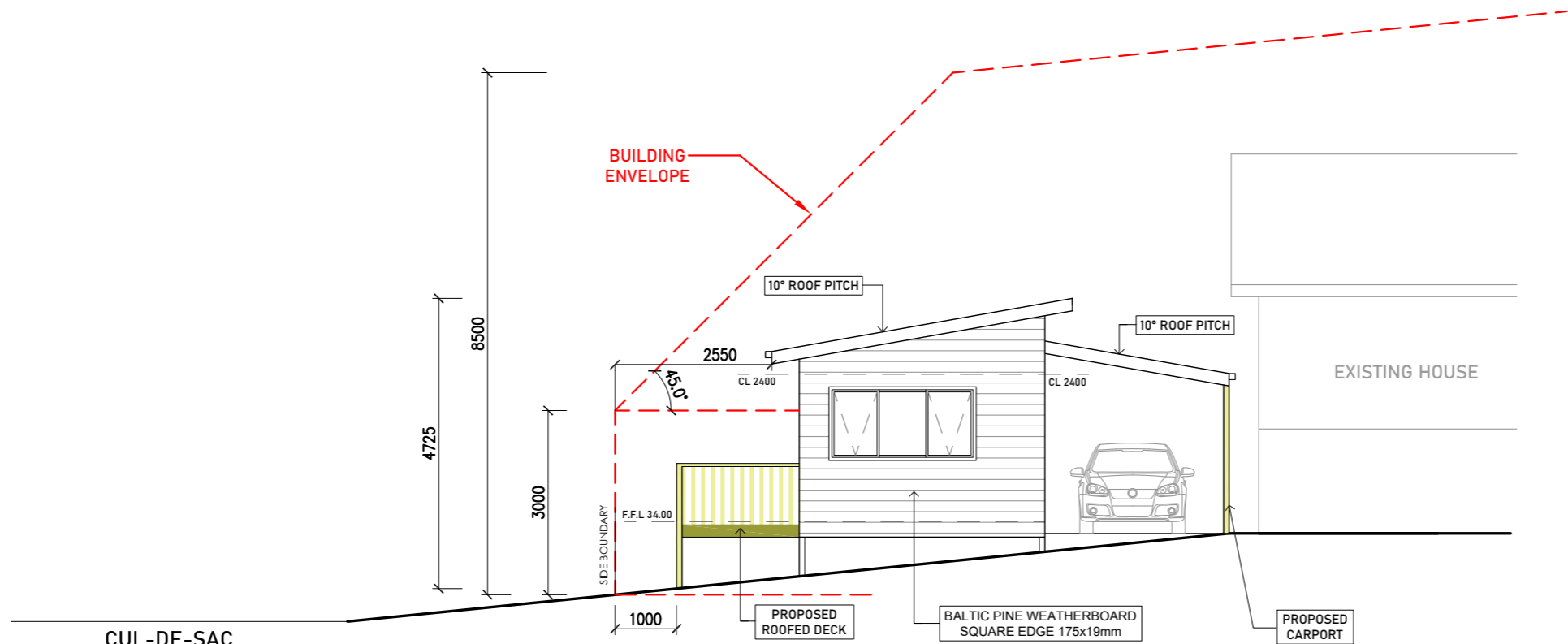
DRAWN BY: **M.K** BUILDING DESIGNER: **MICHAL KONIK** ACCREDITATION NO: **CC 5768 S** BAL: **-**
 DATE: **13.11.25** AMENDED: **23.12.25** EMAIL ADDRESS: **hello@ikonikdesigns.com.au**
 POSTAL ADDRESS: **U6/34A FAIRVIEW DR, KINGSTON 7050** SHEET SIZE: **A3** REVISION: **B**



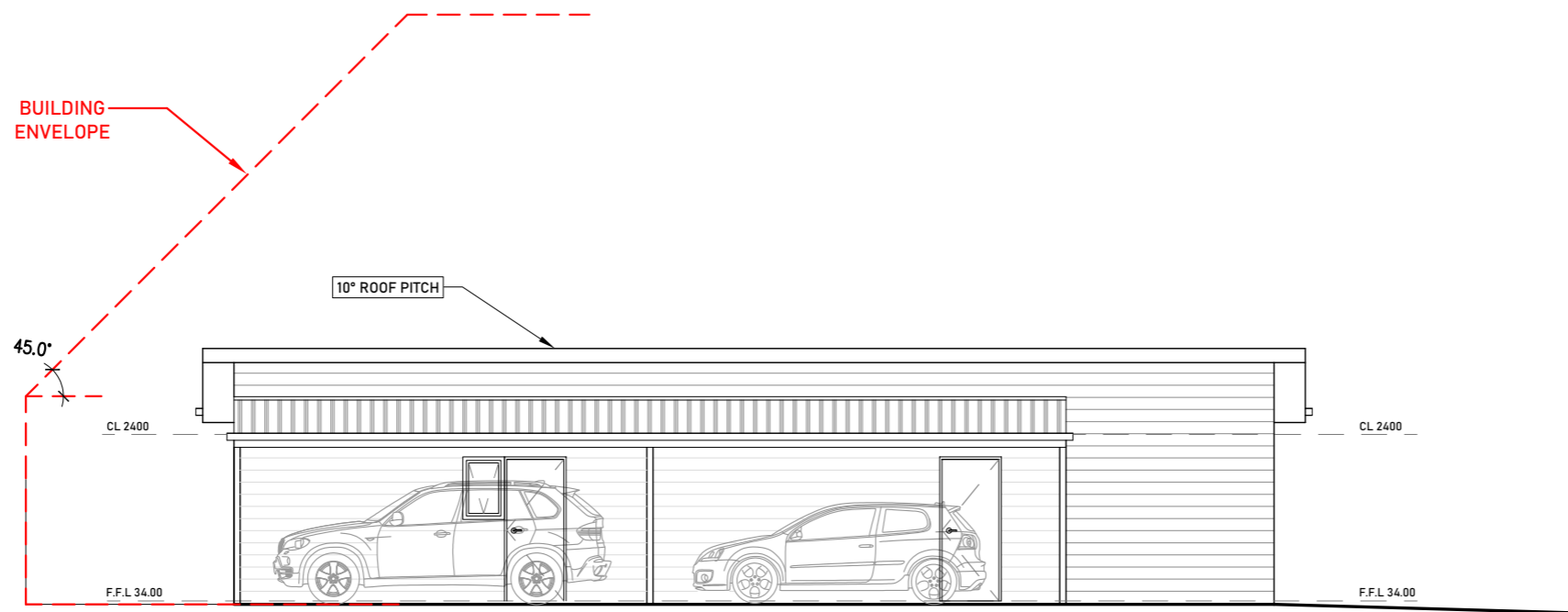
PROJECT ADDRESS:
**PROPOSED NEW GRANNY FLAT
AT 8 FONTHILL PLACE,
EAST DEVONPORT**

CLIENT NAME: **SARA POH** SHEET NO: **3 OF 4**
 SCALE: **1:100** DRAWING NO: **IK - 2510009**
 DRAWING TITLE: **ELEVATIONS**

03



SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

REV: 'B'

GENERAL NOTES:

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- Written dimensions take precedence over drawing scale.
- Floor plans are dimensioned to stud frame.
- All work to be carried out in accordance with the National Construction Code 2022 and must confirm to the latest Australian Standards.

FIRE SAFETY:

- Smoke Alarms to be mains powered and installed as per AS3786. Locations as per NCC 9.5.1
- Installation of wood heaters to comply with AS/NZ2918.2018
- Provide local authorities with insulation and compliance certificates.

WET AREAS:

- Walls to wet areas to be finished with wet area plasterboard.
- Floors to wet areas to be finished with ceramic tiling with a minimum 150mm skirting tile to base of walls and minimum 150mm splashback above baths, benches, vanities & through.
- Shower compartments to have prefabricated base, framed shower screen and wall tiling to a minimum 1800mm above floor level.

STAIRCASES & BALUSTRADES:

- NCC 10.2 - Wet Areas
 - (a) be waterproof or water resistant in accordance with Figure 10.2 and
 - (b) comply with AS 3740.
- Stair treads - 240mm min. - 355mm max.
- Stair risers - 115mm min. - 190mm max.
- No gaps in staircase or balustrades to be greater than 125mm.
- Balustrade required where level of landing or deck is greater than 1.0 metre above adjacent ground level.

WALL CLADDING NOTES:

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case. Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

ROOFING CLADDING:

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

EAVES & SOFFIT LININGS:

To comply with NCC 2022 Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
 - (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6mm sheets only).
- Refer to table 7.5.5 for trimmer and fastener spacings.

CLEARANCE BETWEEN CLADDING AND GROUND

50mm above impermeable (paved or concreted) areas that slope away from the building in accordance with 3.3.3(a)

AMENDMENTS:

REV	DESCRIPTION:	BY:	DATE:
A	CARPORT	M.K	19.11.2025
B	RFI - AMENDED ELEVATIONS	M.K	23.12.2025

DRAWN BY: **M.K** BUILDING DESIGNER: **MICHAL KONIK** ACCREDITATION NO: **CC 5768 S** BAL: **-**

DATE: **13.11.25** AMENDED: **23.12.25** EMAIL ADDRESS: **hello@ikonikdesigns.com.au**

POSTAL ADDRESS: **U6/34A FAIRVIEW DR, KINGSTON 7050** SHEET SIZE: **A3** REVISION: **A**



PROJECT ADDRESS:
**PROPOSED NEW GRANNY FLAT
AT 8 FONTHILL PLACE,
EAST DEVONPORT**

CLIENT NAME:
SARA POH

SHEET NO:
4 OF 4

SCALE:
1:100

DRAWING NO:
IK - 2510009

DRAWING TITLE:
ELEVATIONS

04