

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0460

Address

166 MELVILLE ST WEST HOBART TAS
7000

Titles

165904/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles

Total Area: 2108m²

165904/1

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Enter the date that the last owner, joint or part owner was notified

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section - see further information below
- Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section
- Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
- I want to use the property for visitor accommodation
- I want to subdivide
- I want to undertake a new development or alteration
- I want to do a minor boundary adjustment
- I want to put up a sign(s)
- I want to demolish
- I want to do works only
- Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

0

Is the property a Tasmanian Heritage Listed Property?

- Yes
- No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
- No
- Unsure

Is the proposed use or development permitted or discretionary?

- Permitted
- Discretionary
- Unsure if permitted or discretionary

Provide a full description of the proposed use or development

construction of proposed swimming pool & landscaping works including terrace.
no works to the existing heritage listed house

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

195000.00

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	3 Sept 2025	Property Title Document	1 FOLIO PLAN 165904_0_1.pdf	Kate Symons
1	3 Sept 2025	Property Title Document	0 PLAN-RELATED DOCUMENTS 165904_0_1.pdf	Kate Symons
1	27 Aug 2025	Architectural Plans	166 Melville St Plans Elevations	Kate Symons
1	27 Aug 2025	Planning Assessment Report	166 Melville Street Report	Kate Symons
1	28 Aug 2025	Heritage Impact Assessment	166 Melville Street HIA	Purcell
1	3 Sept 2025	Property Title Document	0 Folio Text 165904_0_1.pdf	Kate Symons

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58



CONTEXT PLAN
NTS @ A1

166 MELVILLE ST WEST HOBART TAS 7000
ALTERATIONS & ADDITIONS TO EXISTING DWELLING + POOL & ASSOCIATED LANDSCAPING

DWG. NO.	DRAWING	SCALE	ISSUE	REV.	DATE
DA.00	INDEX & SITE CONTEXT PLAN	NTS @ A1	DA ISSUE	B	27.08.2025
GILLB01-02	CONTOUR & DETAIL PLAN BY CROMER & PARTNERS	1:100 @ A1 / 1:200 @ A3			16.01.2023
GILLB01-03	CONTOUR & DETAIL PLAN BY CROMER & PARTNERS	1:100 @ A1 / 1:200 @ A3			16.01.2023
EX.01	EXISTING SITE & ROOF PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE		27.08.2025
EX.02	EXISTING GROUND FLOOR PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE		27.08.2025
EX.03	EXISTING FIRST FLOOR PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE		27.08.2025
EX.04	EXISTING ATTIC FLOOR PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE		27.08.2025
EX.05	EXISTING N-E, S-E & N-W ELEVATIONS	1:100 @ A1 / 1:200 @ A3	DA ISSUE		27.08.2025
DA.01	PROPOSED SITE & ROOF PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE	B	27.08.2025
DA.02	PROPOSED GROUND FLOOR PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE	B	27.08.2025
DA.03	PROPOSED FIRST FLOOR PLAN	1:100 @ A1 / 1:200 @ A3	DA ISSUE	A	27.08.2025
DA.04	PROPOSED N-E & S-E ELEVATIONS	1:100 @ A1 / 1:200 @ A3	DA ISSUE	A	27.08.2025

REVISION

THC ISSUE	11.06.2025
DA ISSUE	18.06.2025
A INDEX UPDATED	03.07.2025
B INDEX UPDATED	27.08.2025

PROPRIETOR

JUSTINE & BEN GILLINGHAM

PROJECT

PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING
'STANWELL HALL'
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112

DRAWING INDEX & CONTEXT PLAN

DATE 27.08.2025

SCALE NTS @A1

DRAWING No.

DA.00B

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

NOTE RE DRAWINGS:
THESE DRAWINGS ARE BASED ON SITE MEASUREMENTS AND HAVE BEEN SET UP ON A RECTILINEAR BASIS, WITH NO ALLOWANCE FOR 'OUT-OF-SQUARE', 'OUT-OF-LEVEL' AND 'OUT-OF-PLUMB' CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS ON SITE.

LEGEND

ORG = Overflow Relief Gully
 NUB = NBN Utility Box
 GLC = Gas Lot Connection
 GP = Grated Point
 WM = Water Meter
 SV = Stop Valve
 FP = Fire Plug
 TFR = Tree Marked For Removal
 STP = Steps
 CH1 = Chimney Top RL:73.55

FL1 = Floor Level (Door Tread)
 RL:65.27

FL2 = Floor Level (Door Tread)
 RL:65.22

FL3 = Floor Level (Door Tread)
 RL:65.21

FL4 = Floor Level (Door Tread)
 RL:65.28

FL5 = Floor Level (Door Tread)
 RL:65.31

EP = Electricity Pole
 Lot Connection RL:73.16

R1 = Ridge RL:68.72
 B of F @ Ridge:68.51

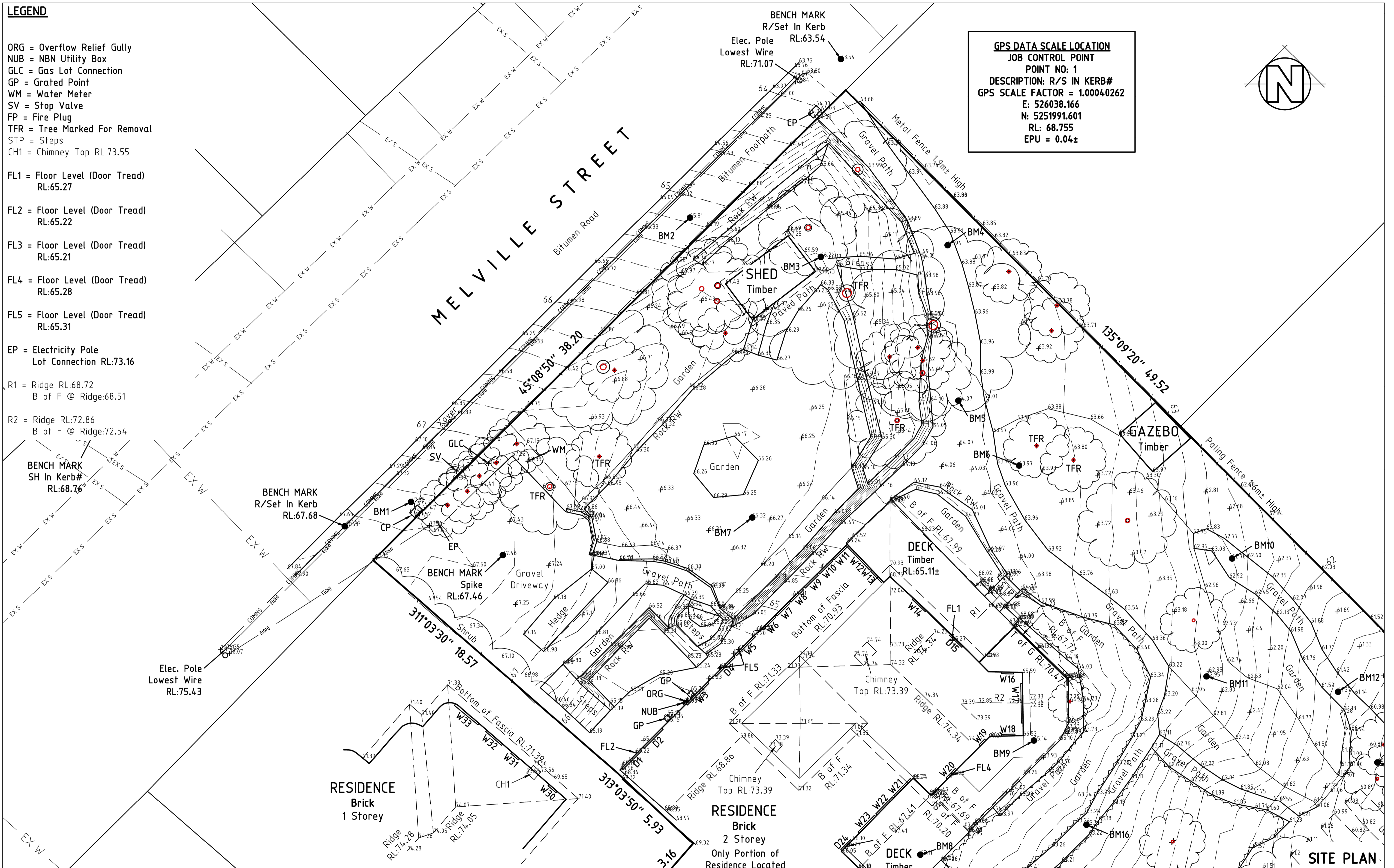
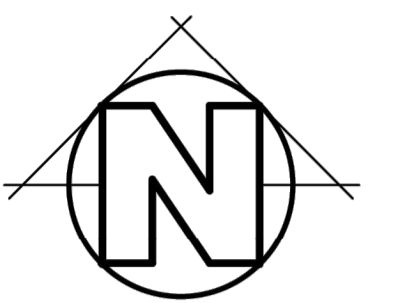
R2 = Ridge RL:72.86
 B of F @ Ridge:72.54

BENCH MARK
 SH In Kerb#
 RL:68.76

BENCH MARK
 R/Set In Kerb
 RL:67.68

MELVILLE STREET
 Bitumen Road

GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: 1
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.00040262
E: 526038.166
N: 5251991.601
RL: 68.755
EPU = 0.04±



RESIDENCE
 Brick
 1 Storey

RESIDENCE
 Brick
 2 Storey
 Only Portion of
 Residence Located

SITE PLAN

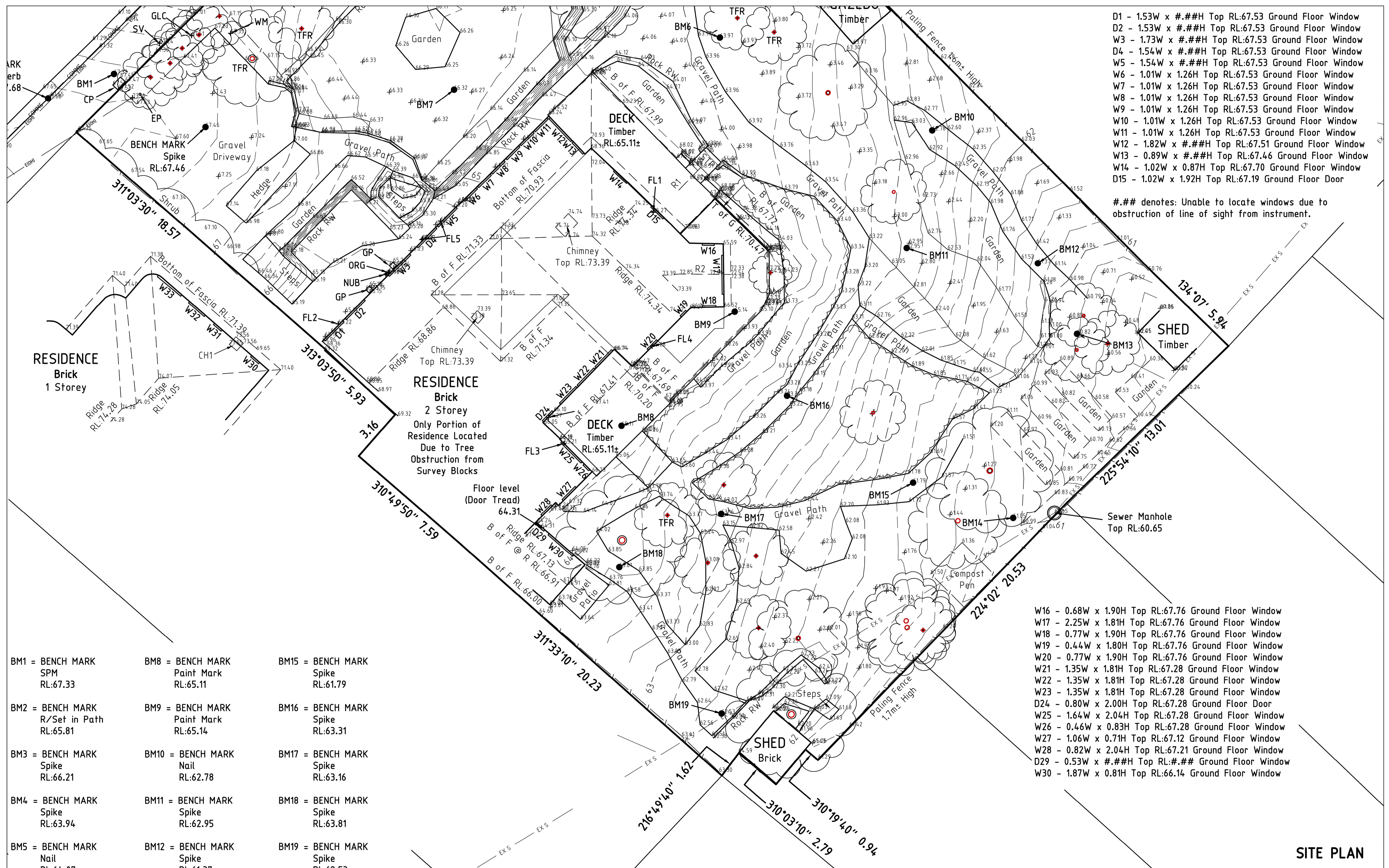
W30 - 0.60W x 1.23H Top RL:70.88 Ground Floor Window
 W31 - 0.58W x 1.33H Top RL:70.88 Ground Floor Window
 W32 - 1.19W x 1.33H Top RL:70.88 Ground Floor Window
 W33 - 1.74W x 1.33H Top RL:70.88 Ground Floor Window

CROMER & PARTNERS
SURVEYING CONSULTANTS

1/3 Brooke Street, Hobart , 7004
 PH 0419 353 414
 e-mail: terry@cromersurveyors.com.au
 www.cromersurveyors.com.au

DETAIL SURVEY
 166 MELVILLE STREET
 HOBART

SCALE: 1:200@A3
 DATE: 16-01-2023
 REV: A
 FILE: GILLB01
 DWG: GILLB01-02



- D1 - 1.53W x ###H Top RL:67.53 Ground Floor Window
- D2 - 1.53W x ###H Top RL:67.53 Ground Floor Window
- W3 - 1.73W x ###H Top RL:67.53 Ground Floor Window
- D4 - 1.54W x ###H Top RL:67.53 Ground Floor Window
- W5 - 1.54W x ###H Top RL:67.53 Ground Floor Window
- W6 - 1.01W x 1.26H Top RL:67.53 Ground Floor Window
- W7 - 1.01W x 1.26H Top RL:67.53 Ground Floor Window
- W8 - 1.01W x 1.26H Top RL:67.53 Ground Floor Window
- W9 - 1.01W x 1.26H Top RL:67.53 Ground Floor Window
- W10 - 1.01W x 1.26H Top RL:67.53 Ground Floor Window
- W11 - 1.01W x 1.26H Top RL:67.53 Ground Floor Window
- W12 - 1.82W x ###H Top RL:67.51 Ground Floor Window
- W13 - 0.89W x ###H Top RL:67.46 Ground Floor Window
- W14 - 1.02W x 0.87H Top RL:67.70 Ground Floor Window
- D15 - 1.02W x 1.92H Top RL:67.19 Ground Floor Door

denotes: Unable to locate windows due to obstruction of line of sight from instrument.

- | | | |
|---|--|--|
| BM1 = BENCH MARK
SPM
RL:67.33 | BM8 = BENCH MARK
Paint Mark
RL:65.11 | BM15 = BENCH MARK
Spike
RL:61.79 |
| BM2 = BENCH MARK
R/Set in Path
RL:65.81 | BM9 = BENCH MARK
Paint Mark
RL:65.14 | BM16 = BENCH MARK
Spike
RL:63.31 |
| BM3 = BENCH MARK
Spike
RL:66.21 | BM10 = BENCH MARK
Nail
RL:62.78 | BM17 = BENCH MARK
Spike
RL:63.16 |
| BM4 = BENCH MARK
Spike
RL:63.94 | BM11 = BENCH MARK
Spike
RL:62.95 | BM18 = BENCH MARK
Spike
RL:63.81 |
| BM5 = BENCH MARK
Nail
RL:64.07 | BM12 = BENCH MARK
Spike
RL:61.37 | BM19 = BENCH MARK
Spike
RL:62.53 |
| BM6 = BENCH MARK
Spike
RL:63.97 | BM13 = BENCH MARK
Spike
RL:60.82 | |
| BM7 = BENCH MARK
Spike
RL:66.32 | BM14 = BENCH MARK
Spike
RL:61.05 | |

- W16 - 0.68W x 1.90H Top RL:67.76 Ground Floor Window
- W17 - 2.25W x 1.81H Top RL:67.76 Ground Floor Window
- W18 - 0.77W x 1.90H Top RL:67.76 Ground Floor Window
- W19 - 0.44W x 1.80H Top RL:67.76 Ground Floor Window
- W20 - 0.77W x 1.90H Top RL:67.76 Ground Floor Window
- W21 - 1.35W x 1.81H Top RL:67.28 Ground Floor Window
- W22 - 1.35W x 1.81H Top RL:67.28 Ground Floor Window
- W23 - 1.35W x 1.81H Top RL:67.28 Ground Floor Window
- D24 - 0.80W x 2.00H Top RL:67.28 Ground Floor Door
- W25 - 1.64W x 2.04H Top RL:67.28 Ground Floor Window
- W26 - 0.46W x 0.83H Top RL:67.28 Ground Floor Window
- W27 - 1.06W x 0.71H Top RL:67.12 Ground Floor Window
- W28 - 0.82W x 2.04H Top RL:67.21 Ground Floor Window
- D29 - 0.53W x ###H Top RL:### Ground Floor Window
- W30 - 1.87W x 0.81H Top RL:66.14 Ground Floor Window

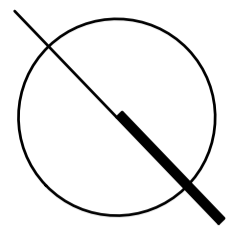
SITE PLAN

CROMER & PARTNERS
SURVEYING CONSULTANTS

1/3 Brooke Street, Hobart , 7004
PH 0419 353 414
e-mail: terry@cromersurveyors.com.au
www.cromersurveyors.com.au

DETAIL SURVEY
166 MELVILLE STREET
HOBART

SCALE: 1:200@A3
DATE: 16-01-2023
REV: A
FILE: GILLB01
DWG: GILLB01-03



EXISTING SITE PLAN
1:100 @ A1 / 1:200 @ A3

REVISION
THC ISSUE 11.06.2025
DA ISSUE 18.06.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

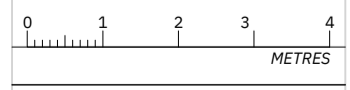
PROJECT
PROPOSED SWIMMING POOL &
ASSOCIATED LANDSCAPING
STANWELL HALL
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112
DRAWING EXISTING SITE PLAN

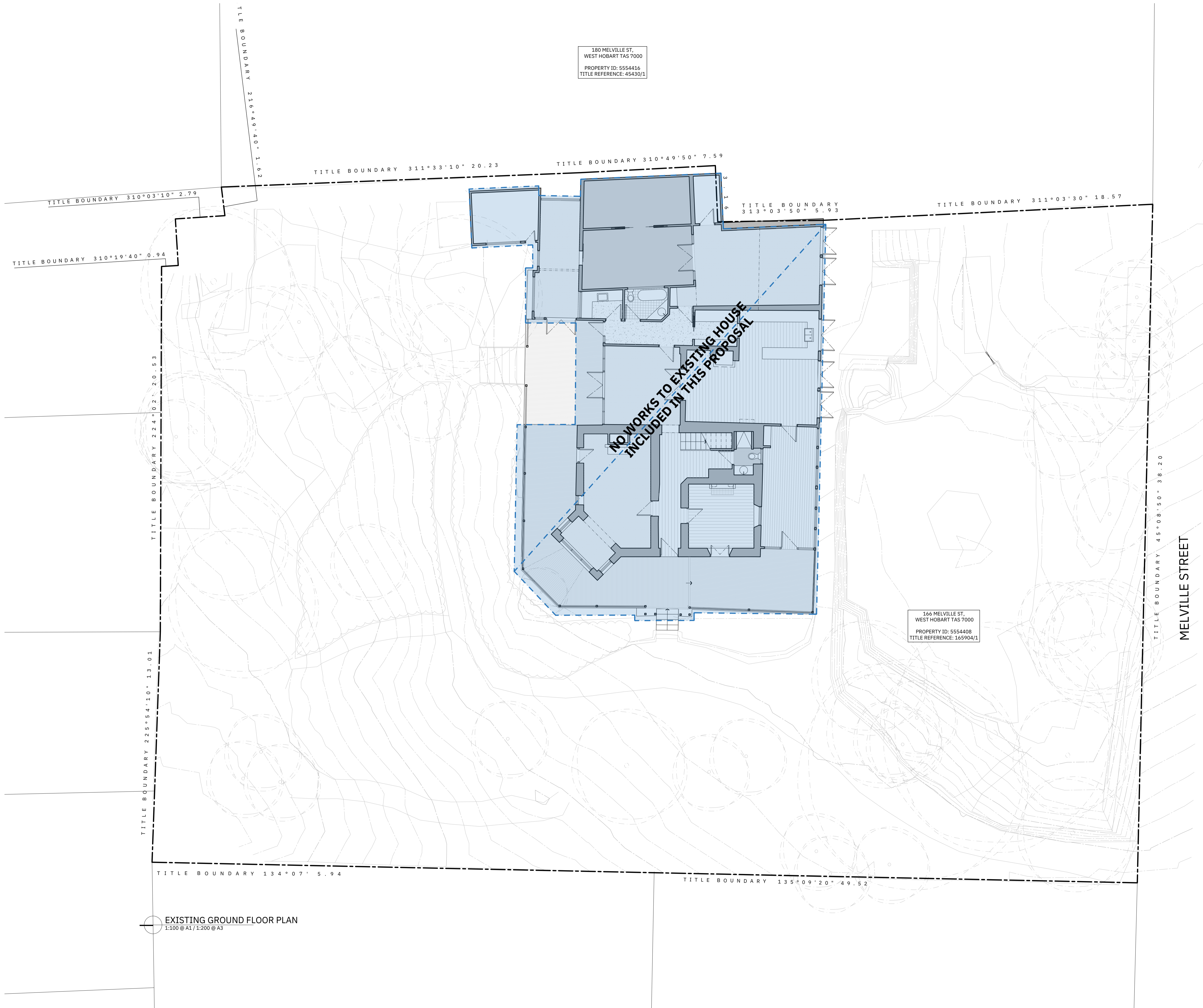
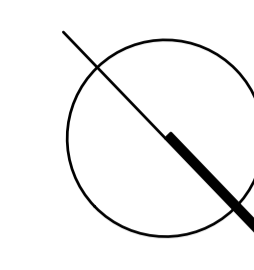
DATE 27.08.2025
SCALE 1:100 @ A1 / 1:200 @ A3

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

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DRAWING No. **EX.01**



180 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554416
TITLE REFERENCE: 45430/1

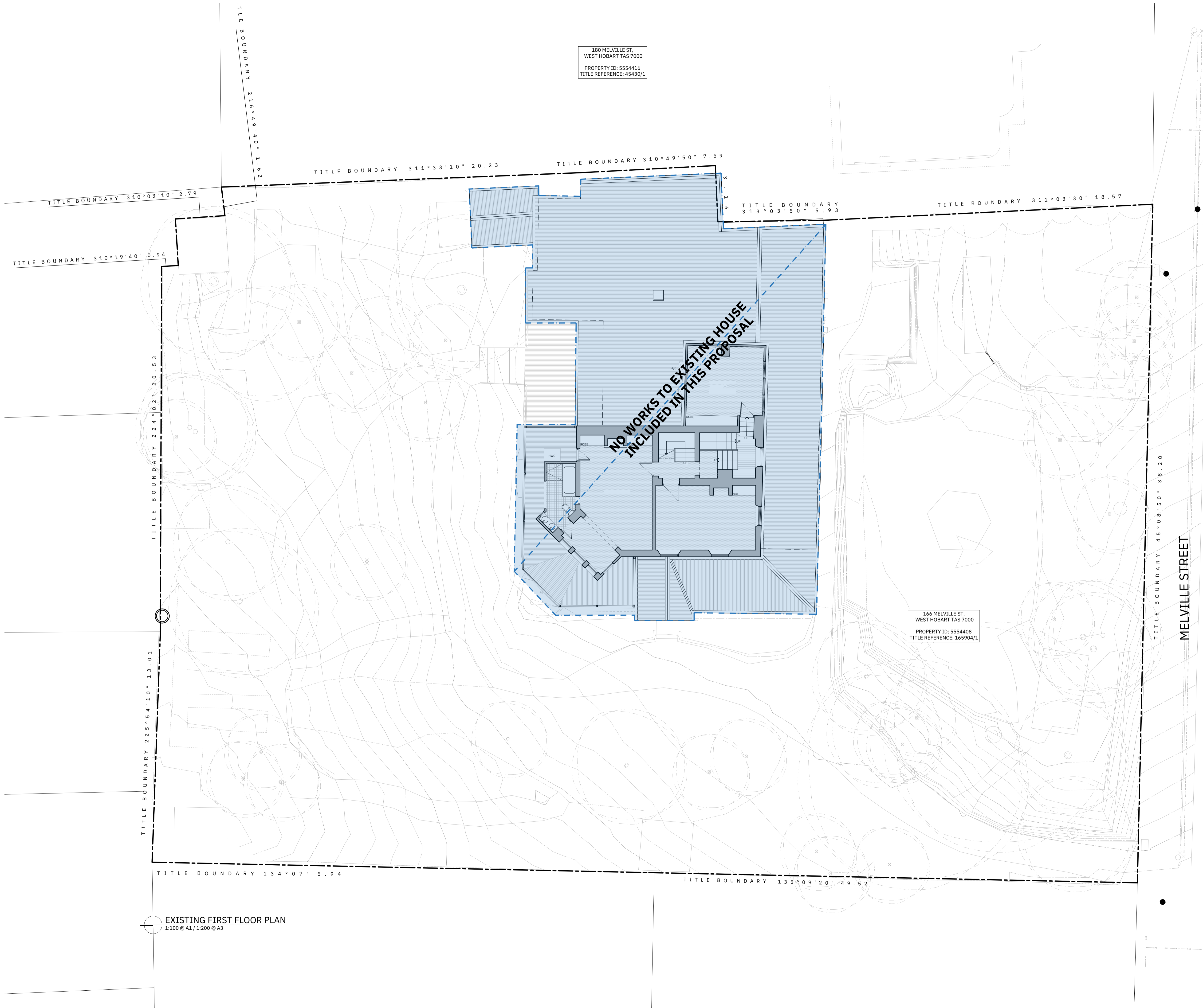
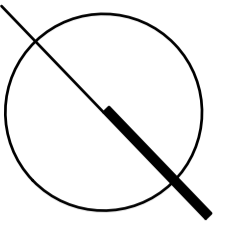
166 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554408
TITLE REFERENCE: 165904/1

EXISTING GROUND FLOOR PLAN
1:100 @ A1 / 1:200 @ A3

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REVISION	THC ISSUE 11.06.2025 DA ISSUE 18.06.2025
PROPRIETOR	JUSTINE & BEN GILLINGHAM
PROJECT	PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING STANWELL HALL 166 MELVILLE STREET WEST HOBART TAS 7000
PROJECT No.	24-112
DRAWING	EXISTING GROUND FLOOR PLAN
DATE	27.08.2025
SCALE	1:100 @ A1 / 1:200 @ A3
DRAWING No.	EX.02



180 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554416
TITLE REFERENCE: 45430/1

166 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554408
TITLE REFERENCE: 165904/1

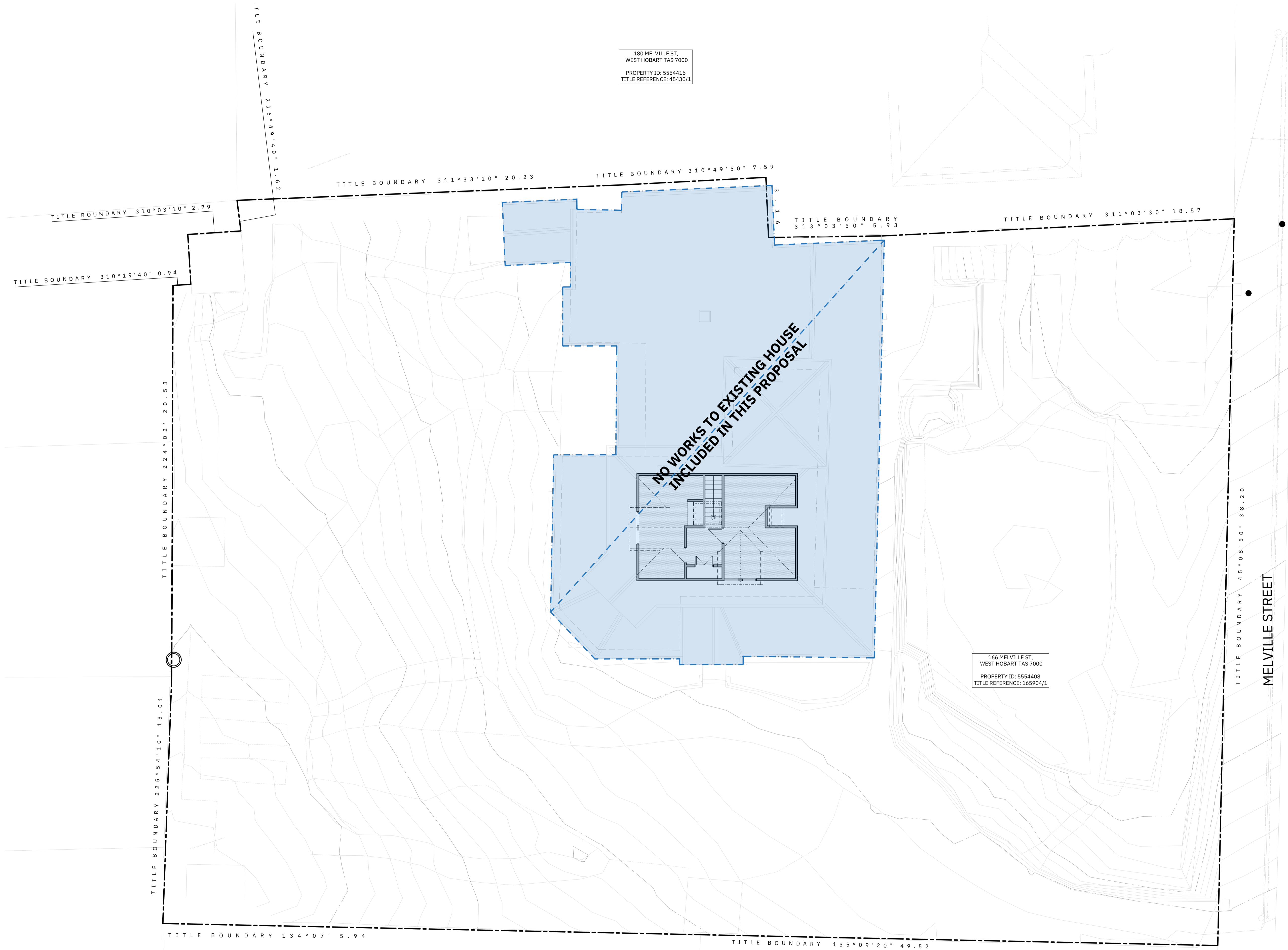
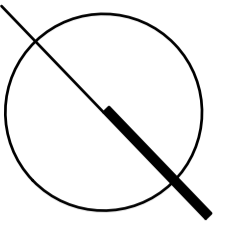
**NO WORKS TO EXISTING HOUSE
INCLUDED IN THIS PROPOSAL**

EXISTING FIRST FLOOR PLAN
1:100 @ A1 / 1:200 @ A3

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

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REVISION	THC ISSUE 11.06.2025 DA ISSUE 18.06.2025
PROPRIETOR	JUSTINE & BEN GILLINGHAM
PROJECT	PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING STANWELL HALL 166 MELVILLE STREET WEST HOBART TAS 7000
PROJECT No.	24-112
DRAWING	EXISTING FIRST FLOOR PLAN
DATE	27.08.2025
SCALE	1:100 @ A1 / 1:200 @ A3
DRAWING No.	EX.03



180 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554416
TITLE REFERENCE: 45430/1

166 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554408
TITLE REFERENCE: 165904/1

**NO WORKS TO EXISTING HOUSE
INCLUDED IN THIS PROPOSAL**

EXISTING ATTIC FLOOR PLAN
1:100 @ A1 / 1:200 @ A3

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

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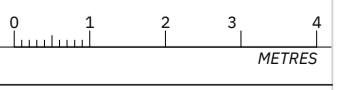
REVISION	DATE
THC ISSUE	11.06.2025
DA ISSUE	18.06.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

PROJECT
PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING
STANWELL HALL
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112
DRAWING EXISTING ATTIC FLOOR PLAN

DATE 27.08.2025
SCALE 1:100 @ A1 / 1:200 @ A3



DRAWING No.



EXISTING NORTHWEST ELEVATION
1:100 @ A1 / 1:200 @ A3



EXISTING NORTHEAST ELEVATION
1:100 @ A1 / 1:200 @ A3

- ROOF SCHEDULE**
- CR CORRUGATED SHEET ROOFING
- EXTERNAL WALL SCHEDULE**
- BR BRICK
 - ST STONE
 - VB VERTICAL BOARD - PAINTED
 - WB WEATHERBOARD - PAINTED
 - SR SMOOTH RENDER
 - TR TEXTURED RENDER
 - RW RETAINING WALL - STONE
 - PS PAINTED STONE



EXISTING SOUTHEAST ELEVATION
1:100 @ A1 / 1:200 @ A3

REVISION	DATE
THC ISSUE	11.06.2025
DA ISSUE	18.06.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

PROJECT
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STANWELL HALL
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112
DRAWING EXISTING N-E & S-E ELEVATIONS

DATE 27.08.2025
SCALE 1:100 @ A1 / 1:200 @ A3

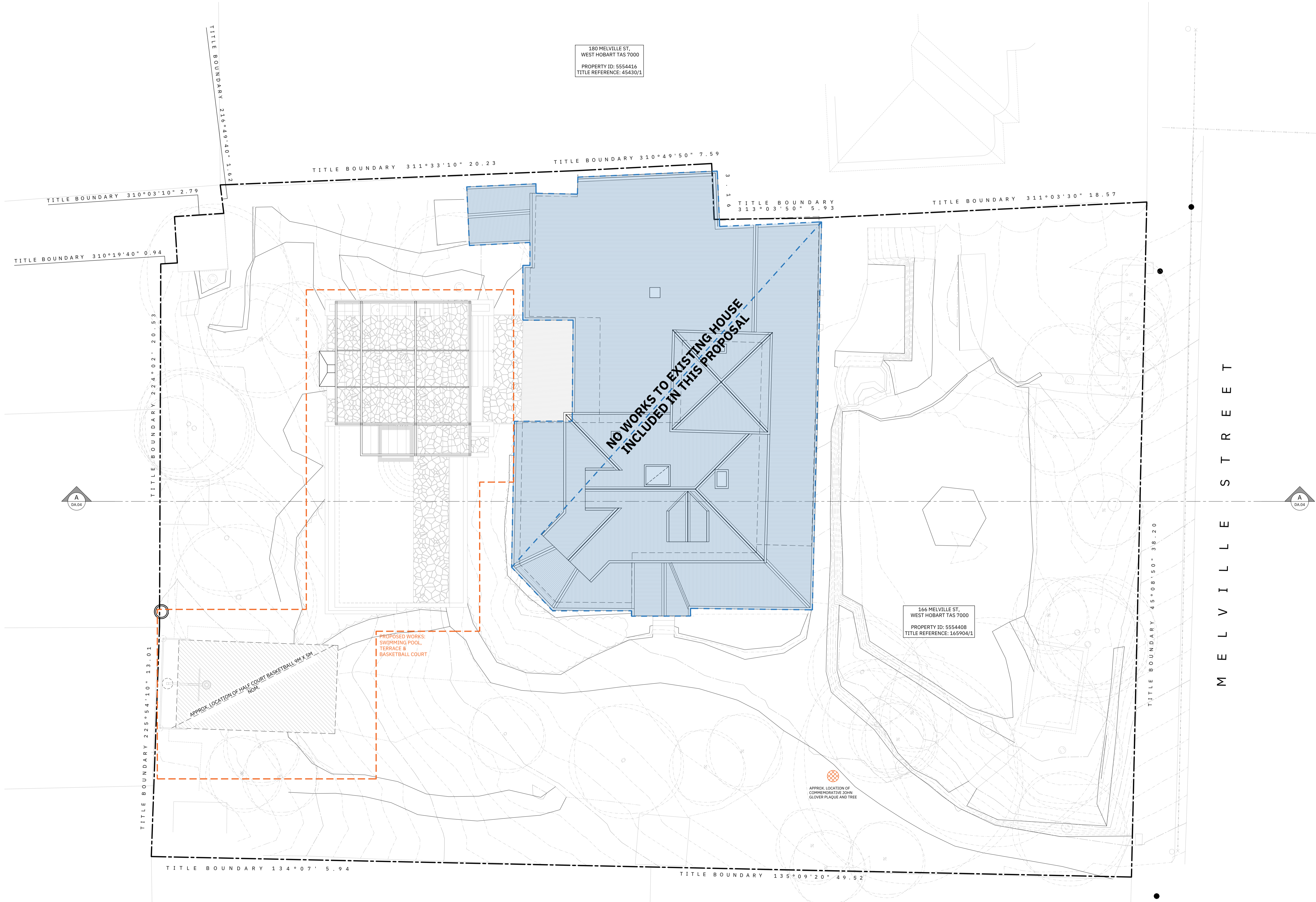
0 1 2 3 4
METRES

DRAWING No.

EX.05

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

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PROPOSED SITE & ROOF PLAN
1:100 @ A1 / 1:200 @ A3

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REVISION	DATE
THC ISSUE	11.06.2025
DA ISSUE	18.06.2025
A GEN. AMENDMENTS	03.07.2025
B GEN. AMENDMENTS	27.08.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

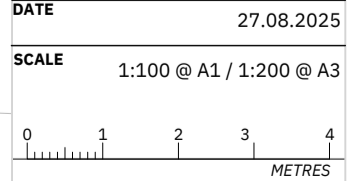
PROJECT
PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING
"STANWELL HALL"
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112

DRAWING
PROPOSED SITE & ROOF PLAN

DATE 27.08.2025

SCALE 1:100 @ A1 / 1:200 @ A3





180 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554416
TITLE REFERENCE: 45430/1

166 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554408
TITLE REFERENCE: 165904/1

**NO WORKS TO EXISTING HOUSE
INCLUDED IN THIS PROPOSAL**

PROPOSED WORKS:
SWIMMING POOL,
TERRACE &
BASKETBALL COURT

APPROX. LOCATION OF HALF COURT BASKETBALL 9M X 9M
ROOM

APPROX. LOCATION OF
COMMEMORATIVE JOHN
GLOVER PLAQUE AND TREE

PROPOSED GROUND FLOOR PLAN
1:100 @ A1 / 1:200 @ A3

M E L V I L L E S T R E E T

REVISION	DATE
THC ISSUE	11.06.2025
DA ISSUE	18.06.2025
A GEN. AMENDMENTS	03.07.2025
B GEN. AMENDMENTS	27.08.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

PROJECT
PROPOSED SWIMMING POOL &
ASSOCIATED LANDSCAPING
STANWELL HALL
166 MELVILLE STREET
WEST HOBART TAS 7000

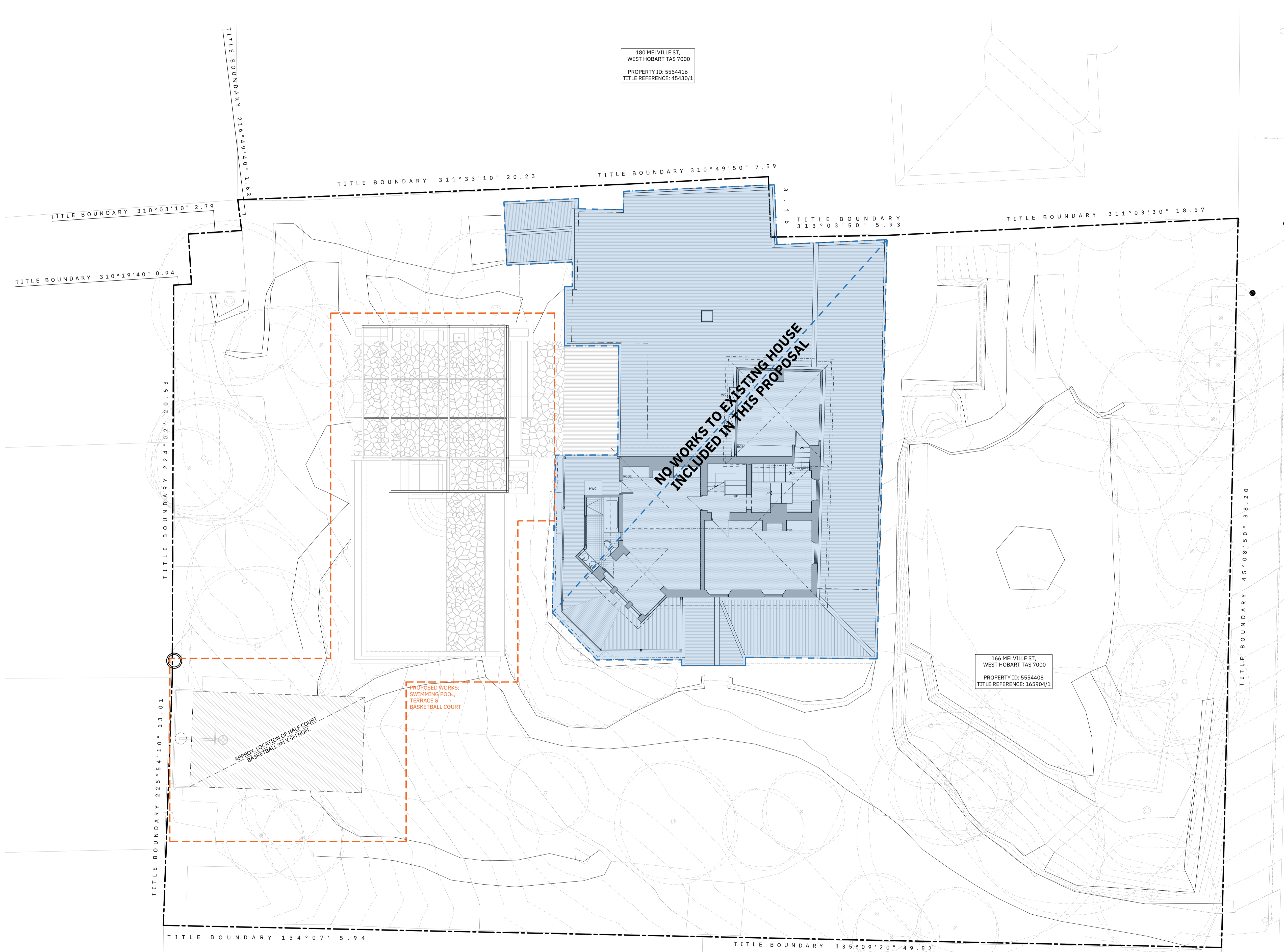
PROJECT No. 24-112
DRAWING PROPOSED GROUND FLOOR PLAN

DATE 27.08.2025
SCALE 1:100 @ A1 / 1:200 @ A3

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

NOTE RE DRAWINGS:
THESE DRAWINGS ARE BASED ON SITE MEASUREMENTS AND HAVE BEEN SET UP ON A RECTILINEAR BASIS, WITH NO ALLOWANCE FOR 'OUT-OF-SQUARE', 'OUT-OF-LEVEL' AND 'OUT-OF-PLUMB' CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS ON SITE.

DRAWING No. DA.02B



180 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554416
TITLE REFERENCE: 45430/1

166 MELVILLE ST,
WEST HOBART TAS 7000
PROPERTY ID: 5554408
TITLE REFERENCE: 165904/1

PROPOSED WORKS:
SWIMMING POOL,
TERRACE &
BASKETBALL COURT

APPROX. LOCATION OF HALF COURT
BASKETBALL 9M x 5M ROOM.

**NO WORKS TO EXISTING HOUSE
INCLUDED IN THIS PROPOSAL**

MELVILLE STREET

PROPOSED FIRST FLOOR PLAN
1:100 @ A1 / 1:200 @ A3

REVISION
THC ISSUE 11.06.2025
DA ISSUE 18.06.2025
A GEN.AMENDMENTS 03.07.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

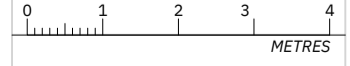
PROJECT
PROPOSED SWIMMING POOL &
ASSOCIATED LANDSCAPING
STANWELL HALL
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112
DRAWING PROPOSED FIRST FLOOR PLAN

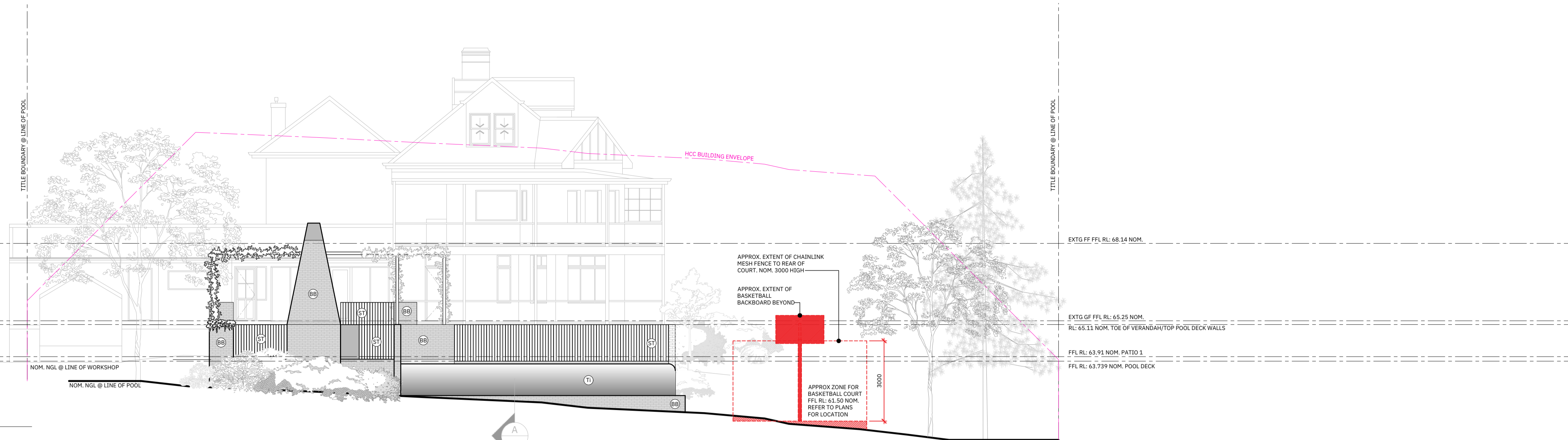
DATE 27.08.2025
SCALE 1:100 @ A1 / 1:200 @ A3

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

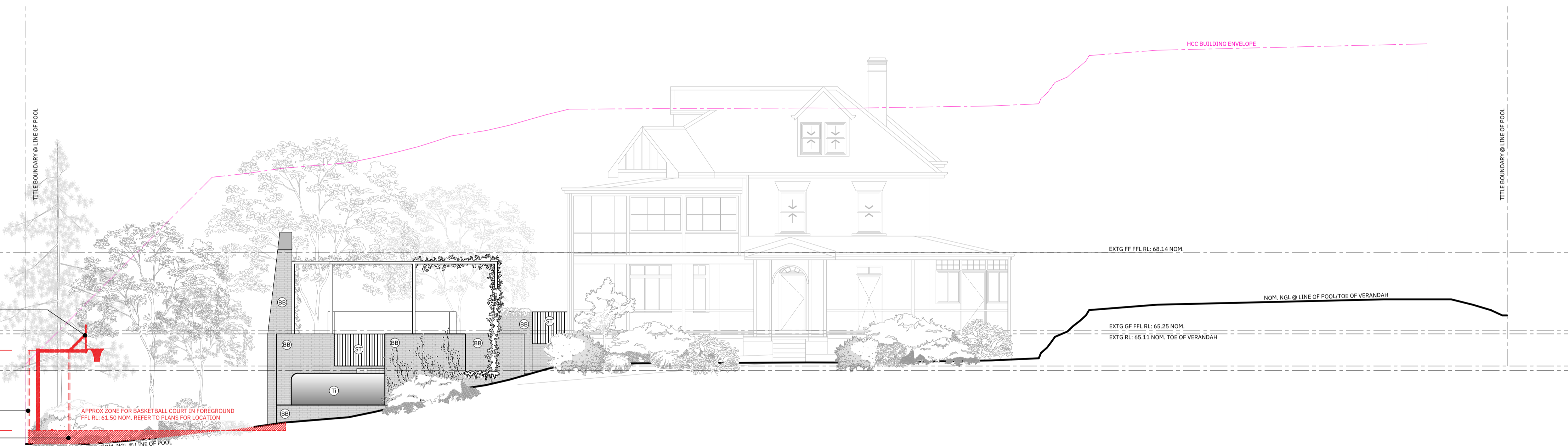
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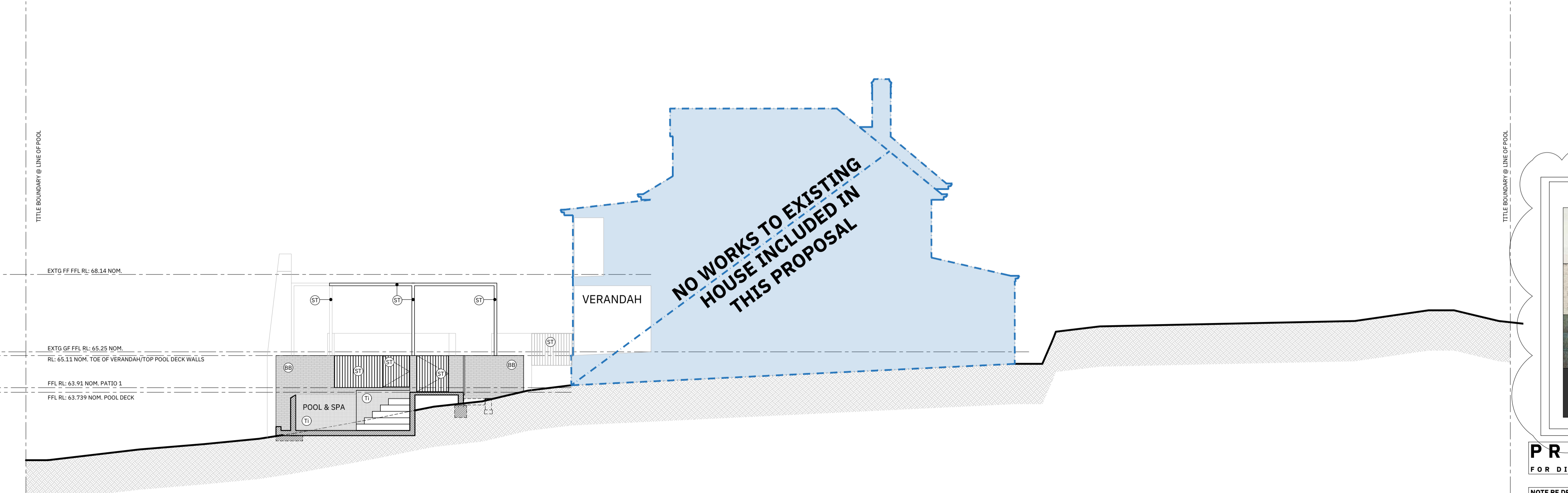
DRAWING No.
DA.03A



PROPOSED SOUTH EAST ELEVATION
1:100 @ A1 / 1:200 @ A3



PROPOSED NORTH EAST ELEVATION
1:100 @ A1 / 1:200 @ A3



SECTION A - THROUGH POOL
1:100 @ A1 / 1:200 @ A3

FINISHES

- NATURAL STONE PAVING
- LIGHT NEUTRAL LIMESTONE COLOUR
- BAGGED FINISH TO STANDARD SIZED BRICK, STRETCHER BOND
- LIGHT NEUTRAL COLOUR
- POOL TILE - MOSAIC TBC
- MEDIUM DARK NATURE INSPIRED COLOUR TO BLEND WITH LANDSCAPING
- STEEL WITH PAINT FINISH OVER
- DARK MATTE COLOUR TO ALL STEEL BALUSTRADES, PERGOLA, CHIMNEY CAPPING

REVISION	DATE
THC ISSUE	11.06.2025
DA ISSUE	18.06.2025
A GEN. AMENDMENTS	03.07.2025
B FINISHES AMEND	24.09.2025

PROPRIETOR
JUSTINE & BEN GILLINGHAM

PROJECT
PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING
STANWELL HALL
166 MELVILLE STREET
WEST HOBART TAS 7000

PROJECT No. 24-112

DRAWING
PROPOSED S-E & N-E ELEVATIONS & SECTION A THROUGH POOL

DATE 24.09.2025

SCALE 1:100 @ A1 / 1:200 @ A3

PRELIMINARY
FOR DISCUSSION PURPOSES ONLY

NOTE RE DRAWINGS:
THESE DRAWINGS ARE BASED ON SITE MEASUREMENTS AND HAVE BEEN SET UP ON A RECTILINEAR BASIS, WITH NO ALLOWANCE FOR 'OUT-OF-SQUARE', 'OUT-OF-LEVEL' AND 'OUT-OF-PLUMB' CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS ON SITE.



PROPOSED SWIMMING POOL & ASSOCIATED LANDSCAPING WORKS

At Stanwell Hall, 166 Melville Street West Hobart TAS 7000

Property Information

Property Identification Number	5554408
Certificate of Title Reference (Volume/Folio)	165904/1
Locality	West Hobart
Municipality	Hobart
Planning Zones	9.0 Inner Residential
Planning Codes Overlay	C2.0 Parking & Sustainable Transport Code C6.0 Local Historic Heritage Code C15.0 Landslip Hazard Code - Low
Total Area	2108 sqm
Planning Scheme	Tasmanian Planning Scheme
THC register - ID number	3378
	Permanently Registered
THC register - Extent	House & Site

Introduction

Stanwell Hall at 166 Melville Street, West Hobart is a family home with an historically significant history.

The Tasmanian Heritage Register provides the following insights:

Setting: This is a significant element in the urban streetscape.

Description: An asymmetrical, two storey stuccoed building with an irregular roof shape and ground-plan. The roofs are corrugated iron hips and gables, with boxed eaves and simple chimneys. The windows are double-hung with large panes. The front elevation has a highly-decorated flying gable over the porch, a dormer window, and an enclosed verandah on the first floor. A side elevation has a projecting gable-roofed wing, with verandahs following the contours of the house at ground and first floors, these verandahs have Federation detailing. The rear elevation has a skillion roofed weatherboard extension on the ground floor, which is a verandah enclosed at a later date. The garden features many mature trees some of which may date from Glover's occupation.

History: The house was originally known as Stanwell Hall and is the house in the painting "Hobart Town taken from the Garden where I lived" by John Glover. The painting was shipped to London for exhibition in 1835 and is now held by Dixon Galleries, State Library of NSW in Sydney. Glover wrote on the back of the painting "The geraniums, Roses etc will give some idea how magnificent the garden may be had here V" (Mercury 02. 11.01)

Such is the importance of this property we defer to the expertise of the specialist heritage consultants at Purcell to provide further insight into the development of the property. Please refer to the heritage impact report prepared by Purcell for information.

Additionally, this report is to be read in conjunction with Studio Ilk associated drawings DA.00 to DA.04, EX.01 to EX.05 and the contour and detail survey prepared by Cromer and Partners

Summary of proposed works

The proposed scope of works includes, but is not limited to, the following:

- Swimming pool & integrated spa
- Patio deck with outdoor kitchen & dining area, fireplace and lounge
- Pergola over with provision for climbing planted shade cover
- Integrated planter boxes
- Stairs providing access to and from existing verandah
- Demountable basketball hoop & backboard with small sports court

Stanwell Hall is first and foremost a family home. As such, and throughout its life, it has seen many additions and alterations that support this function and provide the impetus for future care of the site.

While the proposed swimming pool and outdoor deck area are a continuation of this evolution, their design and construction are intended to be entirely separate from the existing building fabric and if required, could be removed with no substantial impact on the existing building fabric of the house.

Following the natural topography of the site allows the pool and patio to be hidden by the existing house and unable to be seen from any street frontages. It also enables the proposed works to be at a lower height and of a scale that is appropriate and respectful of the existing house

The forms and rhythm of the proposed pool and patio works have been extrapolated from the massing and language of the existing house. Heavy masonry anchors the works into the slope while the tempo of the vertical elements respectfully echoes their elders. Texturally, there is a proliferation of finishes and materials permeating the existing building. To replicate the organic progression of finishes would be disingenuous and the proposed works therefore adopt the base elements of masonry, timber and steel to create an addition to the garden that is functional, practical, complimentary and clearly identifiable as a new chapter in Stanwell Hall's story

9.0 Inner Residential Zone

9.2 Use Table

Use Class	Qualification
No Permit Required	
Residential	If for a single dwelling.
Permitted	
Residential	If not listed as No Permit Required.

9.3 Use Standards

9.3.1 Discretionary uses

Not Applicable. There are no Discretionary uses included in the proposed swimming pool and associated landscaping works

9.3.2 Visitor Accommodation

Not Applicable. There is no Visitor Accommodation included in the proposed swimming pool and associated landscaping works

9.4 Development Standards for Dwellings

9.4.1 Residential density for multiple dwellings

Not Applicable. The subject property is a single dwelling only

9.4.2 Setbacks and building envelope for all dwellings

Objective:

That the siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings; and
- (c) provides separation between dwellings on adjoining properties to allow a reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.

Acceptable Solutions

A1

Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

- (a) if the frontage is a primary frontage, not less than 3m, or, if the setback from the primary frontage is less than 3m, not less than the setback, from the primary frontage, of any existing dwelling on the site;
- (b) if the frontage is not a primary frontage, not less than 2m, or, if the setback from the frontage is less than 2m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;
- (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for

Performance Criteria

P1

A dwelling must have a setback from a frontage that is compatible with the streetscape having regard to any topographical constraints.

<p>the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.</p> <p><i>Not applicable. There are no works to the existing dwelling or any new dwellings included in the proposed swimming pool and associated landscaping works</i></p>	
<p>A2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <p>(a) 4m, or alternatively 1m behind the building line;</p> <p>(b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</p> <p><i>Not applicable. There are no garages or carports included in the proposed swimming pool and associated landscaping works</i></p>	<p>P2</p> <p>A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</p>
<p>A3</p> <p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p>	<p>P3</p> <p>The siting and scale of a dwelling must:</p> <p>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p>

<p>(a) be contained within a building envelope (refer to Figures 9.1, 9.2 and 9.3) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 3m from the rear boundary of a property with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 9.5m above existing ground level; and</p> <p>(b) only have a setback within 1.5m of a side or rear boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p> <p><i>Not applicable. There are no works to the existing dwelling or any new dwellings included in the proposed swimming pool and associated landscaping works</i></p>	<p>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; and</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and</p> <p>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.</p>
--	--

9.4.3 Site coverage and private open space for all dwellings

Objective:

That dwellings are compatible with the amenity and character of the area and provide:

- (a) for outdoor recreation and the operational needs of the residents;

- (b) opportunities for the planting of gardens and landscaping; and
- (c) private open space that is conveniently located and has access to sunlight.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Dwellings must have:</p> <p>(a) a site coverage of not more than 65% (excluding eaves up to 0.6m wide); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 40m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</p> <p><i>Not applicable. There are no works to the existing dwelling or any new dwellings included in the proposed swimming pool and associated landscaping works</i></p>	<p>P1</p> <p>Dwellings must have:</p> <p>(a) site coverage consistent with that existing on established properties in the area;</p> <p>(b) private open space that is of a size and with dimensions appropriate for the size of the dwelling and is able to accommodate:</p> <p>(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and</p> <p>(ii) operational needs, such as clothes drying and storage; and</p> <p>(c) reasonable space for the planting of gardens and landscaping.</p>
<p>A2</p> <p>A dwelling must have private open space that:</p> <p>(a) is in one location and is not less than:</p> <p>(i) 24m²; or</p> <p>(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m</p>	<p>P2</p> <p>A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:</p> <p>(a) conveniently located in relation to a living area of the dwelling; and</p>

<p>above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</p> <p>(d) has a gradient not steeper than 1 in 10.</p> <p><i>Not applicable. There are no works to the existing dwelling or any new dwellings included in the proposed swimming pool and associated landscaping works</i></p>	<p>(b) orientated to take advantage of sunlight.</p>
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9.4.4 Sunlight to private open space of multiple dwellings

Not Applicable. The subject property is a single dwelling only

9.4.5 Width of openings for garages and carports for all dwellings

Not Applicable. There are no garages or carports included in the proposed swimming pool and associated landscaping works

9.4.6 Privacy for all dwellings

<p>Objective:</p> <p>To provide a reasonable opportunity for privacy for dwellings.</p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p><i>The proposed swimming pool and associated landscaping works comply. All proposed works are greater than 3m from the side boundary</i></p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p><i>The proposed swimming pool and associated landscaping works comply. All proposed works are greater than 4m from the rear boundary</i></p>	<p>P1</p> <p>A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:</p> <p>(a) a dwelling on an adjoining property or its private open space; or</p> <p>(b) another dwelling on the same site or its private open space.</p>

<p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p> <p><i>The proposed swimming pool and associated landscaping works comply. The subject property is a single dwelling</i></p>	
<p>A2</p> <p>A window or glazed door, to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is to have a setback of not less than 3m from a side boundary;</p> <p>(ii) is to have a setback of not less than 4m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p>	<p>P2</p> <p>A window or glazed door, to a habitable room of dwelling, that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <p>(a) window or glazed door, to a habitable room of another dwelling; and</p> <p>(b) the private open space of another dwelling.</p>

<p>(b) The window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of at least 1.7m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.</p> <p><i>Not applicable. There are no works to the existing dwelling or any new dwellings included in the proposed swimming pool and associated landscaping works</i></p>	
<p>A3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</p> <p>(a) 2.5m; or</p> <p>(b) 1m if:</p> <p>(i) it is separated by a screen of not less than 1.7m in height; or</p> <p>(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure</p>	<p>P3</p> <p>A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.</p>

glazing extending to a height of not less than 1.7m above the floor level.

Not applicable. There are no works to the existing dwelling or any new dwellings included in the proposed swimming pool and associated landscaping works

9.4.7 Frontage fences for all dwellings

Not Applicable. There are no frontage fences included in the proposed swimming pool and associated landscaping works

9.4.8 Waste storage for multiple dwellings

Not Applicable. The subject property is a single dwelling only

9.5 Development Standards for Non-dwellings

9.5.1 Non-dwelling development

Not Applicable. The subject property is a single dwelling only

9.5.2 Non-residential garages and carports

Not Applicable. The subject property is a single dwelling only

9.6 Development Standards for Subdivision

Not Applicable. There is no subdivision included in the proposed swimming pool and associated landscaping works. The subject property is a single dwelling only

C2.0 Parking and Sustainable Transport Code

C2.4 Use or Development Exempt from this Code

C2.4.1 There are no exemptions to this code.

C2.5 Use Standards

C2.5.1 Car parking numbers

Not Applicable. There are no amendments or additions to the existing parking required or included in the proposed swimming pool and associated landscaping works

C2.5.2 Bicycle parking numbers

Not Applicable. There is no requirement for bicycle parking. The subject property is a single dwelling only

C2.5.3 Motorcycle parking numbers

Not Applicable. There is no requirement for motorcycle parking. The subject property is a single dwelling only

C2.5.4 Loading Bays

Not Applicable. There is no requirement for loading bays. The subject property is a single dwelling only

C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone

Not Applicable. The subject property is a single dwelling only

C2.6 Development Standards for Buildings and Works

C2.6.1 Construction of parking areas

Not Applicable. There are no amendments or additions to the existing parking required or included in the proposed swimming pool and associated landscaping works

C2.6.2 Design and layout of parking areas

Not Applicable. There are no amendments or additions to the existing parking required or included in the proposed swimming pool and associated landscaping works

C2.6.3 Number of accesses for vehicles

Not Applicable. There are no amendments or additions to the existing vehicle access required or included in the proposed swimming pool and associated landscaping works

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

Not Applicable. The subject property is a single dwelling only

C2.6.5 Pedestrian access

Not Applicable. The subject property is a single dwelling only

C2.6.6 Loading bays

Not Applicable. The subject property is a single dwelling only

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

Not Applicable. There is no requirement for bicycle parking. The subject property is a single dwelling only

C2.6.8 Siting of parking and turning areas

Not Applicable. There are no amendments or additions to the existing parking required or included in the proposed swimming pool and associated landscaping works

C2.7 Parking Precinct Plan

Not Applicable. The subject property is not located in a parking precinct. There are no amendments or additions to the existing parking required or included in the proposed swimming pool and associated landscaping works

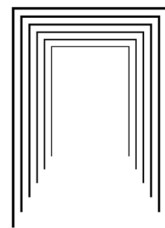
C6.0 Local Historic Heritage Code

Please refer to the Heritage Impact Report prepared by Purcell for information.

C15.0 Landslip Hazard Code

C15.4 Use or Development Exempt from this Code

Not Applicable. The subject property is located within a low landslip hazard band and is not a critical, hazardous or vulnerable use and is therefore exempt from this code.



PURCELL

STANWELL HALL

166 MELVILLE STREET, WEST HOBART

HERITAGE IMPACT ASSESSMENT

28 AUGUST 2025

Author	Date	Revision	By	Checked
PURCELL	15/07/2025	00 Draft for Client comment	LM	LBS
nipaluna Ground Floor, 183 Macquarie Street Hobart, Tas 7000	28/08/2025	01 Final	XY	LBS

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Nominated Architect: Lucy Burke-Smith
TAS 898 CC6606

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Acknowledgement of Country

Purcell acknowledge the Traditional Custodians of Country throughout Australia and pay our respects to Elders past, present, and emerging. We respectfully acknowledge and pay respect to the Palawa people of lutruwita/Tasmania, and to the Muwinina people, the traditional and original owners, and continuing custodians, of country.

HERITAGE IMPACT ASSESSMENT

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INTRODUCTION

Background

Justine and Ben Gillingham commissioned Purcell to prepare this Heritage Impact Assessment (HIA) to accompany a Development Application for the selected demolition and works (Proposed works) at 166 Melville Street, Hobart (Place). The Place is Permanently Registered on the Tasmanian Heritage Register (THR, ID #3378).¹ The Place is included in HOB-Table C6.1 Local Heritage Places (Ref No HOB-C6.1.2332) of the Hobart Local Provisions Schedule (Hobart LPS)² by virtue of its inclusion in the THR.³ It is also within the HOB-Table C6.2 Local Heritage Precincts, as part of the 'Bathurst and Melville Street', West Hobart (HOB-C6.2.74) Local Heritage Precinct.⁴ The following documentation details the Proposed works assessed in this HIA:

- Studio ilk Architecture & interiors, 'Proposed Swimming Pool & Associated Landscaping' DA Issue, 27.08.2025 (see Appendix A for drawing list).

Linda Mott (Heritage Consultant), and Lucy Burke-Smith (Partner), of Purcell prepared this report. Lucy Burke-Smith visited the Site on 3 February 2025 and completed a physical inspection of the exterior and interior, streetscape, and context. Unless otherwise cited, all images were taken at this site visit(s).

Limitations

This HIA is limited to an assessment of the potential statutory built heritage impacts of the Proposed works to the setting, context, and significant fabric of the registered built features on the Place. It is based on the current statutory heritage controls, and non-statutory guidelines, applicable to the heritage listed Place located at 166 Melville Street. Desk-based research, and client-provided information to date, form the basis of this report, no new archival research was undertaken.

It does not consider the proposed works' responsiveness to the Tasmanian State Planning Provisions. It is to be noted that the Tasmanian State Planning Provisions do not apply to a Place registered on the THR under the clauses C6.2.3 and C6.2.4 of C6.0 Local Historic Heritage Code, unless for the the lopping, pruning, removal or destruction of a significant tree listed within the Code.

All references to heritage, or heritage impacts, relate to registered, built heritage only. This report does not consider other potential heritage impacts of the Proposed works, including, without limitation, to landscape, vegetation, sub-surface, archaeological or indigenous heritage.

Terminology

The conservation terminology used in this report is of a specific nature and is defined within The Burra Charter: 'The Australia ICOMOS Charter for Places of Cultural Significance', 2013, (the Burra Charter).

References

This HIA references the following documents:

- The Tasmanian Planning Scheme, State Planning Provisions, No. 12, effective date: 9 July 2025.
- Heritage Tasmania, 'Works Guidelines' [online], accessed 10/07/2025.

1 Tasmanian Heritage Council (THC), Tasmanian Heritage Register (THR) Datasheet, 'Stanwell Hall' [online], THR ID 1697, accessed 10/07/2025.
2 Hobart Local Provisions Schedule (Hobart LPS), [date](#)
3 Hobart Local Provisions Schedule, (Hobart LPS), HOB-Table C6.1 Local Heritage Places (Ref No HOB-C6.1.2332).
4 Draft Hobart LPS, HOB-Table C6.2 Local Heritage Precincts, 'Bathurst and Melville Street', West Hobart, HOB-C6.2.74.

UNDERSTANDING THE SITE

Location

The Place's address is 166 Melville Street (Certificate of Title 165904/1, Property identifier 5554408). It is located on the slopes of West Hobart to the south west of central Hobart and Sullivans Cove. The THR datasheet describes the Place as "... a significant element in the urban streetscape." The House is within a much-reduced garden, which originally extended to Barrack Street. It is now surrounded by homes built over the last two centuries on streets that were laid out after Stanwell Hall was built.



Figure 1: Aerial view, the approximate property boundary outlined in yellow, THR listed properties shaded purple, HOB-Table C6.2 Local Heritage Precincts hatched (Source: ListMap, overlaid by Purcell).

Description

The Tasmanian Heritage Register Datasheet describes the Place as:

"An asymmetrical, two storey stuccoed building with an irregular roof shape and ground-plan. The roofs are corrugated iron hips and gables, with boxed eaves and simple chimneys. The windows are double-hung with large panes. The front elevation has a highly-decorated flying gable over the porch, a dormer window, and an enclosed verandah on the first floor. A side elevation has a projecting gable-roofed wing, with verandahs following the contours of the house at ground and first floors, these verandahs have Federation detailing. The rear elevation has a skillion roofed weatherboard extension on the ground floor, which is a verandah enclosed at a later date. The garden features many mature trees some of which may date from Glover's occupation."⁵

The original main entrance to the house faces northeast, toward Barrack Street. This is the elevation shown in a painting by prominent Tasmanian Artist John Glover in 1832 in his first major Tasmania work (Figure 2).

Historical overview

The following history was extracted from the THR datasheet:

"The house was originally known as Stanwell Hall and is the house in the painting "Hobart Town taken from the Garden where I lived" by John Glover. The painting was shipped to London for exhibition in 1835 and is now held

5 THC, THR Datasheet, '[Stanwell Hall](#)' [online], THR ID 1697, accessed 10/07/2025.

UNDERSTANDING THE SITE

by Dixon Galleries, State Library of NSW in Sydney. Glover wrote on the back of the painting "The geraniums, Roses etc will give some idea how magnificent the garden may be had here" (Mercury 02. 11.01)"



Figure 2: View of Hobart from the Garden of Stanwell Hall (Source: John Glover, 1832, 'Hobart Town, taken from the garden where I lived' (online), FL1632633, Dixon Galleries, State Library of New South Wales).

John Glover occupied the Place from April 1831 until 12 March 1832.⁶ He rented the place from Mr Harry Hopkins, who advertised it to be let in Dec 1830, as having eight rooms, an attic, a coach house and a two-acre garden.⁷

The house was advertised for lease in 1850 with the description:

... "most delightfully situated, commanding a full view of the Town and Harbour, ... The house consists of ten rooms, and has lately undergone a thorough repair, and is fit for a genteel family. There is a large garden, a well of water, and a stone cistern to hold the rain-water, also a coach-house and stable. For further particulars, apply to Joshua Jennings, No. 86, Elizabeth Street."⁸

⁶ Paul Turvey, "Stanwell Hall",

⁷ "Advertising" *Colonial Times* (Hobart, Tas. : 1828 - 1857), 24 December 1830, p 1 accessed 10/07/2025.

⁸ "Advertising" *Colonial Times* (Hobart, Tas. : 1828 - 1857), 31 May 1850, p 1, accessed 10/07/2025.

UNDERSTANDING THE SITE

Recent Images of the Place and its context



Figure 3: Primary façade from the 'front' garden.



Figure 4: Side elevation (facing Melville Street).



Figure 5: The stair proposed for removal, the verandah proposed to be extended and connected to the terrace, pool and fireplace.



Figure 6: The (previously modified) edge of the house adjacent to the proposed location of the terrace, pool and fireplace.

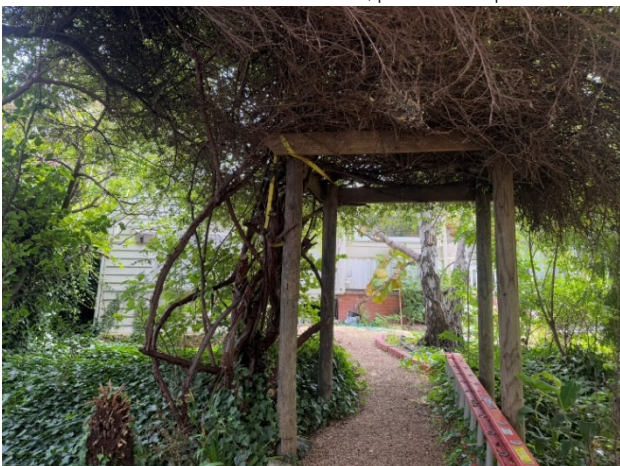


Figure 7: Wisteria in garden beyond area of proposed works that may warrant further investigation and potentially safeguarding.



Figure 8: Garden beds beyond the area of proposed works.

UNDERSTANDING THE SITE



Figure 9: Roses in garden beyond area of proposed works that may warrant further investigation and potentially safeguarding.



Figure 10: Roses in garden beyond area of proposed works that may warrant further investigation and potentially safeguarding.

Statutory Listings and Overview of Significance

Historic Cultural Heritage Act (TAS) 1995

The Site (Certificate of Title 165904/1) is Permanently Registered as State Significant on the Tasmanian Heritage Register, with THR ID 3378.⁹ The THR Datasheet identifies that the Site meets the following criteria from the *Historic Cultural Heritage Act 1995*:

- d) 166 Melville Street is of historic heritage significance because of its ability to demonstrate the principal characteristics of a two storey, stucco Victorian domestic building with Federation extensions. The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.
- f) This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place. The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.

No Statement of Significance: (non-statutory summary) is provided for places listed prior to 2007

Hobart Local Provisions Schedule

The Place is included in HOB-Table C6.1 Local Heritage Places (Ref No HOB-C6.1.2332) of the Hobart Local Provisions Schedule (Hobart LPS) by virtue of its inclusion in the THR.¹⁰ There is no Specific Extent or Statement of Local Historic Heritage Significance and Historic Heritage Values for the Place in HOB-Table C6.1.

⁹ THC, THR Datasheet, THR ID THR ID.

¹⁰ Hobart Local Provisions Schedule, (Hobart LPS), HOB-Table C6.1 Local Heritage Places (Ref No HOB-C6.1.2332).

UNDERSTANDING THE SITE

The Place is also within HOB-Table C6.2 Local Heritage Precincts, as part of the 'Bathurst and Melville Street', West Hobart (HOB-C6.2.74) Local Heritage Precinct.¹¹ The Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy are identified in datasheet no. HOB-C6.2.74 of City of Hobart Local Heritage Precincts – Description, Statement of Local Historic Heritage Significance and Design Criteria / Conservation Policy, January 2019. Datasheet no. HOB-C6.2.74 "Bathurst and Melville Street – West Hobart" refers to the Place as follows:

"Stanwell Hall at 166 Melville Street was built in 1826, the house has little street presence but it's very large garden forms somewhat of an oasis within the street."¹²

The Place is not in HOB-Table C6.3 Local Historic Landscape Precincts; HOB-Table C6.4 Places or Precincts of Archaeological Potential; or HOB-Table C6.5 Significant Trees.

It is to be noted that the Tasmanian State Planning Provisions do not apply to a Place registered on the THR under the following clauses of C6.0 Local Historic Heritage Code:

"C6.2.3 This code does not apply to a registered place entered on the Tasmanian Heritage Register, unless for the lopping, pruning, removal or destruction of a significant tree as defined in this code.

C6.2.4 This code does not apply to use. [footnoted:] Clause 7.4, change of use of a local heritage place may apply."

Significant Trees are defined in C6.3 Definition of Terms as follows:

"significant tree means a tree that is listed and identified in the significant trees list in the relevant Local Provisions Schedule."

As there are no trees on the property listed under the Hobart Local Provisions Schedule HOB-Table C6.5 Significant Trees; and no change of use to the Place is proposed as part of the works, the Tasmanian State Planning Provisions do not apply to this development.

Non-Statutory Listings

The Site is not included on the Register of the National Estate, (non-statutory archive).¹³

The National Trust list (in Tasmania) was rescinded by the Tasmanian Government after it was used as a base for the Tasmanian Heritage Register and no longer has statutory force. The Tasmanian National Trust does not maintain a publicly available list of Tasmanian Heritage places.¹⁴

¹¹ Hobart LPS, HOB-Table C6.2 Local Heritage Precincts, 'Bathurst and Melville Street', West Hobart, HOB-C6.2.74.

¹² Hobart LPS, HOB-Table C6.2 Local Heritage Precincts, 'Bathurst and Melville Street', West Hobart, HOB-C6.2.74.

¹³ Department of Climate Change, Energy, the Environment and Water (DCCEEW), '[Search the Australian Heritage Database](#)' [website], accessed 11/02/2025.

¹⁴ Tasmanian National Trust, '[About us TAS](#)', accessed 12/05/2025

HERITAGE IMPACT ASSESSMENT

Proposed Works

The following overview of the proposed works is taken from the DA drawing package prepared by Studio Ilk, dated 27/08/2025.

- No works are proposed to the existing house;
- Demolition of landscaping is proposed in the garden beyond the house;
- The Proposed works include a swimming pool, terrace with pergola and outdoor fireplace, a basketball court, and safety fencing, to the rear of the house adjacent to an existing terrace.

Appendix A, Architectural Plans, prepared by Studio Ilk dated 27.08.2025 of the DA package has further details of the proposed works.

Guidance Documentation

This assessment follows the best practice management framework for historic sites contained in:

- The Burra Charter: [‘The Australia ICOMOS Charter for Places of Cultural Significance’](#), 2013.
- Heritage Tasmania, [‘Works Guidelines for Historic Heritage Places’](#), for the Tasmanian Heritage Council, November 2015.

Assessment Methodology

This assessment follows the provision of preliminary heritage advice through an iterative design process, intended to mitigate potential impact to the significance and values of the place. It is based on observations made during a site visit and a review of the design proposal. The assessment considers the potential for detrimental impacts resulting from the proposal, as well as all mitigation measures proposed, within the context of the *Historic Cultural Heritage Act 1995*. Proposed works have been assessed for their impact to the heritage value of the Heritage Place as identified in its Statement of Significance, and the place’s setting and context. The Proposal has also been considered against non-statutory guidelines published by Australia ICOMOS. Direct (fabric) and indirect (visual) impacts are both considered in this assessment.

It is to be noted that the Tasmanian State Planning Provisions do not apply to a Place registered on the THR under the following clauses of [C6.0 Local Historic Heritage Code](#):

“C6.2.3 This code does not apply to a registered place entered on the Tasmanian Heritage Register, unless for the lopping, pruning, removal or destruction of a significant tree as defined in this code.

C6.2.4 This code does not apply to use. [footnoted:] Clause 7.4, change of use of a local heritage place may apply”

Significant Trees are defined in [C6.3 Definition of Terms](#) as follows:

“significant tree means a tree that is listed and identified in the significant trees list in the relevant Local Provisions Schedule.”

As there are no trees on the property listed under the Hobart Local Provisions Schedule HOB-Table C6.5 Significant Trees; and no change of use to the Place is proposed as part of the works, the Tasmanian State Planning Provisions do not apply to this development.

Assessment against the Works Guidelines for Historic Heritage Places

The Site is identified as a Heritage Place under the *Historic Cultural Heritage Act 1995*. The following table assesses the Proposal against the relevant Works Guidelines for Historic Heritage Places, 2015.

HERITAGE IMPACT ASSESSMENT

7. EXCAVATION AND ARCHAEOLOGICAL INVESTIGATION	
7.2 Excavation and ground disturbance	<p>The place has not been assessed as having significant archaeological value against criterion (c), and is not currently known to have significant archaeological remains. It is not included in HOB-Table C6.4 Places or Precincts of Archaeological Potential.</p> <p>There are several features described as being in the grounds of the house (see Historical overview), although it is unknown where they were been located. It is possible that subterranean remains may exist at the place.</p> <p>However, reference to historical maps and aerial photographs indicate that the area that the proposed works applies to has not been the site of any structures on plans (1841, 1908),¹⁵ or aerial imagery (from 1946 onwards).¹⁶</p> <p>Any approval could have a standard condition regarding unexpected archaeological discoveries.</p>
9. ALTERATIONS, ADDITIONS AND EXTENSIONS	
9.2 Alterations to significant structures	Not Applicable. The development is proposed for the garden beyond the historic house, connected to the modern verandah. Alterations to significant structures are not proposed.
9.3 Works to nonsignificant structures (ie: modern buildings, sheds, garages)	<p>The Proposed works are limited to the stairs to the verandah, a later addition, and an area of the garden to the rear of the house. The Proposed works are to replace the existing stairs from the verandah with an extension and a set of stairs connecting to the proposed terrace.</p> <p>The siting of the Proposed works will not impact landscape significance; retention of the significant views and vistas from the place; or the viewing location of Glover's painting. The topography of the place is such that the Proposed works will not be seen from any public place.</p> <p>There is sufficient precedent of masonry retaining walls and embankments to demonstrate that the proposed masonry walls are sympathetic and not uncharacteristic of the place.</p> <p>The proposed work will not result in either a physical or visual impact to significant elements or spaces of the place.</p>
9.5 Additions or Extensions	<p>The Proposed works are for minor additions or extensions to structures that are of little heritage significance. As discussed above, the proposed work will not result in either a physical or visual impact to significant elements or spaces of the place.</p> <p>The Proposed works include outdoor living and recreation spaces, consistent with the use of the house as a modern residence. They form part of the evolution of the house to adapt to new owners and their requirements.</p>

¹⁵ Sprent's sheet 51, 1841, TA, 1841 [AF393/1/56](#); Metropolitan Drainage Board Plan, Detail Plan 44, 1908, TA, [628185/3/35](#).

¹⁶ As accessed through the LandTasmania, '[Aerial Photo Viewer](#)', accessed 14/01/2025 and 10/07/2025.

HERITAGE IMPACT ASSESSMENT

11. NEW SERVICES	
11.1 New services– (generally)	<p>Water and power connections to the proposed pool, terrace and basketball courts are yet to be detailed. The property is connected to power and water infrastructure.</p> <p>New services required for the Proposed works are likely to be run underground. This will pose no physical or visual impact to significant elements or spaces of the place.</p> <p>Any approval could have a standard condition regarding unexpected archaeological discoveries.</p>
12. HISTORIC PLANTINGS AND LANDSCAPING	
13.2 Changing Changes to significant gardens or landscapes.	<p>The garden is not included in the assessment of the Place's significance as a significant feature of the Place. It is much reduced from what the original garden of 2 acres would have been. Given his short occupation of the place, it is doubtful that the garden was established by John Glover, or materially added to, particularly as it was a leased property.</p> <p>Geraniums and roses are mentioned by Glover in his notes on the back of the painting from the Garden. Roses and geraniums that do grow in the garden are understood to be beyond the area of proposed demolition and works. Roses do not typically live more than 50 years. It seems unlikely that the roses and geraniums are themselves significant.</p> <p>The works do not conflict with the tree planted in 2017 to commemorate John Glover's 250th birthday.</p> <p>During the site inspection, no stonework paving, edging, and/or steps, were identified where the works are proposed. There is no evidence to suggest significant historical plantings or landscaping is proposed to be removed.</p>
13.5 Removing plantings	<p>The proposal involves the removal of non-significant plantings which are of no social or community value. Roses and geraniums that do grow in the garden are understood to be beyond the area of proposed demolition and works. Roses do not typically live more than 50 years. It seems unlikely that the roses and geraniums are themselves significant.</p> <p>The works do not conflict with the tree planted in 2017 to commemorate John Glover's 250th birthday.</p>

Summary of Assessment

The proposed works include a terrace, pool, and half basketball court in the garden to the rear of the historic house, adjoining a modern verandah. The demolition proposed is limited to the verandah steps, an area of the rear garden, several trees, and some excavation to provide level surfaces for construction. As far as can be ascertained from readily available digital records, the proposal is sited to avoid all documented outbuildings and features which are no longer on the property. There will be no physical impacts to significant fabric or to the Place's setting.

Proposed works are below the ground floor level of the three-storey house, and not visible from any public place. It is slightly lower than the existing verandah, and below the existing tree level, so unlikely to be seen from the property below it on Bathurst Street. The proposed works are sited to retain the significant views and features made famous by the celebrated

HERITAGE IMPACT ASSESSMENT

colonial artist John Glover, who leased the property between 1831 and 1832. There will be no visual impacts to the Place's setting, significant views or vistas.

The proposed development has a modern architectural expression and includes finishes sympathetic to the original house. The area in the vicinity of the historical front entrance to the house, illustrated in the painting, would be unaffected by the proposed demolition and works.

Recommendations

- In the event of unanticipated archaeological finds, '[Practice Note 2: Managing Historical Archaeological Significance In The Works Process](#)', Tasmanian Heritage Council, Version 4: November 2014, should be followed.

APPENDICES

Appendix A Document and Drawing List

Author	Drawing / Document Name	Drawing No.	Issue	Rev	Date
STUDIO ILK	INDEX & SITE CONTEXT PLAN	DA.00	DA ISSUE	B	27.08.2025
CROMER & PARTNERS	CONTOUR & DETAIL PLAN BY CROMER & PARTNERS	GILLBO1-02			16.01.2023
CROMER & PARTNERS	CONTOUR & DETAIL PLAN BY CROMER & PARTNERS	GILLBO1-03			16.01.2023
STUDIO ILK	EXISTING SITE & ROOF PLAN	EX.01	DA ISSUE		27.08.2025
STUDIO ILK	EXISTING GROUND FLOOR PLAN	EX.02	DA ISSUE		27.08.2025
STUDIO ILK	EXISTING FIRST FLOOR PLAN	EX.03	DA ISSUE		27.08.2025
STUDIO ILK	EXISTING ATTIC FLOOR PLAN	EX.04	DA ISSUE		27.08.2025
STUDIO ILK	EXISTING N-E, S-E & N-W ELEVATIONS	EX.05	DA ISSUE		27.08.2025
STUDIO ILK	PROPOSED SITE AND ROOF PLAN	DA.01	DA ISSUE	B	27.08.2025
STUDIO ILK	PROPOSED GROUND FLOOR PLAN	DA.02	DA ISSUE	B	27.08.2025
STUDIO ILK	PROPOSED FIRST FLOOR PLAN	DA.03	DA ISSUE	A	27.08.2025
STUDIO ILK	PROPOSED N-E & S-E ELEVATIONS	DA.04	DA ISSUE	A	27.08.2025

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Lucy Burke-Smith

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Nominated Architect:

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Other studio locations:

Hong Kong, Bristol, Cambridge, Canterbury,

Cardiff, Colchester, Leeds, London,

Manchester, Norwich, Oxford, York.



Kate Symons <kate@studioilk.com.au>

response to RFI request from HCC. at 166 Melville Street, West Hbt.

2 messages

Dan Witte <dwitte@pittsh.com.au>
To: Kate Symons <kate@studioilk.com.au>

12 September 2025 at 10:26

Hi Kate,

In response to the RFI request from Hobart Council planning, REF: PLN-HOB-2025-0460. I can confirm the following:

Based on the provided DA documents for a Planning application for a swimming pool, pool fencing, terrace, patio & basketball court at the above address. The proposal would be considered as 'building work' and would most likely come under category 3 Notifiable Building Work or may come under cat 4 Permit Building Work as per the director's determination of categories of building & plumbing work . The category will be determined once full documentation for building approval is provided but it will definitely be either Cat 3 or Cat 4.

Regards Dan

pitt&sherry

Building Surveying

Dan Witte

Building Surveyor Limited

Direct 03 6210 1444 | Mobile 0456 593 111 | dwitte@pittsh.com.au



Hobart Office — Level 1, Surrey House, [199 Macquarie Street](#)
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pittsherrybuildingsurveying.com.au



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pitt&sherry Building Surveying acknowledge the Aboriginal and Torres Strait Islander people as the Traditional Custodians of country on which we live and work. We pay our respects to the Traditional Custodians and Elders past, present and emerging, and recognize their continuing connection to land, water and community.

Kate Symons <kate@studioilk.com.au>

12 September 2025 at 11:35

To: Dan Witte <dwitte@pittsh.com.au>

Thanks Dan

Kind Regards

Kate Symons

Director / Architect

B.EnvD B.Arch (Hons)

*See our latest published project at
The Local Project!*



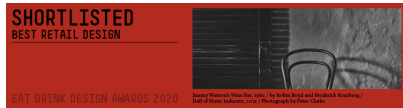
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Custodians of the land on which
we live and work. We pay our
respects to their culture and
Elders past, present and
emerging.*



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[Quoted text hidden]

HYDRAULIC DRAWINGS ALTERATIONS & ADDITIONS TO PROPERTY JUSTINE & BEN GILLINGHAM

H001	HYDRAULIC INDEX	A	10/12/2025
H002	HYDRAULIC NOTES	A	10/12/2025
H101	DRAINAGE SERVICES PLAN - EXISTING SITE	A	10/12/2025
H102	DRAINAGE SERVICES PLANS - PROPOSED SITE	A	10/12/2025
H103	DRAINAGE SERVICES PLANS - CATCHMENT AREA	A	10/12/2025
H401	HYDRAULIC DETAILS	A	10/12/2025

			DRAWN:	NAT
			CHECKED:	AJ
			DESIGN:	NAT
			CHECKED:	AJ
A	DEVELOPMENT APPROVAL	10/12/2025	VERIFIED:	AJ
REV	ISSUE	DATE	APPROVAL	



Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mail@aldanmark.com.au
www.aldanmark.com.au

PROJECT:	ALTERATIONS & ADDITIONS TO PROPERTY	ADDRESS:	166 MELVILLE STREET WEST HOBART, TAS 7000	SHEET:	HYDRAULIC INDEX		
CLIENT:	JUSTINE & BEN GILLINGHAM	SCALE:	N.T.S.	TOTAL SHEETS:	6	SIZE:	A1
PROJECT No:	25E105-2	SHEET:	H001	REV:	A		

HYDRAULIC NOTES

GENERAL NOTES:

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS, PROJECT CONTRACT AND SPECIFICATIONS. STANDARD REFERENCES ARE THE MOST RECENT VERSION.
- SEWER, STORMWATER AND WATER SERVICES SHALL BE IN ACCORDANCE WITH THE NCC VOL.3 (PCA), AS3500, VISA CODES, TASWATER AND TO LOCAL AUTHORITY APPROVAL.
- IT IS ASSUMED THAT ADJACENT TO THE DEVELOPMENT SITE IS ADEQUATE INFRASTRUCTURE PROVIDED BY THE LOCAL AUTHORITY AND COUNCIL AUTHORITIES TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE. THERE IS ADEQUATE INFRASTRUCTURE OR ENVIRONMENTAL CAPACITY TO RECEIVE STORMWATER AND SEWERAGE DRAINAGE. PARTICULAR ASSUMPTIONS ARE DESCRIBED IN THE FOLLOWING SECTIONS.
- THE LOCATION OF EXISTING SERVICES AND CONNECTION POINTS WHERE SHOWN ON PLANS ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED BY THE BUILDING SURVEYOR OR PLUMBING ENGINEER.
- FOLLOWING AGREEMENT WITH THE SUPERINTENDENT, TERMINATE AND ABANDON REDUNDANT EXISTING SERVICES DISCOVERED DURING CONSTRUCTION AND MAKE A NOTE ON AS-CONSTRUCTED DRAWING.
- LOCATE ALL EXISTING GAS, ELECTRICAL, TELECOMMUNICATIONS, WATER MAINS, SEWER MAINS AND STORMWATER MAINS ETC. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND ADVISE THE SUPERINTENDENT OF ANYTHING THAT APPEARS NOT TO HAVE BEEN CONSIDERED IN THE DESIGN.
- CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL. LAYOUT TO BE CONFIRMED ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT AND START WORKS NOTICE IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY HIS SUB-CONTRACTORS, ANY SERVICE DAMAGES IS TO BE RENAIATED IMMEDIATELY.
- ON COMPLETION OF WORKS PROVIDE THREE SETS OF AS-CONSTRUCTED DRAWINGS AND SERVICE MANUALS ALONG WITH ELECTRONIC DRAWING FILES IN PDF AND DWG FORMATS SUITABLE FOR READING WITH A RECENT VERSION OF ADOBE/AUTOCAD TO THE SUPERINTENDENT.
- THE CONTRACTOR IS RESPONSIBLE FOR ORGANIZING ALL SITE INSPECTIONS AND OBSERVING ALL HOLD POINTS NOMINATED WITHIN THE CONTRACT BY THE BUILDING SURVEYOR OR PLUMBING SURVEYOR.
- NOMINAL DIAMETERS FOR PIPES (DN) REFER TO THE INSIDE DIAMETER (ID BORE)
- CONCEAL ALL PIPEWORK IN CEILING SPACE, DUCTS, CAVITIES, WALL CHASES, CLOUBOARDS ETC. UNLESS OTHERWISE APPROVED.
- THE CONTRACTOR SHALL ALLOW TO COORDINATE WITH MECHANICAL AND REFRIGERATION SERVICES AND PROVIDE TUNDRISHES CONNECTED TO SEWERS OR DRAINWATER AS APPROPRIATE TO ALL CONDENSATE DRAINAGE AND RELIEF VALVES. ALLOW TO PROVIDE AND INSTALL MAG IN WALL TUNDRISHES WITH STAINLESS STEEL COVER WINDOW (SUPPLIED BY MA GRIFTH) OR EQUAL APPROVED TYPE.
- TRENCHING FOR FLEXIBLE PIPEWORK SHALL BE IN ACCORDANCE WITH AS2566 AND AS3500.
- ALL PIPEWORK UNDER TRAFFICABLE AREAS, SLABS OR PAVEMENTS IS TO BE FULLY BACKFILLED WITH COMPACTED FCR.
- WHERE HYDRAULIC PIPEWORK AS SHOWN ON THE HYDRAULIC SERVICES PLANS IS PASSING OVER, THROUGH OR ADJACENT TO A NOISE SENSITIVE AREA, ALL PIPEWORK SHALL BE ACOUSTICALLY LAGGED TO PREVENT ALL NOISE TRANSMISSION TO THESE AREAS. PREFERRED TYPE OF INSULATION IS 30mm THICK THERMO TECH Z ZERO INSTALLED TO MANUFACTURERS SPECIFICATION UNO IN HYDRAULIC SPECIFICATION.

STORMWATER NOTES:

- STORMWATER PIPE INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY A 20 YEAR ANNUAL EXCEEDANCE POSSIBILITY (5% AEP) AT A 5 MINUTE DURATION, WITH OVERLAND FLOW PATHS PROVIDED FOR 1:100 YEAR ANNUAL EXCEEDANCE PROBABILITY (1% AEP). IT IS ASSUMED THAT THE DOWNSTREAM INFRASTRUCTURE AND/OR ENVIRONMENT CAN SAFELY RECEIVE THE 5% AEP EVENT WITH A 5 MINUTE STORM DURATION.
- ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCC VOL.3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- ALL PIPEWORK SHALL BE MINIMUM DN100 UNLESS NOMINATED OTHERWISE ON PLANS
- MINIMUM GRADE OF PAVED AREAS AND PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE.
- INSTALL ALL AG DRAINS TO THE REQUIREMENTS OF AS3500 AND THE NCC
- PROVIDE INSPECTION OPENINGS TO ALL DRAINAGE PIPEWORK IN ACCORDANCE WITH AS3500 REQUIREMENTS EVEN IF NOT SHOWN IN DRAWINGS.
- PIPE AND CHANNEL INFRASTRUCTURE HAS BEEN DESIGNED TO CONVEY 20 YEAR ANNUAL EXCEEDANCE POSSIBILITY (5% AEP) STORMS, WITH OVERLAND FLOW PATHS PROVIDED FOR 1% AEP STORMS. IT IS ASSUMED THAT WATER FLOWING ONTO THE DEVELOPMENT SITE IS CONTAINED WITHIN LOCAL AUTHORITY INFRASTRUCTURE FOR 5% AEP STORMS AND THE ROAD RESERVE FOR 1% AEP STORMS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES' BY-LAWS AND AS/NZS3500.
- STORMWATER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA INSTALLATION REQUIREMENTS FOR TYPE H2 SUPPORT.
- BELOW GROUND PIPEWORK AND FITTINGS TO BE DWV S/N6. JOINTS SHALL BE OF SOLVENT CEMENT TYPE OR FLEXIBLE JOINTS MADE WITH APPROVED RUBBER RINGS.
- PIPEWORK SHALL BE LAID IN POSITION AND AT THE GRADES SHOWN.
- MINIMUM GRADE OF PIPEWORK SHALL BE 1 IN 100 UNLESS NOTED OTHERWISE (U.N.O.).
- MINIMUM SIZE OF PIPEWORK SHALL BE DN100.
- SURFACE WATER DRAINS, CATCH PITS/SEGREGATED PITS, AND JUNCTION BOXES SHALL BE CONSTRUCTED AS DETAILED OR AS SPECIFIED BY THE MANUFACTURER.
- ALL MANHOLES TO BE LOCATED CLEAR OF FUTURE FENCELINES.

SEWER NOTES:

- ALL MATERIALS AND WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS3500, NCC VOL.3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL.3 (PCA), COUNCIL STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- CONFIRM THE LOCATION AND LEVEL OF THE NOMINATED OUTLET PRIOR TO TRENCH EXCAVATION OR LAYING OF ANY DRAINS. ASCERTAIN FROM TASWATER ALL NECESSARY CONNECTION REQUIREMENTS AND INSTALL ALL WORK FOR CONNECTION IN ACCORDANCE WITH THESE REQUIREMENTS.
- SEWER TRENCHES, PIPE BEDDING AND BACK FILLING TO COMPLY WITH AS2566 & AS3500.2
- ALL PIPEWORK SHALL BE AS3500.
- PIPEWORK SHALL BE CONSTRUCTED OF DWV S/N6, U.N.O. PIPEWORK RECEIVING HOT DISCHARGES SHALL BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE (HDPE) OR COPPER TYPE 'B'.
- PIPEWORK SHALL HAVE BE MINIMUM CLASS S/N6 UNLESS NOMINATED OTHERWISE ON PLANS.
- PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY TO ENSURE NO LEAKS.
- ALL PIPEWORK SHALL BE CONCEALED IN WALLS, VOID SPACE OR DUCTS UNLESS NOTED OTHERWISE.
- MINIMUM GRADE OF PIPEWORK SHALL BE 1:40 FOR BRANCHES AND 1 IN 60 FOR DRAINS UNLESS NOTED OTHERWISE.
- MINIMUM SIZE OF BRANCH DNEs AND MINIMUM SIZE OF DRAINS SHALL BE DN100.
- WHERE FLOOR WASTE GULLIES ARE INDICATED, THE FLOORS SHALL BE GRADED TOWARDS THE OUTLET. FLOOR WASTE GULLIES CONNECTED TO LAUNDRY FIXTURES SHALL BE ANTI-CORROTYPE.
- ALL FITTINGS TO BE ISOLATED BY AN APPROVED TRAP PRIOR TO CONNECTION TO THE SEWER LINE.
- PROVIDE AIR ADMITTANCE VALVES AND ATMOSPHERIC VENTS IN ACCORDANCE WITH AS3500 REQUIREMENTS.
- INSPECTION OPENINGS SHALL BE PROVIDED IN ACCORDANCE WITH AS3500.
- ONE OVER LOW RELIEF VALVE SHALL BE PROVIDED FOR THE SITE WHICH SHALL BE PRIMED BY AN EXTERNAL WATER SOURCE.
- WHERE PIPEWORK PENETRATES FIRE RATED WALLS OR FLOORS, A FIRE STOP COLLAR SHALL BE INSTALLED. ALL WORK SHALL BE STRICTLY INSTALLED TO THE MANUFACTURER'S RECOMMENDATIONS.
- NO SEWER CONNECTIONS SHALL BE MADE WITHIN RESTRICTED ZONES OF STACKS AS PER AS3500. INSTALL LONG RADIUS BENDS AT THE BASE OF ALL STACKS AS PER AS3500 AND INCLUDE ALL BRACKETS AND SUPPORTS.

TRADE WASTE:

- ALL TASWATER TRADE WASTE INSTALLATIONS FOR COMMERCIAL KITCHENS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES.
- DEPARTMENT OF EDUCATION KIOSKS AND HOME ECONOMICS CLASSROOMS SHALL HAVE NON BYPASSABLE DRY BASKET ARRESTORS FITTED TO ALL SINKS & FLOOR WASTES. ALL SINKS IN GENERAL LEARNING CLASSROOMS SHALL BE FITTED WITH NON BYPASSABLE DRY BASKET ARRESTORS.
- ALL TRADE WASTE INSTALLATIONS SHALL BE INSTALLED TO ADHERE TO THE NCC VOL.3 (PCA) TASMANIAN APPENDIX AND TASWATER'S TRADE WASTE GUIDELINES

BUILDING HYDRAULICS:

- ALL MATERIALS AND WORKMANSHIP TO BE DONE IN ACCORDANCE WITH AS3500, NCC VOL.3 (PCA), TASMANIAN APPENDIX OF THE NCC VOL.3 (PCA) AND LOCAL AUTHORITY REQUIREMENTS.
- ALL DRAINAGE PIPEWORK SHALL BE DWV CLASS S/N6 U.N.O. ALL WASTE AND VENT SHALL BE DWV CLASS PIPE.
- DURING CONSTRUCTION TEMPORARILY SEAL ALL OPEN ENDS OF PIPES AND VALVES TO PREVENT ENTRY OF FOREIGN MATTER, DO NOT USE RAGS, PAPER OR WOODEN PLUGS.
- SUPPLY AND INSTALL ALL FIXTURES, VALVES, TAPWARE AND SUNDRY ITEMS AS SCHEDULED WITHIN THE SPECIFICATION.
- PROVIDE FIRE STOPS AS REQUIRED.
- CONTRACT DRAWINGS ARE DIAGRAMMATIC AND AS SUCH SHOW THE INTENT OF DESIGN. INSTALLATION TO BE AS PER AS/NZS3500. ALLOW FOR ALL BENDS, OFFSETS AND OTHER MEASURES AS NECESSARY TO AVOID INTERFERENCE WITH THE STRUCTURE AND/OR OTHER BUILDING SERVICES.
- REFER TO ARCHITECTS DEMOLITION PLAN FOR REMOVAL OF EXISTING FIXTURES AND FITTINGS. THE REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE ALL ASSOCIATED WASTE AND VENT PIPES, FLOOR DRAINS, WATER SERVICE AND PIPEWORK BRACKETS, SUPPORTS, ETC AND SEAL OFF EXISTING SERVICES. SEAL OFF AND MAKE GOOD ALL FLOOR, WALL AND ROOF PENETRATIONS.
- THE LOCATION OF EXISTING SERVICES WHERE SHOWN ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED ON SITE. WHERE POSSIBLE, DETERMINE LOCATION OF EXISTING POWER, TELESTR, WATER AND DRAINAGE SERVICES PRIOR TO COMMENCING NEW WORK.
- ALL PENETRATIONS THROUGH EXISTING SUSPENDED FLOOR SLABS SHALL BE DRILLED TO LOCATIONS APPROVED BY THE STRUCTURAL ENGINEER. DRILL PILOT HOLE PRIOR TO CORE DRILLING TO ENSURE CLEARANCE OF BEAMS AND OTHER SERVICES IN SLAB. ALL PENETRATIONS SHALL BE CORE DRILLED TO SUIT PIPE SIZE. ALLOWANCE FOR 10 MM CLEARANCES SHALL BE MADE FOR FIRE PROOFING.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE AND SMOKE STOP WALLS. ALL PIPE PENETRATIONS SHALL BE SEALED WITH TWO HOUR FIRE STOP SEALANT. INSTALL FIRE STOP COLLARS TO PVCU OR DWV PIPEWORK PASSING THROUGH FLOORS AND FIRE WALLS IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.
- PROVIDE SERVICE IDENTIFICATION AND DIRECTION OF FLOW MARKERS TO PIPEWORK IN ACCORDANCE WITH AS1345.
- MAKE GOOD ALL DISTURBED SURFACES TO MATCH EXISTING.
- MAINTAIN SERVICES TO EXISTING FIXTURES AT ALL TIMES. WHERE CHANGEOVER IS REQUIRED, LIAISE WITH THE ARCHITECT PRIOR TO THE SHUTTING DOWN OF ANY SERVICE.
- CONTRACTOR TO PROVIDE ALL DOCUMENTS, APPROVALS, CERTIFICATES, WARRANTIES, LOG BOOKS, ETC. UPON COMPLETION OF WORKS TO THE ARCHITECT. ALL FEES AND INSPECTIONS TO BE INCLUDED AND ARRANGED BY THE CONTRACTOR.
- REFER TO THE ARCHITECT'S DRAWINGS FOR SANITARY FIXTURES AND TAP SELECTIONS. SUPPLY AND FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES AND EQUIPMENT.

	DRAWN:	NAT
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A	DEVELOPMENT APPROVAL	10/12/2025
REV	ISSUE	DATE APPROVAL

WATER NOTES:

- WATER SERVICES TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500 PARTS 1 AND 4 AND TO THE SATISFACTION OF COUNCILS BUSINESS OR UNDERTAKING (PO) AND DEVELOPMENT ENGINEER.
- APPROVED PRESSURE LIMITING VALVES SHALL BE USED TO ENSURE PRESSURE DOES NOT EXCEED 500KPA TO ANY FIXTURE WITHIN A BUILDING. APPROVED PRESSURE LIMITING VALVES SHALL BE LOCATED AS CLOSE AS PRACTICAL TO A BUILDING TO ENSURE FRICTIONAL LOSSES WITHIN PIPEWORK ARE MINIMIZED.
- ADDITIONAL JOINTS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER AT CONTRACTORS COST UNLESS NOMINATED OTHERWISE ON PLANS.
- GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 PARTS 1 AND 4.
- ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
- AS AN ALTERNATIVE TO SILVER SOLDERED JOINTS, PRESS FITTED JOINTS MAY BE USED. ALLOW TO USE THE VIEGA PROGRESS SYSTEM WITH INSTALLATION IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS.
- ALL PIPEWORK SHALL BE CONCEALED WHERE POSSIBLE. WHERE PIPEWORK IS EXPOSED IT SHALL BE CHROME PLATED.
- WHERE PIPEWORK IS IN CONTACT WITH DISSIMILAR METALS, THE METALS SHALL BE INSULATED AGAINST BI-METAL CORROSION.
- MINIMUM COVER TO BE 750mm UNDER TRAFFICABLE AREAS, 600mm ELSEWHERE UNLESS NOMINATED OTHERWISE ON PLANS.
- PROVIDE STOP VALVES AT ALL BRANCH OFF TAKES.
- ALL TRENCHES UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, TO BE BACKFILLED WITH COMPACTED FOR.
- ELECTROMAGNETIC TRACKING TAPE TO BE PLACED OVER ALL TRENCHES CONTAINING WATER PIPES 50/0 OR GREATER ABOVE HAUNCHING.
- ALL ISOLATION VALVES SHALL BE POSITIONED IN APPROVED ACCESSIBLE LOCATIONS. VALVES LOCATED IN DUCTS OR WALLS SHALL BE POSITIONED BEHIND APPROVED TYPE ACCESS COVERS.
- ALL SCREWED STOP VALVES SHALL HAVE UNION COUPLINGS AND BE ACCESSIBLE. GLOB VALVES WHEREVER POSSIBLE.
- ALL COPPER PIPEWORK SHALL BE HARD DRAWN TUBING TYPE 'B' CONFORMING TO AS 1432.
- ALL POLYETHYLENE PIPEWORK SHALL BE PN16 PE100 CONFORMING TO AS A432.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED BY VISA AND AS3500.
- HOT WATER TO BE STORED AT MINIMUM 60°C WITH TEMPERING DEVICE INSTALLED TO LIMIT OUTLET TEMPERATURE TO: 50°C TO ALBUION AREAS, 60°C TO KITCHEN SINK, CLEANERS SINK AND LAUNDRY TROUGH AND TEMPERED TO 45°C IN DISABLED, CHILD CARE AND AGED CARE FACILITIES.
- COLD WATER, TEMPERED AND HOT WATER PIPEWORK AND VALVES SHALL BE LAGGED AS PER AS/NZS 3500:4.2.018 SECTION 8 FOR CLIMATE REGION C. HOT WATER CIRCULATING LINE TO BE LAGGED WITH SECTIONAL ROCKWOOL WITH FOIL OUTER COVER. EXTERNAL LAGGINS TO BE UV PROTECTED, AND LAGGING EXPOSED TO MOISTURE NEEDS TO BE MOISTURE PROTECTED. SOLAR FLOW AND RETURN LAGGING SHOULD BE RATED FOR TEMPERATURES UP TO 150°C, OTHER LAGGING RATED TO 105°C.
- LAGGING SHOULD BE FIRE RATED TO NCC REQUIREMENTS, PVC FREE, ZERO OZONE DEPLETING POTENTIAL, LOW VOLATILE ORGANIC COMPOUNDS.
- ONE PRESSURE RELIEF VALVE SET TO 500 KPA SHALL BE PROVIDED TO ALL WATER PIPES AT THE POINT OF ENTRY INTO A BUILDING.
- WATER COCKS SHALL BE 600mm ABOVE FINISHED SURFACE LEVEL AND SHALL BE 20mm IN SIZE. U.N.O. AND FITTED WITH APPROVED VACUUM BREAKERS. THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND TESTINGS OF SERVICES REQUIRED BY THE LOCAL AUTHORITY PRIOR TO CONCEALMENT. PRESSURE TEST HOT AND COLD WATER SERVICES TO 1.5 TIMES NORMAL WORKING PRESSURE AND FIRE SERVICES TO 1700 KPA MINIMUM PRESSURE PRIOR TO CONNECTION TO EXISTING SERVICES. PUMP EQUIPMENT SHALL BE REMOVED WHILE TESTING IS CARRIED OUT.
- ALL TEMPERING AND THERMOSTATIC MIXING VALVES SHALL BE EASILY LOCATED FOR SAFE OHS ACCESS.
- FOLLOWING COMPLETION OF THE WORKS, FLUSH ALL PIPING SYSTEMS AND LEAVE FREE OF FOREIGN MATTER, CLEAN OUT AERATORS, STRAINERS, FILTERS, ETC. FLOW AND PRESSURE TEST ALL HYDRANTS AND HOSE REELS.

FIRE NOTES:

- INSTALLATION OF FIRE SERVICE WATER SUPPLY INCLUDING HYDRANTS, BOOSTER CONNECTIONS, FIRE HOSE REELS AND COMMISSIONING SHALL BE TO THE REQUIREMENTS AND APPROVAL OF THE BUILDING SURVEYOR, TASMANIAN FIRE SERVICE, NCC 2019, AS 2419.1, AS 1221, AS2441 AND TASWATER.
- FIRE HOSE REELS SHALL BE INSTALLED AND PLACED IN WORKING ORDER AS SOON AS BUILDING WORKS PERMITS.
- ALL BELOW GROUND FIRE SERVICE PIPEWORK SHALL BE HARD DRAWN COPPER TUBE TYPE 'B' UNLESS NOTED OTHERWISE. ALL ABOVE GROUND FIRE SERVICE PIPEWORK SHALL BE MEDIUM DUTY HOT-DIPPED GALVANIZED STEEL TUBE WITH 60 MINUTES FIRE RATED SUPPORTS, UNLESS NOTED OTHERWISE.
- ALL FIRE ISOLATION VALVES SHALL BE SECURED IN THE OPEN POSITION BY A PADLOCKED GALV. METAL STRIP OR CHAIN. PROVIDE AND INSTALL ENGRAVED NON-FERROUS METAL TAGS WITH 8MM UPPER CASE WORDING: "FIRE SERVICES ISOLATING VALVE - TO BE PADLOCKED IN THE OPEN POSITION". LOCKING DEVICES SHALL BE 225 CONTRACT SERIES PADLOCKS SERIAL NUMBER 225401/19003.
- INSTALL ISOLATION VALVES TO ALL FIRE HOSE REEL PIPEWORK AT THE POINTS OF CONNECTION TO FIRE HYDRANT SYSTEM IN ACCORDANCE WITH THE NCC (NATIONAL CONSTRUCTION CODE)
- CONCRETE ANCHOR BLOCKS OR ENGINEERED MECHANICAL RESTRAINTS SHALL BE PROVIDED AT ALL SUDDEN CHANGES OF DIRECTION, BOTH VERTICALLY AND HORIZONTALLY AT TEES AND END OF LINES.
- UPON COMPLETION OF THE FIRE INSTALLATION, PROVIDE A COMPLIANCE REPORT AS REQUIRED BY THE CONTROLLING AUTHORITY THAT THE INSTALLATION COMPLIES WITH THE REGULATIONS AND SUBMIT COPIES OF THE REPORT TO THE SUPERINTENDENT.
- ALL FIRE SERVICES IN BASEMENT OR NOT LOCATED WITH FIRE ISOLATED STAIRS/DUCT SHALL BE PROVIDED WITH 120/120/120 FIRE RATED SUPPORTS UNLESS PROTECTED BY A FIRE SPRINKLER SYSTEM.
- FIRE COLLARS TO BE PROVIDED AT ALL SLAB PENETRATIONS

TASWATER NOTES:

- ALL WORKS OUTSIDE OF THE PROPERTY BOUNDARY WILL BECOME TASWATER ASSETS.
- ENSURE ALL WORKS ARE INSTALLED IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS NOTED WITHIN THE DRAWINGS AND ISSUED PERMITS.
- ALLOW TO ORGANISE ALL APPLICATIONS TO UNDERTAKE TASWATER WORKS AS NOTED IN THE APPROVAL DOCUMENTS AND UNDERTAKE ALL RELATED INSPECTIONS DURING CONSTRUCTION.
- ALL WORKS ASSOCIATED WITH PUBLIC WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA VISA 02-2011.1 VERSION 3.1 MRWA EDITION V2.0 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER.
- ALL WORKS ASSOCIATED WITH PUBLIC SEWER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE VISA 02-2014-3.1 MRWA VERSION 2 AND TASWATER'S SUPPLEMENTS TO THESE CODES AND TO THE SATISFACTION OF TASWATER.
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO BUILDER UNLESS APPROVED OTHERWISE.

WORKPLACE HEALTH AND SAFETY NOTES

GENERAL:

- THE FOLLOWING RISK MITIGATION NOTES HAVE BEEN PREPARED TO ADVISE THE PERSON CONDUCTING A BUSINESS OR UNDERTAKING (PO) OF THE HEALTH AND SAFETY ASPECTS OF THE DESIGN IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT 2011 AND ARE PERTINENT TO ANY TIME WHEN THE BUILDING OPERATES AS A WORKPLACE.
- THESE NOTES MAY NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION PRACTICES AND SAFETY RISKS. INCLUSION OR EXCLUSION OF ANY ITEM DOES NOT ABSOLVE THE OWNER, CONTRACTOR, USER, MAINTAINER OR DEMOLISHER OF THEIR OBLIGATIONS TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES AND IT IS NOT AN ADMISION THAT ANY ITEM BELOW IS THE RESPONSIBILITY OF ALDANMARK.
- NOTED: JOINTS IN EXISTING CONSTRUCTION HEALTH AND SAFETY IS PROVIDED IN THE FOLLOWING CODES OF PRACTICE, WHICH THE CONTRACTOR IS TO COMPLY WITH AS APPLICABLE:
 - "CONSTRUCTION WORK" (CP104);
 - "HOW TO MANAGE WORK HEALTH AND SAFETY RISKS" (CP112);
 - "MANAGING THE WORK ENVIRONMENT AND FACILITIES" (CP124);
 - "SAFE DESIGN OF STRUCTURES" (CP127).
- FURTHER ADDITIONAL AND UPDATED CODES OF PRACTICE AND OTHER GUIDANCE MATERIALS FOR THE MINIMIZATION OF RISKS TO WORKPLACE HEALTH AND SAFETY ARE MADE AVAILABLE PERIODICALLY FROM WORKSAFE TASMANIA AT WWW.WORKSAFE.TAS.GOV.AU AND SAFE WORK AUSTRALIA AT WWW.SAFEWORKAUSTRALIA.COM.AU AND SHOULD BE CONSULTED PRIOR TO WORKS COMMENCING ONSITE.
- WHERE APPLICABLE, THE SPECIFIC RISKS ASSOCIATED WITH THIS PROJECT HAVE BEEN ASSESSED AND ARE SUMMARISED IN THE ATTACHED RISK ASSESSMENT / HAZARD IDENTIFICATION REPORT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ALL ASSOCIATED RISKS OF THE CONSTRUCTION PROCESS AND TO PREPARE ADEQUATE SAFE WORK METHOD STATEMENTS AND JOB SAFETY ANALYSIS.
- TEMPORARY STRUCTURES AND CONTRACTOR ERECTION PROCEDURES ARE ONLY INDICATED WHERE ESSENTIAL TO THE EXECUTION OF THE DESIGN AS INTENDED IN THE DOCUMENTS PROVIDED. DETAILED PROCEDURES MUST BE SOUGHT PRIOR TO WORKS COMMENCING. FOR ALL ASSOCIATED TEMPORARY STRUCTURE ERECTION DESIGN AND SAFETY, THE CONTRACTOR IS TO ENGAGE A THIRD PARTY TO ASSIST, CERTIFY AND OVERSEE THE ERECTION OF THE WORKS.

SITE:

- RUPTURE OF SERVICES DURING EXCAVATION FOR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIALS FROM EXISTING STRUCTURES AND/OR ADJACENT BUILDING SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE DRAWINGS. HOWEVER THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE, APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE ENGAGED.
- SITE ACCESS / TRAFFIC MANAGEMENT:
 - THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "TRAFFIC MANAGEMENT IN WORKPLACES" (CP122).
 - ESPECIALLY FOR BUILDINGS ON A MAJOR, NARROW, OR STEEPLY INCLINED ROAD: PARKING OF VEHICLES OR LOADING / UNLOADING OF VEHICLES ON THE ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THE BUILDING, DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. FOR ALL BUILDINGS: A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE IMPLEMENTED FOR THE WORK SITE.
 - PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND THE PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT, THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.
 - BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND, IN PARTICULAR, ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT, TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SUCH THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS.
 - CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE RISK OF TRIPS AND FALLS IN THE WORKPLACE. MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.
 - CONSTRUCTION OF BUILDING ELEMENTS THAT ARE NEARBY TO CONTRIBUTE TO SAFE ACCESS TO THE BUILDING, SUCH AS HANDRAILS, SCAFFOLDING, ACCESS STAIRS, FALL ARREST SYSTEMS ETC., MUST TAKE PLACE PRIOR TO PROGRESSING WITH ANY OTHER WORKS FOR WHICH THOSE ELEMENTS WILL BE REQUIRED.

WATER:

- IF THE BUILDING SITE IS ADJACENT TO ANY BODY OF WATER ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED. THE CONTRACTOR IS TO PREPARE A SAFE WORK METHOD STATEMENT FOR ANY WORKS REQUIRED TO BE UNDERTAKEN OVER WATER, LIGHTING AND VENTILATION
- THE CONTRACTOR IS TO PROVIDE ADEQUATE PROTECTION TO ALL AREAS REQUIRED TO BE OCCUPIED BY WORKERS DURING CONSTRUCTION, PRIOR TO THE COMMISSIONING OF THE BUILDING. FINAL LIGHTING AND VENTILATION MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.A

FIRE AND EMERGENCY:

- ADEQUATE SITE SPECIFIC FIRE EQUIPMENT AND EMERGENCY EVACUATION PROCEDURES ARE TO BE PROVIDED AND MAINTAINED BY THE CONTRACTOR DURING WORKS ONSITE ACCORDING TO A SAFE WORK METHOD STATEMENT TO BE PREPARED BY THE CONTRACTOR PRIOR TO WORKS COMMENCING ONSITE. PRIOR TO THE COMMISSIONING OF THE BUILDING, FINAL FIRE PROTECTION EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.C.A

ELECTRICAL:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "WORKING IN THE VICINITY OF OVERHEAD AND UNDERGROUND ELECTRIC LINES" AND "MANAGING ELECTRICAL RISKS IN THE WORKPLACE" (CP117) AND AS 3012 STANDARD CONTROLS.
- UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THE SITE. ALL UNDERGROUND POWER LINES MUST BE ACCURATELY LOCATED AND EITHER DISCONNECTED OR ADEQUATE EXCLUSION ZONES DELINEATED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK COMMENCING.
- OVERHEAD POWER LINES MAY BE LOCATED ON OR NEAR THE SITE. THESE POSE A SIGNIFICANT RISK IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL, IDENTIFIED EXCLUSION ZONES AND APPROACH DISTANCES SHALL BE ESTABLISHED AND MAINTAINED.

EXCAVATION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "EXCAVATION WORK" (CP107) STANDARD CONTROL.
- CONSTRUCTION OF THE BUILDING AND SOME MAINTENANCE ON THE BUILDING MAY REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN THE EXCAVATION. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS THAT DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHALL BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHALL BE PROVIDED.
- ANY AILINGURE PROCEDURES MAY CAUSE A RISK OF FALLING INTO OPEN BORES. ALL BORES THEREFORE ARE TO BE CONCRETE FILLED AS SOON AS POSSIBLE. IN THE MEANTIME, ADEQUATE PROTECTION AND ACCESS PREVENTION SHALL BE PROVIDED.
- THE CONTRACTOR IS TO CONSULT ANY SITE INVESTIGATION REPORTS ETC. BEFORE CONDUCTING ANY EXCAVATION WORKS. IN THE CASE OF ANY AREAS BEING IDENTIFIED AS HAVING GROUND CONTAMINATION PRESENT, A QUALIFIED SPECIALIST CONSULTANT SHALL BE ENGAGED TO PROVIDE REMEDIAL WORKS DESIGN AND RISK MITIGATION STRATEGIES.

CONSTRUCTION:

FORMWORK:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "FORMWORK AND FALSEWORK" STANDARD CONTROL.
- ALL FORMWORK AND SUPPORTING SCAFFOLD STRUCTURES MUST BE DESIGNED TO CARRY THE CONSTRUCTION LOADING SPECIFIED WITH THE SET OF DOCUMENTATION.
- INSITU FORMWORK, EG. BONDEK / CONDECK MUST BE INSTALLED TO MANUFACTURERS INSTRUCTIONS AND SUPPORTED DURING CONSTRUCTION AS RECOMMENDED. TEMPORARY SUPPORTS ARE NOT PROVIDED AS PART OF THIS DOCUMENTATION.
- SUBS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED. BACK PROPPING MUST BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.
- WALLS, COLUMN AND OTHER VERTICAL FORMWORK MUST BE CHECKED AND DESIGNED FOR POTENTIAL HYDROSTATIC LOADING DURING CONCRETE PLACEMENT.

PRECAST PANEL ERECTION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "PRECAST TILT-UP AND CONCRETE ELEMENTS IN BUILDING CONSTRUCTION" AND AS 3580 STANDARD CONTROLS.
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE PANELS ARE ERECTED. THIS IS TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARING, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEAD OBSTRUCTIONS AND TRAFFIC HAZARDS.
- CHAIN AND SLING SETUP FOR PANELS IS TO BE CHECKED AGAINST APPROVED PANEL LIFTING POINTS. WHERE APPROPRIATE AN APPROVED SPREADER BEAM IS TO BE USED.
- PATHWAYS OF OVERHEAD TRAVEL OF PANELS ARE TO BE CLEARLY MARKED AND ACCESS TO THESE RESTRICTED DURING LIFTING.
- PANEL BEARING AND LOCATING PLATES AND DOMELS ARE TO BE CHECKED FOR FINAL LOCATION.
- PANEL PROPPING AND TIGHTENING MUST BE LOCATED WITH APPROVED ANCHORS AND APPROPRIATE CHECKS AND DESIGNS FOR CAPACITY, NUMBER AND CONFIGURATION OF PROPS IS TO BE CONDUCTED PRIOR TO ERECTION. TEMPORARY SUPPORTING STRUCTURE DURING CONSTRUCTION IS NOT PROVIDED AS PART OF THESE DESIGN DOCUMENTS AND MUST BE OBTAINED PRIOR TO ERECTION

GENERAL:

- THE FOLLOWING RISK MITIGATION NOTES HAVE BEEN PREPARED TO ADVISE THE PERSON CONDUCTING A BUSINESS OR UNDERTAKING (PO) OF THE HEALTH AND SAFETY ASPECTS OF THE DESIGN IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT 2011 AND ARE PERTINENT TO ANY TIME WHEN THE BUILDING OPERATES AS A WORKPLACE.
- THESE NOTES MAY NOT NECESSARILY ACCOUNT FOR ALL CONSTRUCTION, OPERATION, MAINTENANCE AND DEMOLITION PRACTICES AND SAFETY RISKS. INCLUSION OR EXCLUSION OF ANY ITEM DOES NOT ABSOLVE THE OWNER, CONTRACTOR, USER, MAINTAINER OR DEMOLISHER OF THEIR OBLIGATIONS TO UNDERTAKE APPROPRIATE RISK MANAGEMENT ACTIVITIES AND IT IS NOT AN ADMISION THAT ANY ITEM BELOW IS THE RESPONSIBILITY OF ALDANMARK.
- NOTED: JOINTS IN EXISTING CONSTRUCTION HEALTH AND SAFETY IS PROVIDED IN THE FOLLOWING CODES OF PRACTICE, WHICH THE CONTRACTOR IS TO COMPLY WITH AS APPLICABLE:
 - "CONSTRUCTION WORK" (CP104);
 - "HOW TO MANAGE WORK HEALTH AND SAFETY RISKS" (CP112);
 - "MANAGING THE WORK ENVIRONMENT AND FACILITIES" (CP124);
 - "SAFE DESIGN OF STRUCTURES" (CP127).
- FURTHER ADDITIONAL AND UPDATED CODES OF PRACTICE AND OTHER GUIDANCE MATERIALS FOR THE MINIMIZATION OF RISKS TO WORKPLACE HEALTH AND SAFETY ARE MADE AVAILABLE PERIODICALLY FROM WORKSAFE TASMANIA AT WWW.WORKSAFE.TAS.GOV.AU AND SAFE WORK AUSTRALIA AT WWW.SAFEWORKAUSTRALIA.COM.AU AND SHOULD BE CONSULTED PRIOR TO WORKS COMMENCING ONSITE.
- WHERE APPLICABLE, THE SPECIFIC RISKS ASSOCIATED WITH THIS PROJECT HAVE BEEN ASSESSED AND ARE SUMMARISED IN THE ATTACHED RISK ASSESSMENT / HAZARD IDENTIFICATION REPORT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ALL ASSOCIATED RISKS OF THE CONSTRUCTION PROCESS AND TO PREPARE ADEQUATE SAFE WORK METHOD STATEMENTS AND JOB SAFETY ANALYSIS.
- TEMPORARY STRUCTURES AND CONTRACTOR ERECTION PROCEDURES ARE ONLY INDICATED WHERE ESSENTIAL TO THE EXECUTION OF THE DESIGN AS INTENDED IN THE DOCUMENTS PROVIDED. DETAILED PROCEDURES MUST BE SOUGHT PRIOR TO WORKS COMMENCING. FOR ALL ASSOCIATED TEMPORARY STRUCTURE ERECTION DESIGN AND SAFETY, THE CONTRACTOR IS TO ENGAGE A THIRD PARTY TO ASSIST, CERTIFY AND OVERSEE THE ERECTION OF THE WORKS.

SITE:

- RUPTURE OF SERVICES DURING EXCAVATION FOR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIALS FROM EXISTING STRUCTURES AND/OR ADJACENT BUILDING SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE DRAWINGS. HOWEVER THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE, APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE ENGAGED.
- SITE ACCESS / TRAFFIC MANAGEMENT:
 - THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "TRAFFIC MANAGEMENT IN WORKPLACES" (CP122), "PREVENTING FALLS IN HOUSING CONSTRUCTION" (CP121), "SCAFFOLDS AND SCAFFOLDING WORK" AND AS 1657 STANDARD CONTROLS.
 - SCAFFOLDING MUST BE SECURED AND BRACED TO RESIST OVERTURNING. SINGLE PROPS MUST NOT BE USED UNLESS A DESIGN CHECK ON STABILITY IS MADE AND THEY ARE FIXED TO A STABLE BASE AT MIDPOINTS.
 - CONTRACTOR IS TO USE PASSIVE FALL PREVENTION DEVICE IF POSSIBLE (IE. FIXED PLATFORM, CHERRY PICKERS ETC.)

CONCRETE STRESSING:

- CONTRACTOR IS TO ENSURE THAT CONCRETE STRESSING MEETS REQUIRED CAPACITY AT TIME OF STRESSING.
- RESTRICTED STRESSING AREAS ARE TO BE PROVIDED TO ALL AREAS WHERE STRESSING IS TAKING PLACE BOTH AT LIVE AND DEAD ENDS OF STRESSING DUCTS.
- CONTRACTOR MUST ENSURE THAT AT ALL TIMES DURING STRESSING ONLY QUALIFIED AND APPROVED PERSONNEL HAVE ACCESS TO DESIGNATED STRESSING AREAS.
- SUBS THAT SUPPORT CONTINUED TEMPORARY STRUCTURE MUST BE BACK PROPPED. BACK PROPPING MUST BE CHECKED AND APPROVED PRIOR TO ANY ADDITIONAL CONSTRUCTION LOADING.

CRANES AND OTHER MECHANICAL PLANT:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "CRANES," "MANAGING THE RISKS OF PLANT IN THE WORKPLACE" (CP123), "INDUSTRIAL LIFT TRUCKS" AND AS 2550 STANDARD CONTROLS.
- MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF EXISTING STRUCTURES, SUCH AS FALLING OBJECTS, CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED, AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.
- CONTRACTOR IS TO ENSURE THAT CRANE SIZE AND LOCATION IS ADEQUATELY ASSESSED FOR CAPACITY BEFORE ANY LIFTING IS TO INCLUDE BUT IS NOT LIMITED TO CRANE SUPPORT BEARING, LOCATION OF UNDERGROUND SERVICES, OVERTURNING, LIFTING CAPACITY, OVERHEAD OBSTRUCTIONS AND TRAFFIC HAZARDS.

EXISTING BUILDINGS:

DEMOLITION:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODE OF PRACTICE: "DEMOLITION WORK" (CP106) STANDARD CONTROL.
- LOCATIONS OF EXISTING EMBEDDED LIFE SERVICES ARE TO BE ACCURATELY ESTABLISHED PRIOR TO ANY PENETRATION OF EXISTING STRUCTURE.
- DO NOT CUT OR REMOVE ANY STRUCTURAL MEMBER PRIOR TO INSPECTION BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER.
- SEEK ADVICE FROM A SUITABLY QUALIFIED STRUCTURAL ENGINEER PRIOR TO CORING, CHASING, CUTTING OR REMOVAL OF EXISTING CONCRETE AND REINFORCEMENT.
- EXISTING STRUCTURAL ADEQUACY:
- WHERE EXISTING STRUCTURAL ELEMENTS ARE DAMAGED OR EXHIBIT SIGNIFICANT SECTION LOSS, A SUITABLY QUALIFIED STRUCTURAL ENGINEER SHOULD BE ENGAGED TO DESIGN AND SUPERVISE REPAIRS TO THE EXISTING STRUCTURE, SUCH THAT ALL WORK AREAS WILL BE ADEQUATELY SAFE FOR BUILDING WORKS TO COMMENCE. ANY SIGNIFICANT SECTION LOSS OR CORROSION OF EXISTING STRUCTURAL ELEMENTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH WORKS.
- ANY EXISTING RETAINING STRUCTURES PRESENT ON THE SITE SHALL BE INSPECTED BY A SUITABLY QUALIFIED STRUCTURAL ENGINEER TO ASCERTAIN THE EXTENT OF ANY EXCLUSION ZONES REQUIRED, ESPECIALLY WITH REGARD TO ANY EXCAVATION, THE OPERATION OF HEAVY SURFACE PLANT AND EQUIPMENT, OR STOCKPILING MATERIAL ADJACENT TO EXISTING RETAINING STRUCTURES.
- IF EXCAVATION IS REQUIRED PRIOR TO ANY EXISTING STRUCTURE, ESPECIALLY BELOW THE 45° LINE FROM THE UNDERSIDE OF AN EXISTING FOOTING WITHOUT THE EXPRESS PERMISSION OF THE STRUCTURAL ENGINEER.

ASBESTOS:

- THE CONTRACTOR IS TO CONDUCT WORKS IN ACCORDANCE WITH THE CODES OF PRACTICE: "HOW TO MANAGE AND CONTROL ASBESTOS IN THE WORKPLACE" (CP111) AND "HOW TO SAFELY REMOVE ASBESTOS" (CP115) STANDARD CONTROLS.
- FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO 1990, IF

IMPORTANT NOTICE TO THE ATTENTION OF THE OWNER
 FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT

DRAINAGE SCHEDULE	
—EXS—	SEWER LINE - EXISTING
—EXSW—	STORMWATER LINE - EXISTING
Ex.DP	EXISTING DOWNPIPE
Ex.DT	EXISTING DISCONNECTOR TRAP



DRAINAGE SERVICES PLAN - EXISTING SITE
 1:100

DIAL BEFORE YOU DIG
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

REV	ISSUE	DATE	APPROVAL
A	DEVELOPMENT APPROVAL	10/12/2025	AJ

ALDANMARK
 CONSULTING ENGINEERS

Lower Ground
 199 Macquarie Street
 Hobart TAS 7000
 03 6234 8666
 mail@aldanmark.com.au
 www.aldanmark.com.au

PROJECT: ALTERATIONS & ADDITIONS TO PROPERTY

SCALE: 1:100

ADDRESS: 166 MELVILLE STREET
 WEST HOBART, TAS 7000

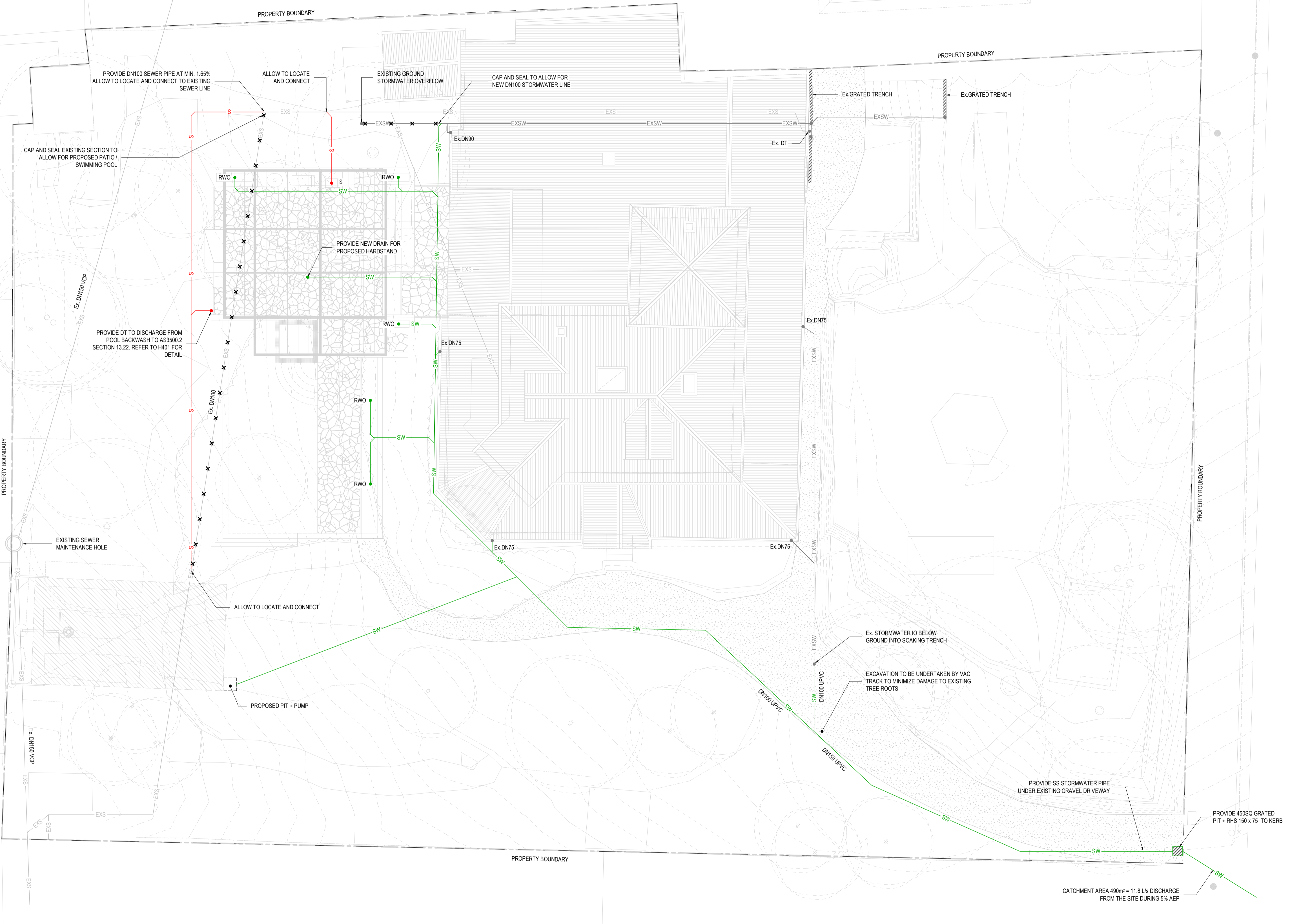
CLIENT: JUSTINE & BEN GILLINGHAM

SHEET: DRAINAGE SERVICES PLAN - EXISTING SITE	SCALE: 1:100	TOTAL SHEETS: 6	SIZE: A1
PROJECT No: 25E105-2	SHEET: H101	REV: A	

IMPORTANT NOTICE TO THE ATTENTION OF THE OWNER
 FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT

DRAINAGE SCHEDULE	
—S—	SEWER LINE DN100 SNE DWV AT MIN. 1.65% U.N.O.
—EXS—	SEWER LINE - EXISTING
—SW—	STORMWATER LINE DN100 SNE DWV AT MIN. 1.0% U.N.O.
—EXSW—	STORMWATER LINE - EXISTING
●	SEWER FIXTURE
RWO ●	RAINWATER OUTLET. REFER TO DETAIL
S	SNK (DN50)
Ex.DP	EXISTING DOWNPIPE
Ex.DT	EXISTING DISCONNECTOR TRAP



DRAINAGE SERVICES PLAN - PROPOSED SITE
 1:100

DIAL BEFORE YOU DIG
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ONSITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

REV	ISSUE	DATE	APPROVAL
A	DEVELOPMENT APPROVAL	10/12/2025	AJ

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PROJECT: ALTERATIONS & ADDITIONS TO PROPERTY

ADDRESS: 166 MELVILLE STREET
 WEST HOBART, TAS 7000

CLIENT: JUSTINE & BEN GILLINGHAM

SHEET: DRAINAGE SERVICES PLANS - PROPOSED SITE
SCALE: 1 : 100
TOTAL SHEETS: 6
SIZE: A1
PROJECT No: 25E105-2
SHEET: H102
REV: A

IMPORTANT NOTICE TO THE ATTENTION OF THE OWNER
 FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. ALDANMARK CONSULTING ENGINEERS ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT



TOTAL	2111.53 m ²
EXISTING NON-PERMEABLE	405.89 m ²
PERMEABLE	1576.24 m ²
NEW NON-PERMEABLE	129.4 m ²

PROPOSED SITE CATCHMENT
1:100



BEWARE OF UNDERGROUND SERVICES
 THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ONSITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN

			DRAWN:	NAT
			CHECKED:	AJ
			DESIGN:	NAT
			CHECKED:	AJ
A	DEVELOPMENT APPROVAL	10/12/2025	VERIFIED:	AJ
REV	ISSUE	DATE	APPROVAL	



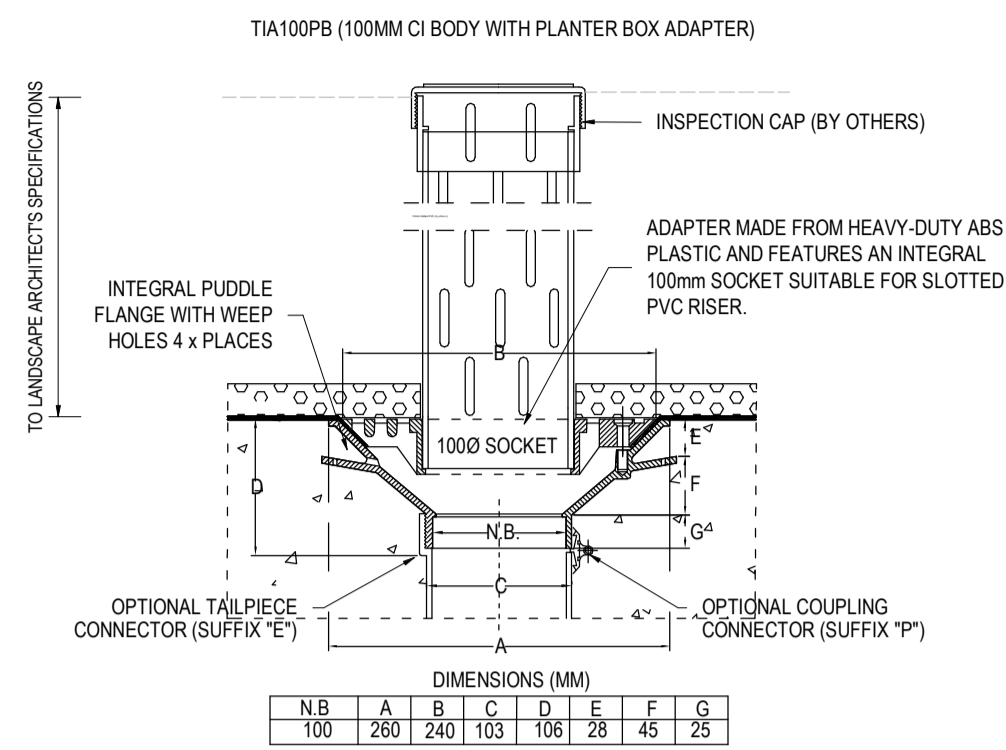
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PROJECT: ALTERATIONS & ADDITIONS TO PROPERTY

ADDRESS: 166 MELVILLE STREET
 WEST HOBART, TAS 7000

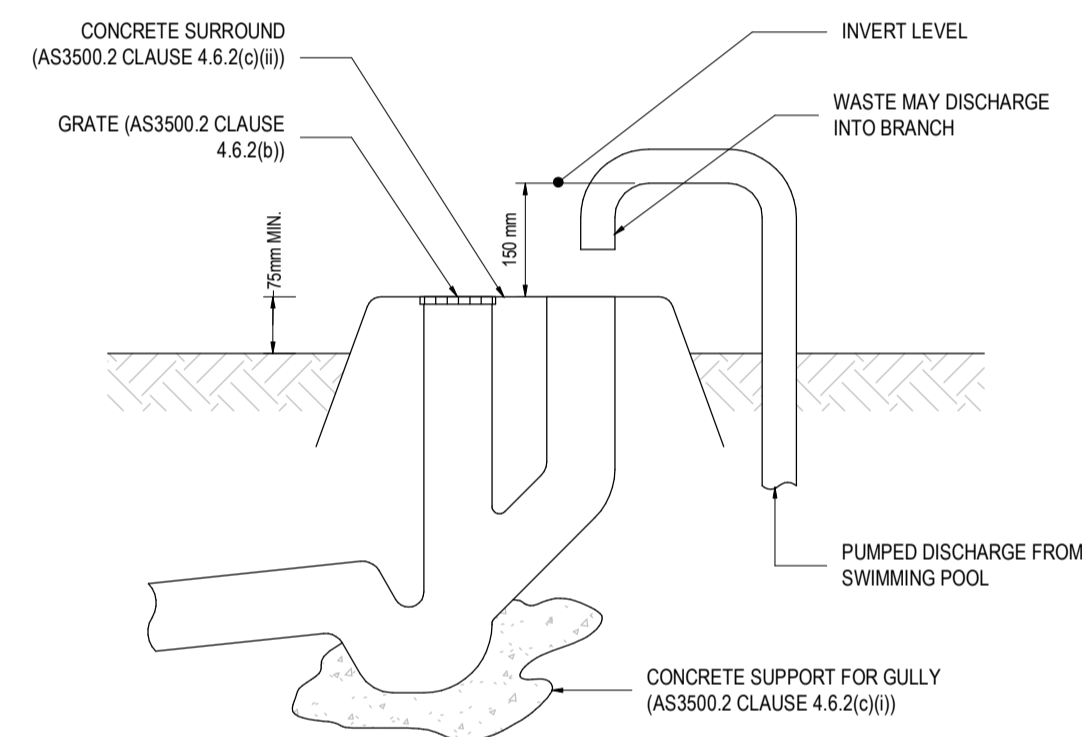
CLIENT: JUSTINE & BEN GILLINGHAM

SHEET: DRAINAGE SERVICES PLANS - CATCHMENT AREA		
SCALE: 1:100	TOTAL SHEETS: 6	SIZE: A1
PROJECT No: 25E105-2	SHEET: H103	REV: A



PLANTER BOX - SPS TRUFLO DETAIL

1:5



PUMP WASTE DISCHARGE FROM SWIMMING POOL

1:10

			DRAWN:	NAT
			CHECKED:	AJ
			DESIGN:	NAT
			CHECKED:	AJ
A	DEVELOPMENT APPROVAL	10/12/2025	VERIFIED:	AJ
REV	ISSUE	DATE	APPROVAL	

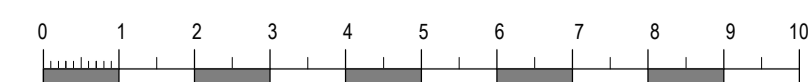


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PROJECT: ALTERATIONS & ADDITIONS TO PROPERTY

ADDRESS: 166 MELVILLE STREET
WEST HOBART, TAS 7000

SHEET: HYDRAULIC DETAILS



CLIENT: JUSTINE & BEN GILLINGHAM

SCALE: As indicated

TOTAL SHEETS: 6

SIZE: A1

PROJECT No: 25E105-2

SHEET: H401

REV: A

SEARCH OF TORRENS TITLE

VOLUME 165904	FOLIO 1
EDITION 3	DATE OF ISSUE 26-Jul-2022

SEARCH DATE : 03-Sep-2025

SEARCH TIME : 11.21 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Plan [165904](#)

Derivation : Part of 1A-0R-19Ps Gtd to H Hopkins

Prior CT [50461/1](#)

SCHEDULE 1

[M946254](#) TRANSFER to JUSTINE ELIZABETH GILLINGHAM Registered
26-Jul-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[C857324](#) BURDENING EASEMENT: Party Wall Rights within the meaning of Section 34B of the Conveyancing & Law of Property Act 1884 (appurtenant to Lot 1 on Diagram [45431](#)) over that portion of the Brick Party Wall 0.28 wide shown on Plan [165904](#) Registered 20-Jan-2014 at 12.03 PM

[C857340](#) BENEFITING EASEMENT: Party Wall Rights within the meaning of Section 34B of the Conveyancing & Law of Property Act 1884 over that portion of the Brick Party Wall 0.28 wide shown within Lot 1 on Diagram [45431](#) Registered 20-Jan-2014 at 12.04 PM

[E308102](#) MORTGAGE to Perpetual Trustee Company Limited Registered 26-Jul-2022 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

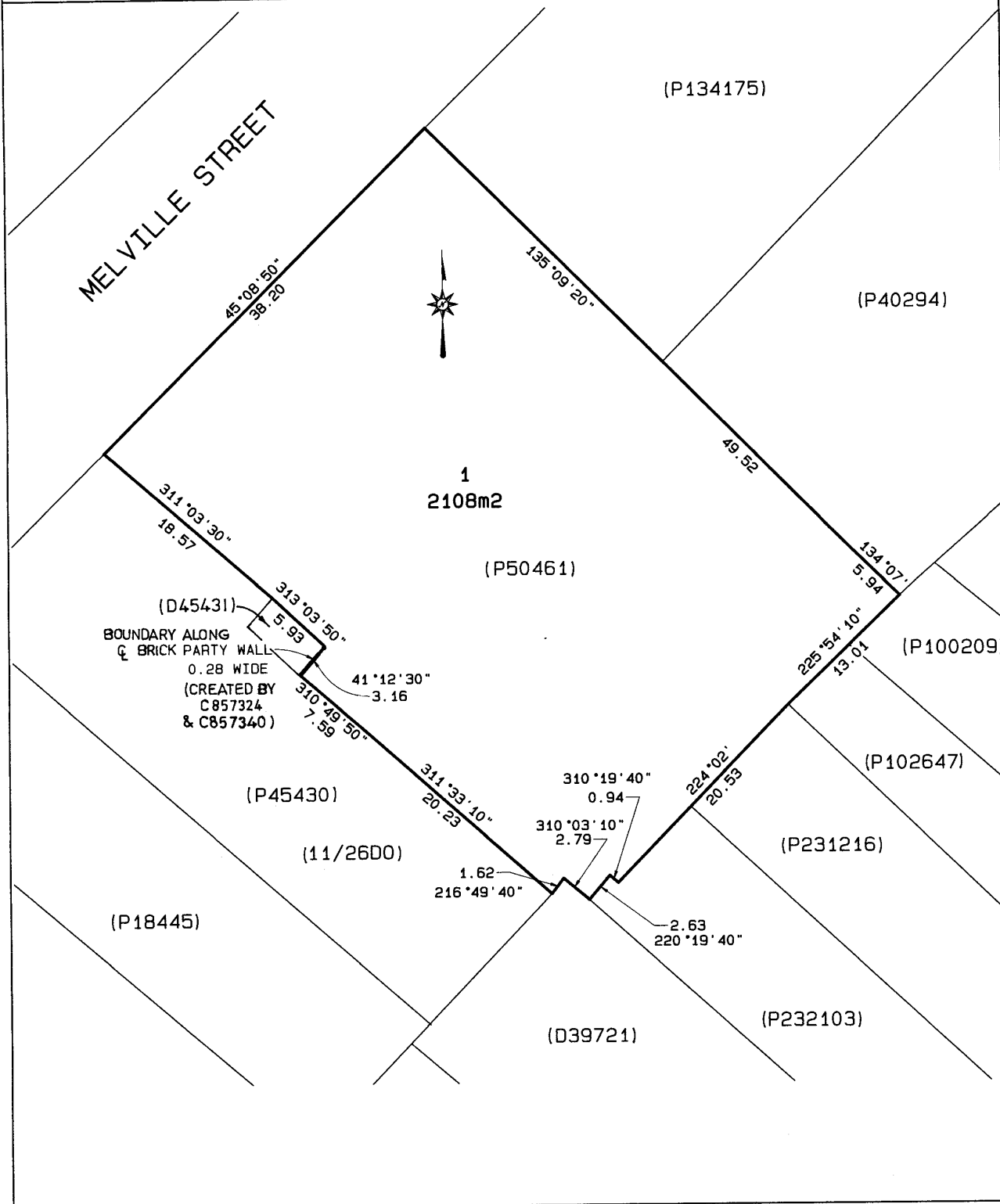
No unregistered dealings or other notations

OWNER
Bromley-Marks, Patricia Anne &
Marks, Richard John
FOLIO REFERENCE CT50461/1
GRANTEE
Part of 1A-0R-19Ps Gtd to H Hopkins

PLAN OF SURVEY
BY SURVEYOR TERENCE S CROMER
11/15 Gladstone St, Battery Point, 7004
PH 0419 353 414
e-mail: terry@cromersurveyors.com.au
www.cromersurveyors.com.au
LOCATION
CITY OF HOBART
SCALE 1: 300 LENGTHS IN METRES

REGISTERED NUMBER
P165904
APPROVED 20 JAN 2014
EFFECTIVE FROM.....
Mick Kawa
Recorder of Titles

MAPSHEET MUNICIPAL CODE No. **LAST UPI No.** **LAST PLAN No. D50461** **ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN**



COUNCIL APPROVAL

Registered Number

P 165904

{Insert any qualification to the permit under section 83(5), 109 or 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993 }

The subdivision shown in this plan is approved

SEAL NOT REQUIRED

In witness whereof the common seal of has been affixed, pursuant to a resolution of the Council of the said municipality passed the day of 20 , in the presence of us

Member

Member

General Manager Council Reference

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993 the owner has nominated

ROBERT FAYSolicitor to act for the owner

CROMER & PARTNERS Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed ...✓.....

Computed ...D.B.....

.Examined D.B. 3/9/2013 & R.R. 9/1/2014

SURVEY NOTES
SHEET 1 OF 2 SHEETS

Registered Number
P 165904

SURVEY CERTIFICATE
I, T S Cromer of Battery Point in Tasmania a registered land surveyor HEREBY CERTIFY that:
(a) this survey is based upon the best evidence that the nature of the case admits
(b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and
(c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purpose required.
T.S. Cromer Date: 30/4/2013
Signature Surveyors Reference: ARMADOI
D:\AAAFILES\ArmaDOI\Cad\ArmaDOI_06MSA.pro

CROSS REFERENCE PLAN NUMBERS USED AS PART OF THIS SURVEY DESCRIBE BY REPORT THE EVIDENCE USED TO DETERMINE BOUNDARIES
Bromley-Marks, Patricia Anne Marks, Richard John CT50461/1
Part of IA-OR-19Ps Std to H Hopkins CITY OF HOBART
UNLESS OTHERWISE STATED, ALL BOUNDARIES ARE OPEN, ALL CORNERS ARE STAKES & MARKS DESIGNATED ??
HAVE UNKNOWN ORIGIN. SURVEY NOTES BY SURVEYOR T S CROMER. SURVEY COMMENCED : 22-4-13
ERROR OF CLOSE, SEE CALCS. SURVEY COMPLETED : 28-4-13

