

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-250
PROPOSED DEVELOPMENT:	Partial demolition, additions and alterations to Powder Coating (Manufacturing and Processing)
LOCATION:	8 Knoll Street Glenorchy
APPLICANT:	O2BME Corporate Pty Ltd
ADVERTISING START DATE:	24/02/2026
ADVERTISING EXPIRY DATE:	11/03/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **11/03/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **11/03/2026**, or for postal and hand delivered representations, by 5.00 pm on **11/03/2026**.

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 Volume I.

Surface water, resulting from a storm having an annual exceedance probability of 1%, must not enter the building.

Limitations

F1P2 does not apply to-
 (a) Class 7 or 8 building where in the particular case there is no necessity for compliance; or
 (b) a garage, tool shed, sanitary compartment, or the like, forming part of a building used for other purposes; or an open spectator stand or open-deck carpark.

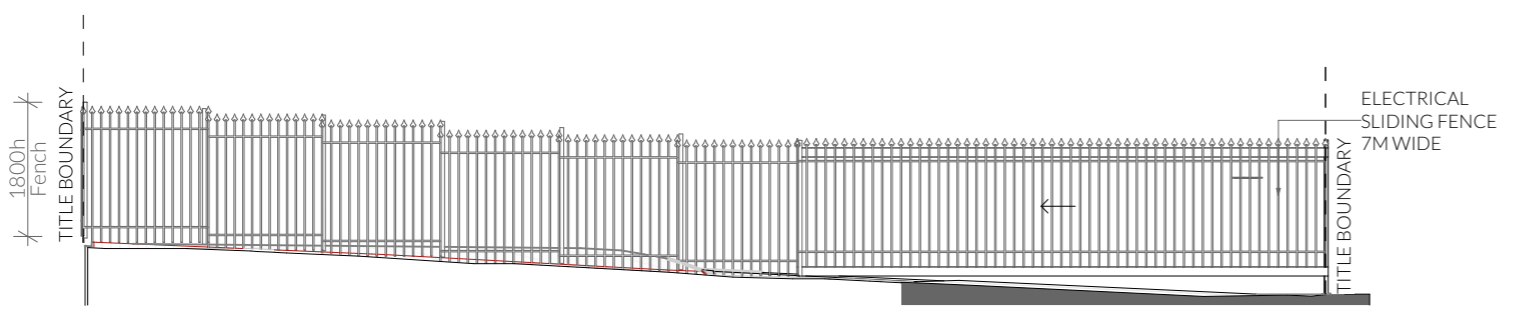
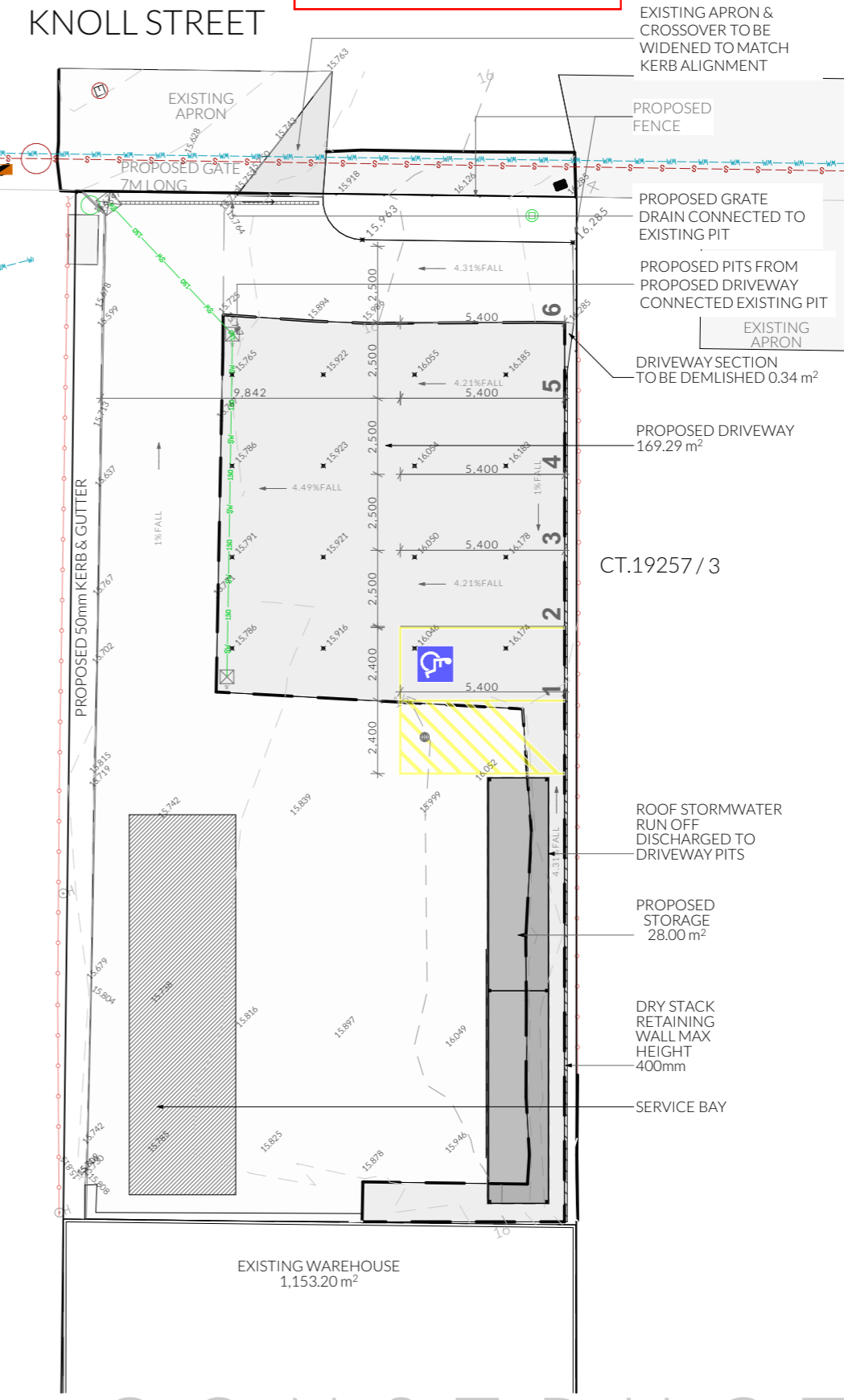
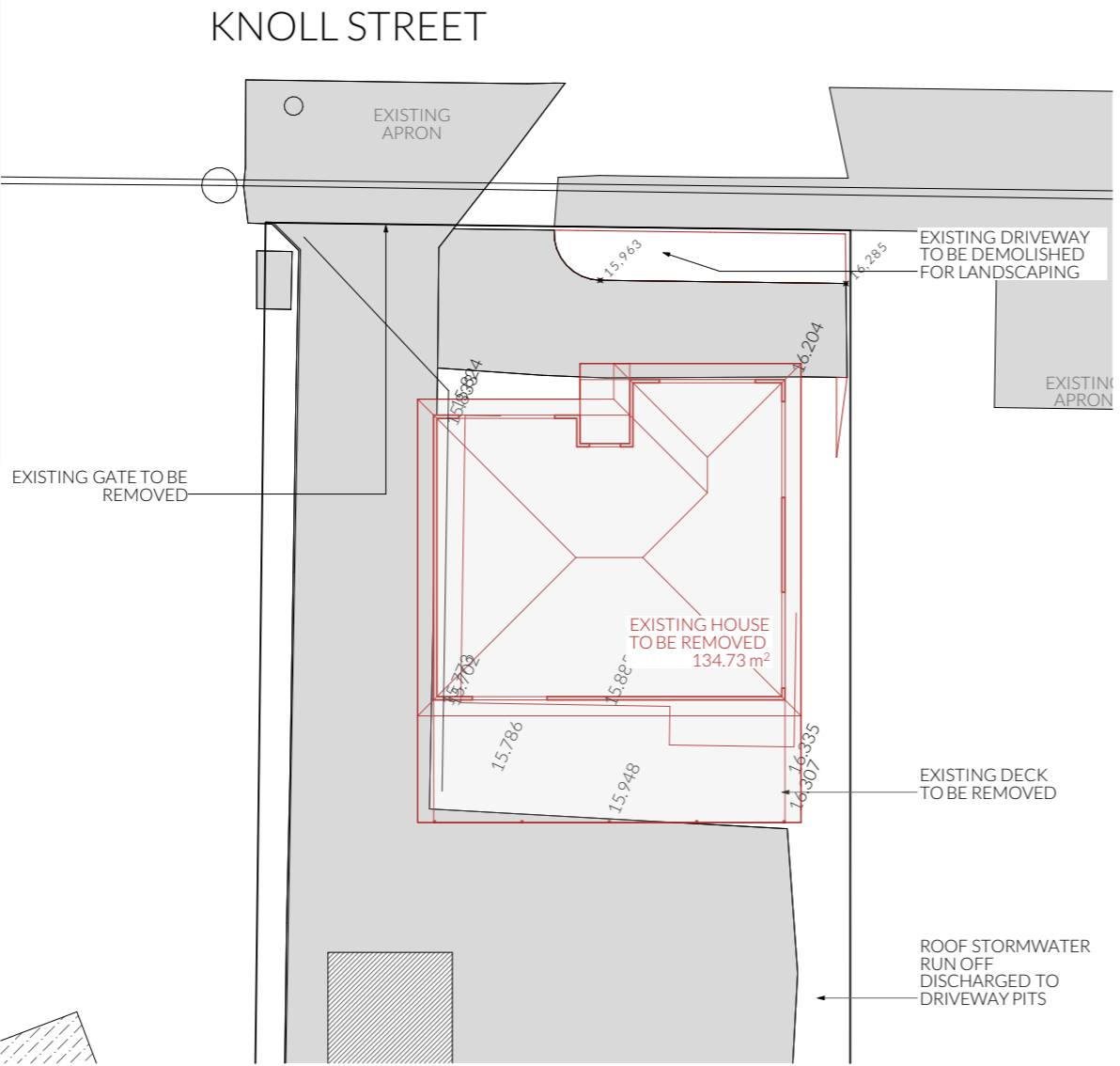
Fire Safety

Where a building is more than 500m2 or if internal fire hydrants are proposed/installed, a fire hose reel system must be provided in accordance with AS2441.

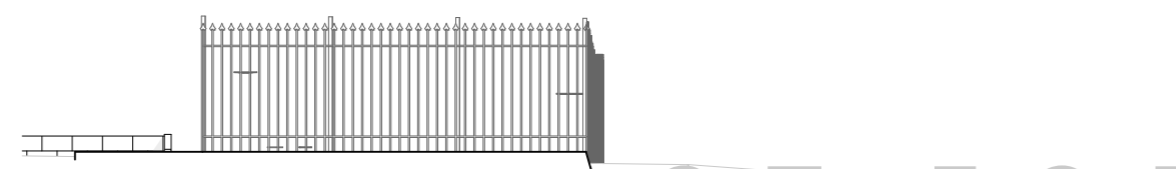
Fire hose reels must be installed within 4m of an exit or otherwise provided to provide full coverage to the building.

**GLENORCHY CITY COUNCIL
 PLANNING SERVICES**
APPLICATION No. : PLN-25-250
DATE RECEIVED: 11 February 2026

- PROPOSED LEGEND**
- PROPOSED STORAGE STRUCTURE
 - PROPOSED DRIVEWAY
 - EXISTING DRIVEWAY
 - SERVICE BAY
 - PROPOSED RETAINING WALL



North Fence Elevation 1:100



East Fence Elevation 1:100

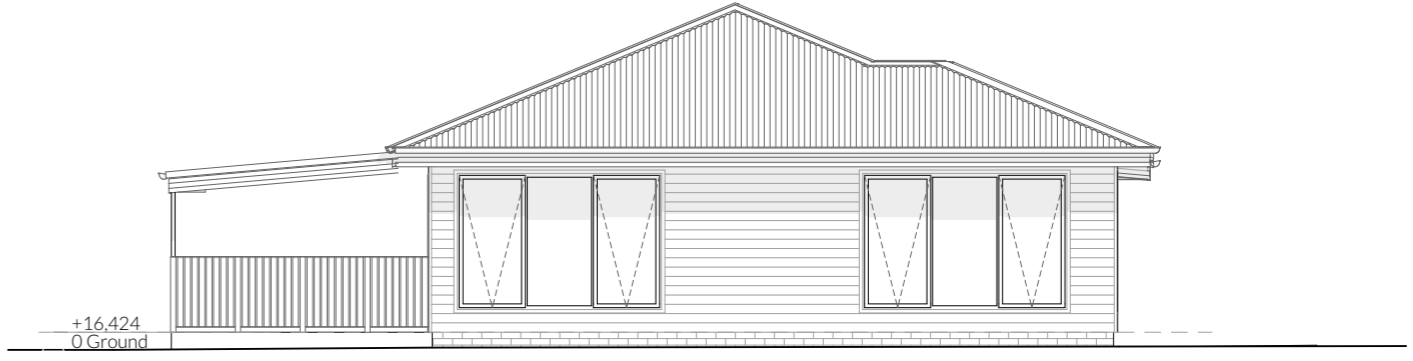
NOT FOR CONSTRUCTION Proposed - Site Plan 1:200

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Site Plan Revision: DA - 02 Approved by: #Approved by	Scale: 1:200, 1:100 @ A3 Pg. No: A.02	Proposal: Demolition & Proposed Storage Shed Client: O2BME CORPORATE PTY LTD Address: 8 Knoll Street Glenorchy - 7010	Date: 01/08/2025 Drawn by: JRM Job No: 054-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer					These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
	Issue	Date	Designer												
NOTE: Refer to cover page for further details on changes.															

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-250
DATE RECEIVED: 11 February 2026



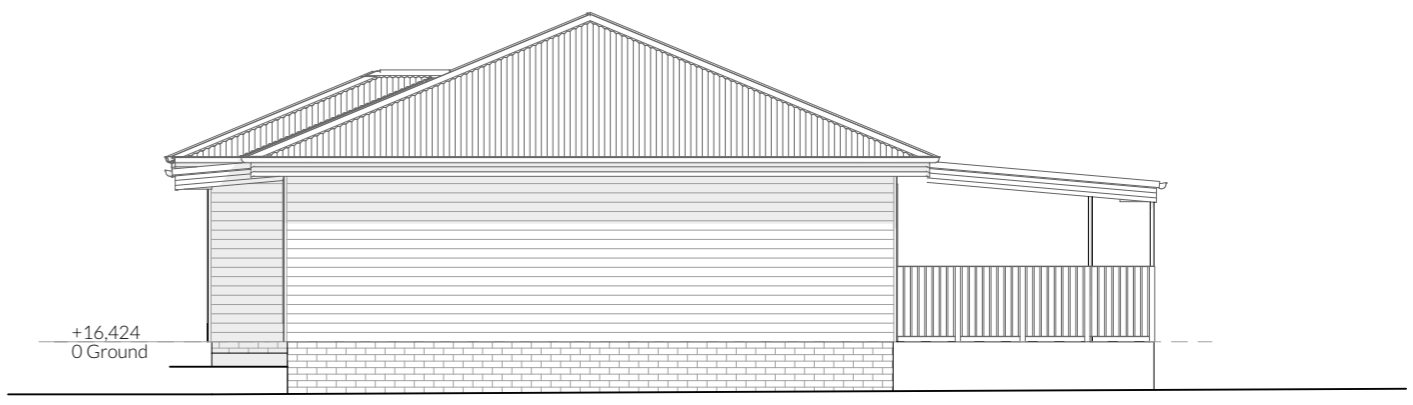
North Elevation 1:100



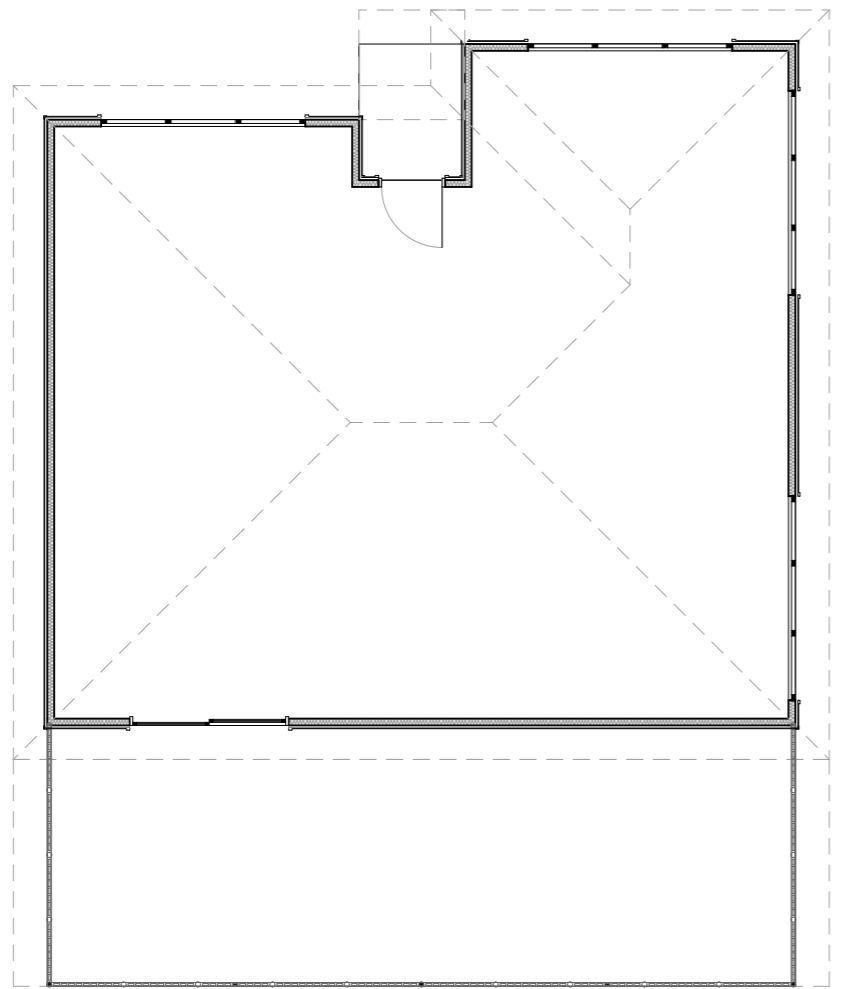
East Elevation 1:100



South Elevation 1:100



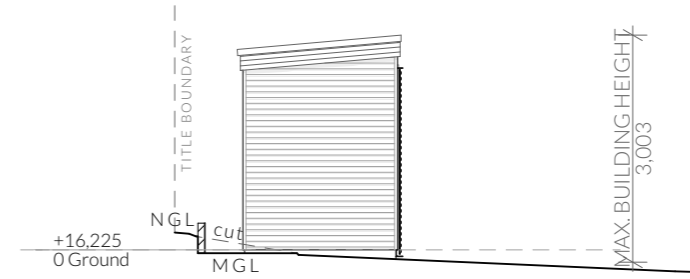
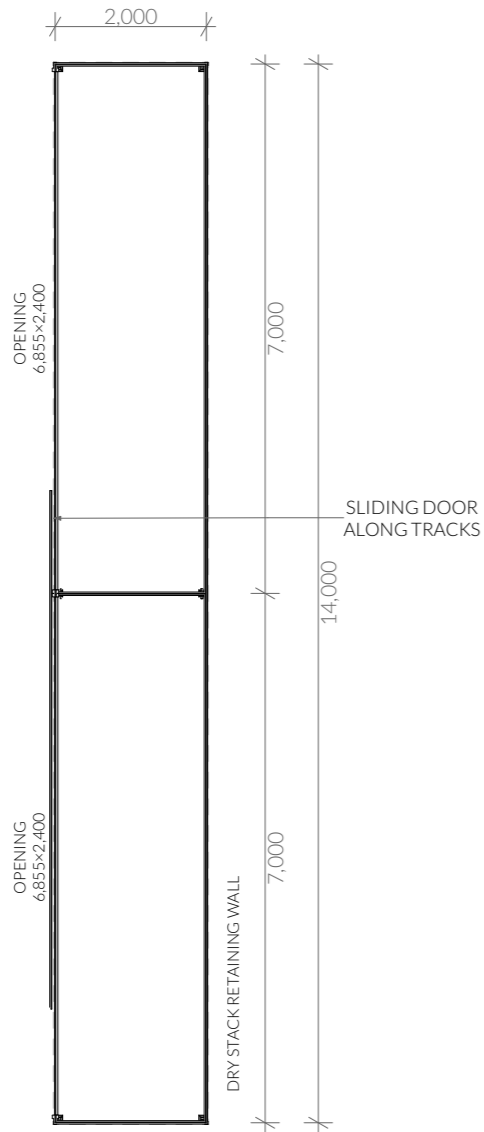
West Elevation 1:100



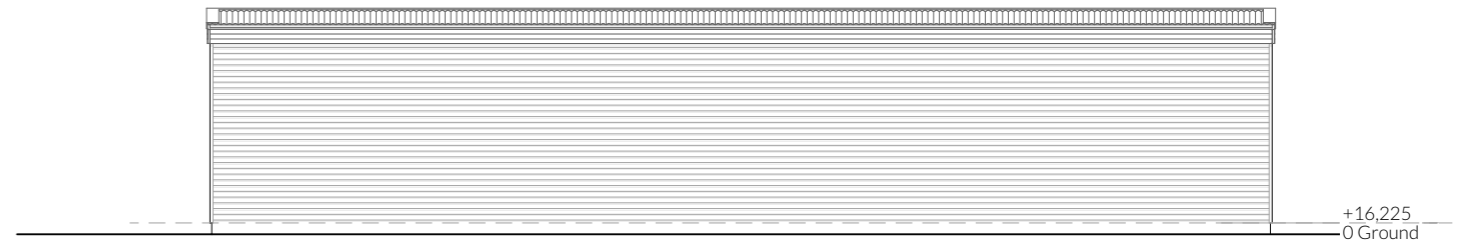
Existing Building - To Be Demolished 1:100

NOT FOR CONSTRUCTION

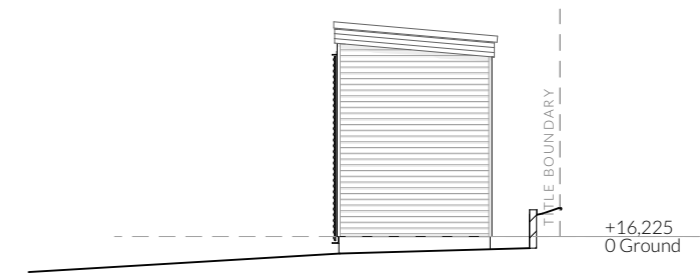
PINNACLE PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Existing Building - To Be Demolished Revision: DA - 02 Approved by: #Approved by	Scale: 1:100 @ A3 Pg. No: A.03	Proposal: Demolition & Proposed Storage Shed Client: O2BME CORPORATE PTY LTD Address: 8 Knoll Street Glenorchy - 7010	Date: 01/08/2025 Drawn by: JRM Job No: 054-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				<small>These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</small>	
	Issue	Date	Designer											
NOTE: Refer to cover page for further details on changes.														
<small>Document Set ID: 3587211 Version: 1, Version Date: 19/02/2026</small>														



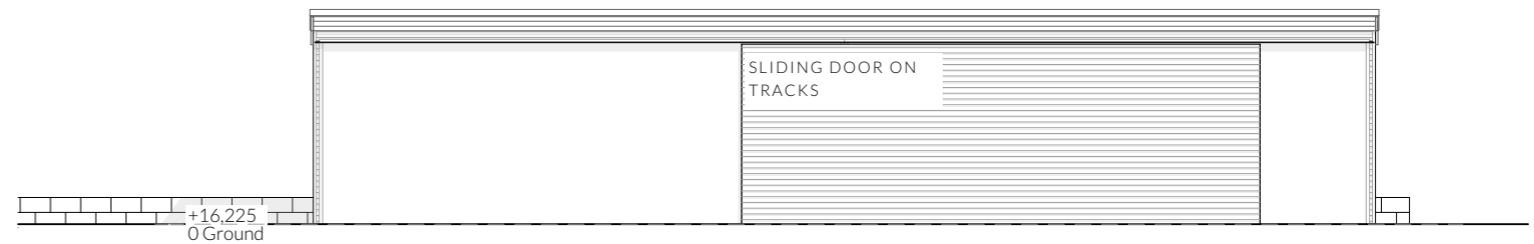
North Elevation



East Elevation



South Elevation



West Elevation

NOT FOR CONSTRUCTION

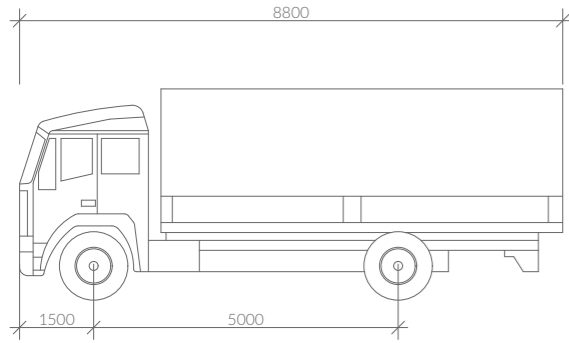


Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the MRV Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



MRV Vehicle Dimensions

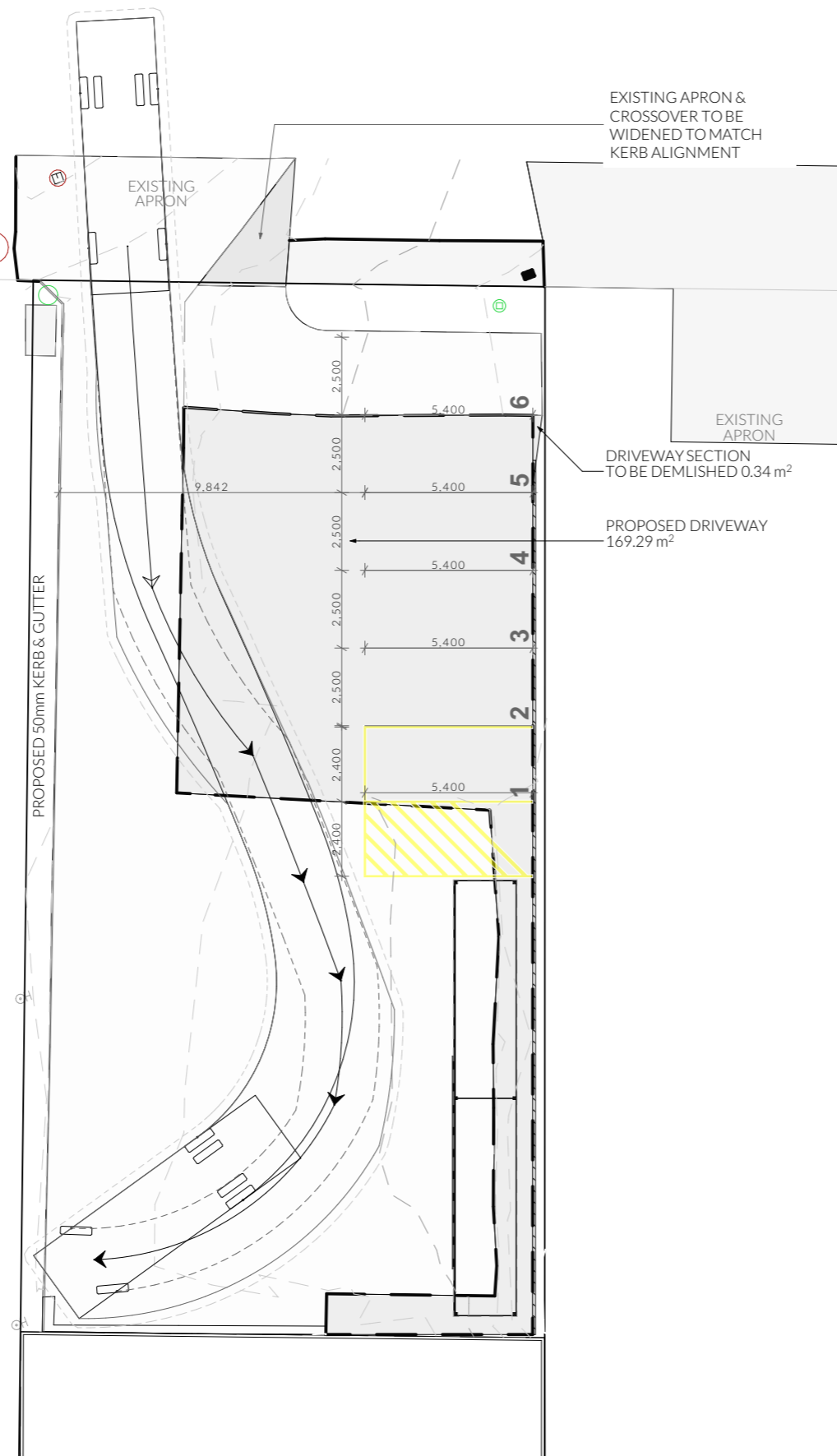
Width: 2500
Track: 2500
L-L Time: 6.0

Legend

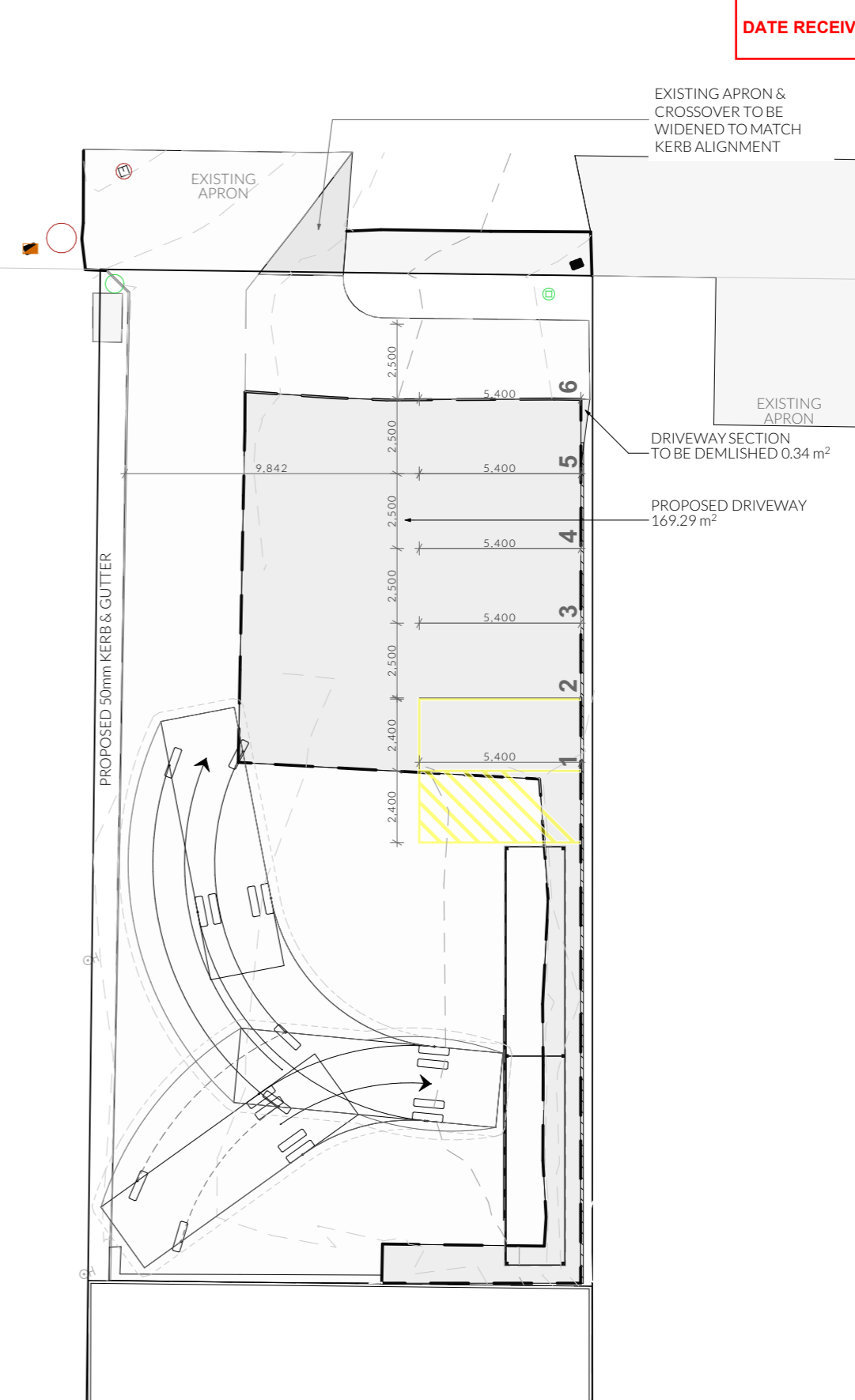
- - Solar Bollard Lighting
- ▽ - Spotlight with Sensor

Turning Path Legend

- LINE OF BODY
- 300mm BODY CLEARANCE
- ← DIRECTION OF TRAVEL



Parking Plan MRV IN 1:200





















Parking Plan MRV OUT 1:200

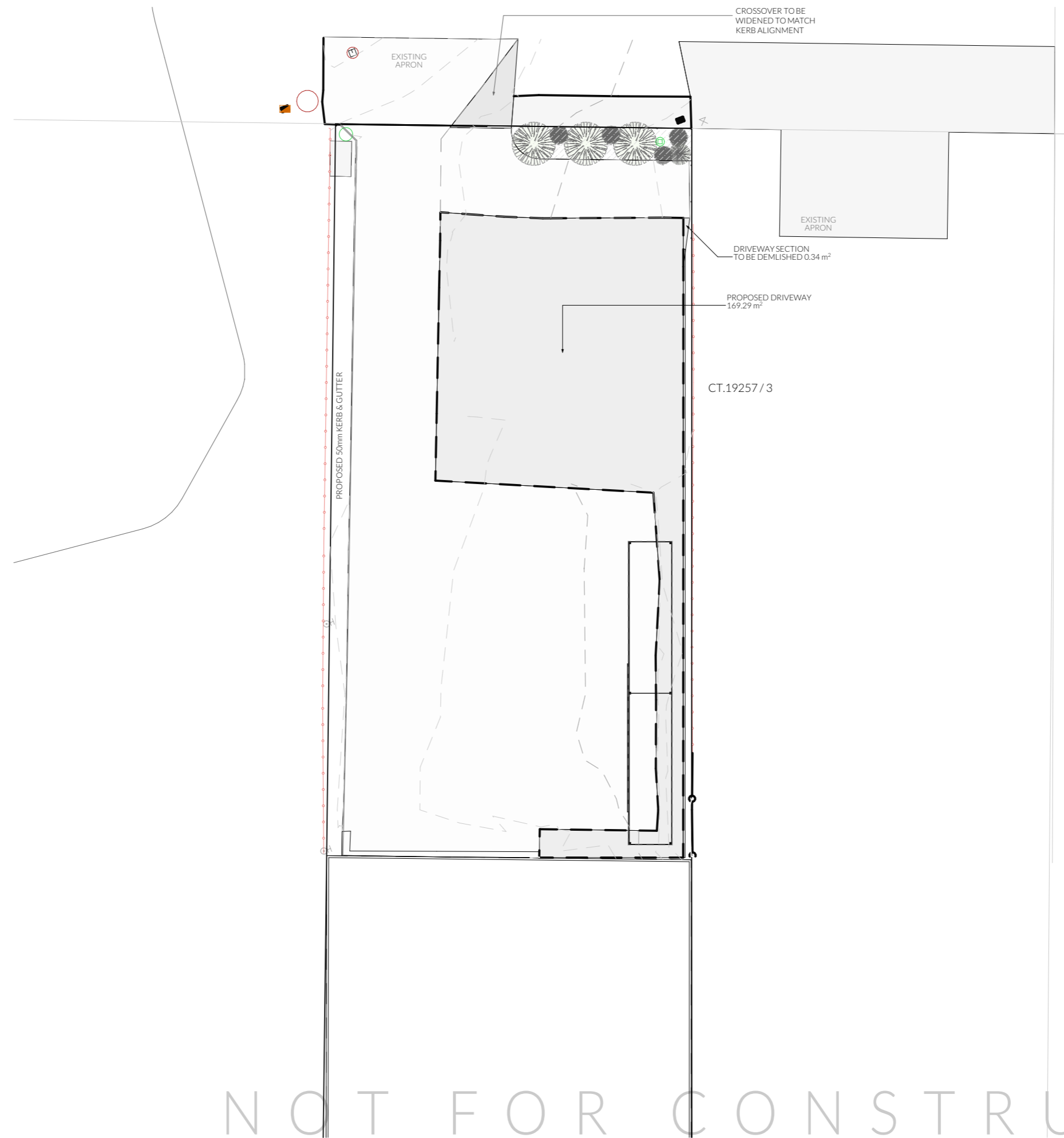
NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Parking MRV Revision: DA - 02 Approved by: #Approved by	Scale: 1:200 @ A3 Pg. No: C.02	Proposal: Demolition & Proposed Storage Shed Client: O2BME CORPORATE PTY LTD Address: 8 Knoll Street Glenorchy - 7010	Date: 01/08/2025 Drawn by: JRM Job No: 054-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">Issue</th> <th style="width: 30%;">Date</th> <th style="width: 40%;">Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer					These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.
	Issue	Date	Designer											
Document Set ID: 3587211 Version: 1, Version Date: 19/02/2026						NOTE: Refer to cover page for further details on changes.								



Legend

-  - General Waste Bin
-  - Recycling Bin
-  - Green Waste Bin
-  - Clothesline
-  - Air Conditioner unit
-  - Meter Box
-  - Hot Water Cylinder
-  - 1.8m to 2.1m Paling Fence
-  - 1.7m high Timber Screen
-  - 1.2m Timber Fence
-  - Solar Bollard Lighting
-  - Spotlight with Sensor
-  - Seeded Lawn
-  - Mulched Garden Bed
-  - Gravel Area - Fine
-  - Decorative Pebble
-  - Water
-  - Paving

Note
Refer to Planting Schedule & Details page for plant information.



NOT FOR CONSTRUCTION

<h1 style="margin: 0;">PINNACLE</h1>	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Landscaping Plan Revision: DA - 02 Approved by: #Approved by	Scale: 1:200 @ A3 Pg. No: L01	Proposal: Demolition & Proposed Storage Shed Client: O2BME CORPORATE PTY LTD Address: 8 Knoll Street Glenorchy - 7010	Date: 01/08/2025 Drawn by: JRM Job No: 054-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="font-size: 8px;">Issue</th> <th style="font-size: 8px;">Date</th> <th style="font-size: 8px;">Designer</th> </tr> </thead> <tbody> <tr> <td colspan="3" style="text-align: center; font-size: 8px;">NOTE: Refer to cover page for further details on changes.</td> </tr> </tbody> </table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
	Issue	Date	Designer												
NOTE: Refer to cover page for further details on changes.															
Document Set ID: 3587211 Version: 1, Version Date: 19/02/2026															

Planting Schedule

Symbol	Name	Qty	Pot Size	Height	Spread
	Abelia sp. or similar	4	tubestock	2,000	2,000
	Anigozanthos sp. or similar	1	35L	900	900
	Dianella tasmanica or similar	1	tubestock	1,000	1,000
	Hebe sp. or similar	1	tubestock	1,000	1,000
	Lavandula sp. or similar	1	140mm	700	800
	Lomandra sp. or similar	4	tubestock	600	800

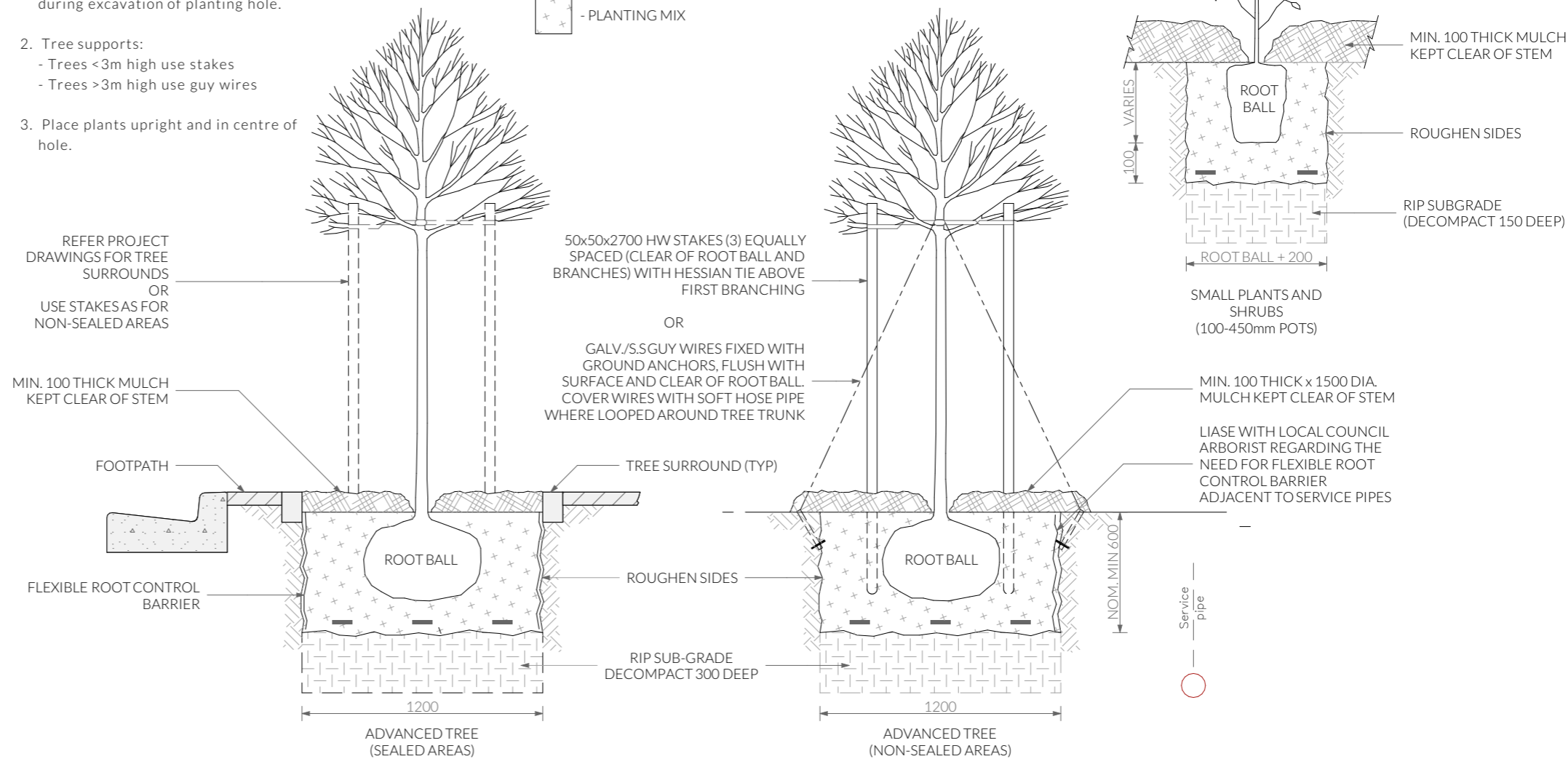
**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-250
DATE RECEIVED: 11 February 2026

Notes

- Liase with superintendent where clay or ground water is encountered during excavation of planting hole.
- Tree supports:
 - Trees <3m high use stakes
 - Trees >3m high use guy wires
- Place plants upright and in centre of hole.

KEY

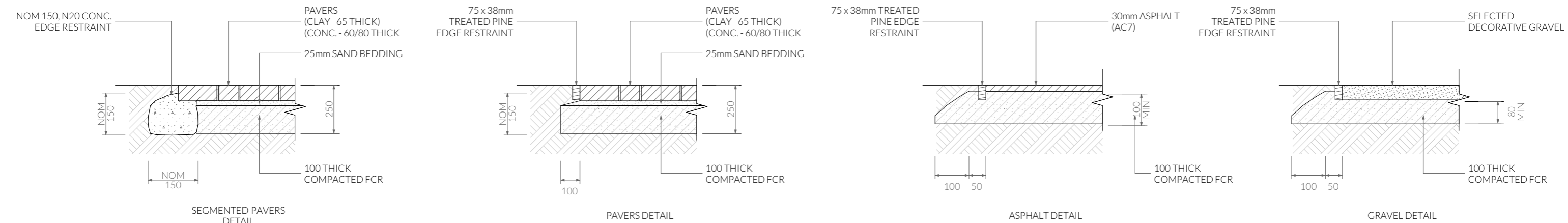
- SLOW RELEASE FERTILISER
- PLANTING MIX



Note

Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.

Tree and Shrub Planting



NOT FOR CONSTRUCTION

Pavement Details 1:20

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Planting Schedule & Details Revision: DA - 02 Approved by: #Approved by	Scale: @ A3 Pg. No: L.02	Proposal: Demolition & Proposed Storage Shed Client: O2BME CORPORATE PTY LTD Address: 8 Knoll Street Glenorchy - 7010	Date: 01/08/2025 Drawn by: JRM Job No: 054-2025 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Designer</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Issue	Date	Designer				These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.	
	Issue	Date	Designer											
Document Set ID: 3587211 Version: 1, Version Date: 19/02/2026														

Dear whom this may concern,

PLN-25-250
8 Knoll Street, Glenorchy

In response to your correspondence dated 22 January 2026
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
1	<p>Clause 6.1.3</p> <ul style="list-style-type: none"> The submitted plans do not clearly show the use and development site, and the drawings are too faded to be legible. This request is to enable assessment of the application in accordance with the standards of the Scheme. Floor plan and elevations of proposed structure if applicable <p>Outdoor storage if applicable</p> <p>Please provide a copy of scaled and dimensioned plans showing the following:</p> <p>Comment: There appears to be an area of confusion regarding the hatched area and annotations, can you please provide clarification. Please see the extract below.</p>	<p>Updated drafting corrections now clearly distinguish between the Retaining Walls and the Service Bay. A proposed legend has been added to the site plan for further clarity. Please also refer to the updated Existing Demolition Plan, which removes previous confusion between Existing, Demolition, and Proposed elements.</p> <p>For scaled dimensions of the storage shed, refer to drawings A.04 – Proposed Storage Shed: Floor Plan & Elevations.</p>
2	<p>The proposed plans do not show if there will be outdoor storage areas. If an outdoor storage area is to be included, this will need to be screened from the road. Please note that reliance on the performance criteria requires outdoor storage areas to minimise visual intrusion when viewed from the road.</p> <p>Please demonstrate that the proposal satisfies the performance criteria P1 of Clause 18.4.4 Outdoor storage areas, Tasmanian Planning Scheme - Glenorchy.</p> <p>Comment: As discussed, there is some confusion surrounding the oblong hatched area in front of the building located to the rear of the property.</p>	<p>Updated drafting corrections now clearly distinguish between the Retaining Walls and the Service Bay. A proposed legend has been added to the site plan for further clarity. Please also refer to the updated Existing Demolition Plan, which removes previous confusion between Existing, Demolition, and Proposed elements</p>
3	<p>Please provide a loading bay in accordance with Clause C.2.5.4 – Standard A1.</p> <p>Comment:</p>	<p>Please see the additional documents demonstrating the turning requirements for an MRV vehicle. Refer to Sheet C.03 – Parking MRV.</p>

PINNACLE

	<p>The proposed loading bay must comply with the loading bay requirements of the planning scheme (C2.6.6). The Acceptable Solution must be demonstrated; otherwise, Performance Criteria P1 and P2 must be adequately addressed.</p> <p>If forward entry and exit cannot be achieved, A Traffic Impact Statement (TIS) is required to demonstrate heavy vehicle swept paths. The TIS must demonstrate how vehicles can safely reverse to the road when all car parking spaces in the vicinity of the driveway are occupied.</p> <p>All items relevant to P1 and P2 must be fully considered and addressed.</p>	
4	<p>Please provide a stormwater concept plan showing the capture and disposal of all stormwater run-off from the proposed driveway, parking and any new hardstand areas to Council's approved outlet.</p> <p>Comments:</p> <p>It is not clear how the surface runoff from the red area below can be managed.</p> <p>It is recommended that a trench drain is added within the orange area shown below so all additional runoff can be captured and drained into the proposed pit.</p> <p>Edge treatment needs to be considered. This must be clearly demonstrated in the plans, so no surface runoff can enter to 6 Knoll Street property.</p>	<p>Please see the updated site plan, which now includes additional spot levels and indicates a 4.31% fall.</p> <p>An additional grated drain has been incorporated and connected to the existing stormwater pit.</p> <p>Refer to the site plan for the proposed 50 mm kerb and gutter added along the existing driveway to ensure no surface runoff enters 6 Knoll Street.</p>
5.	<p>Layout of driveway and parking areas must be in accordance with the AS2890.1:2004 and the Scheme requirements.</p> <p>Please clearly show on the parking plan details of the proposed driveway, access and parking areas including gradients, parking area, spot levels, manoeuvring area, materials, finishing surface and drainage details must be submitted to demonstrate compliance and shall comply with the following:</p> <p>(a) Have car parking space dimensions which satisfy the requirements in Table C2.3.</p> <p>Comment:</p> <p>Partially satisfied. The length of the parking spaces have not been dimensioned.</p>	<p>Please see the updated site plan, which now demonstrates the length of each car space.</p>

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,