



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0173
Proposed Use or Development:	Residential (dwelling addition)
Address of the Land:	71 Wenvoe Street, Devonport
Date of Notice:	29/11/2025

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **15/12/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



71 Wenvoe Street, Devonport



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Created: 26-11-2025 16:15:57



**Devonport
City Council**

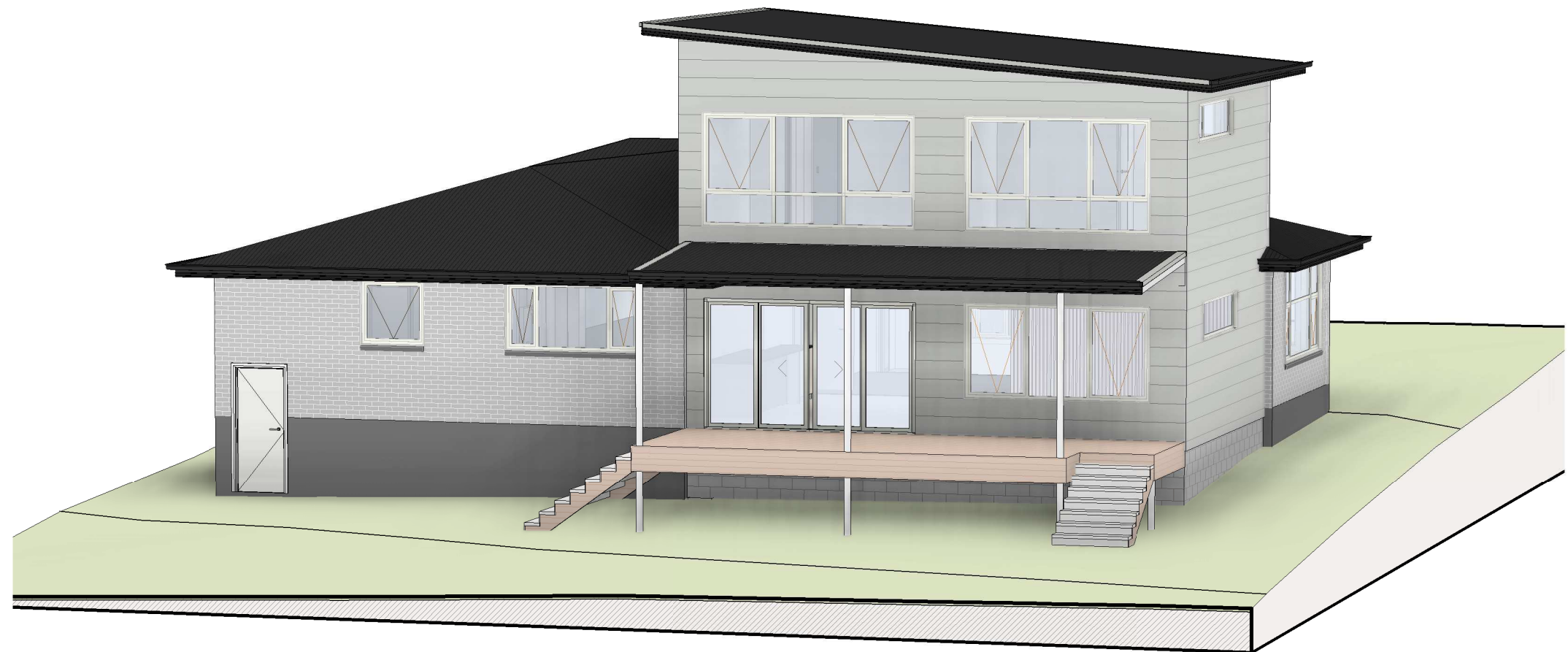
71 Wenvoe Street, Devonport

PROPOSED EXTENSION

Derek Condon & Claire Stonell

INDEX

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PROJECT NO.

25-986



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Email: admin@lachlanwalshdesign.com
Phone: 6424 8053
Tasmania Accreditation Number: CC 6162 E

DATE
20.10.2025
DRAWINGS SET
DA
REV. NO.
A

GENERAL
INFORMATION

LAND TITLE REFERENCE NUMBER
46409/1
COUNCIL
Devonport
PROPERTY ZONE
General Residential

CLIMATE ZONE
7

DESIGNED WIND CATEGORY
SOIL CLASSIFICATION
CORROSION CONTROL
BUSH FIRE ATTACK LEVEL

XXX
XXX
MID

© COPYRIGHT
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS
- ALL PRODUCTS NOTED IN DRAWINGS TO BE CONFIRMED BY CLIENT BEFORE PURCHASING AND/OR INSTALLING OF PRODUCT
- QUANTITIES INDICATED IN DRAWINGS ARE GUIDE ONLY, CONTRACTOR TO CALCULATE AND CONFIRM QUANTITY BEFORE START OF CONSTRUCTION
- CONDITIONS OF USE
This document may only be used by LWD's client (and any other person who LWD has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or replicated for any other purpose.

23/10/2025 11:36:05 AM

\\LWD_NAS\LWD_Files\2025\25-986 - Condon - Extension\CAD\2025.08.04_Condon_Extension_rv-1.1 - mark up.rvt

NOTES

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION, INCLUDING BOUNDARY, FLOOR PLAN DIMENSIONS, FINISHED FLOOR HEIGHTS, AND SITE RLs. CONTRACTOR TO CORRECT, AT OWN EXPENSE, ANY ERRORS FROM INACCURATE SETOUT.

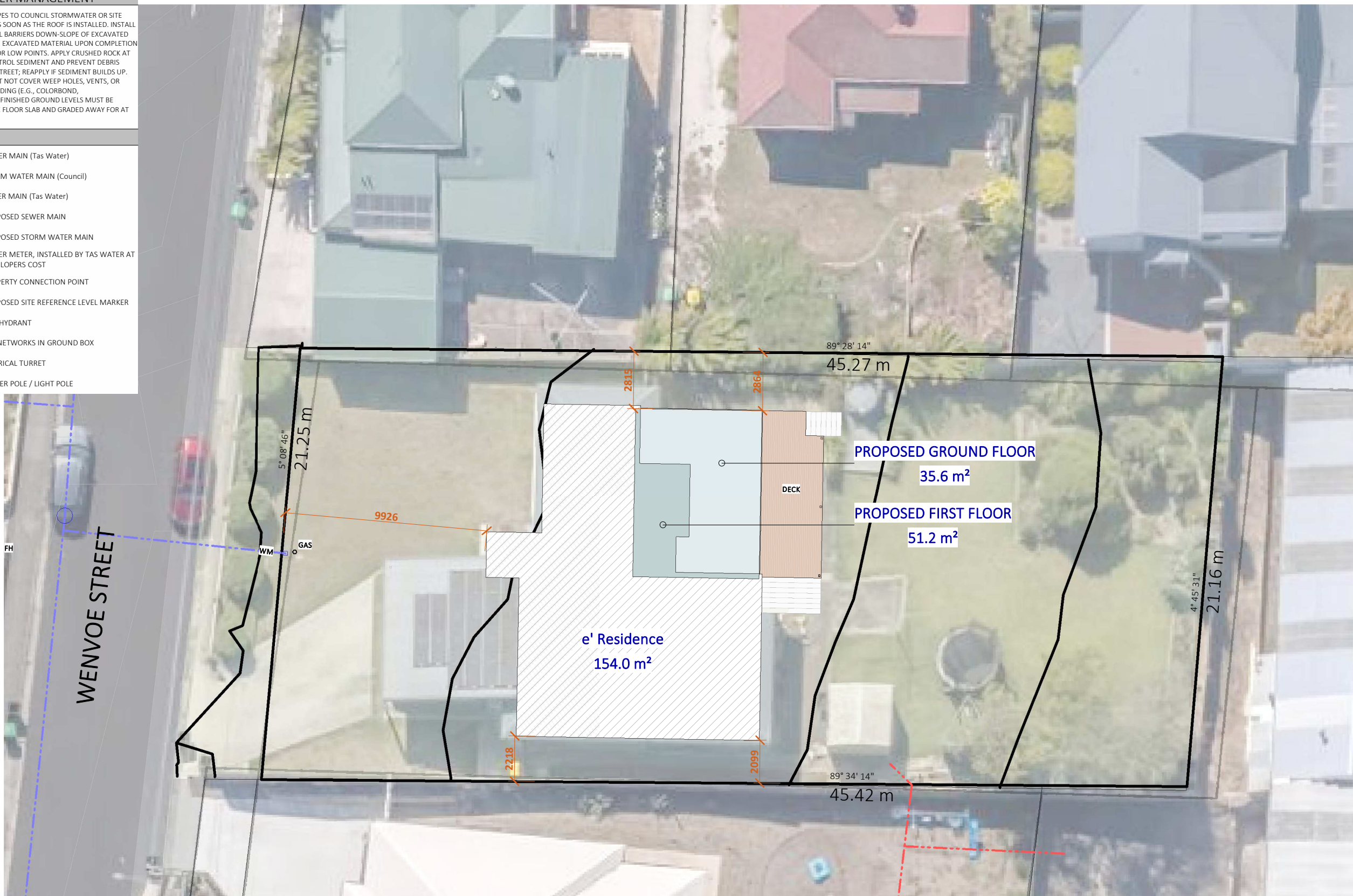
SOIL & WATER MANAGEMENT

CONNECT DOWNPIPES TO COUNCIL STORMWATER OR SITE DISCHARGE AREA AS SOON AS THE ROOF IS INSTALLED. INSTALL SEDIMENT CONTROL BARRIERS DOWN-SLOPE OF EXCAVATED MATERIAL. REMOVE EXCAVATED MATERIAL UPON COMPLETION OR USE IT AS FILL FOR LOW POINTS. APPLY CRUSHED ROCK AT SITE ENTRY TO CONTROL SEDIMENT AND PREVENT DEBRIS TRANSFER TO THE STREET; REAPPLY IF SEDIMENT BUILDS UP. GARDEN BEDS MUST NOT COVER WEEP HOLES, VENTS, OR LIGHTWEIGHT CLADDING (E.G., COLORBOND, WEATHERBOARDS). FINISHED GROUND LEVELS MUST BE 150mm BELOW THE FLOOR SLAB AND GRADED AWAY FOR AT LEAST 1500mm.

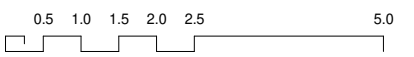
SYMBOLS

- WATER MAIN (Tas Water)
- STORM WATER MAIN (Council)
- SEWER MAIN (Tas Water)
- PROPOSED SEWER MAIN
- PROPOSED STORM WATER MAIN
- WM** WATER METER, INSTALLED BY TAS WATER AT DEVELOPERS COST
- PROPERTY CONNECTION POINT
- PROPOSED SITE REFERENCE LEVEL MARKER
- FH** FIRE HYDRANT
- TN** TAS NETWORKS IN GROUND BOX
- ET** ELECTRICAL TURRET
- P.P.** POWER POLE / LIGHT POLE

AREA SCHEDULE			
Code	Area	Squares	%
e' Residence	154.00 m ²	16.6	64%
PROPOSED FIRST FLOOR	51.16 m ²	5.5	21%
PROPOSED GROUND FLOOR	35.56 m ²	3.8	15%
Property Area		Unit	
958.59		m ²	



SITE PLAN
SCALE: 1:100



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PAGE NO. 2

PROJECT PROPOSED EXTENSION
 LOCATION
 71 Wenvoe Street, Devonport
 CLIENT
 Derek Condon & Claire Stonell

PAGE TITLE
 SITE PLAN - PROPOSED

DRAWINGS SCALE
 1 : 200

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 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY
 J. van Ommen

CHECKED BY
 L. WALSH

ISSUE DATE
 20.10.2025

DRAWINGS SET
 DA

REV. NO.
 A

No.	DATE	DESCRIPTION	AMENDMENT
1	06.08.2025	Concept rev-1	
A	20.10.2025	Planning Permit	

PAGE NO.
2

NOTES

DEMOLITION IS NOT TO COMMENCE UNTIL DEMOLITION CONTRACTOR HAS BEEN ADVISED THAT ALL ELECTRICAL SUPPLIES HAVE BEEN DISCONNECTED AND ISOLATED.

ALL DEMOLITION IS TO BE CARRIED OUT IN A SAFE AND WORKMAN LIKE MANNER.

IT IS THE DEMOLITION CONTRACTORS RESPONSIBILITY TO PROVIDE SUFFICIENT PROPS, STAYS & THE LIKE TO PROTECT REMAINING STRUCTURE. IF IN DOUBT SEEK ADVICE FROM A STRUCTURAL ENGINEER.


THE DEMOLISHER IS TO PREVENT BUILDING MATERIAL AND DEBRIS FROM FALLING ONTO OR INTO ADJACENT STREETS AND PROPERTIES.

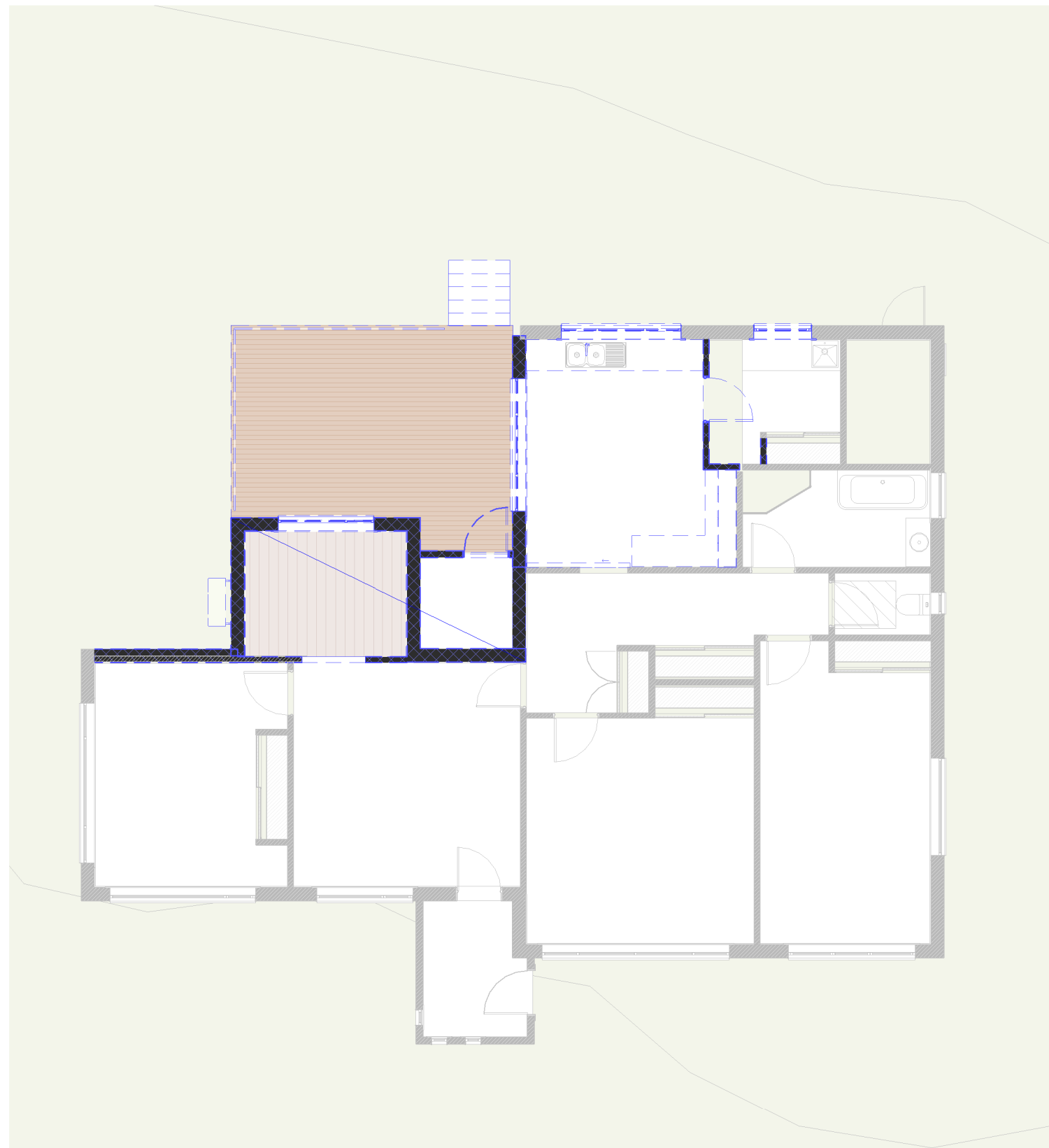
CAP ALL REDUNDANT SERVICES, REMOVE PIPEWORK WHERE PRACTICAL & LOCATE AND MARK POSITIONS OF PIPEWORK/SERVICES REQUIRED FOR USE IN NEW WORKS.

ALL ASBESTOS MATERIAL FOUND IS TO BE CONTROLLED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL REGULATORY AUTHORITIES HAVING JURISDICTION OF THESE WORKS BEFORE COMMENCING FURTHER WORKS.

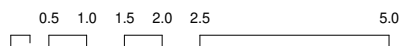
IT IS THE BUILDERS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO COMMENCING ANY EXCAVATIONS.

SYMBOLS

 WALLS OR OBJECTS TO BE REMOVED OR DEMOLISHED



 **SITE PLAN - EXISTING**
SCALE: 1:200



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PAGE NO. **3**
 PROJECT PROPOSED EXTENSION
 LOCATION 71 Wenvoe Street, Devonport
 CLIENT Derek Condon & Claire Stonell

PAGE TITLE **SITE PLAN - DEMOLITION**
 DRAWINGS SCALE **1 : 100**
DO NOT SCALE DRAWINGS
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DRAWN BY **J.van Ommen** CHECKED BY **L. WALSH**
 ISSUE DATE **20.10.2025**
 DRAWINGS SET **DA** REV. NO. **A**
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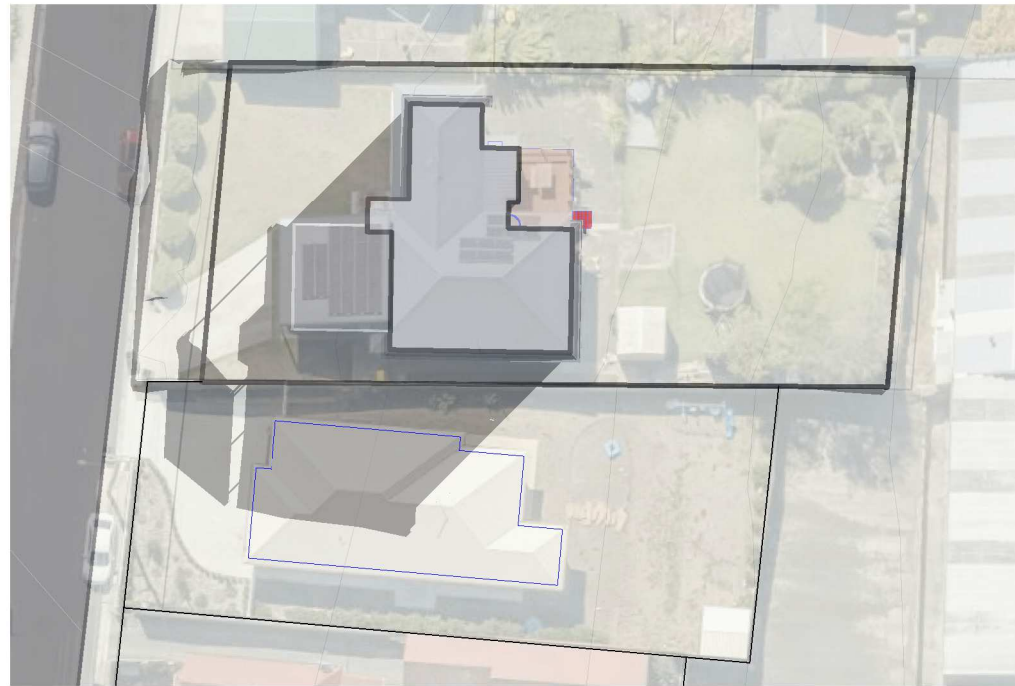
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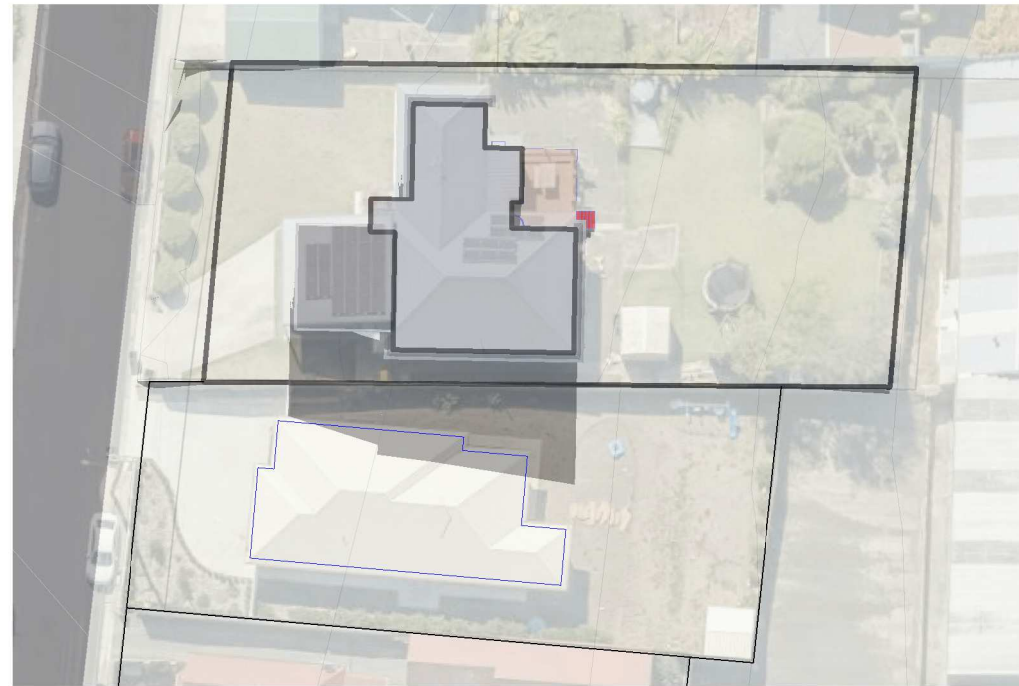
1 Winter_Proposed & Existing_9am
1 : 500



2 Winter_Proposed & Existing_Noon
1 : 500

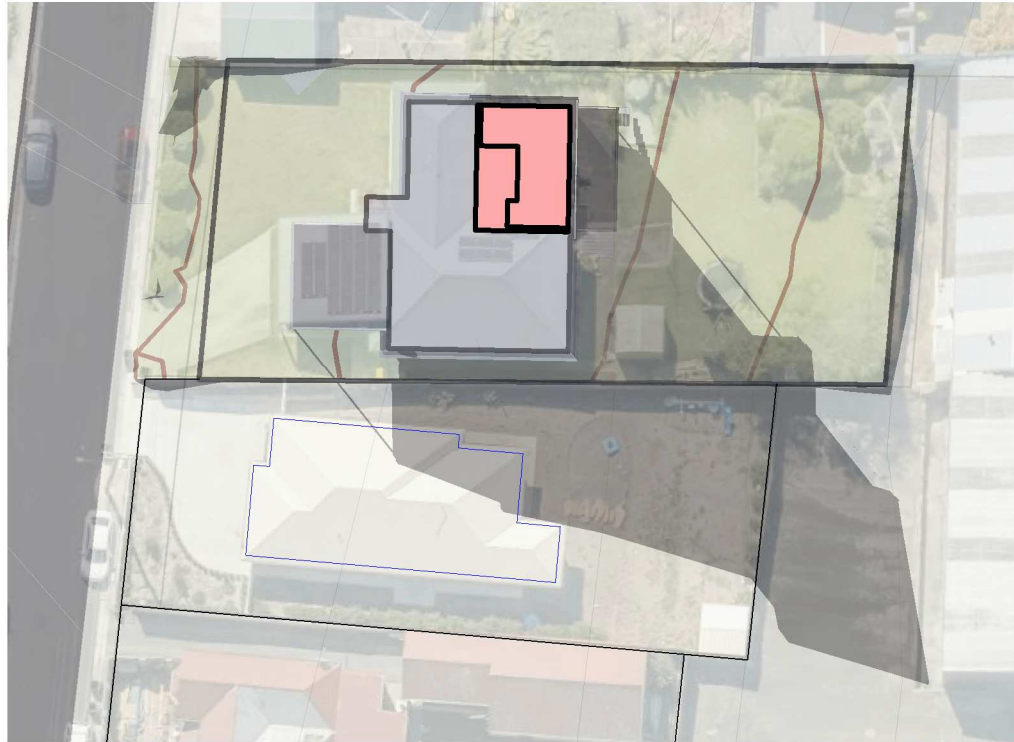


1e Winter_Existing_9am
1 : 500

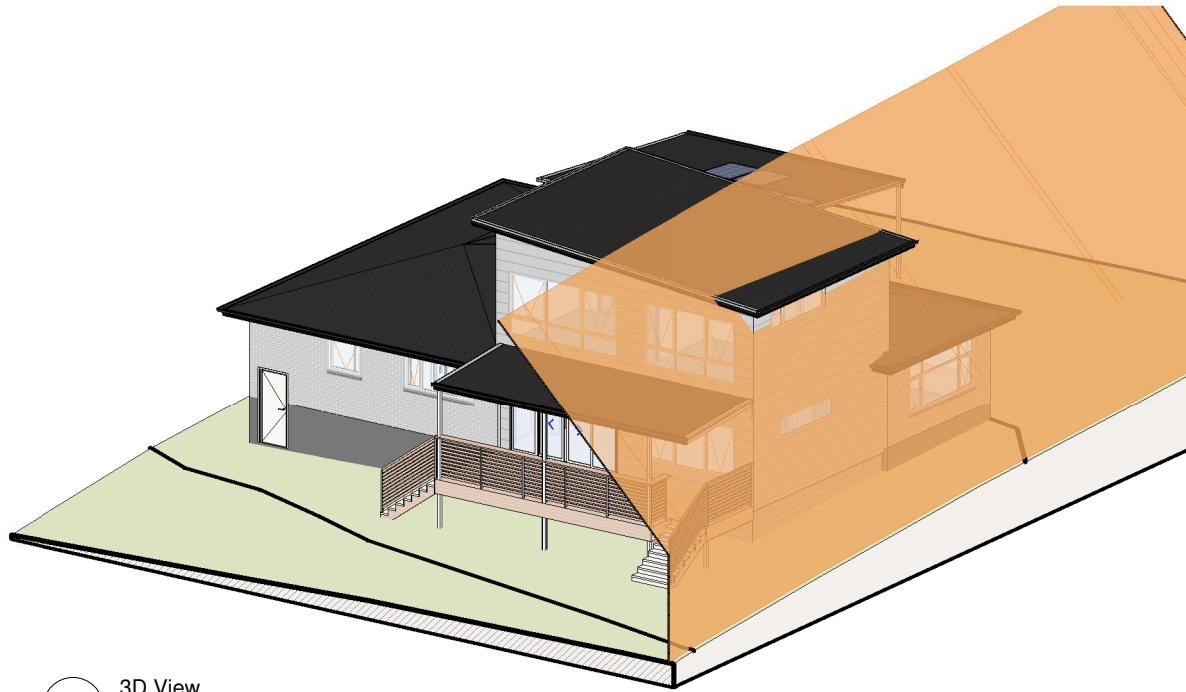


2e Winter_Existing_Noon
1 : 500





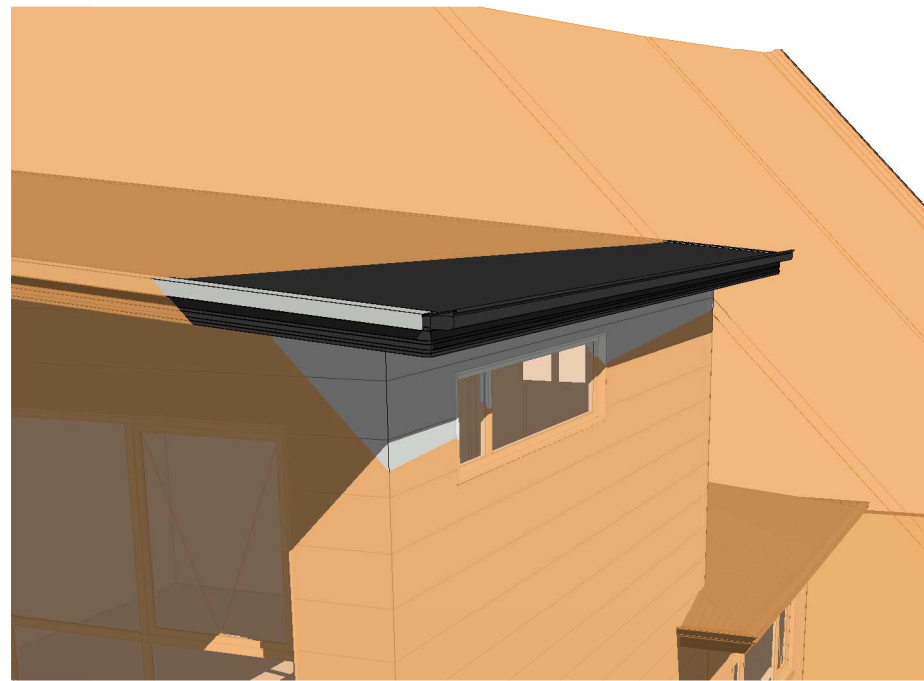
3 Winter_Proposed & Existing_3pm
1 : 500



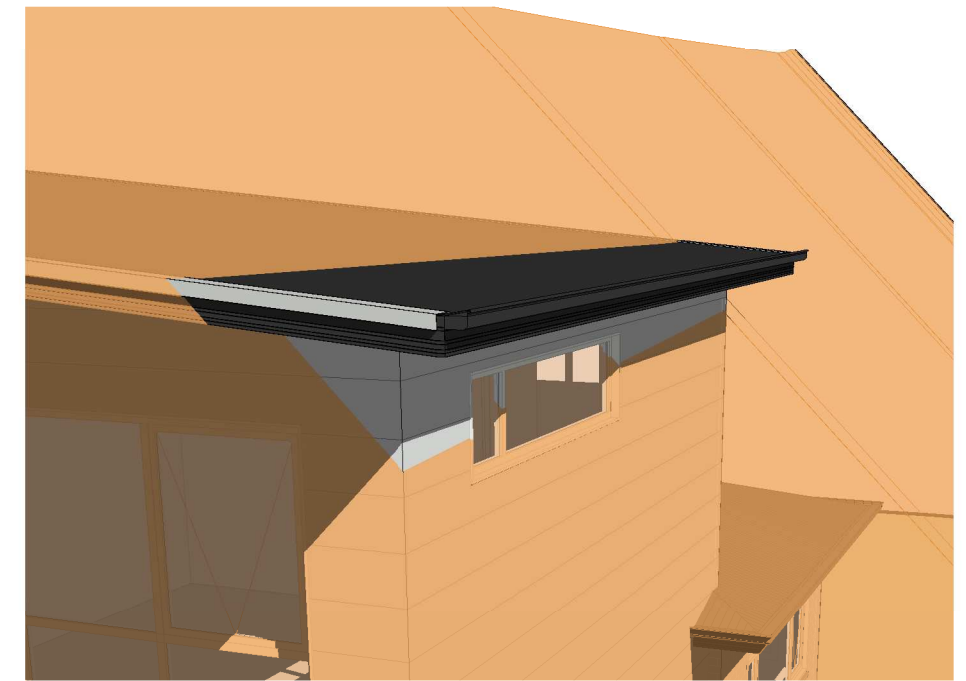
A 3D View



3e Winter_Existing_3pm
1 : 500



B Looking West



C Looking East








NOTES

CHECK ALL WINDOW AND DOOR SCHEDULES TO CONFIRM OPENINGS IN FRAMED WALLS

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

SYMBOLS

-  1.00m FINISHED FLOOR LEVEL MARKER
-  1.00m SITE REFERENCE LEVEL MARKER
-  WALL DIMENSION (mm)
-  OPENINGS DIMENSION (mm)
-  GRID LINE
-  03 ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)

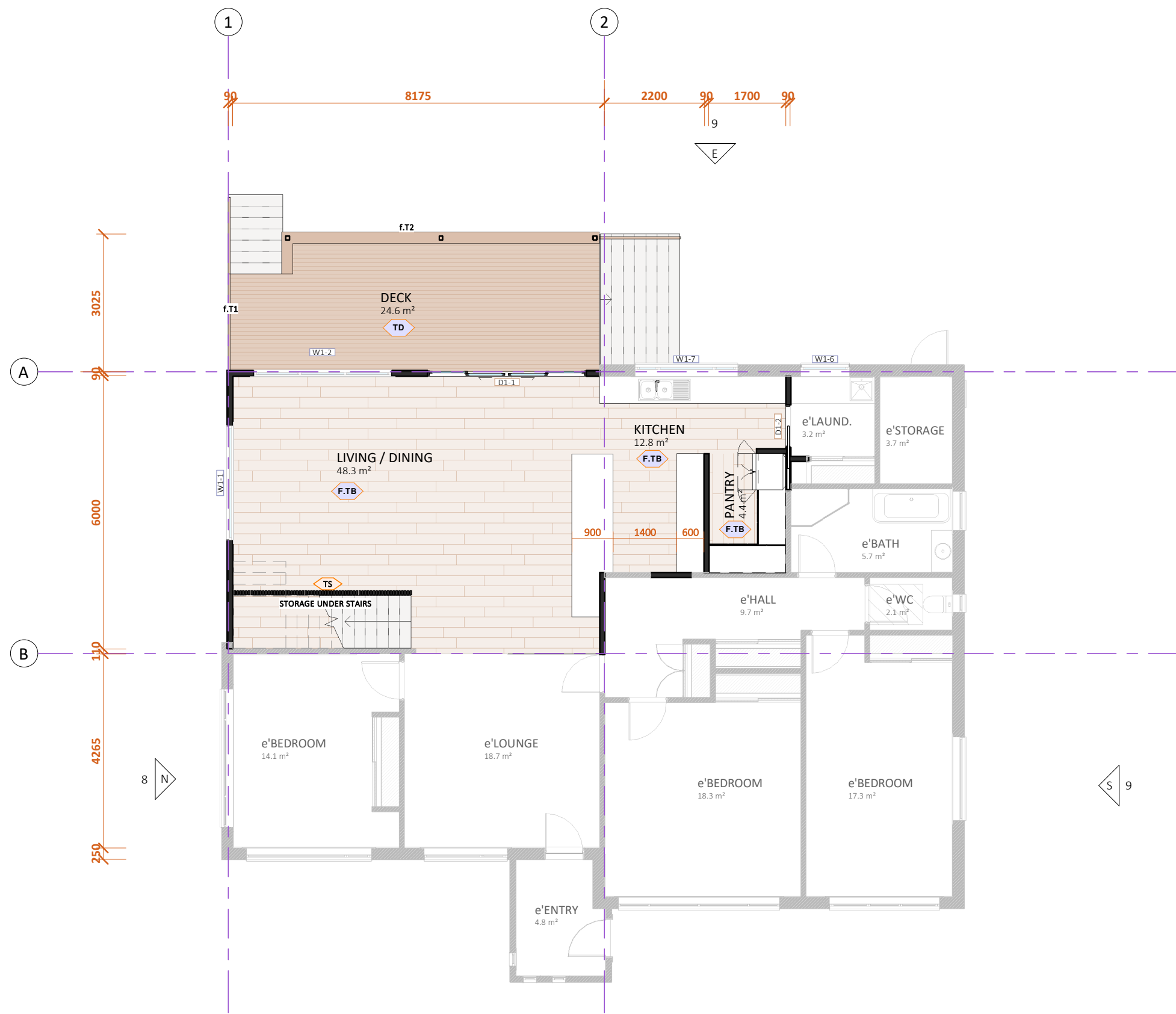
STAIR SCHEDULE				
Model	Mark	Tread Depth	Riser Height and no. of steps for external stairs may vary to accommodate final on-site ground conditions.	
			Riser Height	No. of Steps
Timber	S.1	250	184.4	16
Timber	S.2	250	181.3	8
Timber	S.3	250	156.3	8

FLOOR FINISH SCHEDULE

Code	Description	Area
F.TB	85 x 19mm Tas Oak Flooring, Standard Grade with Tongue and Groove, Selected Clear Sealant over	66.0 m ²
TD	90 x 19mm Merbau Decking, Clear Sealant over, Check BAL rating to in sure timber is compliant	23.7 m ²

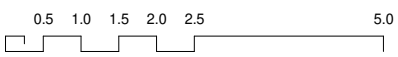
RAILING SCHEDULE

Code	Note	Length
f.T1	1.2m Timber	6.3 m
f.T2	1.2m Timber + 250w Ledge	7.5 m
Grand total: 3		13.8 m



FLOOR PLAN

SCALE: 1:100



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PAGE NO. **6**
 PROJECT PROPOSED EXTENSION
 LOCATION 71 Wenvoe Street, Devonport
 CLIENT Derek Condon & Claire Stonell

PAGE TITLE
GROUND FLOOR PLAN - DIMENSIONS
 DRAWINGS SCALE
1 : 100

DRAWN BY **J. van Ommen**
 CHECKED BY **L. WALSH**
 ISSUE DATE **20.10.2025**
 DRAWINGS SET **DA**
 REV. NO. **A**







No. DATE DESCRIPTION AMENDMENT
1 06.08.2025 Concept rev-1
A 20.10.2025 Planning Permit
 PAGE NO. **6**

CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

NOTES

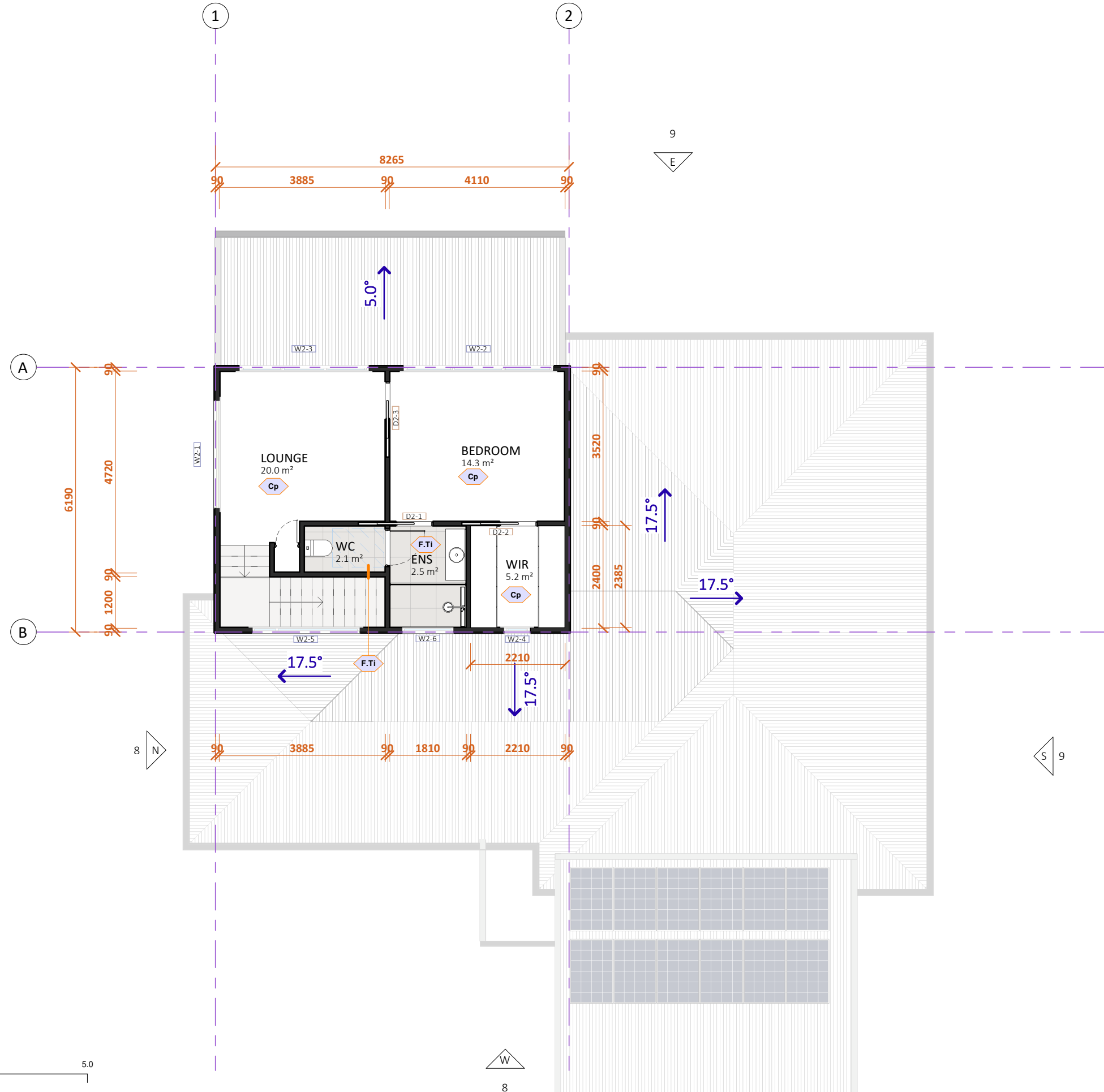
CHECK ALL WINDOW AND DOOR SCHEDULES TO CONFIRM OPENINGS IN FRAMED WALLS
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SYMBOLS

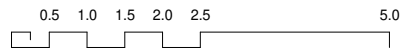
-  1.00m FINISHED FLOOR LEVEL MARKER
-  1.00m SITE REFERENCE LEVEL MARKER
-  WALL DIMENSION (mm)
-  OPENINGS DIMENSION (mm)
-  GRID LINE
-  03 ELEVATION ORIENTATION (REFER TO RELEVANT PAGE)

FLOOR FINISH SCHEDULE

Code	Description	Area
F.Cp	Carpet (selected by client) on Dunlop Foam Underlay	34.5 m ²
F.Ti	Selected Tile with 3mm Joint Spacing, Mapei Kerabond (or similar) adhesive, ultracolour plus grout to selected colour	6.2 m ²



FLOOR PLAN
SCALE: 1:100



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PAGE NO. **7**
 PROJECT PROPOSED EXTENSION
 LOCATION 71 Wenvoe Street, Devonport
 CLIENT Derek Condon & Claire Stonell

PAGE TITLE **FIRST FLOOR PLAN - DIMENSIONS**
 DRAWINGS SCALE **1 : 100**

DRAWN BY **J.van Ommen** CHECKED BY **L. WALSH**
 ISSUE DATE **20.10.2025**
 DRAWINGS SET **DA** REV. NO. **A**

No.	DATE	DESCRIPTION	AMENDMENT
1	06.08.2025	Concept rev-1	
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PAGE NO. **7**

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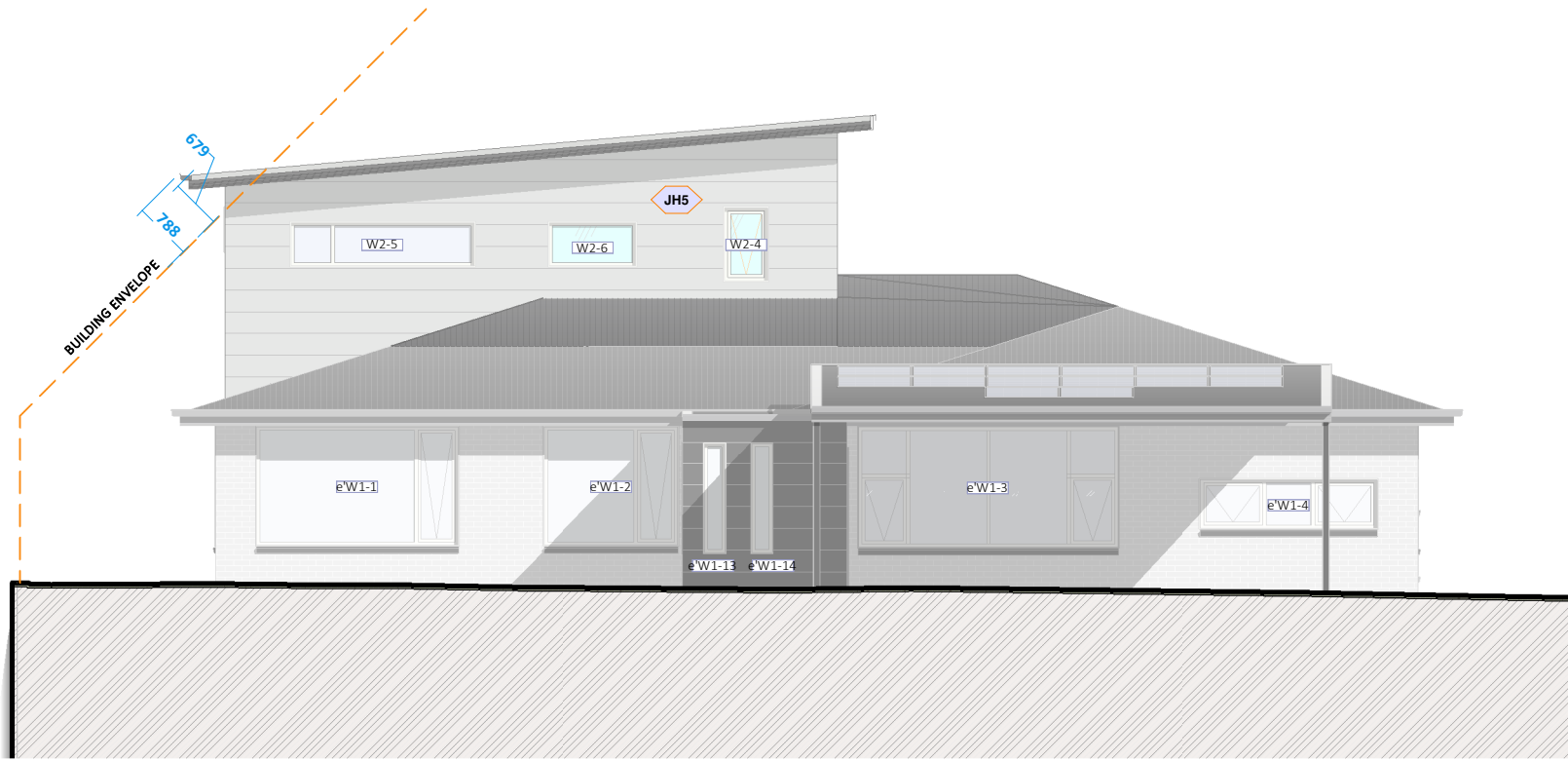
NOTES

ALL GLAZED WINDOW AND DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS 1288, REFER TO WINDOW SCHEDULES FOR WINDOW SIZE & TYPE. INSTALLED ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER INSTRUCTIONS AND SPECS

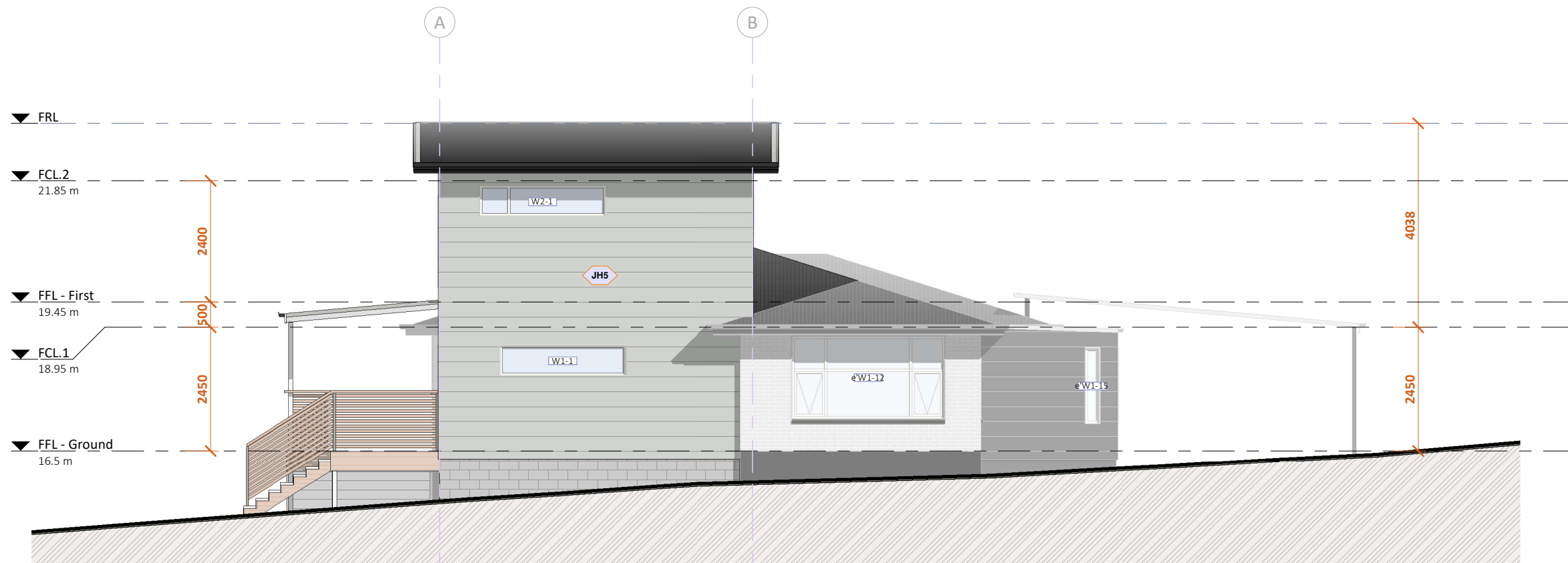
FLASH ALL OPENINGS WITH AS/NZS 2904-COMPLIANT MATERIALS. INTALL FLASHING ACCORDING TO GLAZING MANUFACTURER SPECS FOR BRICK VENEER OR LIGHTWEIGHT CLADDING

SYMBOLS

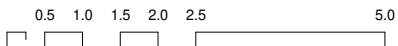
- ▼ 1.00m GROUND AND FLOOR LEVEL HIGHT MARKER
- [W1-] WINDOW No. (REFER TO SCHEDULE)
- [D1-] DOOR No. (REFER TO SCHEDULE)
- A GRID LINE
- OPAQUE WINDOW



W WEST
1 : 100



N NORTH
1 : 100



EXTERNAL WALL SCHEDULE		
Code	Model	Area
JH5.S	James Hardie - Scyon Stria - Smooth Finish	104.6 m ²
B.20	20.01 Block	28.7 m ²
	Timber Wall Slats	9.3 m ²

ROOF FINISH SCHEDULE		
CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	130.2 m ²

FASCIA SCHEDULE			
Code	Model	Colour	Length
BC.140	Barge 140L x 75H	CP Shale Grey	24.55 m
BC.175	Barge 175L x 75H	CP Shale Grey	7.15 m
CF	Novaline® Fascia	CP Monument	41.01 m

GUTTER SCHEDULE			
Eave gutter min. 1:500 or steeper			
Code	Type	Colour	Length
G.Qh1	Lysaght QuadHiFront 115	CP Monument	15.41 m

DOWNPIPES		
Type	Specification	Total

PROJECT NO. 25-986

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PAGE NO. 8

PROJECT PROPOSED EXTENSION
 LOCATION
 71 Wenvoe Street, Devonport
 CLIENT
 Derek Condon & Claire Stonell

PAGE TITLE
 ELEVATIONS 1 of 2

DRAWINGS SCALE
 1 : 100

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 J. van Ommen

CHECKED BY
 L. WALSH

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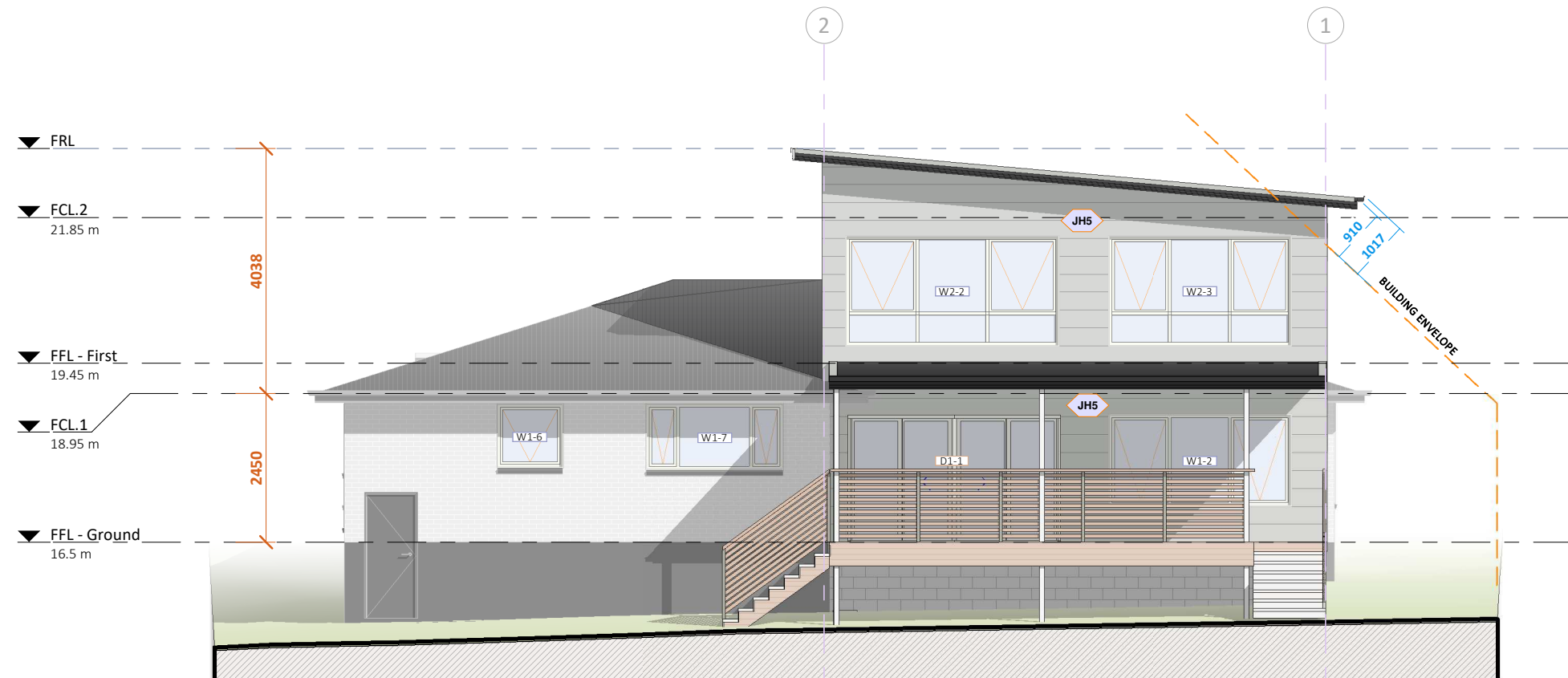
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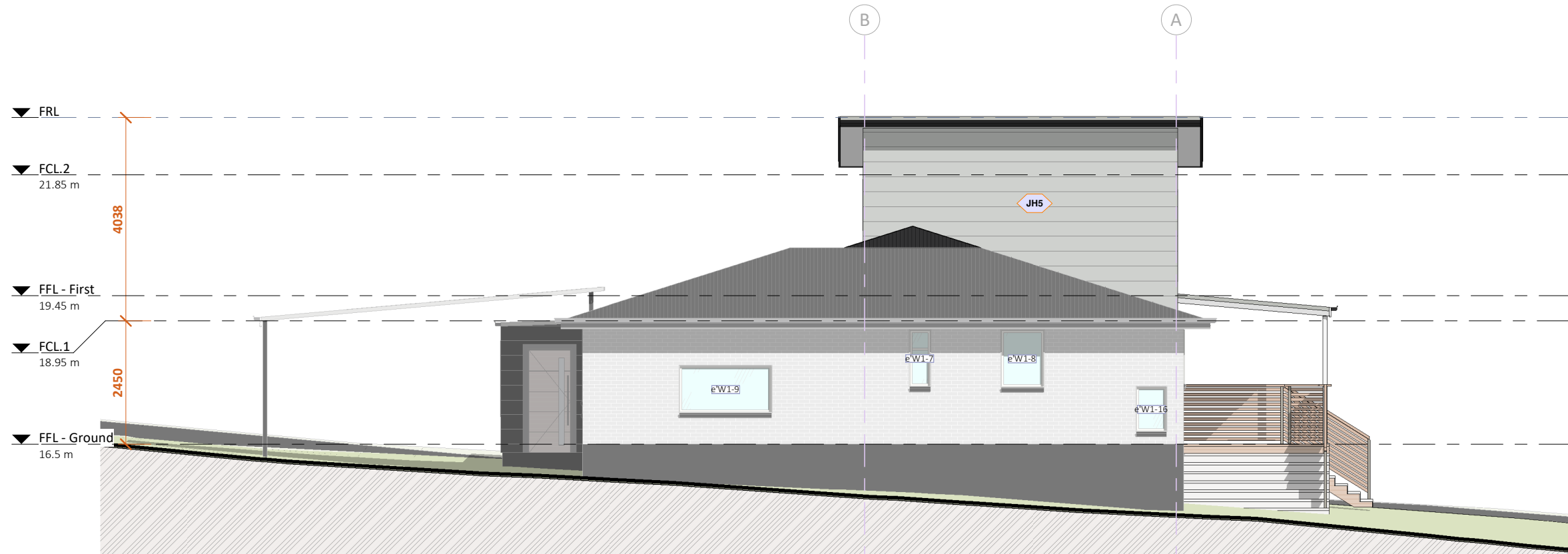
FLASH ALL OPENINGS WITH AS/NZS 2904-COMPLIANT MATERIALS. INTALL FLASHING ACCORDING TO GLAZING MANUFACTURER SPECS FOR BRICK VENEER OR LIGHTWEIGHT CLADDING

SYMBOLS

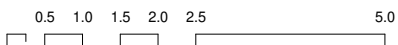
- ▼ 1.00m GOUND AND FLOOR LEVEL HIGHT MARKER
- [W1-] WINDOW No. (REFER TO SCHEDULE)
- [D1-] DOOR No. (REFER TO SCHEDULE)
- A GRID LINE
- OPAQUE WINDOW



E EAST
1 : 100



S SOUTH
1 : 100



EXTERNAL WALL SCHEDULE		
Code	Model	Area
JH5.S	James Hardie - Scyon Stria - Smooth Finish	104.6 m ²
B.20	20.01 Block	28.7 m ²
	Timber Wall Slats	9.3 m ²

ROOF FINISH SCHEDULE		
CODE	Roof Profile	Area
R.CO	Colorbond Custom Orb	130.2 m ²

FASCIA SCHEDULE			
Code	Model	Colour	Length
BC.140	Barge 140L x 75H	CP Shale Grey	24.55 m
BC.175	Barge 175L x 75H	CP Shale Grey	7.15 m
CF	Novaline® Fascia	CP Monument	41.01 m

GUTTER SCHEDULE			
Eave gutter min. 1:500 or steeper			
Code	Type	Colour	Length
G.Qh1	Lysaght QuadHiFront 115	CP Monument	15.41 m

DOWNPIPES		
Type	Specification	Total

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PAGE NO. **9**
 PROJECT PROPOSED EXTENSION
 LOCATION 71 Wenvoe Street, Devonport
 CLIENT Derek Condon & Claire Stonell

PAGE TITLE ELEVATIONS 2 of 2
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A	20.10.2025	Planning Permit	

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SCHEDULES

WINDOW SCHEDULE											
Mark	Height	Width	Sill Height	Head Height	Opening Type	Frame	Glazing	Hardware	W. Colour	Area	Phase Created
W2-1	600	2500	1700	2300	Fixed	F1	G1		CP Dover White	1.50 m ²	New Construction
W2-2	1800	3500	300	2100	Awning	F1	G1	H1+H2	CP Dover White	6.30 m ²	New Construction
W2-3	1800	3010	300	2100	Awning	F1	G1	H1+H2	CP Dover White	5.42 m ²	New Construction
W2-4	1000	600	1300	2300	Awning	F1	G2	H1+H2	CP Dover White	0.60 m ²	New Construction
W2-5	600	2500	1500	2100	Fixed	F1	G1		CP Dover White	1.50 m ²	New Construction
W2-6	600	1200	1500	2100	Fixed	F1	G2		CP Dover White	0.72 m ²	New Construction
FFL - First: 6										16.04 m ²	
e'W1-1	1630	2750	650	2280	Awning	UPVC	G1	H1+H2	CP Dover White	4.48 m ²	Existing
e'W1-2	1630	1830	650	2280	Awning	UPVC	G1	H1+H2	CP Dover White	2.98 m ²	Existing
e'W1-3	1650	3530	625	2275	Awning	UPVC	G1	H1+H2	CP Dover White	5.82 m ²	Existing
e'W1-4	670	2410	880	1550	Awning	F1	Single	H1+H2	CP Dover White	1.61 m ²	Existing
e'W1-7	1110	410	1160	2270	Fixed	UPVC	G2		CP Dover White	0.46 m ²	Existing
e'W1-8	1120	860	1150	2270	Fixed	UPVC	G2		CP Dover White	0.96 m ²	Existing
e'W1-9	940	1830	630	1570	Fixed	UPVC	G2		CP Dover White	1.72 m ²	Existing
e'W1-12	1630	3025	650	2280	Awning	UPVC	G1	H1+H2	CP Dover White	4.93 m ²	Existing
e'W1-13	1500	290	550	2050	Fixed	F1	Single		CP Dover White	0.44 m ²	Existing
e'W1-14	1500	290	550	2050	Fixed	F1	Single		CP Dover White	0.44 m ²	Existing
e'W1-15	1500	290	550	2050	Fixed	F1	Single		CP Dover White	0.44 m ²	Existing
e'W1-16	900	600	256	1156	Fixed	Timber	Single Opaque		CP Dover White	0.54 m ²	Existing
W1-1	600	2500	1500	2100	Fixed	F1	G1		CP Dover White	1.50 m ²	New Construction
W1-2	1500	3010	600	2100	Awning	F1	G1	H1+H2	CP Dover White	4.52 m ²	New Construction
W1-6	1040	1080	1230	2270	Awning	F1	G1	H1+H2	CP Dover White	1.12 m ²	New Construction
W1-7	1070	2250	1200	2270	Awning	F1	G1	H1+H2	CP Dover White	2.41 m ²	New Construction
FFL - Ground: 16										34.36 m ²	
Grand total: 22										50.40 m ²	

WINDOW FINISH & HARDWARE

ALL GLAZED WINDOWS ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

FRAME

CODE	SPECIFICATION
F.1	Aluminium Residential Window Frame, Powdercoat finish
F.2	Aluminium Residential Window Frame, Powdercoat finish, + External Window Reveal refer to E. Window Trim Schedule

GLAZING

CODE	SPECIFICATION
G.1	Double Glazed, Clear
G.2	Double Glazed, Opaque

HARDWARE

CODE	SPECIFICATION
H.1	Chain Winder 'Awning', 125mm max. opening for windows that are 2m or greater from finished ground, colour match window frame
H.2	Flyscreen to open portion of window, type to be compliant to BAL rating is relevant to project
H.3	Sliding Window Hardware by manufacturer

ROOM SCHEDULE

No.	Name	Area	Sqaures	Perimeter	FFL	LWD_Room_Type
9	ENTRY	Not Placed		Not Placed	Not Placed	
Not Placed: 1		0.0 m ²	0.00			
39	WC	2.1 m ²	0.22	6.0 m	FFL - First	
36	ENS	2.5 m ²	0.27	6.3 m	FFL - First	
35	WIR	5.2 m ²	0.56	9.1 m	FFL - First	
34	BEDROOM	14.3 m ²	1.54	15.2 m	FFL - First	
33	LOUNGE	20.0 m ²	2.15	25.1 m	FFL - First	
FFL - First: 5		44.0 m ²	4.74			
30	WC	2.1 m ²	0.23	5.9 m	FFL - Ground	
24	LAUND.	3.2 m ²	0.35	7.2 m	FFL - Ground	
25	STORAGE	3.7 m ²	0.40	7.8 m	FFL - Ground	
37	PANTRY	4.4 m ²	0.47	8.6 m	FFL - Ground	
31	ENTRY	4.8 m ²	0.51	9.1 m	FFL - Ground	
22	BATH	5.7 m ²	0.61	10.4 m	FFL - Ground	
21	HALL	9.7 m ²	1.05	16.7 m	FFL - Ground	
23	KITCHEN	12.8 m ²	1.37	16.7 m	FFL - Ground	
27	BEDROOM	14.1 m ²	1.52	17.0 m	FFL - Ground	
20	BEDROOM	17.3 m ²	1.86	17.9 m	FFL - Ground	
19	BEDROOM	18.3 m ²	1.97	17.1 m	FFL - Ground	
26	LOUNGE	18.7 m ²	2.02	17.3 m	FFL - Ground	
38	DECK	24.6 m ²	2.65	22.4 m	FFL - Ground	
32	LIVING / DINING	48.3 m ²	5.20	28.1 m	FFL - Ground	
FFL - Ground: 14		187.6 m ²	20.19			
Grand total: 20		231.6 m ²	24.93			

DOOR SCHEDULE

Mark	Height	Width	Opening Type	Door Panel	Frame	Glazing	Colour	Hardware	Area	Phase Created
D2-1	2040	820	Cavity Slider	D1	F2		C2	H3	1.67 m ²	New Construction
D2-2	2040	820	Cavity Slider	D1	F2		C2	H3	1.67 m ²	New Construction
D2-3	2040	820	Cavity Slider	D1	F2		C2	H3	1.67 m ²	New Construction
D2-6	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	New Construction
D2-7	2040	520	Hinge	D1	F1		C2	H1	1.06 m ²	New Construction
FFL - First: 5										7.75 m ²
e'D1-2	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-3	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-4	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-5	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-6	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-7	2040	820	External Hinge	D5	F3		C1	H2	1.67 m ²	Existing
e'D1-8	2040	1870	Sliding Robe/Linen						3.81 m ²	Existing
e'D1-9	2040	1870	Sliding Robe/Linen						3.81 m ²	Existing
e'D1-10	2040	1166	Hinge Robe/Linen						2.38 m ²	Existing
e'D1-12	2040	1410	Sliding Robe/Linen						2.88 m ²	Existing
e'D1-14	2040	1820	Sliding Robe/Linen						3.71 m ²	Existing
e'D1-15	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-16	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
e'D1-18	2040	1965	Sliding Robe/Linen						4.01 m ²	Existing
e'D1-19	2040	820	Hinge	D1	F1		C2	H1	1.67 m ²	Existing
D1-1	2040	3500	Pi-Parting - 6 Panel	6 Panel	F3	G1		H2	7.14 m ²	New Construction
D1-2	2040	870	Cavity Slider	D1	F2		C2	H3	1.77 m ²	New Construction
FFL - Ground: 17										44.58 m ²
Grand total: 22										52.33 m ²

DOOR FINISH & HARDWARE

ALL GLAZED DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047, ALL OTHER GLAZING TO COMPLY WITH AS 1288.

ALL EXTERNAL OPENINGS TO BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS 2904

REFER TO ENERGY ASSESSMENT FOR REQUIRED U-VALUE AND SHGC REQUIREMENTS

FRAME

CODE	SPECIFICATION
F.1	HUME Timber Frame 'Hinge', Pre Primed, Paint finish colour to match wall
F.2	HUME Timber Cavity Sliding Unit, Pre Primed, Paint finish colour to match wall
F.3	Aluminium Door Frame, Powdercoat finish, colour 'Monument'
F.4	Hume Smartrobe Track Assembly, colour to match wall

DOOR PANEL

CODE	SPECIFICATION
D.1	HUME Timber Honeycomb Internal Door, Pre Primed, 35mm
D.2	Aluminium Sliding, Powdercoat finish, colour 'Monument'
D.3	Automatic Garage Door, Powdercoat finish, colour to match wall
D.4	Aluminium Hinged, Powdercoat finish, colour 'Monument' Glass infill
D.5	HUME Timber Solid Core External Door, Pre Primed, 35mm

COLOUR & FINISH

CODE	SPECIFICATION
C.1	Powdercoat finish 'Monument'
C.2	Paint finish 'Vivid White'

GLAZING

CODE	SPECIFICATION
G.1	Single Glazed, Clear
G.2	Single Glazed, Opaque
G.3	Double Glazed, Clear

HARDWARE

CODE	SPECIFICATION
H.1	Susie Round Door Handle, Colour 'Black' (or similar Approved)
H.2	Lever set & Lock by door supplier, colour to match door
H.3	Milos Flush Pull Handle (252 x 44mm) colour 'Black' (or similar Approved)

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PROJECT: **PROPOSED EXTENSION**
 LOCATION: **71 Wenvoe Street, Devonport**
 CLIENT: **Derek Condon & Claire Stonell**

PAGE TITLE: **SCHEDULES**

DRAWINGS SCALE: **DA**

CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RELEVANT AUTHORITIES AND OBTAIN APPROVALS FOR ALL WORKS.

DRAWN BY: **J. van Ommen**
 CHECKED BY: **L. WALSH**

ISSUE DATE: **20.10.2025**

DRAWINGS SET: **DA**
 REV. NO.: **A**

No.	DATE	DESCRIPTION	AMENDMENT
1	06.08.2025	Concept rev-1	
A	20.10.2025	Planning Permit	

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