

DEVELOPMENT APPLICATION

APPLICATION NUMBER:	PLN-25-379
PROPOSED DEVELOPMENT:	Two Multiple Dwellings (one existing one new)
LOCATION:	9 O'Brien Street Glenorchy
APPLICANT:	Ck Drafting & Design
ADVERTISING START DATE:	24/02/2026
ADVERTISING EXPIRY DATE:	11/03/2026

Plans and documentation are available for inspection at Council's Offices, located at 374 Main Road, Glenorchy between 8.30 am and 5.00 pm, Monday to Friday (excluding public holidays) and the plans are available on Glenorchy City Council's website (www.gcc.tas.gov.au) until **11/03/2026**.

During this time, any person may make representations relating to the applications by letter addressed to the Chief Executive Officer, Glenorchy City Council, PO Box 103, Glenorchy 7010 or by email to gccmail@gcc.tas.gov.au.

Representations must be received by no later than 11.59 pm on **11/03/2026**, or for postal and hand delivered representations, by 5.00 pm on **11/03/2026**.

JB1 - PROPOSED UNIT FOR TIM & CHLOE LEWINSKI AT 9 O'BRIEN STREET, GLENORCHY

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**
APPLICATION No. : PLN-25-379
DATE RECEIVED: 19 February 2026



166 Clarence Street, Bellerive, Tasmania. 7018
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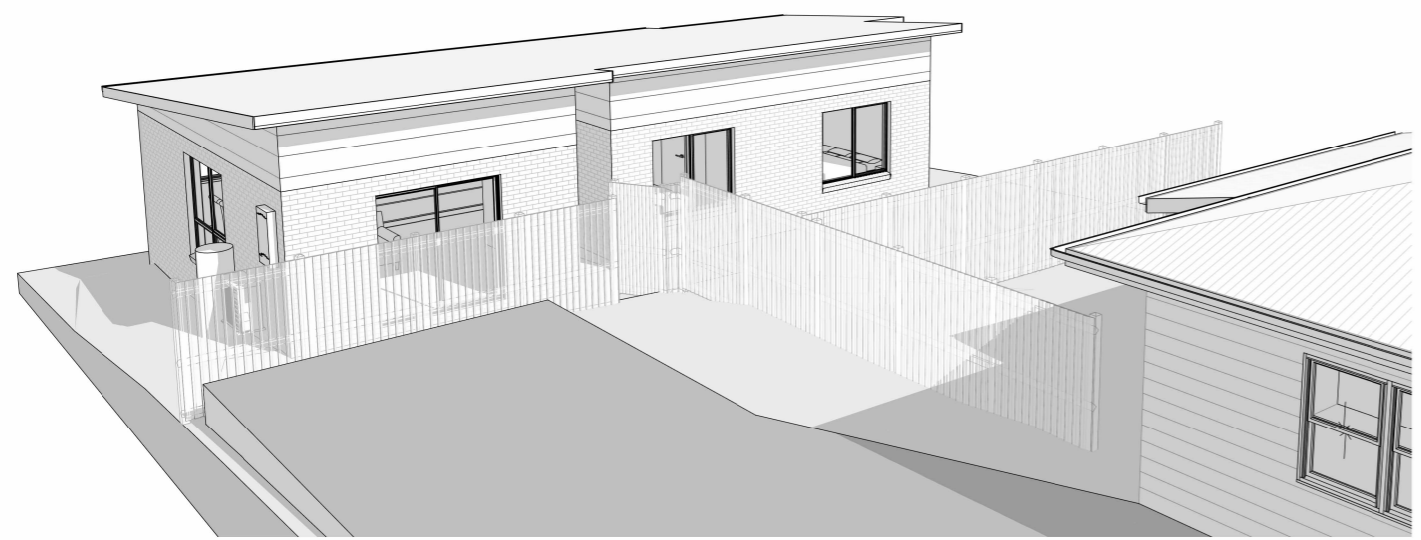
Architectural Drawing No.	Description	Architectural Drawing No.	Description		
01	A	05	C	EXISTING SITE PLAN	SECTION
01a	C	06	C	PROPOSED SITE PLAN	UNIT 2 ROOF PLAN
01b	B	07	C	VEHICLE MANOEUVRING PLAN SHEET 1	UNIT 2 ELECTRICAL PLAN
01c	B	08	C	VEHICLE MANOEUVRING PLAN SHEET 2	UNIT 2 FLOORING LAYOUT PLAN
01d	B	09		CROSSOVER & APRON DETAIL	LIGHTING CALCULATIONS, INSULATION & WINDOW SCHEDULE
01e	A	10		UNIT 1 FLOOR PLAN (EXISTING)	COMPLIANCE NOTES
01f	A	10a		UNIT 1 ELEVATIONS (EXISTING)	LIVABLE HOUSING NOTES 1 of 3
02	C	10b		DRAINAGE PLAN	LIVABLE HOUSING NOTES 2 of 3
03	C	10c		UNIT 2 FLOOR PLAN	LIVABLE HOUSING NOTES 3 of 3
04	C	11		UNIT 2 ELEVATIONS	WET AREA SPECIFICATIONS
04a	C	11a		PERSPECTIVES	STAIR NOTES

PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTION COATING	
		General structural steel members	Lintels in masonry
LOW mild steel corrosion rate 1.3 to 25 µm/year Typically remote inland areas or more than 1 km from sheltered bays	INTERNAL	No protection required	
	EXTERNAL	Option 1 Hot dip galvanising - HDG75 Option 2 Duplex system. See N.C.C. Table 6.3.9c Option 3 Paint. See N.C.C. Table 6.3.9b - ALC2, ACC2, IZS1, PUR2A	

Climate Zone - 7
 C.T. No. 47771/12
 Wind Speed - N2
 Soil Classification - M
 Corrosion Environment - LOW

FLOOR AREA = 102.5m²
 = 11.0 sq



NOTES:
 1. Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
 2. The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
 3. Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
 4. All zinc coatings (including inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
 5. Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
 6. Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
 7. For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
A	23 January 2026	01 - 01c, 01e, 02	Council RFI (12 January 2026): Provide elevations of existing dwelling, Provide vehicle manoeuvring plans demonstrating all parking spaces can leave site in a forward motion, Amend access to indicate removal of existing crossover and installation of new crossover in accordance with LGAT TSD-v3, Provide 2x 2000ltr detention tanks for individual units in lieu of 1x 5000ltr.
B	12 February 2026	01 - 01d	Council RFI (05 February 2026): Amend driveway design to allow easier vehicle manoeuvring, Add sheet detailing new apron & crossover.
C	19 February 2026	01a, 02 - 04 - 08	Client change: Brick veneer construction in lieu of lightweight cladding, Update all affected plans & calculations.

BAL - Not Bushfire Prone
 As shown in the Tasmanian
 Planning Scheme Overlay

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DRAWING: COVER SHEET
 DATE: 12 December 2025
 FILE NAME: JB1 - DA - Rev C - 190226
 DRAWN BY: CK
 DWG No: **COVER SHEET**

- 12 DECEMBER 2025 ● Preliminary drawings
- 12 DECEMBER 2025 ● Development application drawings (DA)
- Preliminary construction drawings
- Engineer not to sign this copy, only provide notes, additions & amendments
- Final construction drawings (BA)
- Approved by Engineer
- Approved by Building Surveyor

NOTES:

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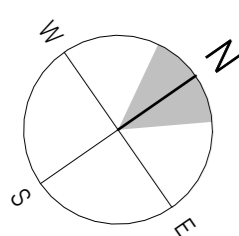
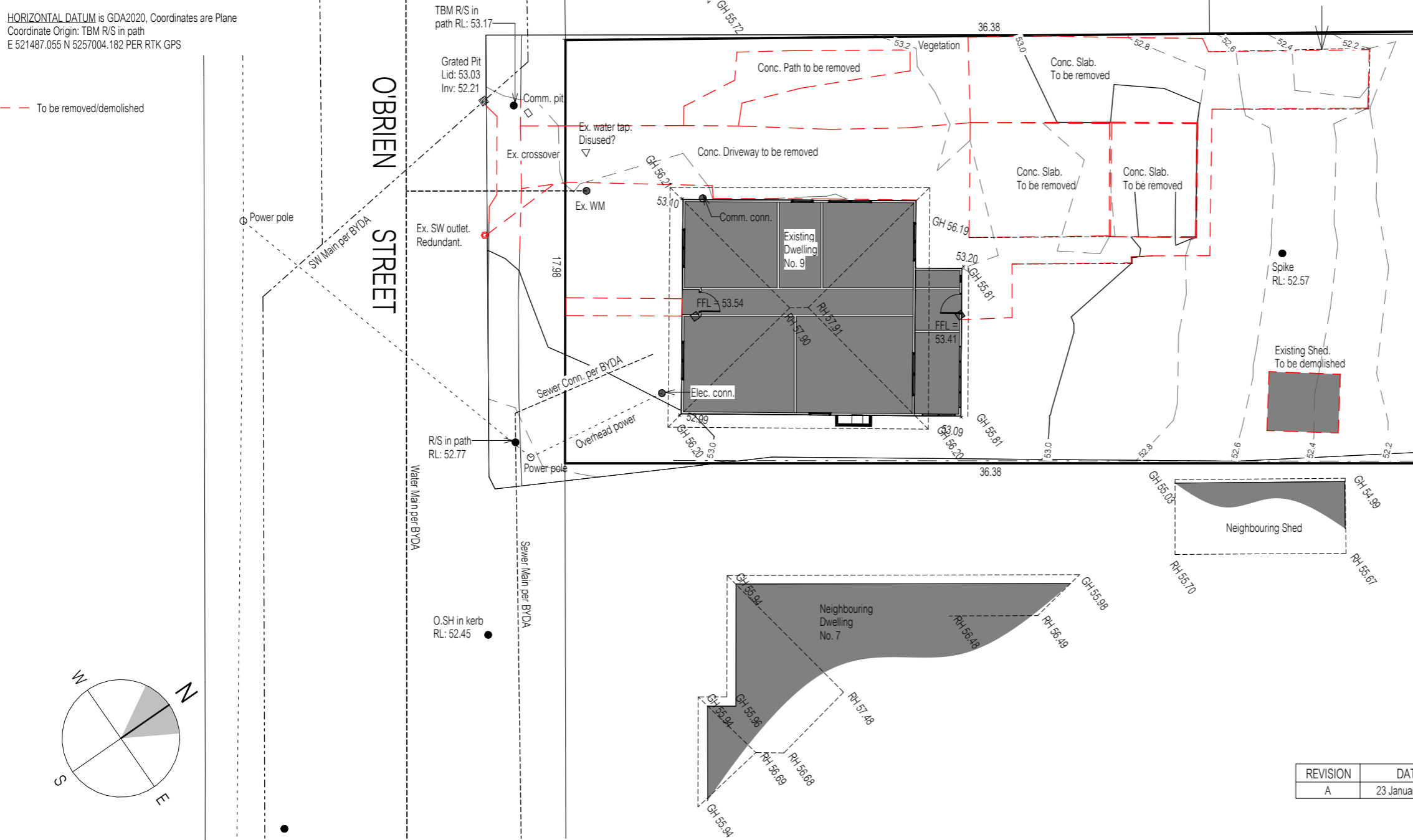
HORIZONTAL DATUM is GDA2020, Coordinates are Plane
Coordinate Origin: TBM R/S in path
E 521487.055 N 5257004.182 PER RTK GPS

--- To be removed/demolished

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Scale 1 : 200

**PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY**

REVISION	DATE	DESCRIPTION
A	23 January 2026	Changes as per Cover Sheet

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Planning Scheme Overlay

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DRAWING: EXISTING SITE PLAN

DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

NOTES:

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HORIZONTAL DATUM is GDA2020, Coordinates are Plane Coordinate Origin: TBM R/S in path
E 521487.055 N 5257004.182 PER RTK GPS

PARKING SPACE NOTE:

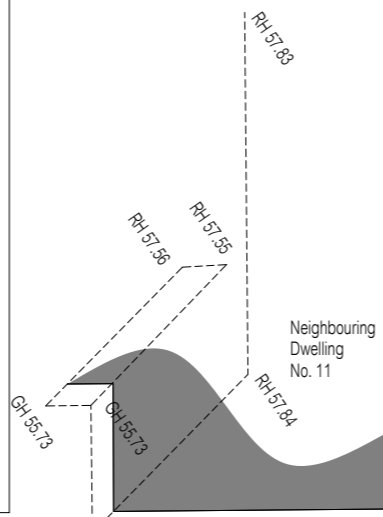
It is acknowledged that 1 visitor parking space has not been provided for the site, however in alignment with C2.5 (P1.2): (a)(b) The nature and intensity of the use will be residential. Compliant parking spaces have been provided to cater for the bedroom amounts of both units. The exception is the visitor parking.

Due to the infrequent use of a visitor parking space the ample kerb-side parking directly in front of the property should be deemed sufficient to cater for the needs of a visitor parking space.

LINE OF SIGHT NOTE:

No front fences are proposed other than the privacy screen in front of P1 which is 2.6m away from the crossover and would be unlikely to hinder sight of a driver (assumed 2.5m in from road edge as per AS2890.1 2004).

Google Street View also clearly shows there are no obstructions either side of Lot 12 looking up and down O'Brien Street.

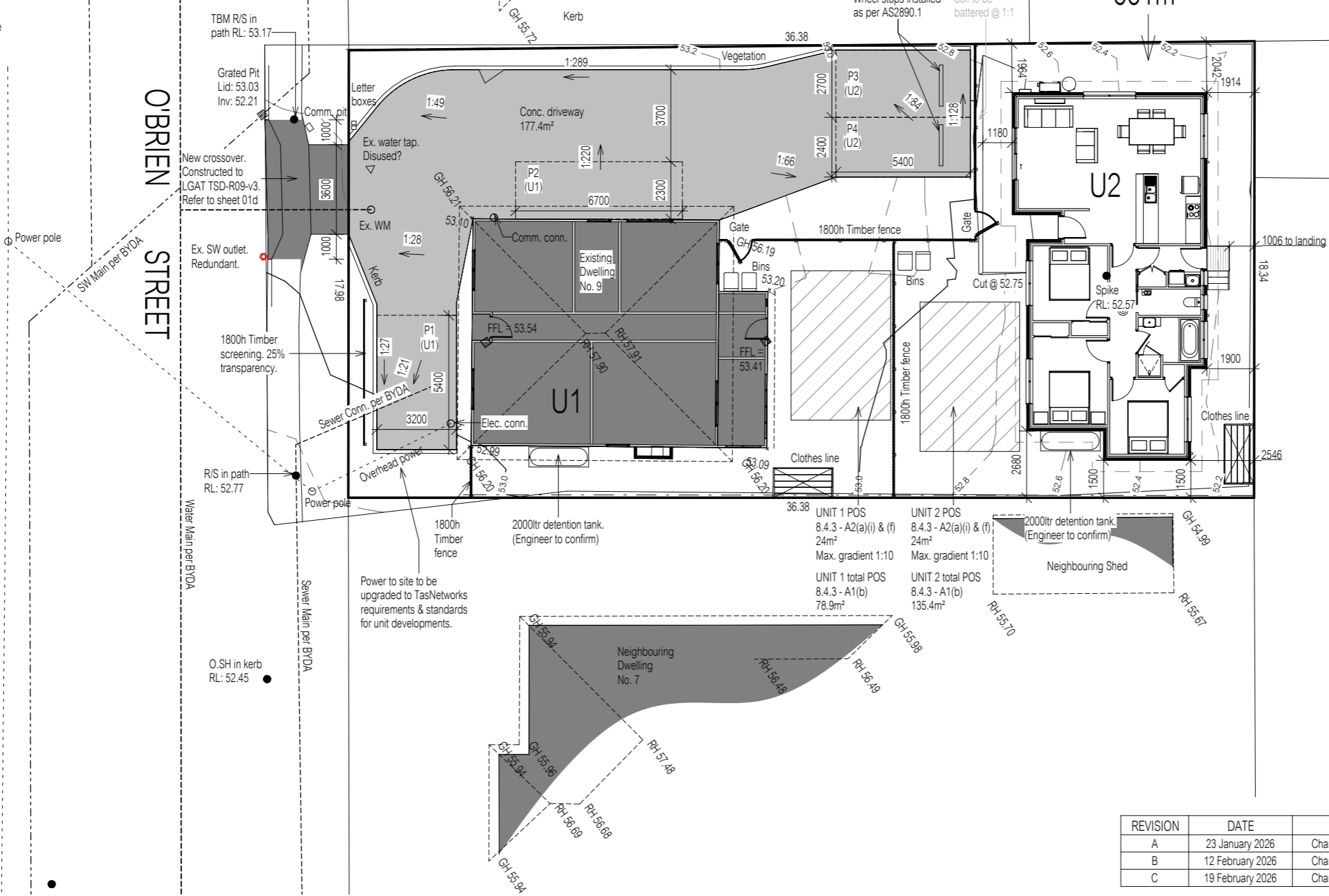


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C.T.47771/12
661m²



EXPLANATORY NOTES:
TASMANIAN PLANNING SCHEME GENERAL RESIDENTIAL

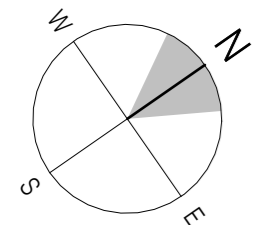
8.4.1 - Residential density for multiple dwellings:
A1 (a) SITE DENSITY:
Min. 325m² per unit
661m² / 2 (units) = 330.5m² provided

8.4.3 - Site coverage and private open space for dwellings:
A1 (a) SITE COVERAGE:
Max. 50% of site = 330.5m²
Proposed site coverage:
207.0m² (31.3%)

STORMWATER MANAGEMENT: Glenorchy Council
Existing impervious area = 316.4m²
Additional impervious area (excl. existing) = 160.1m²
= 3500ltr on-site detention tank required.

UNIT 1 POS	8.4.3 - A2(a)(i) & (f)	24m ²	Max. gradient 1:10
UNIT 2 POS	8.4.3 - A2(a)(i) & (f)	24m ²	Max. gradient 1:10
UNIT 1 total POS	8.4.3 - A1(b)	78.9m ²	
UNIT 2 total POS	8.4.3 - A1(b)	135.4m ²	

**PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY**



U1 (ex.) FFL 53.54
U2 FFL 52.90

Scale 1 : 200

REVISION	DATE	DESCRIPTION
A	23 January 2026	Changes as per Cover Sheet
B	12 February 2026	Changes as per Cover Sheet
C	19 February 2026	Changes as per Cover Sheet

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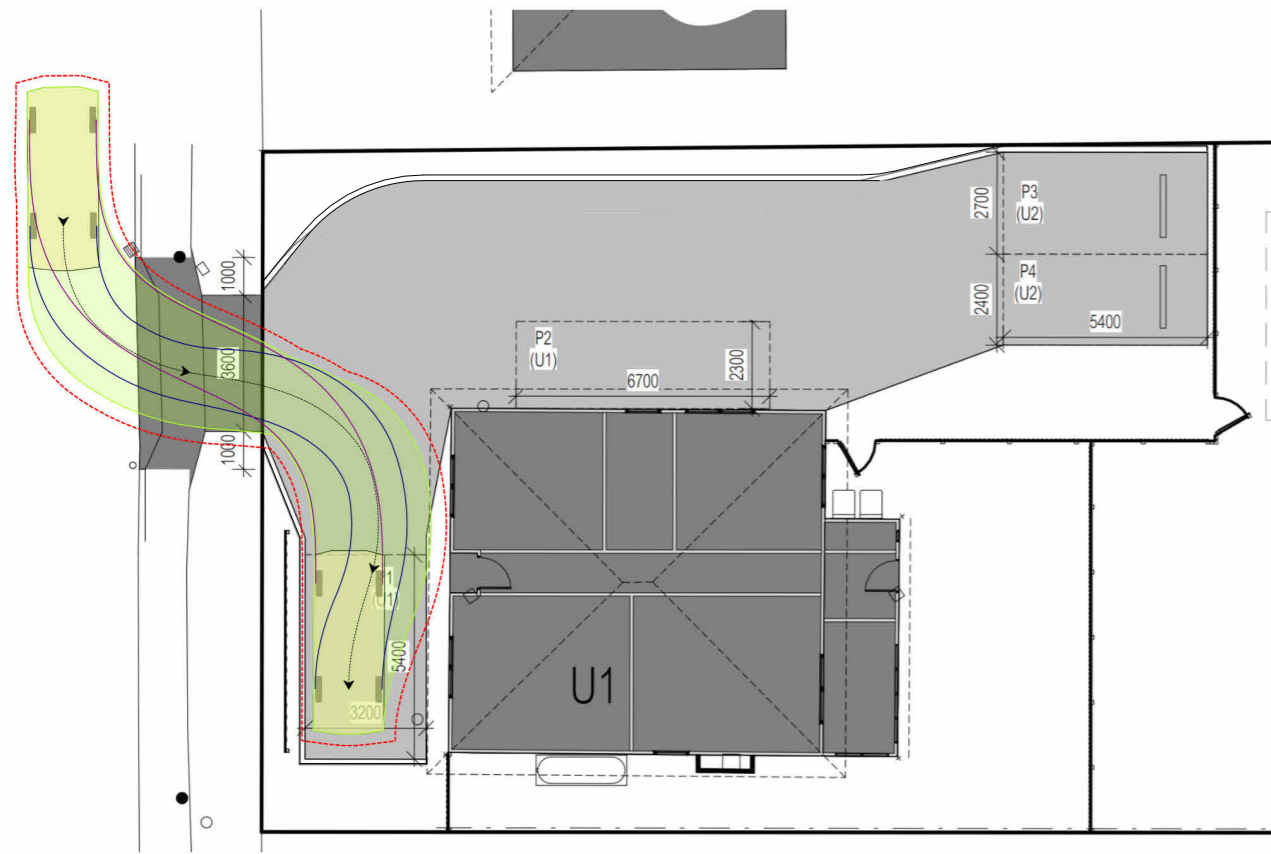
DRAWING: PROPOSED SITE PLAN

DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

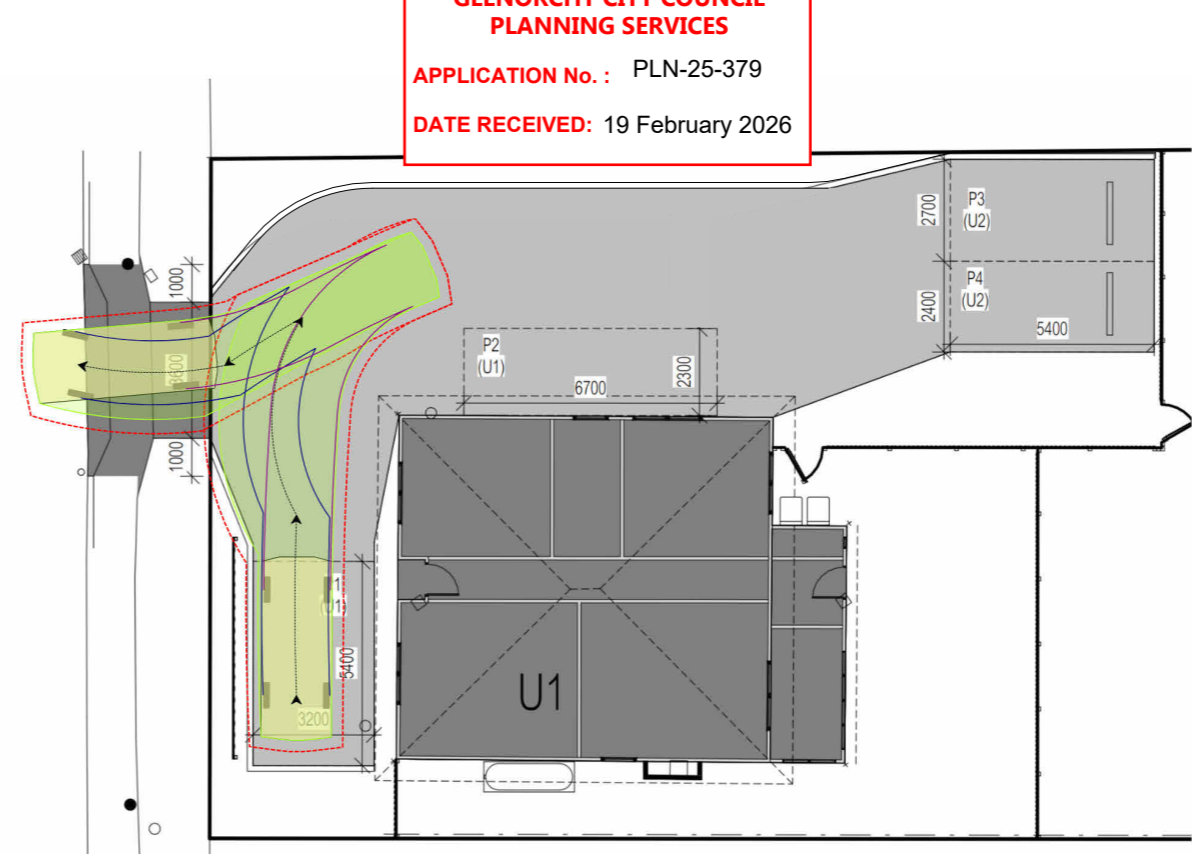
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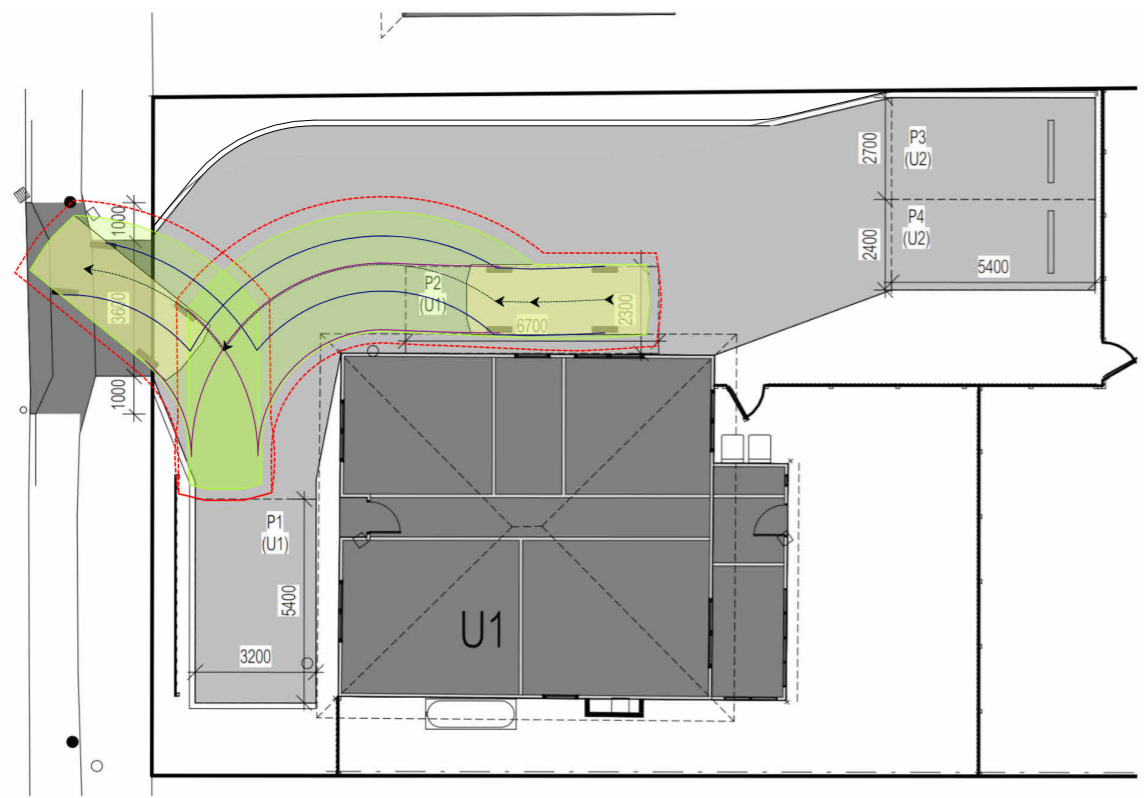
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P1 - PATH IN



P1 - PATH OUT

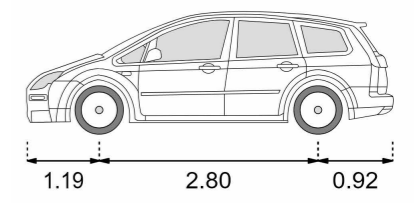


P2 - PATH OUT



P3 - PATH OUT

Vehicle dimensions



B85 Car

- Length: 4.86 m**
- Max width: 1.87 m**
- Lock to lock time: 4.0 s**
- Max steering angle: 33.73°**
- Turn radius (curb to curb): 5.80 m**
- Turn radius (wall to wall): 6.50 m**

--- 300mm clearance

BAL - Not Bushfire Prone
As shown in the Tasmanian
Planning Scheme Overlay

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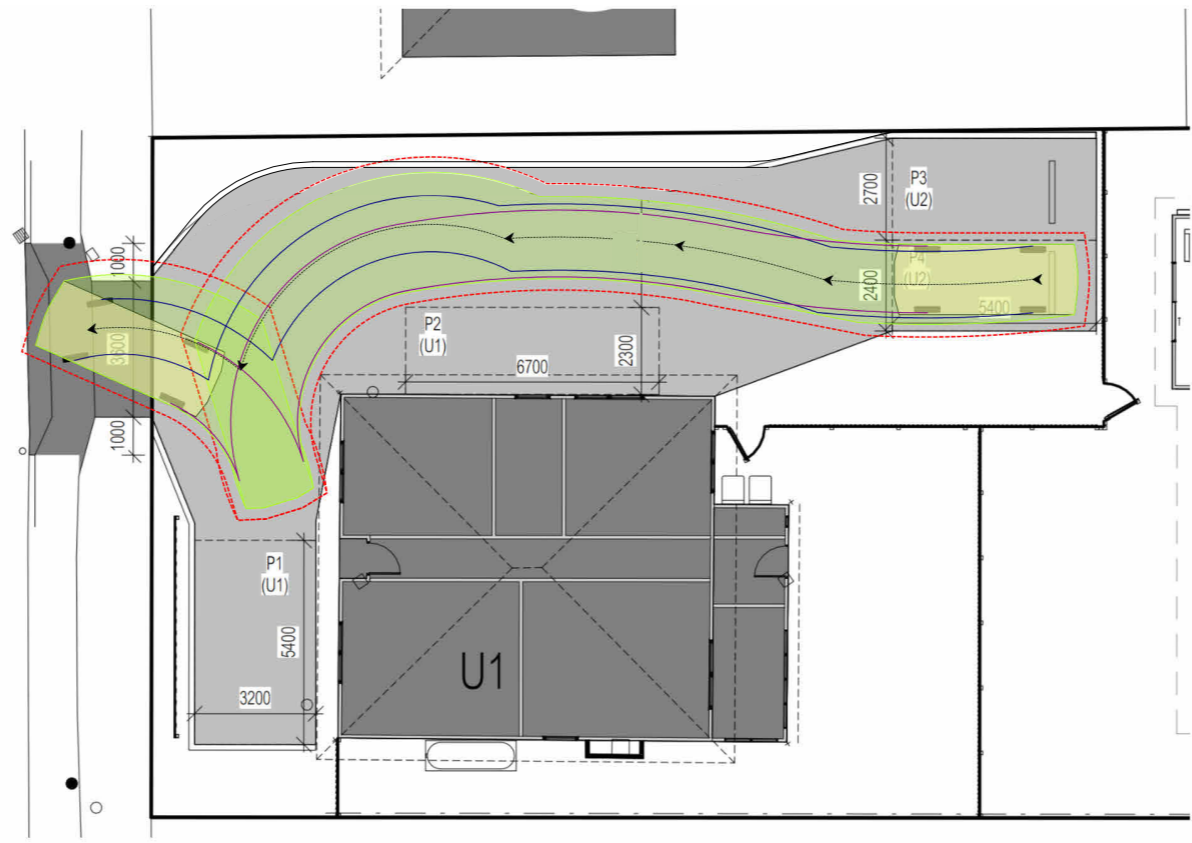
DRAWING: VEHICLE MANOEUVRRING PLAN SHEET 1

DATE: 23 January 2026
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

Scale 1 : 200

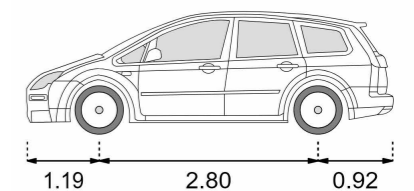
PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

01b



P4 - PATH OUT

Vehicle dimensions



B85 Car

- Length: 4.86 m**
- Max width: 1.87 m**
- Lock to lock time: 4.0 s**
- Max steering angle: 33.73°**
- Turn radius (curb to curb): 5.80 m**
- Turn radius (wall to wall): 6.50 m**

----- 300mm clearance

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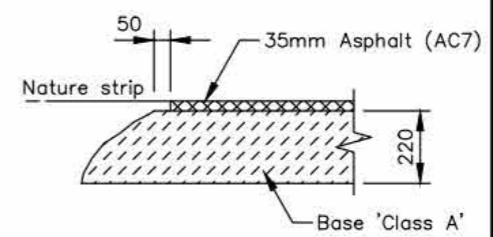
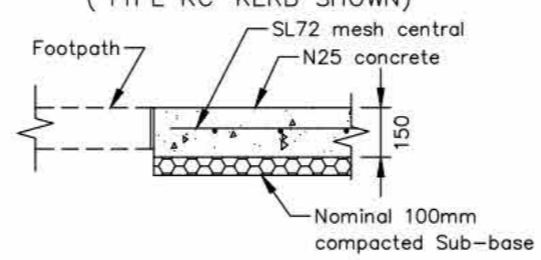
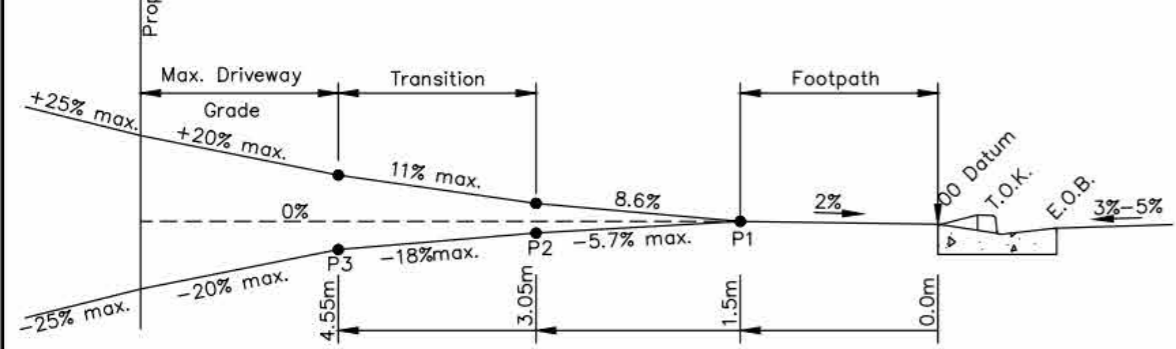
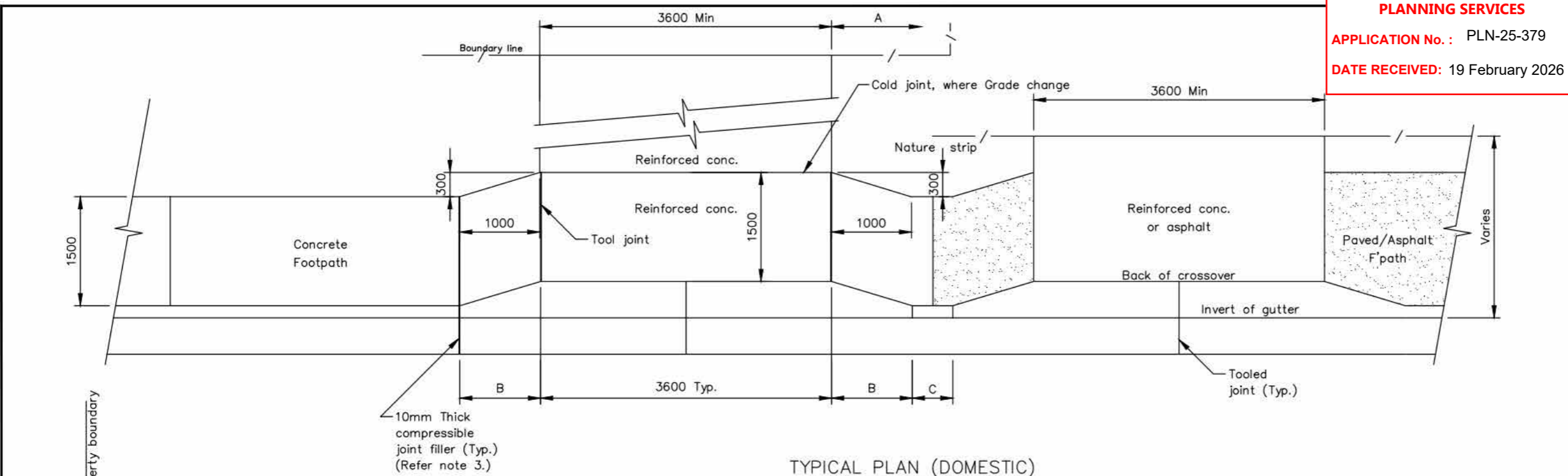
DRAWING: VEHICLE MANOEUVRING PLAN SHEET 2

DATE: 23 January 2026
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

Scale 1 : 200

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

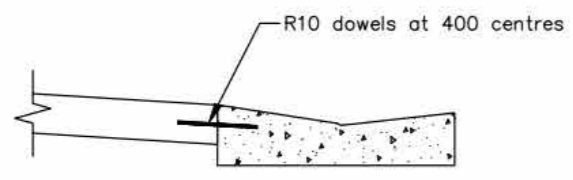
01c



DIMENSION TABLE - PLAN VIEW

Dim.	Description	Notes
A	Boundary Offset	New Subdivisions - 1000mm min. Established areas - Match existing
B	Transition (Wing)	Types 'KC' and 'KCM': B = 1000mm
C	Min. kerb Length	Delete transitions and construct continuous crossing if 'C' IS < 500mm

- CONSTRUCTION NOTES**
- Concrete surfaces - Edge tooled, broom finish.
 - The Principal may increase depth of base course(s) for subgrade strength (C.B.R. < 4.0%)
 - Extend 10mm compressible joint filler through concrete footpaths only (Refer sheet TSD-R11, Footpaths).
- DESIGN NOTES**
- Design driveway profiles (tabulated) are in accordance with the requirements of 'AS/NZS 2890.1 : 2004' using 'Standard Design Vehicles':
 - B85 Vehicle - Domestic driveways (including 1 - 2 units)
 - B99 Vehicle - Light commercial, large unit development.
 - An approved engineering design is required for varying site conditions and for driveways used by 'Non Standard' vehicles, detailing the structural, plan geometry and vertical profile requirements.
 - Maximum driveway width to be determined by a Council Officer
 - Fibre reinforcement is permissible but must be approved by the General Manager's delegated officer and the local council



SCALES: AS SHOWN
(All scales are correct at A3)

XRef File: TSD-R09-v3.dwg

REFERENCES

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TAS Division
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LGAT
Local Government Association
Tasmania

STANDARD DRAWING
URBAN ROADS
DRIVEWAYS

GPO Box 1521, Hobart, Tasmania 7001 | 326 Macquarie Street, Hobart, Tasmania 7000
T: 03 6233 5966 F: 03 6233 5986 Email: admin@lgat.tas.gov.au

ISSUE DATE: 18-09-2020 DWG No: TSD-R09-v3

REVISION	DATE	DESCRIPTION
B	12 February 2026	Changes as per Cover Sheet

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DRAWING: CROSSOVER & APRON DETAIL

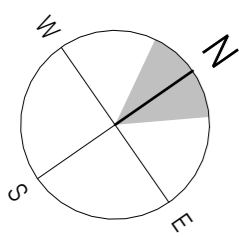
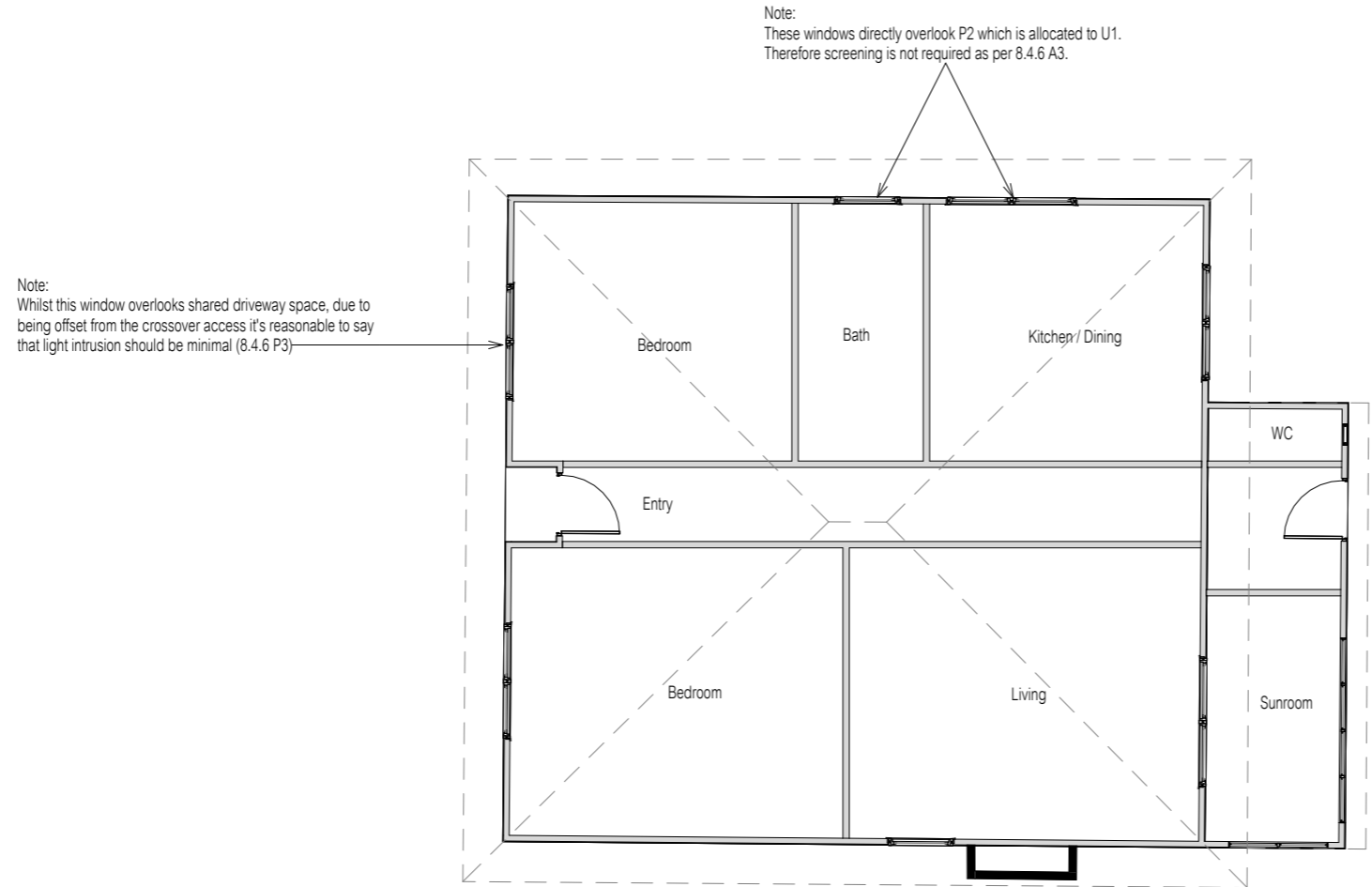
DATE: 12 February 2026
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

Scale

01d

FLOOR AREA = 102.7m²



Scale 1 : 100

**PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
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DRAWING: UNIT 1 FLOOR PLAN (EXISTING)

DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

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North East Elevation



South East Elevation



South West Elevation



North West Elevation

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DRAWING: UNIT 1 ELEVATIONS (EXISTING)
DATE: 21 January 2026
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

Scale 1 : 100

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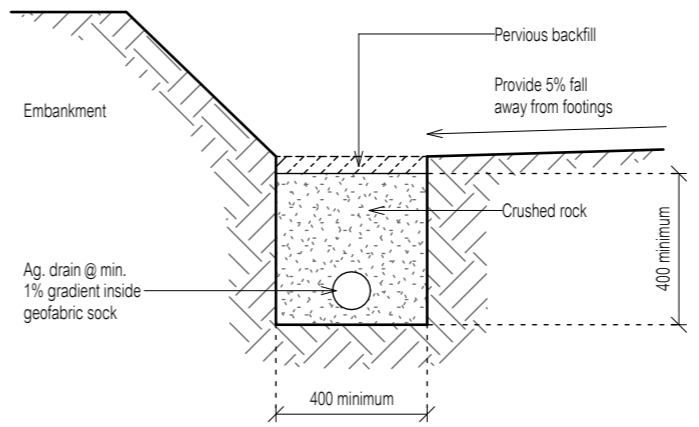
HORIZONTAL DATUM is GDA2020, Coordinates are Plane Coordinate Origin: TBM R/S in path
E 521487.055 N 5257004.182 PER RTK GPS

DRIVEWAY INFORMATION
Average 1:96 upslope from crossover to end of driveway. Provide grated drain and pit to roadside end of driveway plus other pits to driveway.
Provide kerb as indicated to side of driveway. Connect pits into stormwater. Driveway and path to be concrete, by builder.

**GLENORCHY CITY COUNCIL
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IMPORTANT NOTE:
This drainage plan is concept only and requires engineering assessment and design due to site falls and SW / Sewer connection inverts.

WATER CONNECTION UPGRADE NOTES:
- Existing water connection and meter to be upgraded.
- New DN32mm (ID25) PN16 PE water connection with 2 x DN20 water meters (re-use ex. if suitable) on a manifold as per TWS-W-0002 - Sheet 05 & 09



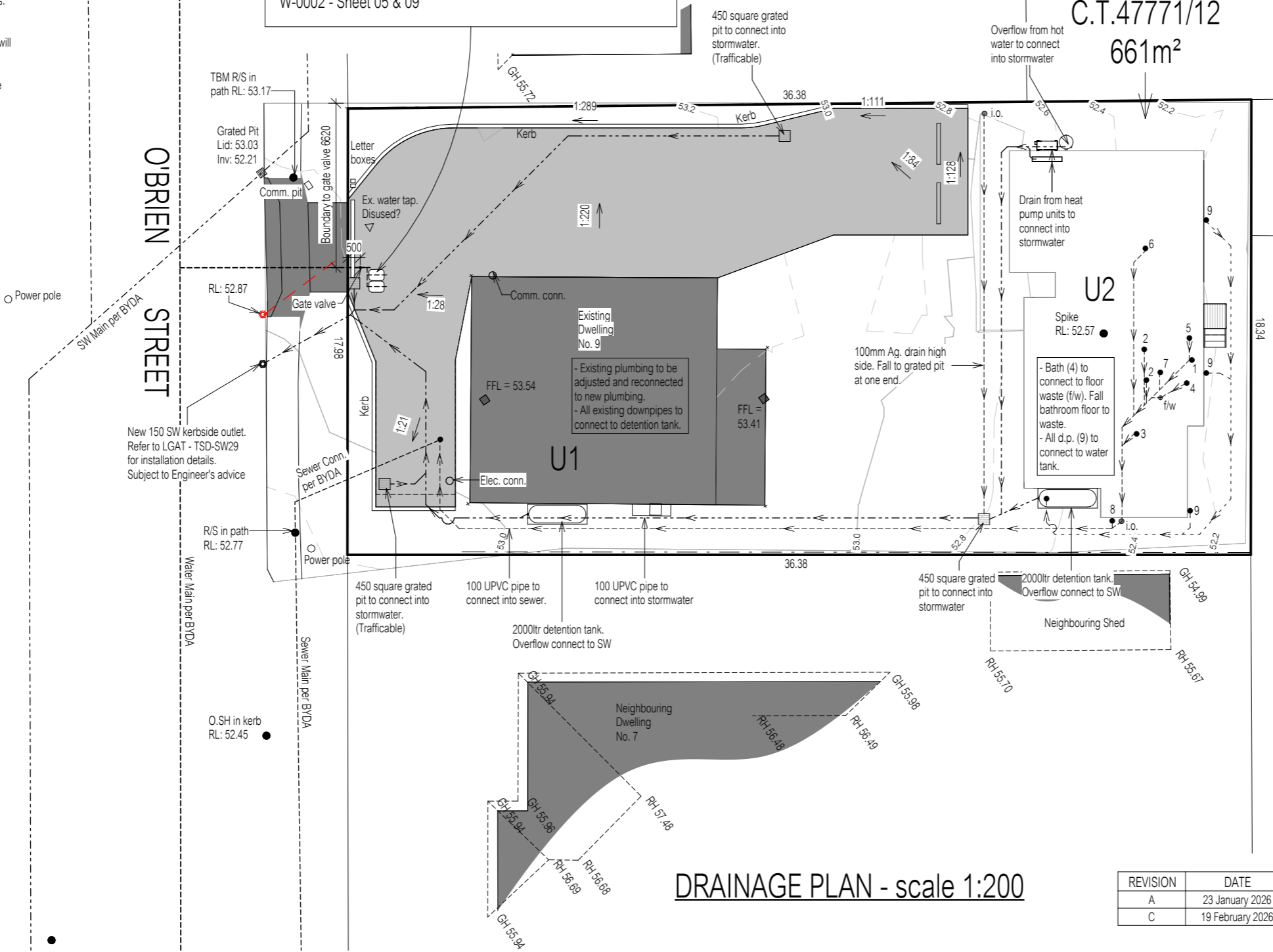
All materials and construction to comply with AS/NZS3500, 2025 and to be inspected and approved by a qualified engineer.

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DRAINAGE LEGEND

- 1 WC 100 dia
- 2 HANDBASIN 40 dia
- 3 SHOWER 50 dia
- 4 BATH 40 dia
- 5 LAUNDRY TROUGH 50 dia
- 6 KITCHEN SINK 50 dia
- 7 VENT 50 dia
- 8 TAP CHARGED O.R.G. MIN. 150mm BELOW FFL
- 9 DOWNPIPE 90 dia
- 10 TAP
- 11 INSPECTION OPENING TO GROUND LEVEL
- f/w FLOOR WASTE

NOTES:
- All drainage to be installed in accordance with AS/NZ3500 Part 2 & Part 3
- Water connection & metering work to be carried out in accordance with Water Services Association of Australia (WSAA) codes & TasWater supplementary codes, guides and technical specifications.
- Property sewer connections must be in accordance with the Sewerage Code of Australia Melbourne Retail Water Agencies Code section 6 of WSA 02—2014-3.1 MRWA Version 2.
- Sewer inspection openings (property sewer connection points) are to be in accordance with the Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02—2014-3.1 MRWA Version 2 standard drawings MRWA-S-301 to MRWA-S-304 and TasWater's supplement to the code
- Refer to Engineer documentation for drainage installation recommendations for Class M.



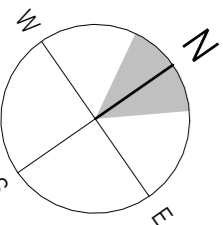
DRAINAGE PLAN - scale 1:200

REVISION	DATE	DESCRIPTION
A	23 January 2026	Changes as per Cover Sheet
C	19 February 2026	

**PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY**

BAL - Not Bushfire Prone
As shown in the Tasmanian Planning Scheme Overlay

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DRAWING: DRAINAGE PLAN
DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:



Scale As indicated

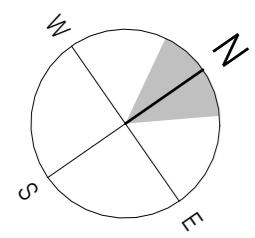
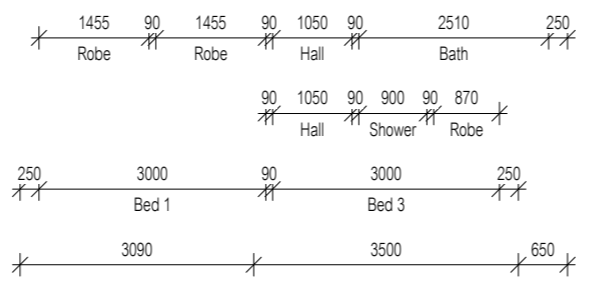
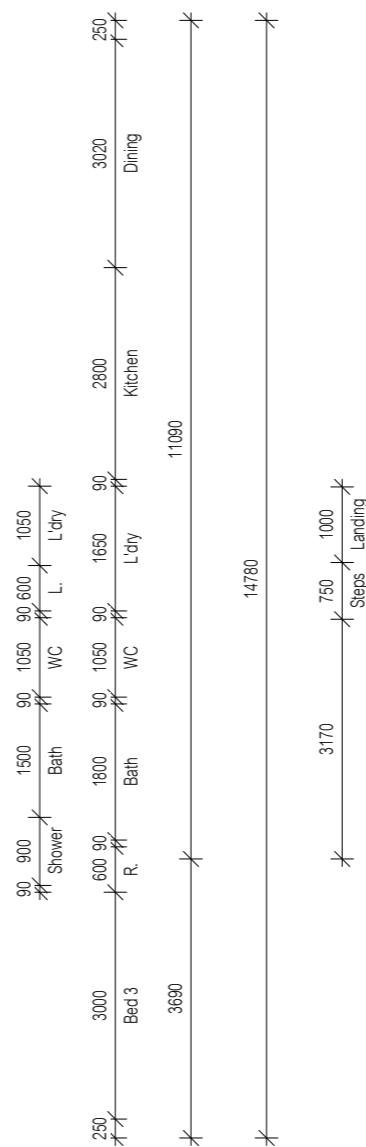
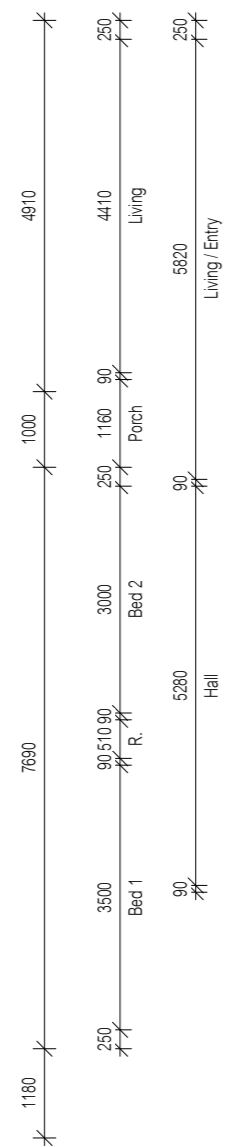
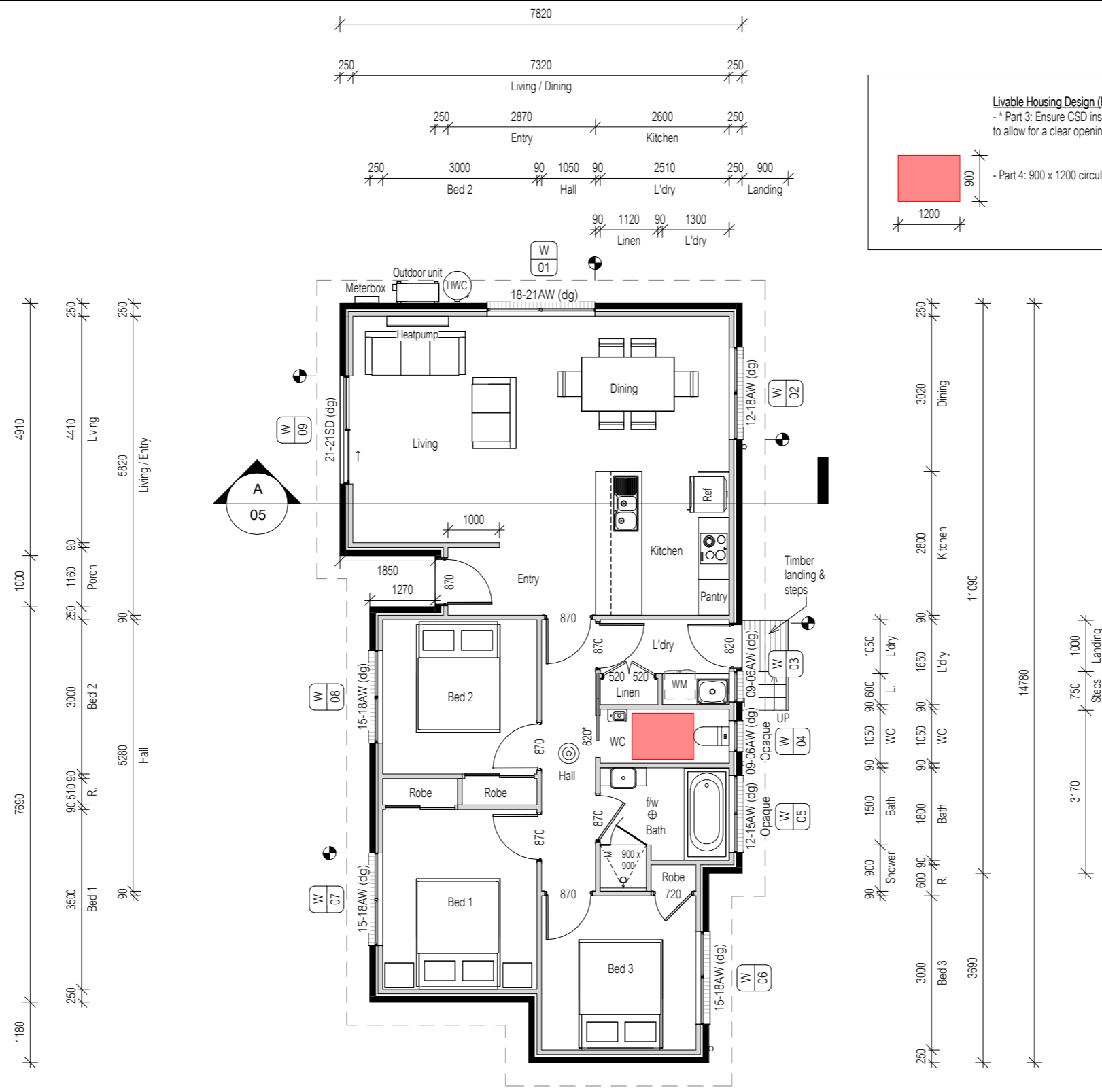
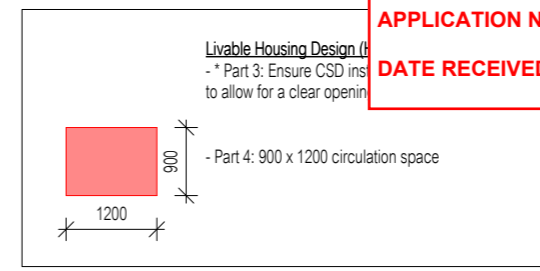


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FLOOR AREA = 102.5m²

Landing/Deck Areas = 1.6m²

Articulation joint



Scale 1 : 100

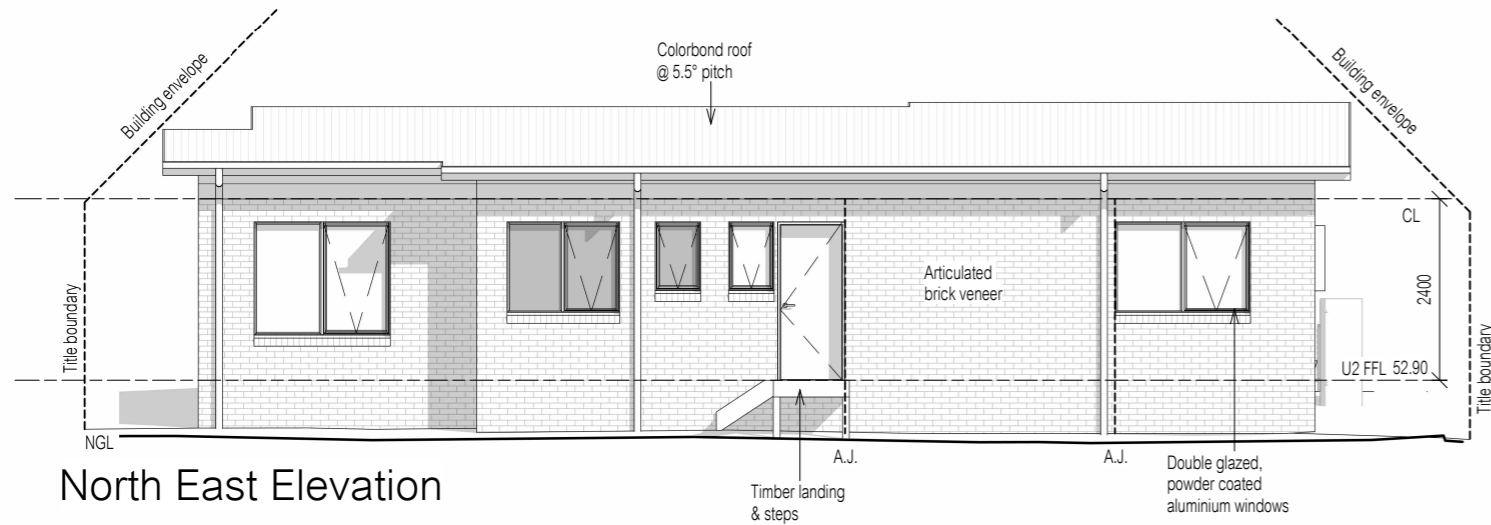
**PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY**

REVISION	DATE	DESCRIPTION
C	19 February 2026	Changes as per Cover Sheet

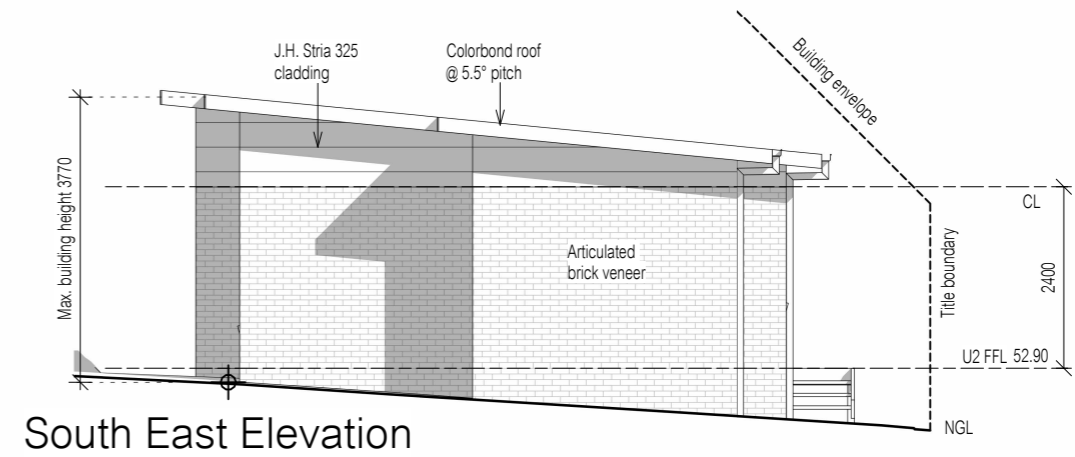
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DRAWING: UNIT 2 FLOOR PLAN

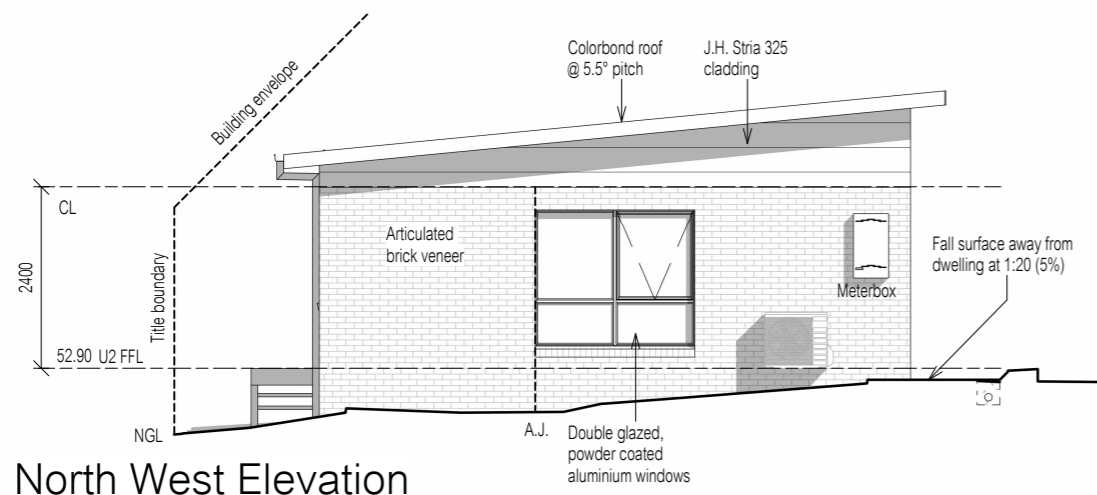
DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:



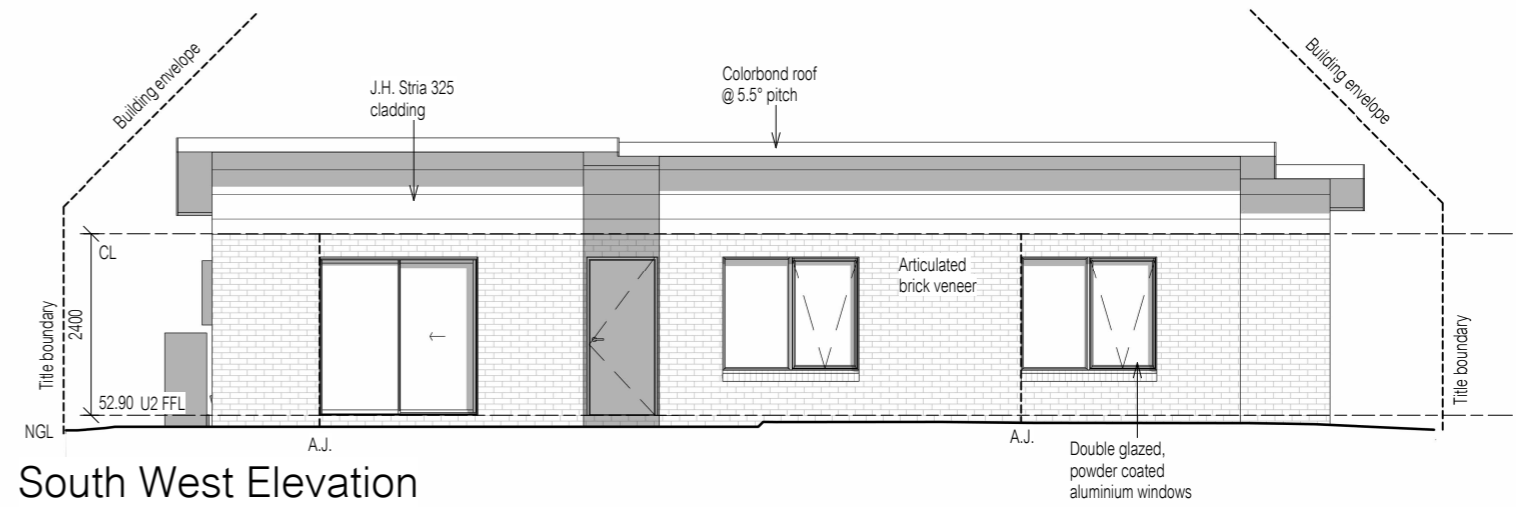
North East Elevation



South East Elevation



North West Elevation



South West Elevation

BAL - Not Bushfire Prone
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Planning Scheme Overlay

REVISION	DATE	DESCRIPTION
C	19 February 2026	Changes as per Cover Sheet

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DRAWING: UNIT 2 ELEVATIONS
DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

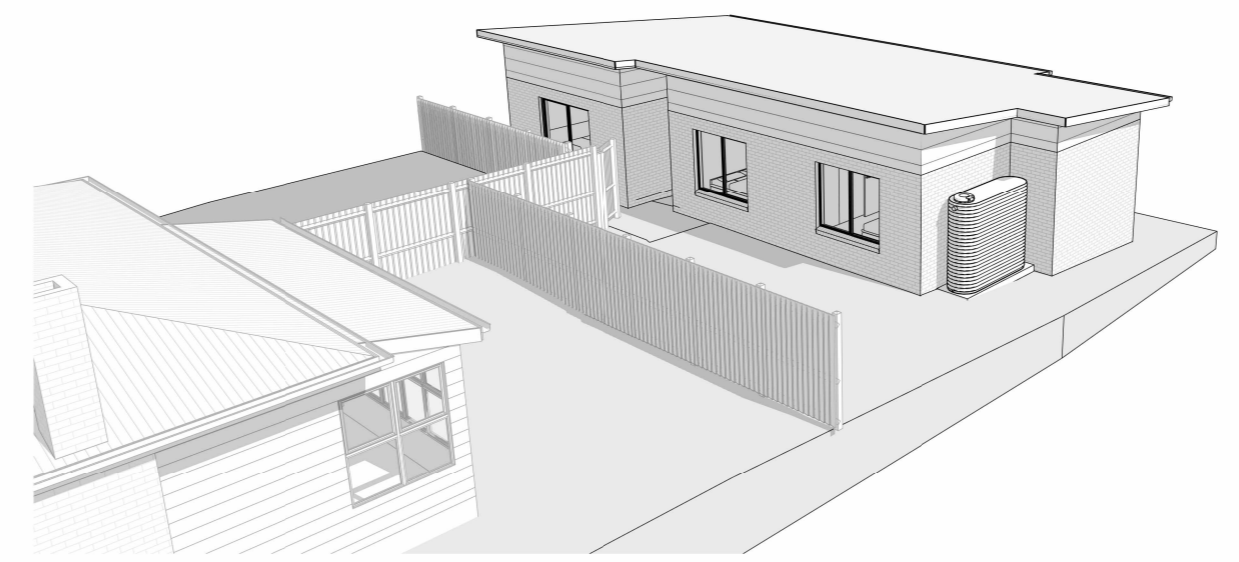
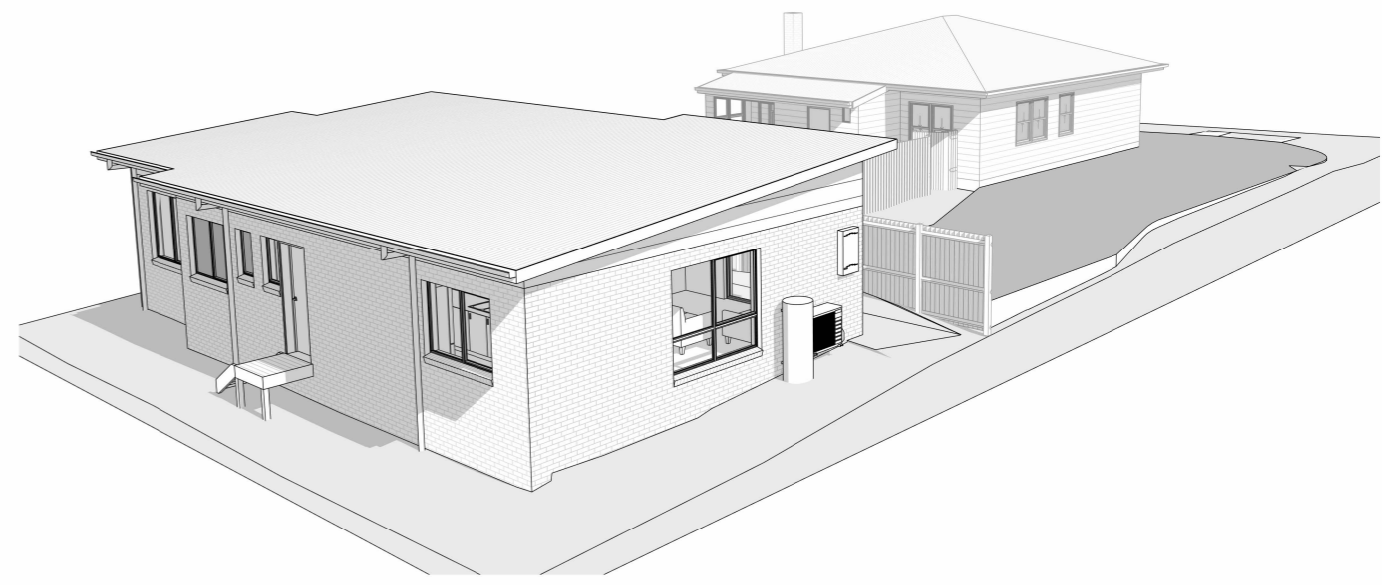
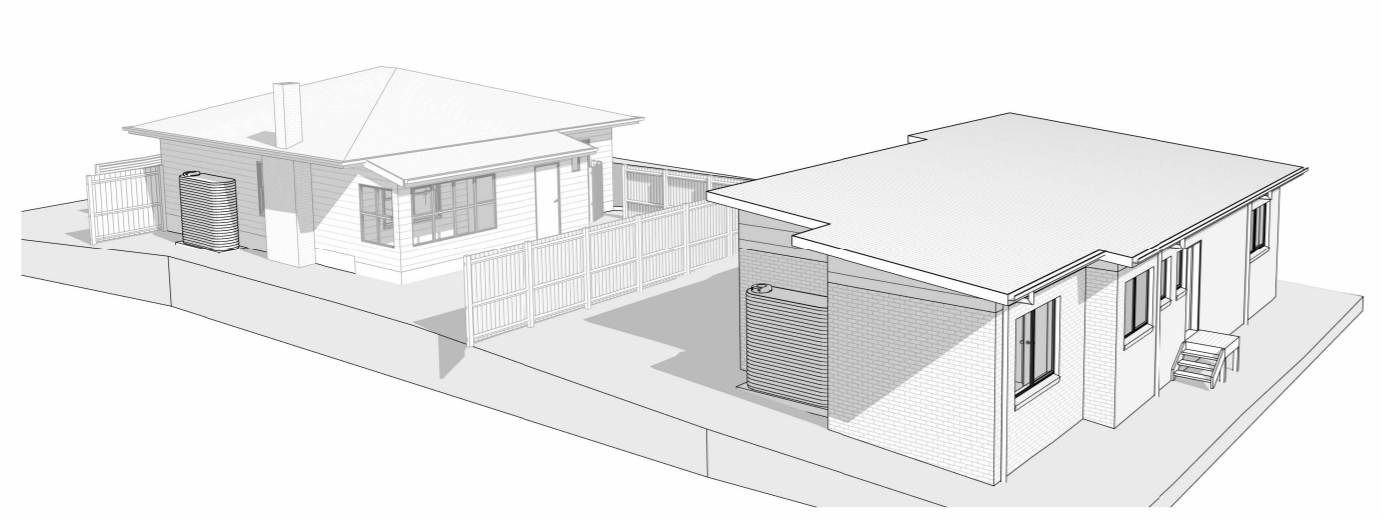
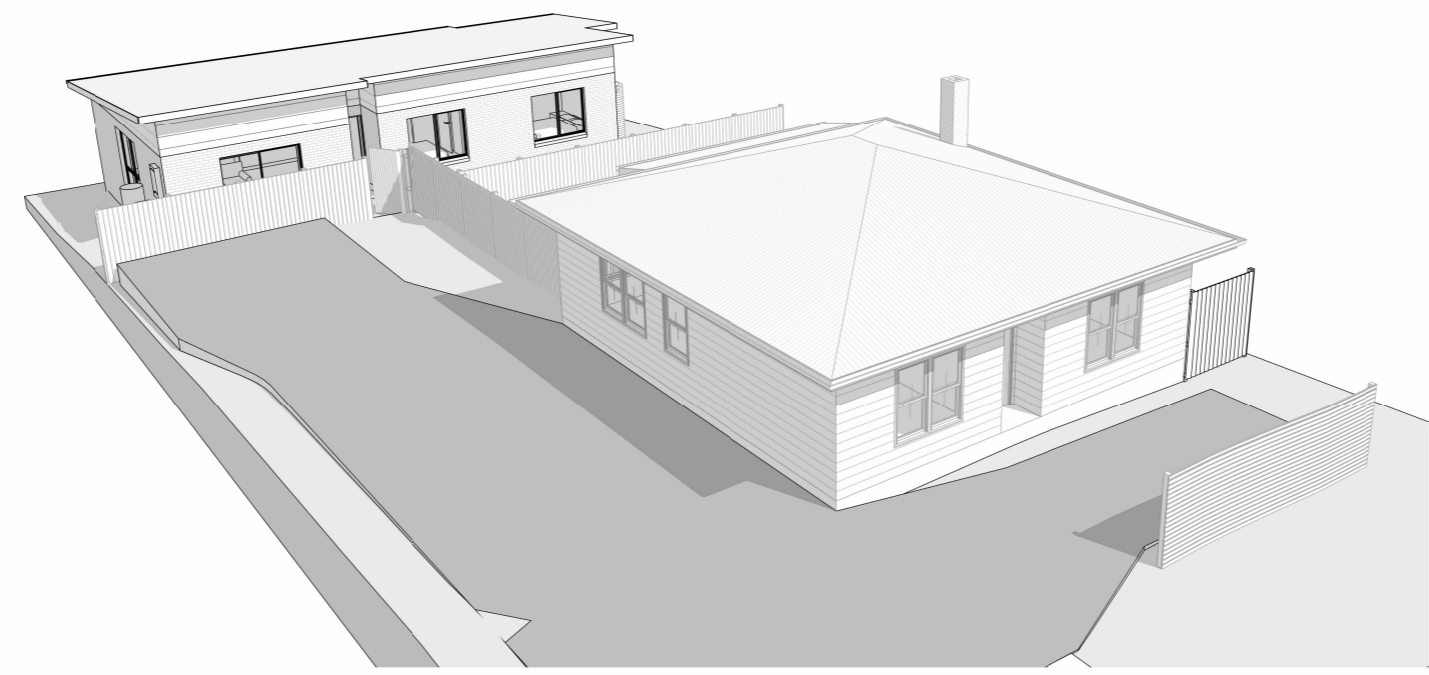
Scale 1 : 100



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REVISION	DATE	DESCRIPTION
C	19 February 2026	Changes as per Cover Sheet



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Planning Scheme Overlay

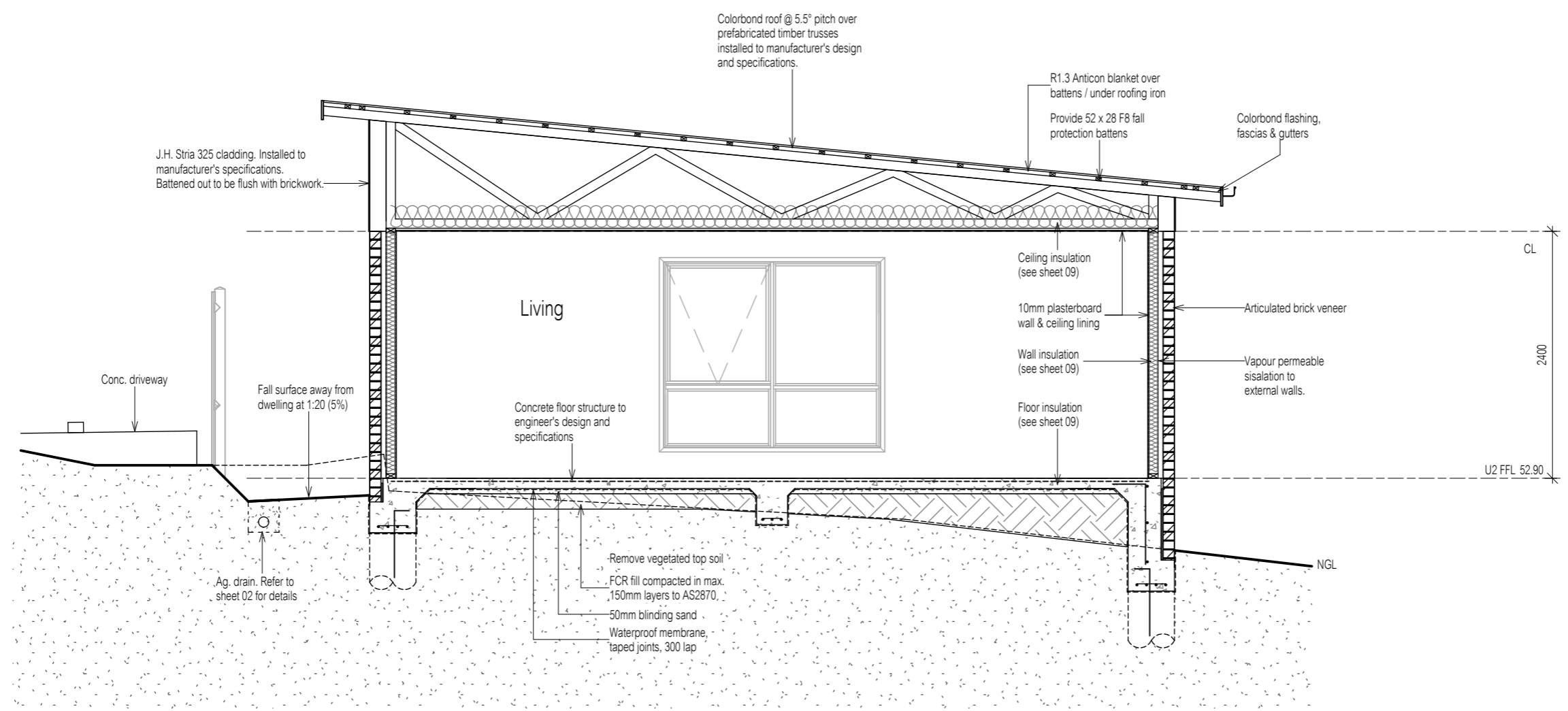
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DRAWING: PERSPECTIVES

DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
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**PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY**

Scale



Section A
Scale 1 : 50

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DRAWING: SECTION
DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

Scale 1 : 50

ROOF VENTILATION CALCULATIONS
(5.5° Skillion Roof- Flat Ceiling)

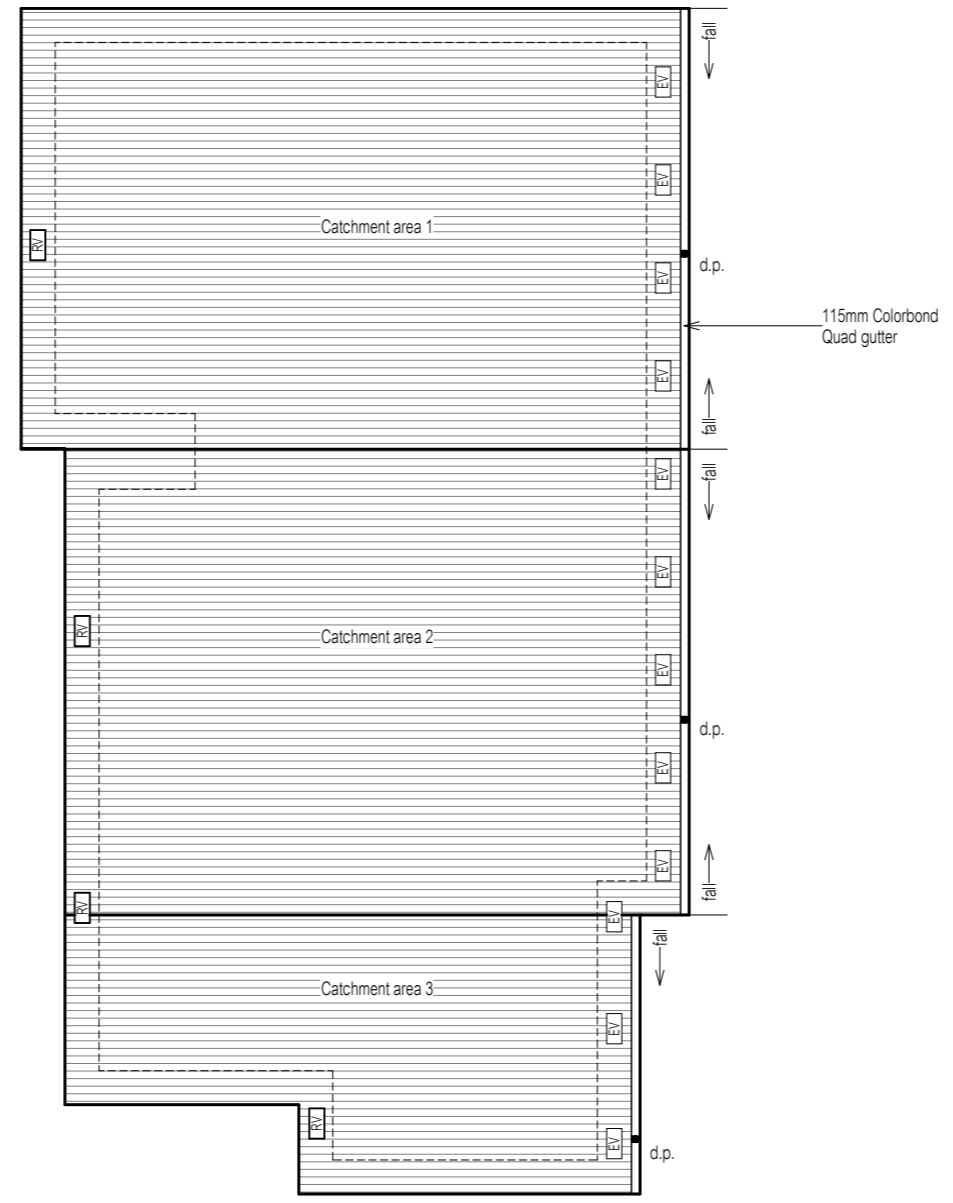
200 x 400 eave vents (0.08m²)
Ceiling area = 90.9m² / 150 = 0.606m²

Exhaust:
25% of 0.606m² = 0.152m²
0.152m² / 0.08m² = 1.89 (x2) = 4 ridge vents




Supply:
75% of 0.606m² = 0.455m²
0.455m² / 0.08m² = 5.68 (x2) = 12 eaves vents

RV 200 x 400 ridge vent (50% opening)

EV 200 x 400 eaves vent (50% opening)



CATCHMENT AREAS NOTES:
Colorbond roof @ 5.5° pitch
CATCHMENT AREA 1 = 54.1m²
CATCHMENT AREA 2 = 53.4m²
CATCHMENT AREA 3 = 25.6m²

-  denotes roof area
- d.p. ● denotes downpipe
- ← denotes direction of fall
-  denotes 200 x 400 ridge vent
-  denotes 200 x 400 eaves vent

IMPORTANT NOTES:
The position and quantity of downpipes are not to be altered without consulting with designer.
Areas shown are surface / catchment areas NOT plan areas.
All roof areas shown are indicative only and not to be used for any other purpose. Roof space must be ventilated.
Eave vents must be fitted to soffit with BAL compliant, non-combustible ember mesh installed (if BAL12.5 & over).
Vents must be in accordance with the NCC, BCA 2022, Volume 2, Part 10.8.3 'Ventilation of Roof Spaces'.

Ah	126.8	Area of roof (including 115mm Quad Gutter) (m ²)
Ac	133.1	Ah x slope factor (determined from Table 3.4.3.2 from AS/NZS 3500.3) (m ²)
Gutter type	A	Cross sectional area 6500mm ² (determined from NCC Table 7.4.3b)
DRI	86	Design Rainfall Intensity (determined from NCC Table 7.4.3d)
Acdp	70	Catchment area per 90mm downpipe (determined from NCC Table 3.5.2.2)
Downpipes Required	1.9	$\frac{Ac}{Acdp}$
Downpipes Provided	3	Additional d.p. due to roof design

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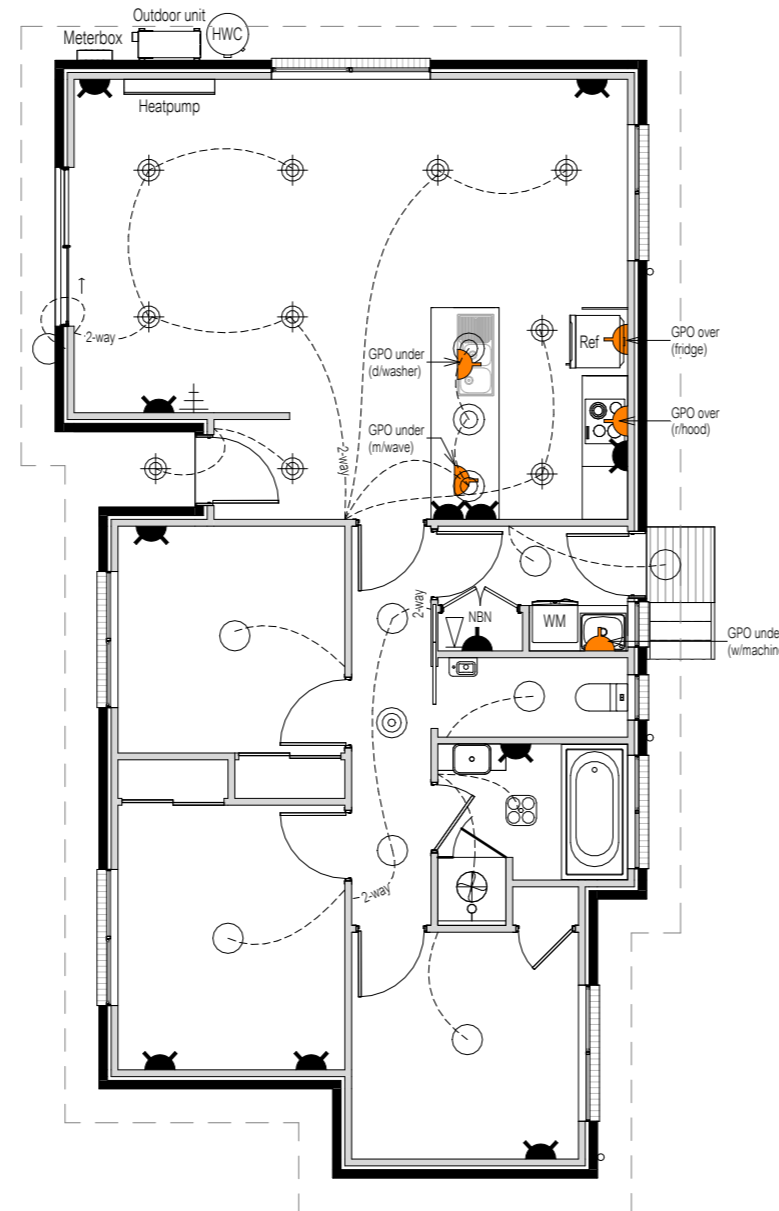
DRAWING: UNIT 2 ROOF PLAN
DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY

Scale 1 : 100

IMPORTANT NOTES:

1. Smoke alarms are to be installed in accordance with the NCC, BCA, Vol. 2, 2022, Part 9.5. Smoke alarms are to be interconnected where more than one alarm is installed.
2. Toilet & bathroom fans to be min. 25L/s and to be ducted directly to outside. Kitchen & laundry fans to be min. 40L/s and to be ducted directly to outside.
3. All downlights are to be sealed and IC-F rated.



- Batten light (28W)
- ◐ Wall light (28W)
- ⊕ TV point
- ⊙ Smoke alarm
- ▽ Phone / NBN point
- ⊙ Pendant light (28W)
- LED strip light (10W/m)
- ◑ LED spotlight (sensor)
- ⊙ LED downlight (12W)
- ⬇ Single GPO
- ⬇ Double GPO
- ⬇ Double GPO (external)
- ▬ Fluorescent light (19W)
- ⊙ Ducted exhaust fan
- ▼ Data point
- ⊙ 4-light Tastic (10W centre light only)
- ⊙ 2-light Tastic (10W centre light only)
- ◆ Stair lights (5W)
- ⊗ Ceiling fan

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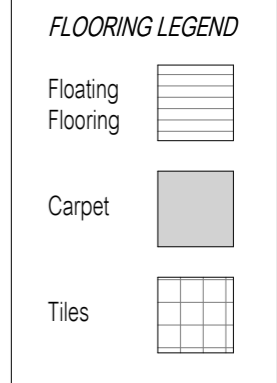
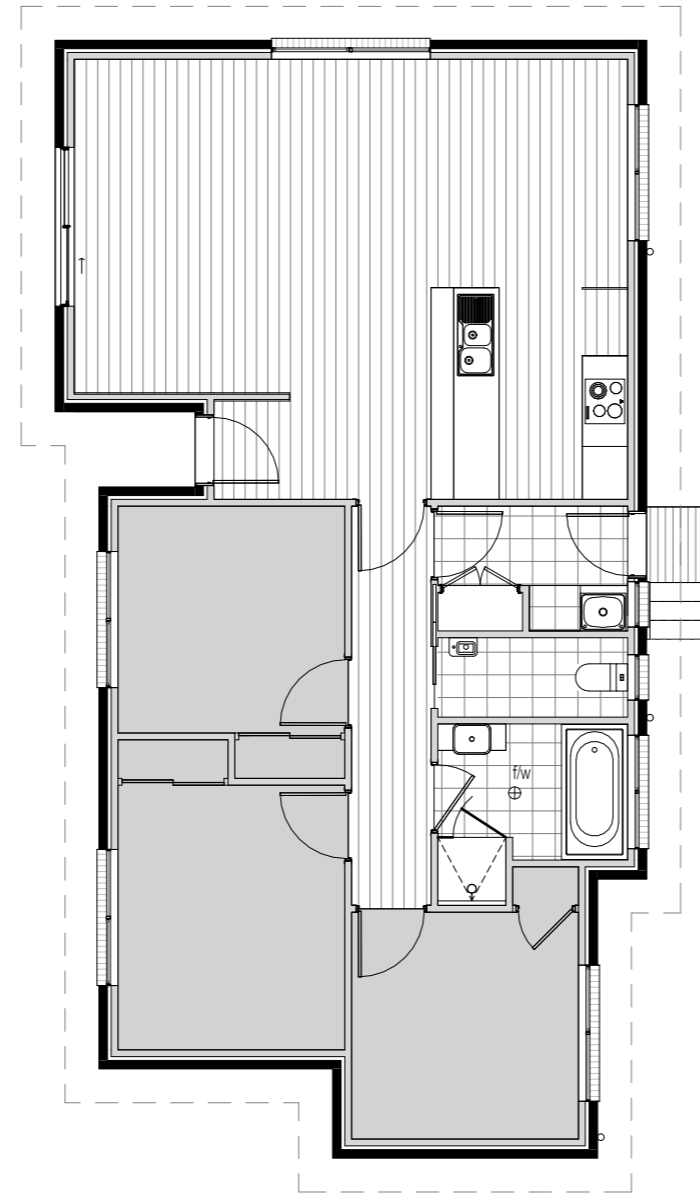
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DRAWING: UNIT 2 ELECTRICAL PLAN

DATE: 12 December 2025
FILE NAME: JB1 - DA - Rev C - 190226
DRAWN BY: CK
DWG No:

Scale 1 : 100

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
AT 9 O'BRIEN STREET, GLENORCHY



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DRAWING: UNIT 2 FLOORING LAYOUT PLAN

DATE: 12 December 2025
 FILE NAME: JB1 - DA - Rev C - 190226
 DRAWN BY: CK
 DWG No:

PROPOSED UNIT FOR TIM & CHLOE LEWINSKI
 AT 9 O'BRIEN STREET, GLENORCHY

Scale 1 : 100