

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0523

Address

22 ROMILLY ST SOUTH HOBART TAS
7004

Titles

20513/10

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles

Total Area: 0m²

20513/10

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Kelven Reid & Michelle Quinn

Enter the date that the last owner, joint or part owner was notified

09/10/2025

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section - see further information below

Unsure

If yes, has written Crown Land consent been obtained?

Yes - upload written consent

No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section

Unsure

If yes, has written consent been obtained from the Council General Manager?

Yes - upload written consent

No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

Yes

No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

Yes

No

Unsure

Is the proposed use or development permitted or discretionary?

Permitted

Discretionary

Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Removal of old entry and construction of new timber deck attached to existing dwelling.

Will the proposed use or development involve a road reserve?

Yes - complete the section below

No - continue to the next section

Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

49999

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	6 Oct 2025	Cover Letter	Cover Letter describing how the development proposes to meet the performance criteria	Paul Davies
1	9 Oct 2025	Architectural Plans	Plans of proposed development	Paul Davies
1	6 Sept 2025	Bushfire Report	Bushfire Hazard Report - Performance Solution	Roger Fenwick
1	9 Oct 2025	Property Title Document	FolioText-Plan-20513-10.pdf	Paul Davies

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 20513	FOLIO 10
EDITION 4	DATE OF ISSUE 01-Jul-2022

SEARCH DATE : 21-Nov-2023

SEARCH TIME : 10.48 AM

DESCRIPTION OF LAND

City of HOBART

Lot 10 on Diagram 20513

Derivation : Part of 27 Acres Gtd to P.A. Mulgrave

Prior CT 4507/73

SCHEDULE 1

M965129 TRANSFER to MICHELLE ANNE QUINN and KELVEN REID
Registered 01-Jul-2022 at 12.01 PM

SCHEDULE 2

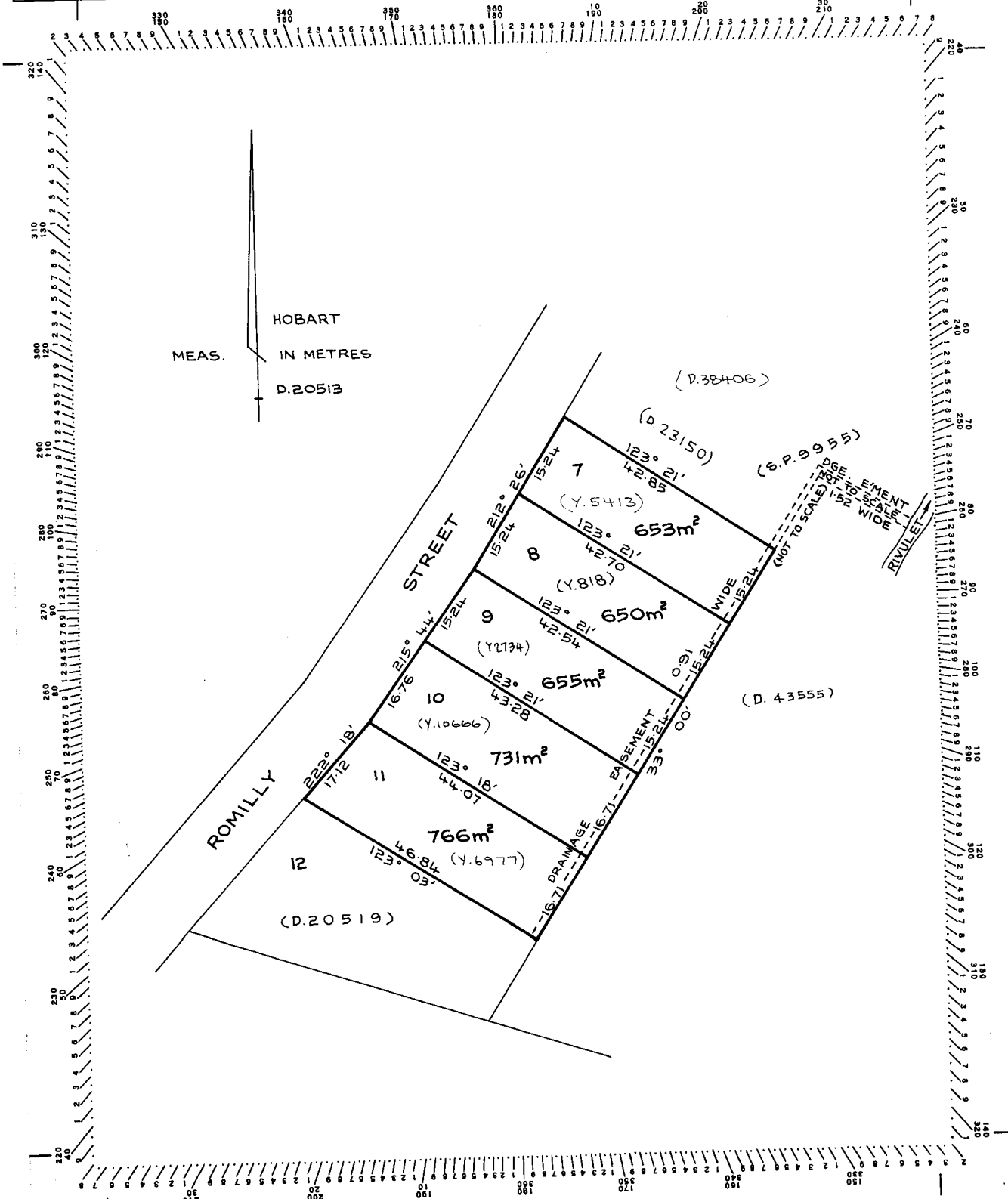
Reservations and conditions in the Crown Grant if any
41/2525 CONVEYANCE: Benefiting and Burdening Easement -
Drainage Right

E309095 MORTGAGE to Macquarie Bank Limited Registered
01-Jul-2022 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: L.T. ACT. 1980	PLAN OF SURVEY by Surveyor of land situated in the CITY OF HOBART	Registered Number: D.20513
Title Reference: Y.818	SCALE 1:7500 MEASUREMENTS IN METRES	Approved: Effective from:
Grantee: PART OF A.R.P. 27.0.0 PETER ARCHER MULGRAVE.		<i>R. Chandler</i> ACTING DEPUTY Recorder of titles



Land Title Information	
Property ID	= 5589061
Title Reference	= 20513/10
Areas	
Land Parcel	= 731m ²
Existing buildings	
Dwelling	= 101.25m ²
Ramp + Old Entry	= 7.96m ²
Shed	= 10.49m ²
Proposed buildings	
Deck	= 39.02m ²
Site Coverage	
Total proposed building area	= 158.72m ²
Site Coverage	= 22%

Design Wind Speed - AS 4055-2021	
Wind Region	= A
Terrain Category	= 3
Topographic Classification	= T2
Shielding Factor	= PS
Site Wind Classification	= N3
Gust Wind Speed	= 41m/s

Soil Classification	
AS 2870-2011	Class P
Engineered footing design.	

Climate Zone	7
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Bushfire Attack Level	
AS 3959-2018	BAL-29
Achieved with Performance Solution.	
Refer to Bushfire Hazard Report & BHMP.	

Alpine or Sub-alpine Area	N/A
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Corrosion Environment	Low
------------------------------	-----

Other Hazards	N/A
----------------------	-----

Proposed Works:

Removal of old entry and construction of new timber deck attached to existing dwelling.

Notes for Owner and Contractors:

Do not scale drawings, use written dimensions only.

Do not work from any drawings or associated documents that have not been stamped 'APPROVED' by the Local Authority.

A copy of all drawings and associated documents stamped "APPROVED" by the local Authority **must be kept on site**.

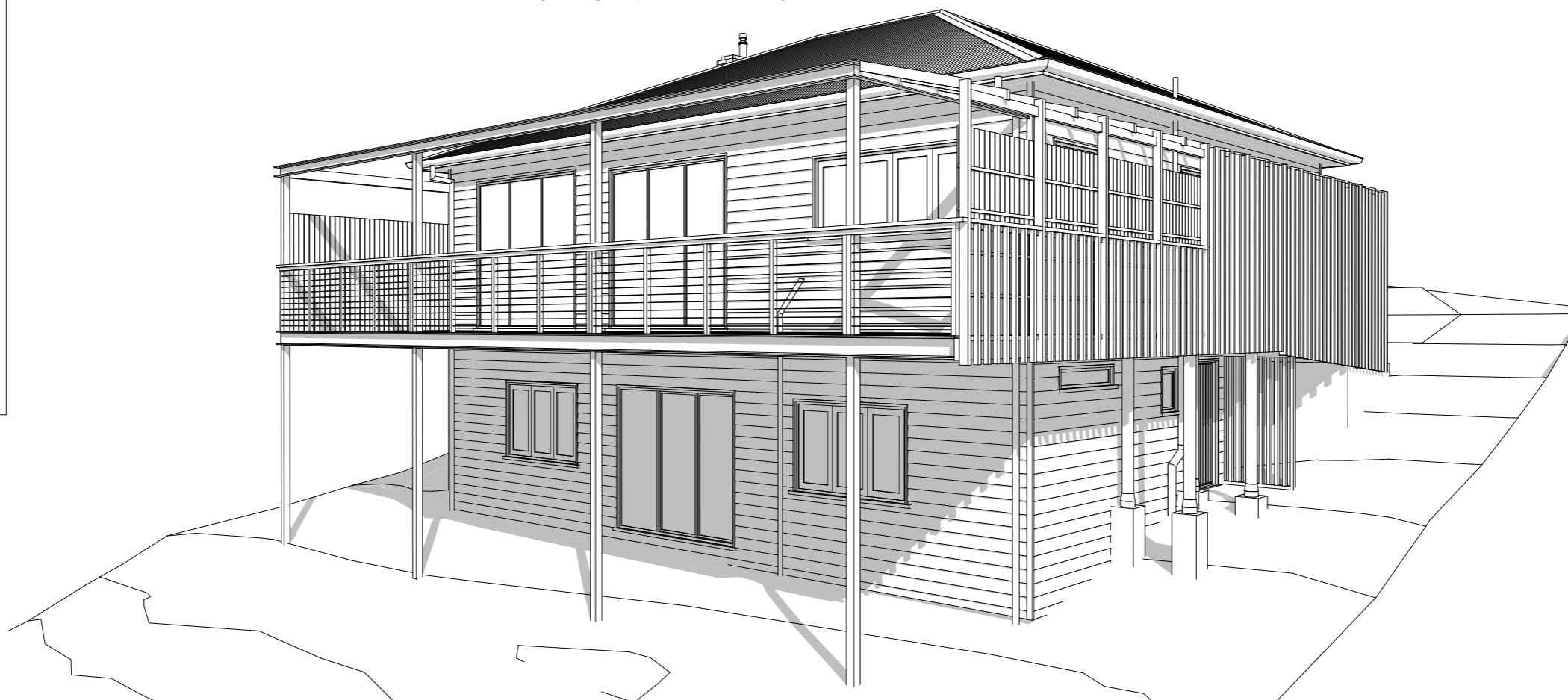
Prior to any works, the Owner must pass onto the Contractor any 'CONDITIONS OF APPROVAL' issued by the Building Surveyor, Local Authority or other Authorities.

Do not proceed with any work that varies to that detailed herein without the approval of the Owner, Designer and Building Surveyor.

These plans shall be read in conjunction with any structural or civil engineering computations and drawings.

- The Contractor, Owner/Builder shall:
- verify all dimensions, levels, setbacks on site in relation to these drawings and specifications prior to commencing any works or ordering materials.
 - ensure that all work and materials comply with the Building Code of Australia and any relevant standards.
 - ensure all materials are installed to manufacturers specifications.
 - take all steps necessary to ensure the stability of new and existing structures during all works.
 - ensure the general water tightness of all new and existing works.

These notes are neither exhaustive nor a substitute for regulations, statutory requirements or contractual obligations and unless stated otherwise, are provided only as guidelines.



Proposed Deck For:
Kelven Reid
 22 Romilly St, South Hobart

Sheet Index DA	
Sheet ID	Drawing Name
DA 01	Cover Sheet
DA 02	Site Plan
DA 03	Ground Floor Plan
DA 04	First Floor Plan
DA 05	NE Elevation
DA 06	SE Elevation
DA 07	SW Elevation
DA 08	NW Elevation
DA 09	Section A
DA 10	Sections B & C

Associated Documents	
Bushfire Hazard Report & BHMP	

Rev.		Date
A	Sections added	21 10 2025
B	Privacy screen added to SW balustrade	22 10 2025



Paul Davies
 Building Designer
 License #: 376495511
 Address: 59 Fletcher Ave, Moonah, 7009
 Phone: 0472 703 636
 Email: paul@pdbuildingdesign.com.au

Note:
 - Do not scale off drawings. Copy reproduction can alter scale.
 - All dimensions are to be confirmed on site before construction or manufacture.
 - These drawings are to be read in conjunction with any written specification and/or engineers drawings.
 - All work is to be carried out in accordance with the NCC and the relevant Australian Standards.

Project Address:
Proposed Deck
22 Romilly St, South Hobart

Client:
 Kelven Reid

Job #:
 242504

Drawing Title:
Cover Sheet



Drawn:
 P. Davies

Checked:
 P. Davies

Issued:
 Wednesday, 22 October 2025

Scale:
 N.T.S. @ A3

Drawing #:
 (Sheet 1 of 10) **DA 01**

Site Plan Legend	
	Existing Buildings
	Proposed Buildings

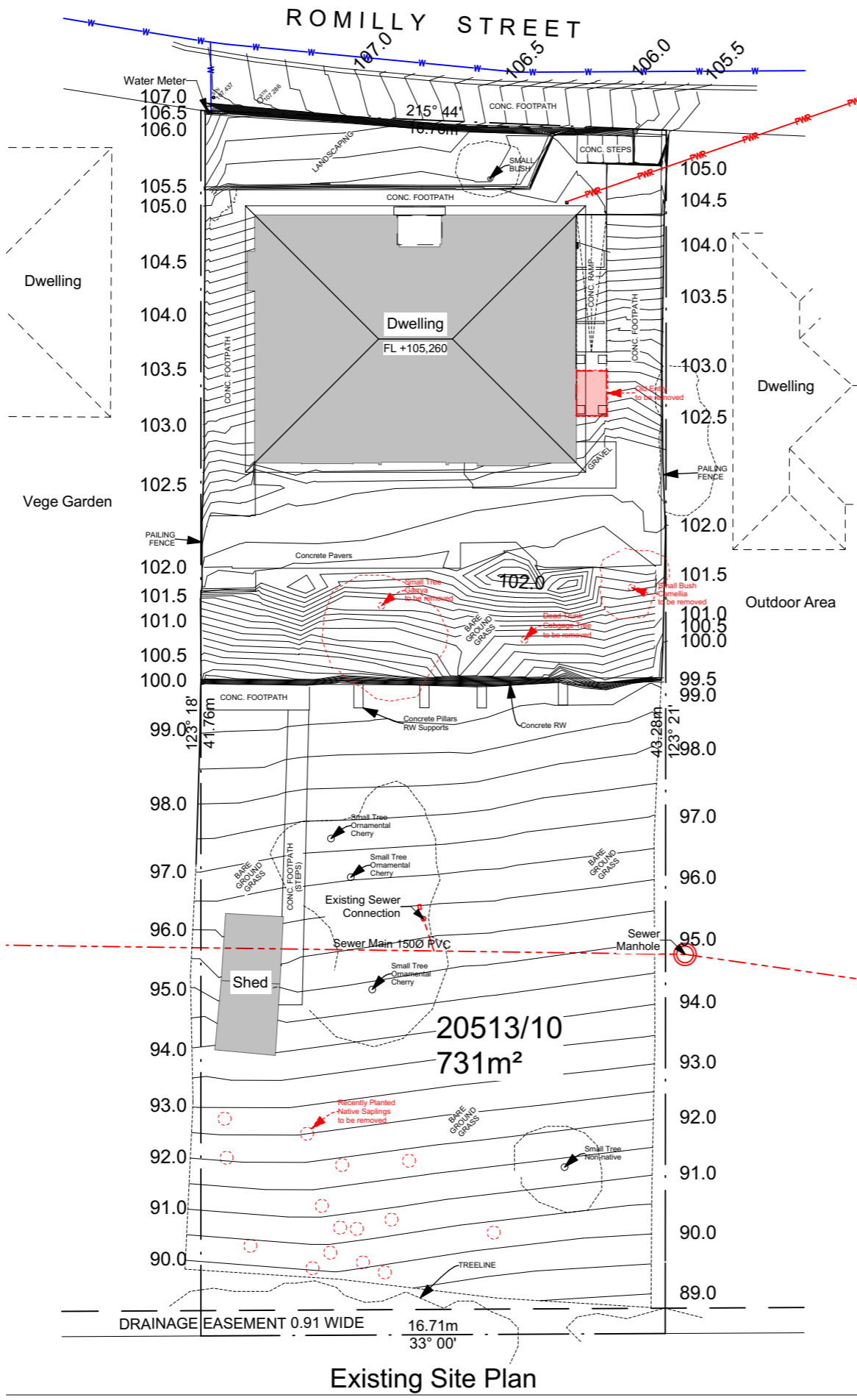
Earthworks & Services

There are no proposed Sewer or Stormwater changes.

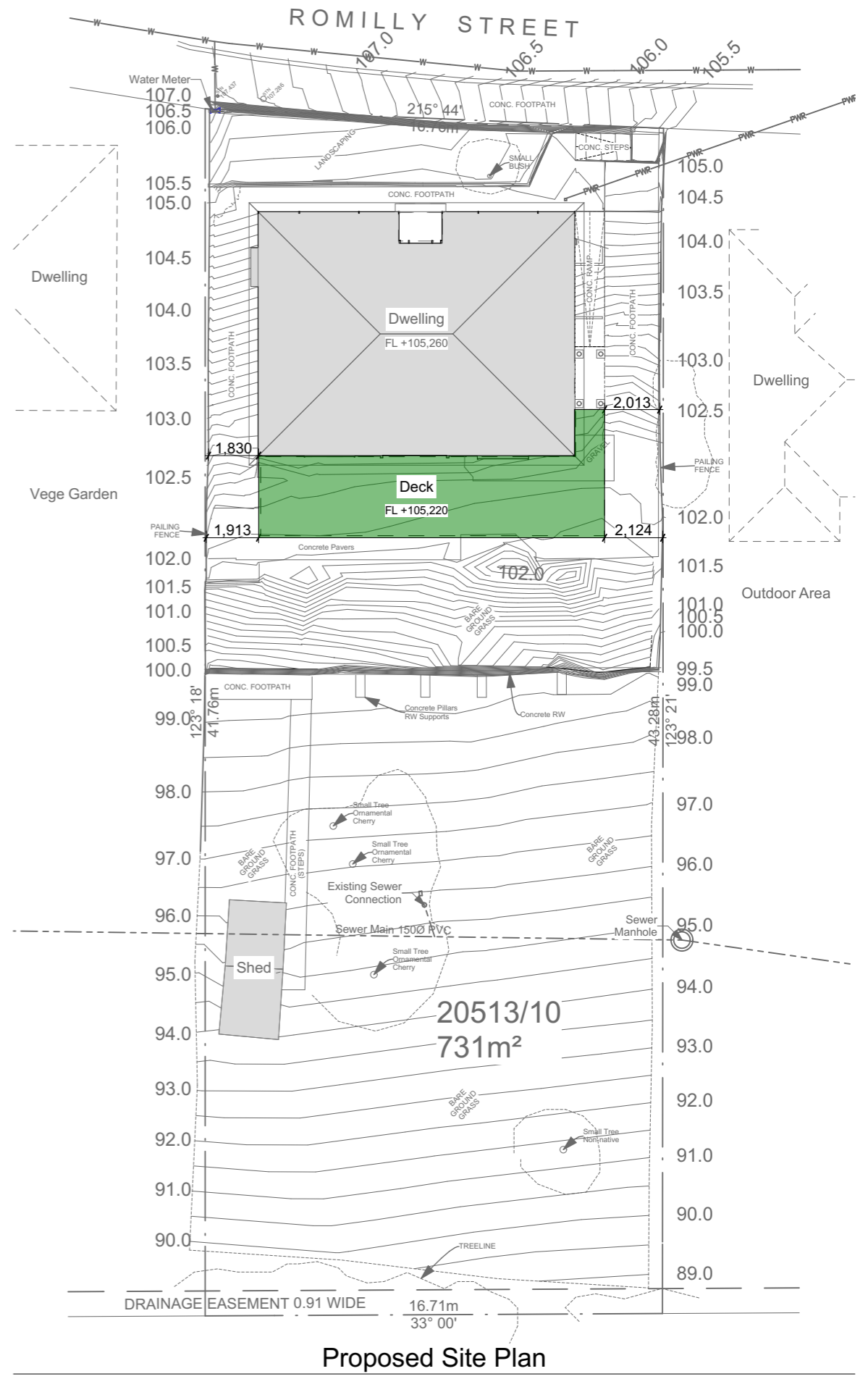
The Builder shall confirm the presence & location of all existing services on the site & within the area of works.

All dangerous services (underground & overhead) must be clearly identified.

There are no proposed earthworks other than column footings.



Existing Site Plan



Proposed Site Plan

Boundary disclaimer
The information shown on this plan is as per the field survey undertaken by

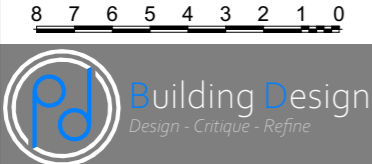
Studio South West 3D - Survey Ref. FA-638

Further information is provided on the survey.

Boundaries shown are best fit overlay only!
No boundary pegs are present. The exact position of the boundaries is not likely to impact the location of the proposed buildings. It is the land owners responsibility to have the boundaries confirmed with a boundary remark survey if deemed necessary.

Survey Spatial References
SPM3660
GDA1994 525475.565E / 5250289.131N z55
GDA94 Horizontal Class B
GDA94 Horizontal Order 2ND
Height 103.482m AHD83
Height Class GPS
Height Order 3RD
GDA2020 525475.973E / 5250290.55N z55
GDA2020 Positional Uncertainty 0.025
Positional Uncertainty Method Rigorous

Contour Intervals = 0.1m / 0.5m



Paul Davies
Building Designer
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Phone: 0472 703 636
Email: paul@pdbuildingdesign.com.au
License #: 376495511



Project Address:
**Proposed Deck
22 Romilly St, South Hobart**

Client:
Kelven Reid

Job #:
242504

Drawing Title:
Site Plan

Drawn:
P. Davies

Checked:
P. Davies

Issued:
Wednesday, 22 October 2025

Scale:
1:200 @ A3

Rev:
B

Drawing #:
(Sheet 2 of 10) **DA 02**

Note:
- Do not scale off drawings. Copy reproduction can alter scale.
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- These drawings are to be read in conjunction with any written specification and/or engineers drawings.
- All work is to be carried out in accordance with the NCC and the relevant Australian Standards.

Wall Key

Existing walls to remain

Existing walls to be removed

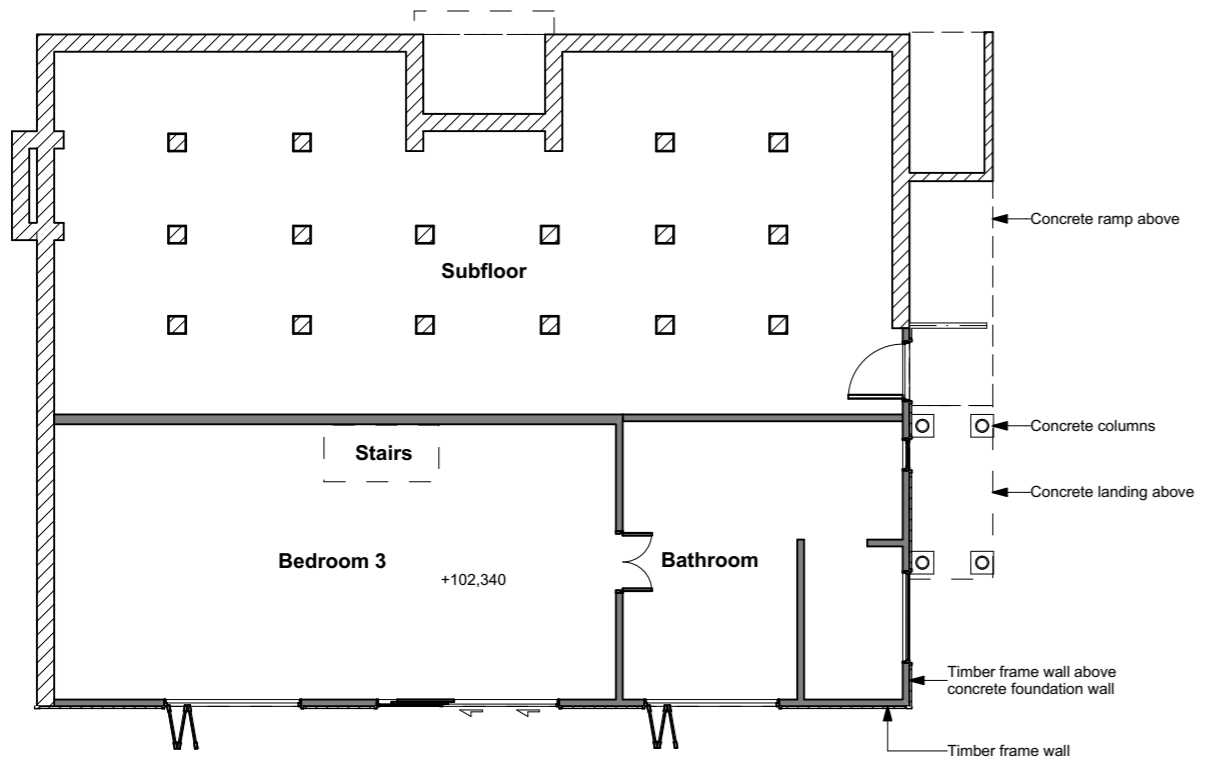
Ground Floor (Inc. Subfloor) = 101.25 m²

Wall Key

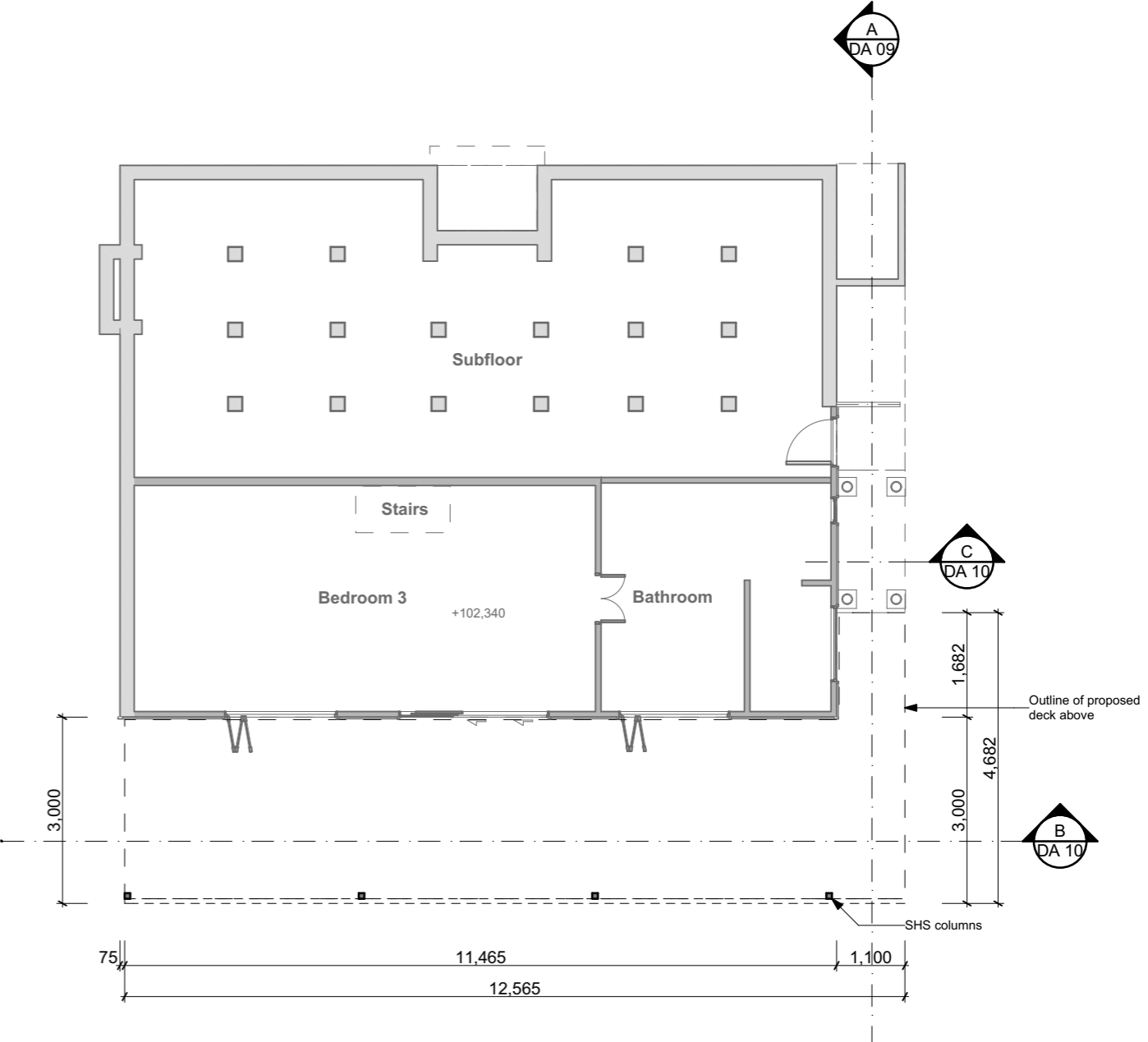
Existing walls

New walls

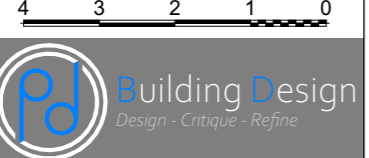
Ground Floor (Inc. Subfloor) = 101.25 m²



Existing Ground Floor Plan



Proposed Ground Floor Plan



Paul Davies
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Address: 59 Fletcher Ave, Moonah, 7009
Phone: 0472 703 636
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- All work is to be carried out in accordance with the NCC and the relevant Australian Standards.



Project Address:
Proposed Deck
22 Romilly St, South Hobart

Client:
Kelven Reid

Job #:
242504

Drawing Title:
Ground Floor Plan

Drawn:
P. Davies

Checked:
P. Davies

Issued: Wednesday, 22 October 2025

Scale: 1:100 @ A3
Rev: B

Drawing #:
(Sheet 3 of 10) **DA 03**

Wall Key

Existing walls to remain

Existing walls to be removed

First Floor Area = 101.25 m²

Ramp + Old Entry = 7.96 m²

Wall Key

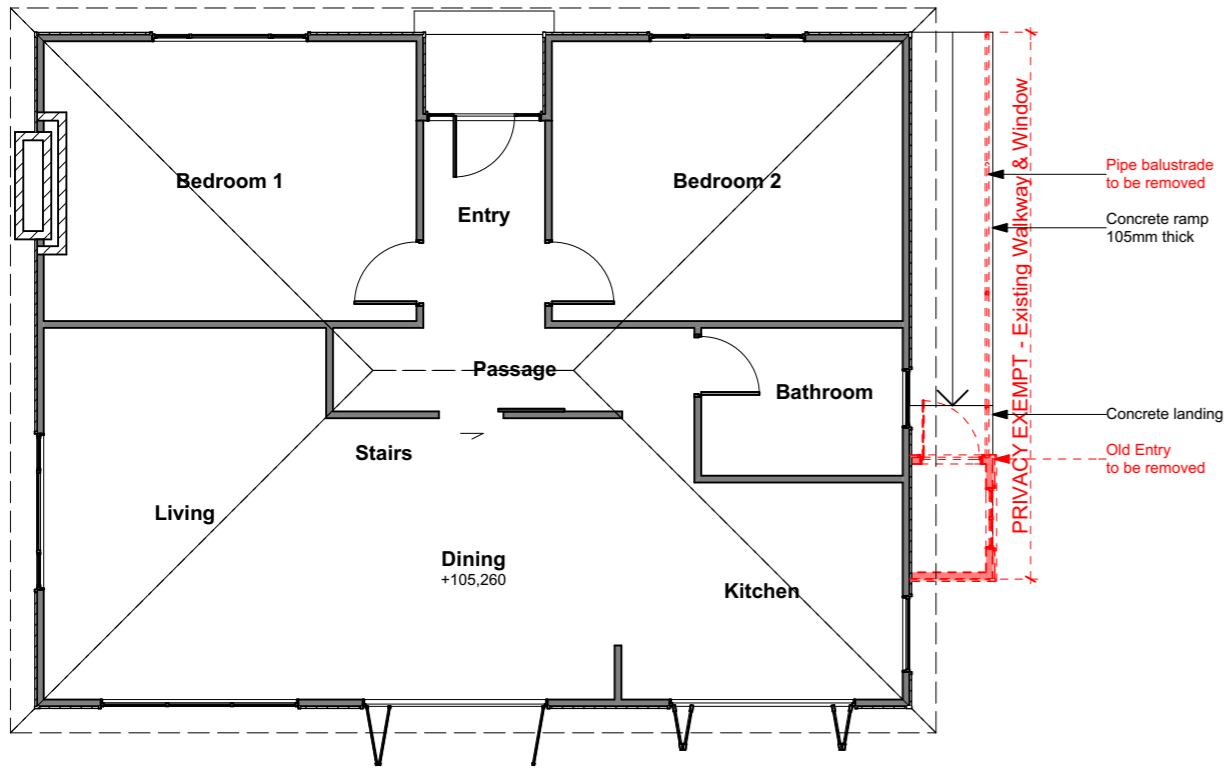
Existing walls

New walls

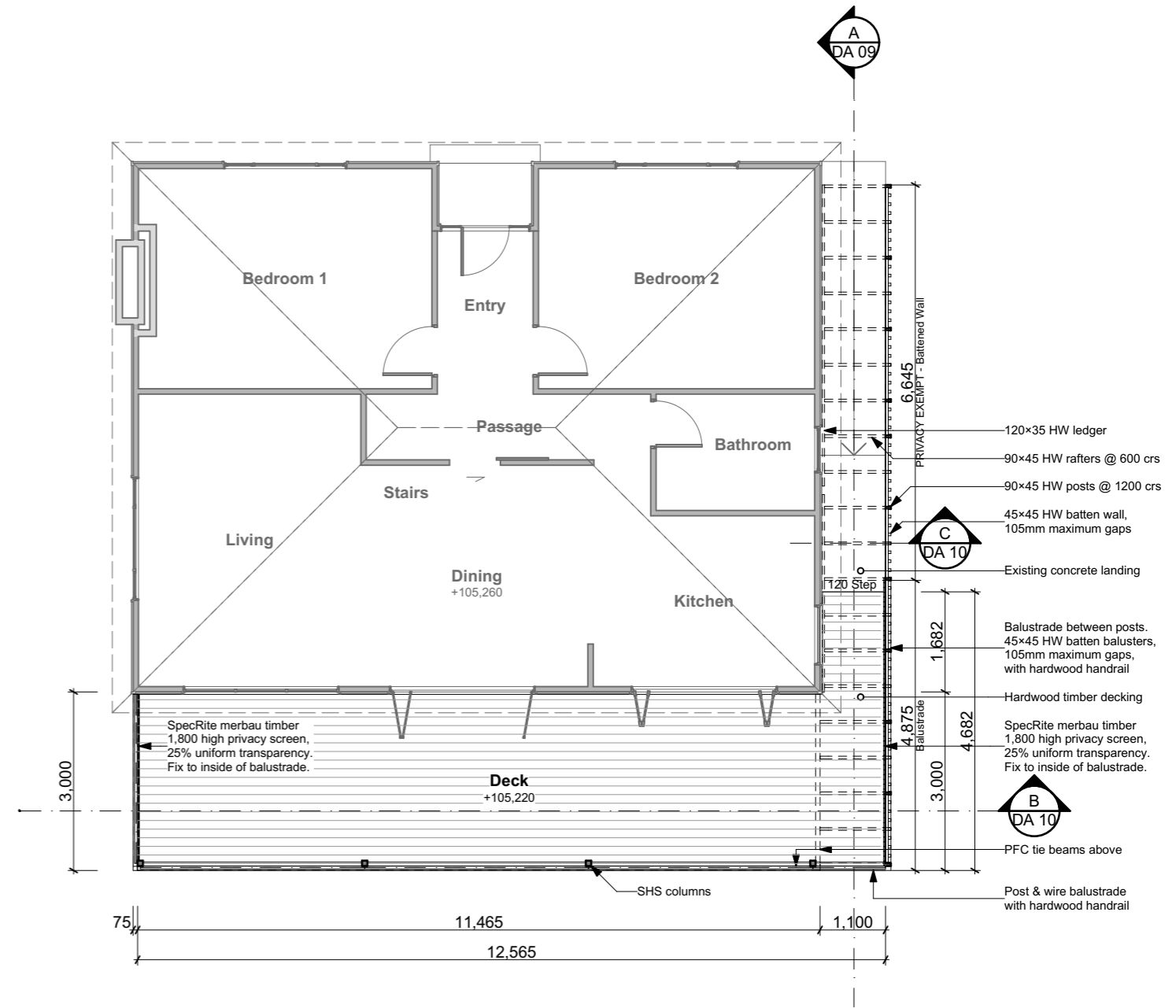
First Floor Area = 101.25 m²

Ramp + Old Entry = 7.96 m²

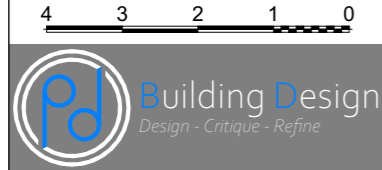
Proposed Deck = 39.02 m²



Existing First Floor Plan



Proposed First Floor Plan



Paul Davies
 Building Designer
 License #: 376495511
 Address: 59 Fletcher Ave, Moonah, 7009
 Phone: 0472 703 636
 Email: paul@pdbuildingdesign.com.au

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 - All work is to be carried out in accordance with the NCC and the relevant Australian Standards.



Project Address:
Proposed Deck
 22 Romilly St, South Hobart

Client:
 Kelven Reid

Job #:
 242504

Drawing Title:
First Floor Plan

Drawn:
 P. Davies

Checked:
 P. Davies

Issued: Wednesday, 22 October 2025

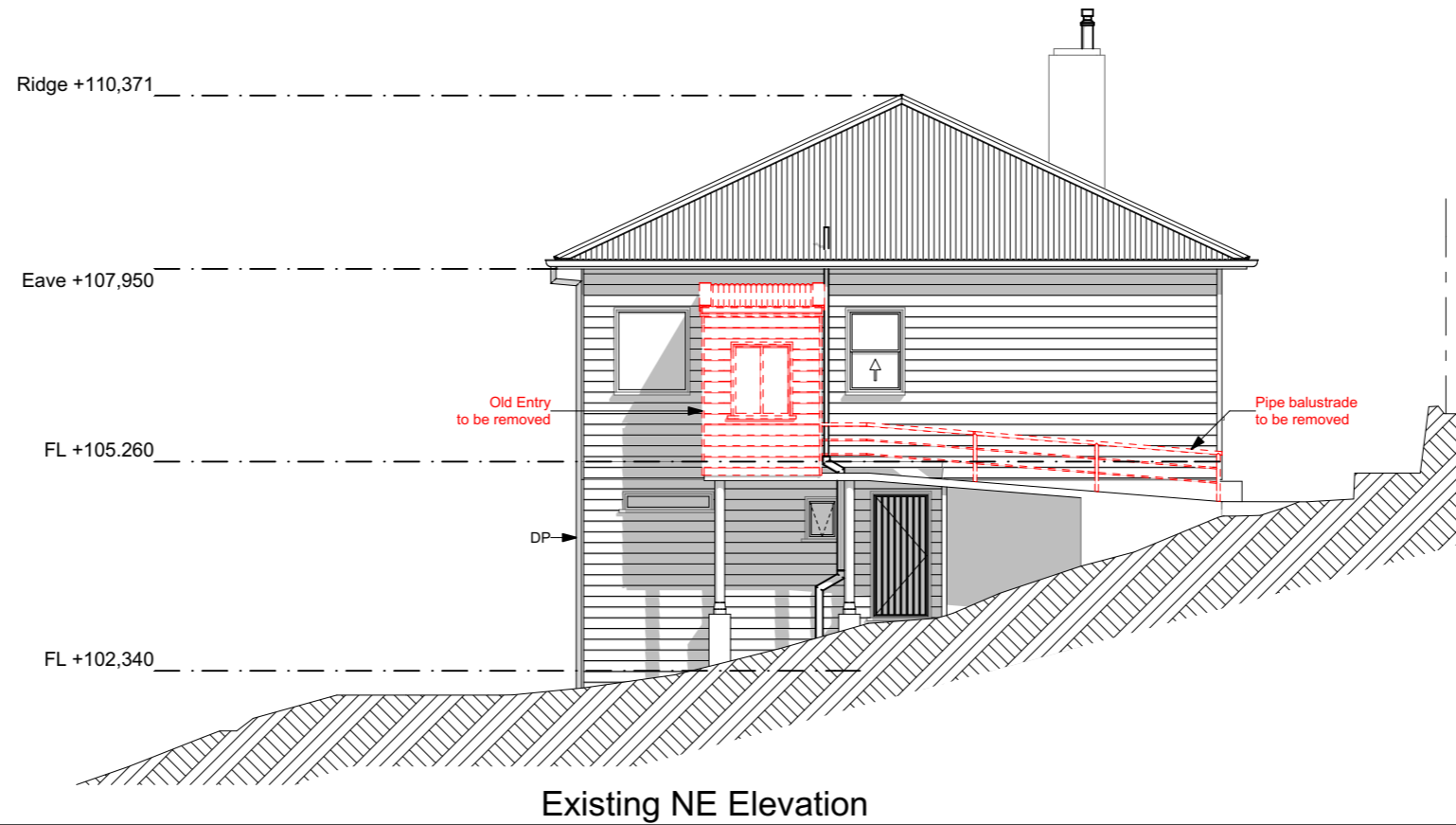
Scale: 1:100 @ A3

Rev: B

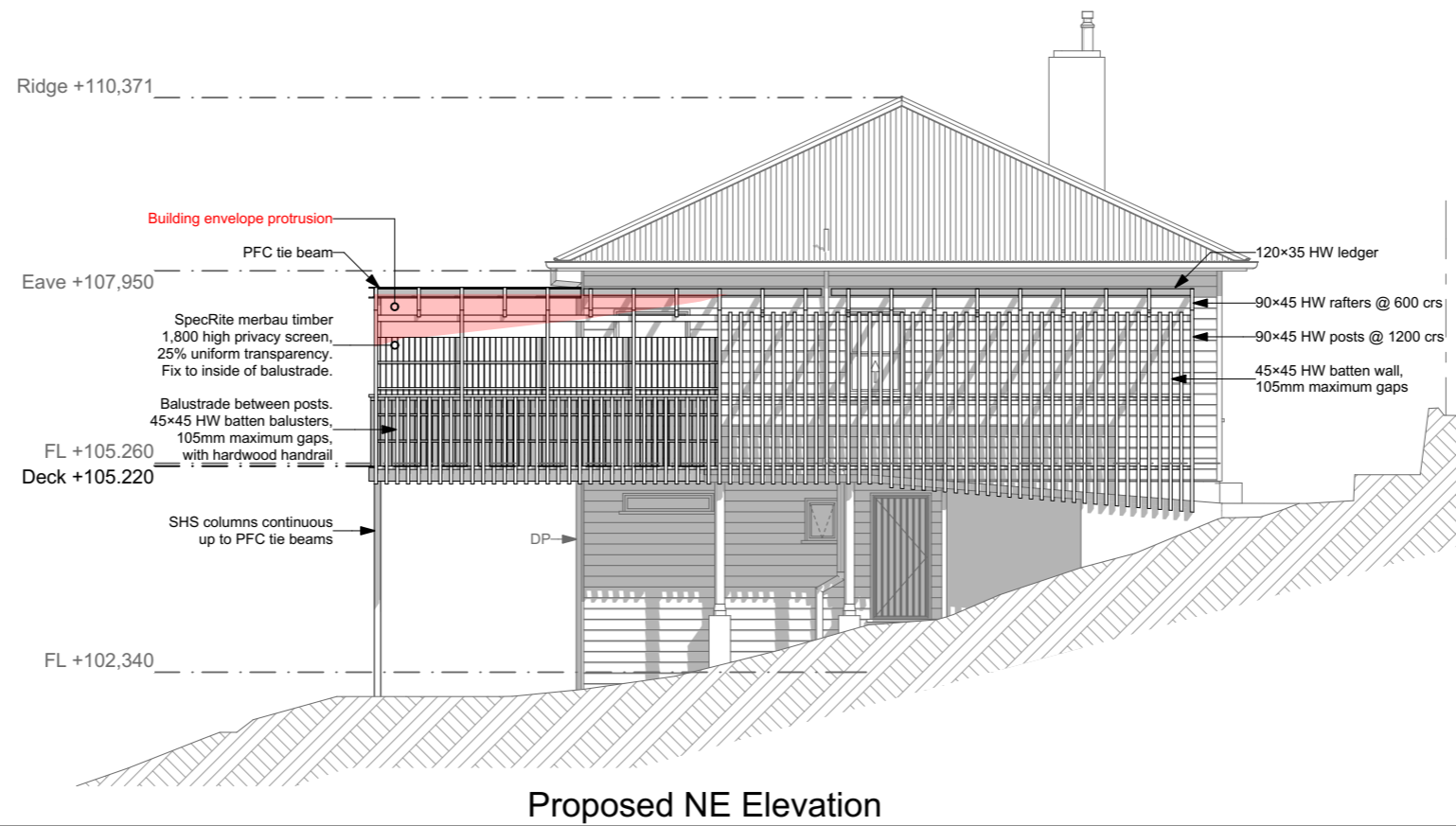
Drawing #:
 (Sheet 4 of 10) DA 04

Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



Existing NE Elevation



Proposed NE Elevation

Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



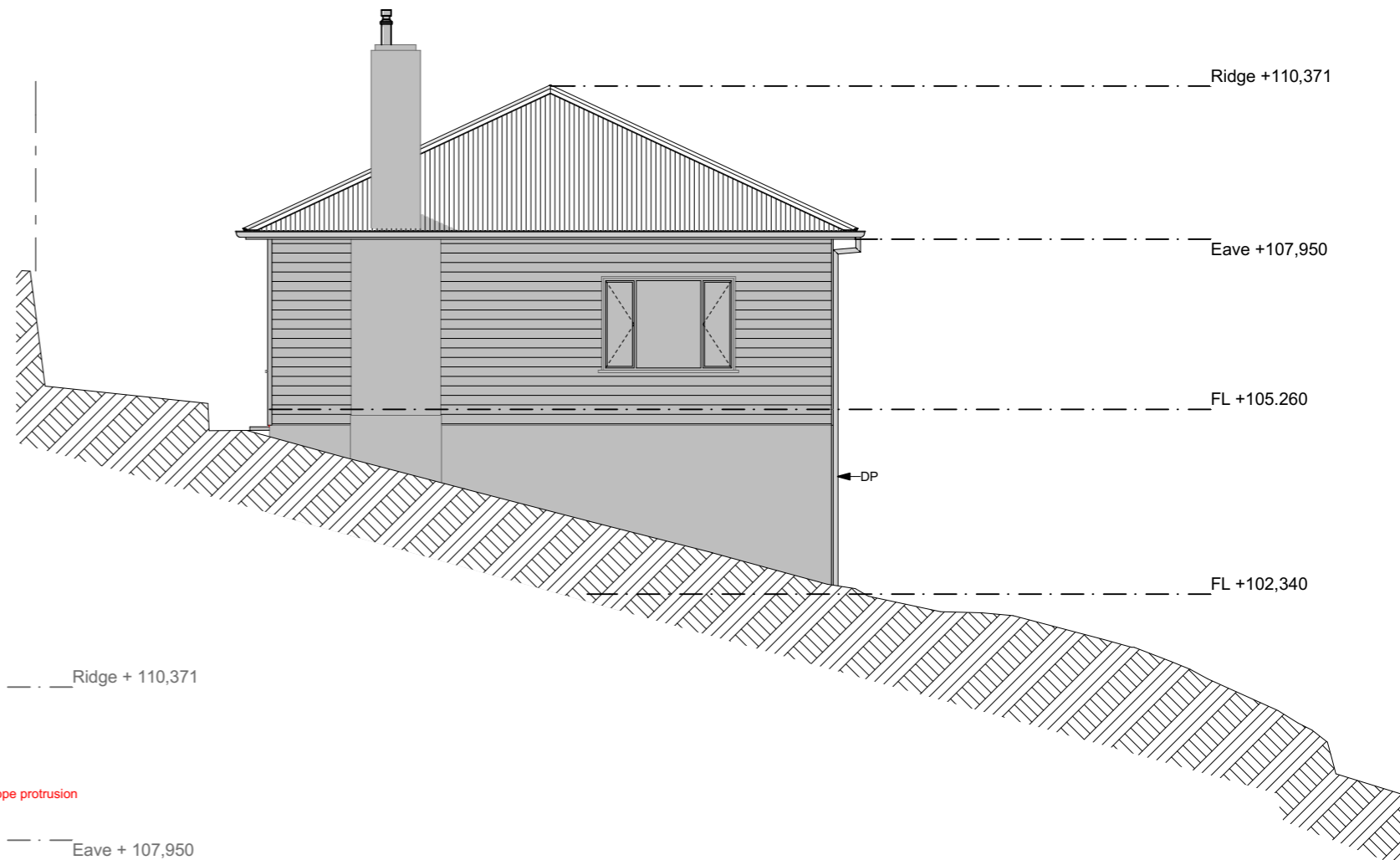
Existing SE Elevation



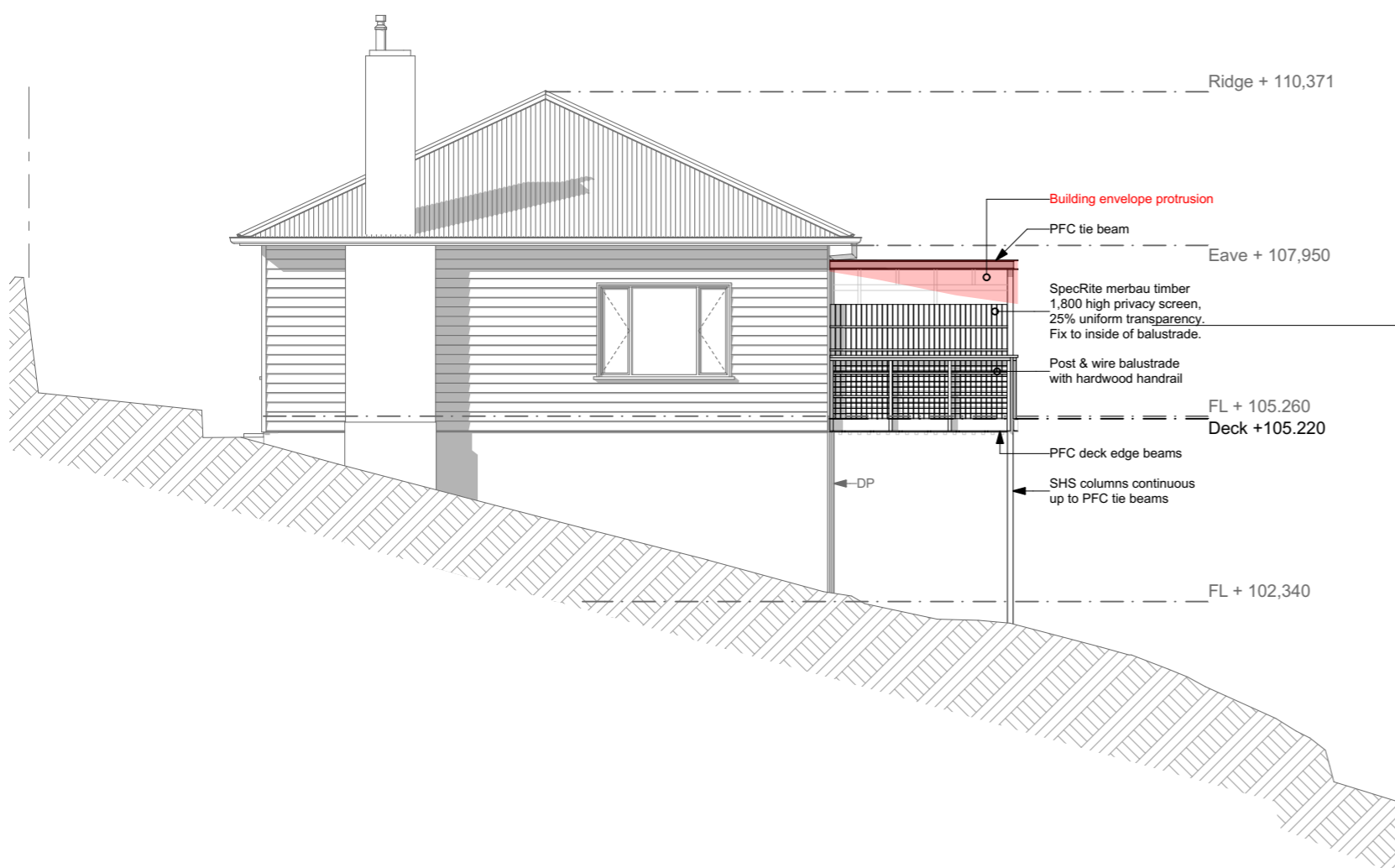
Proposed SE Elevation

Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



Existing SW Elevation

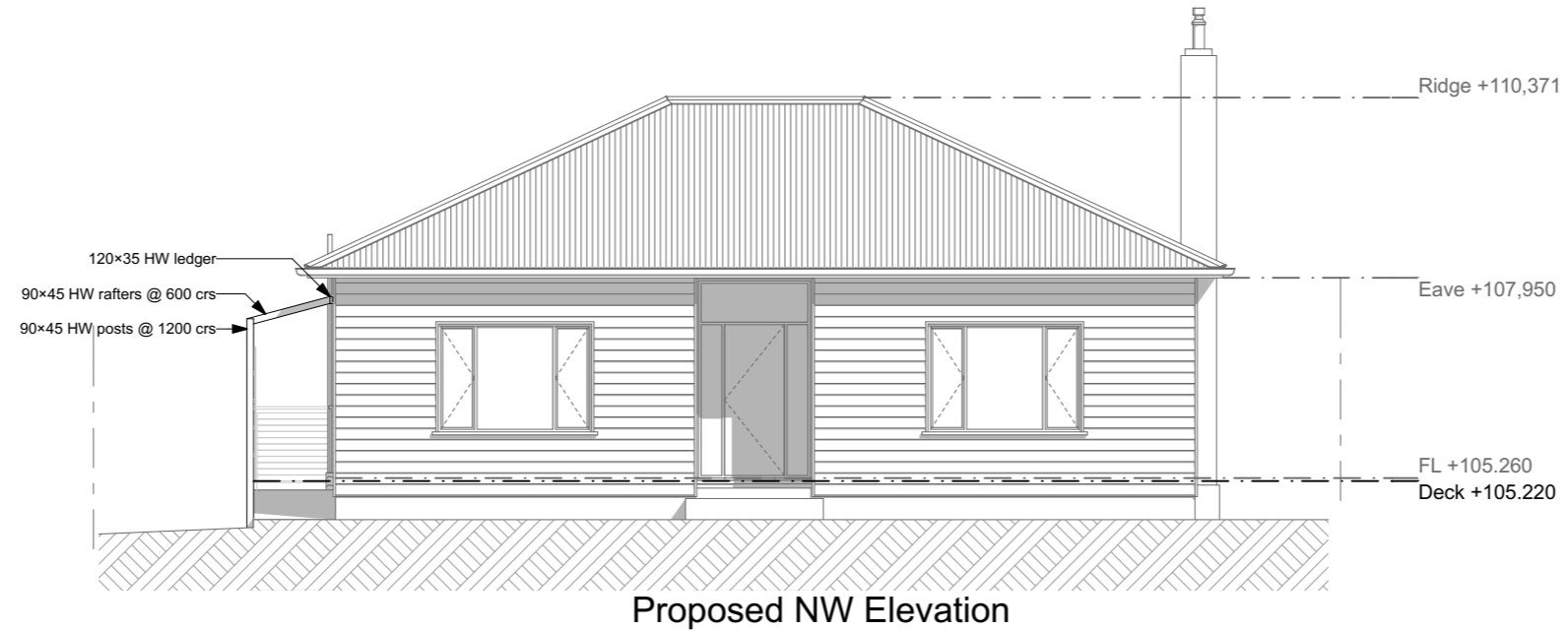
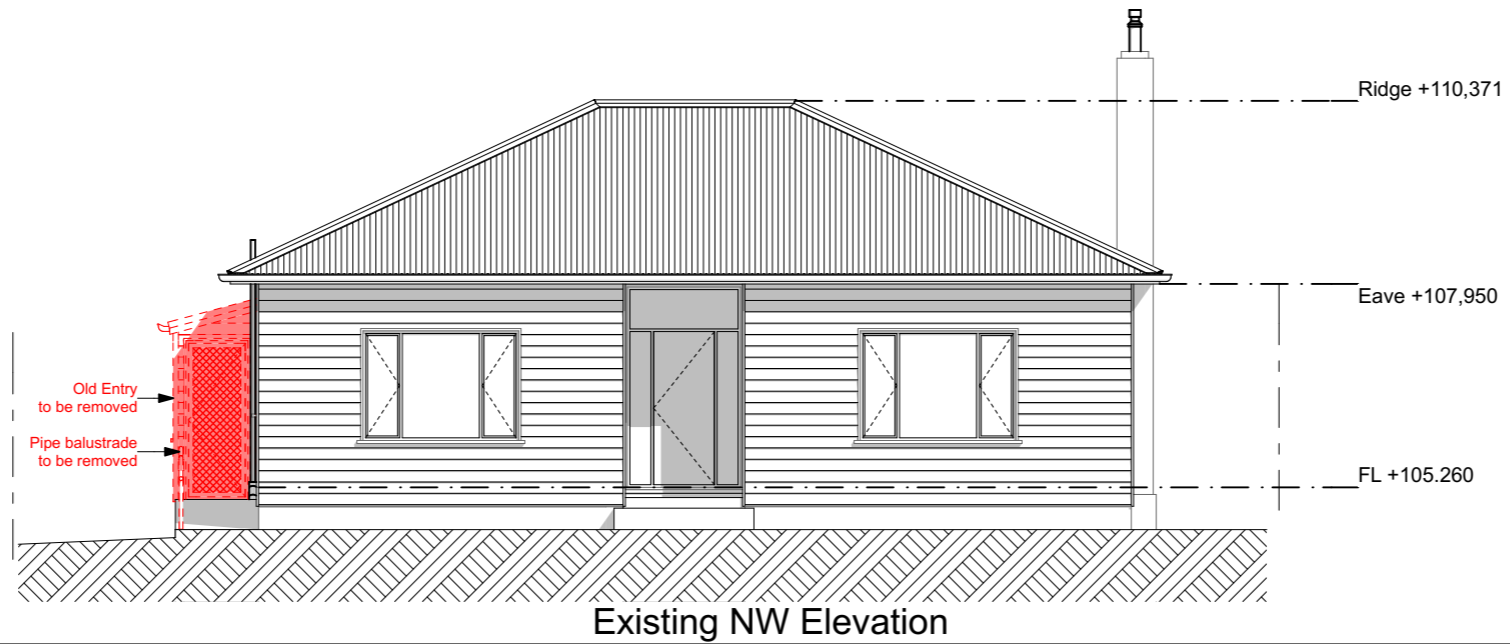


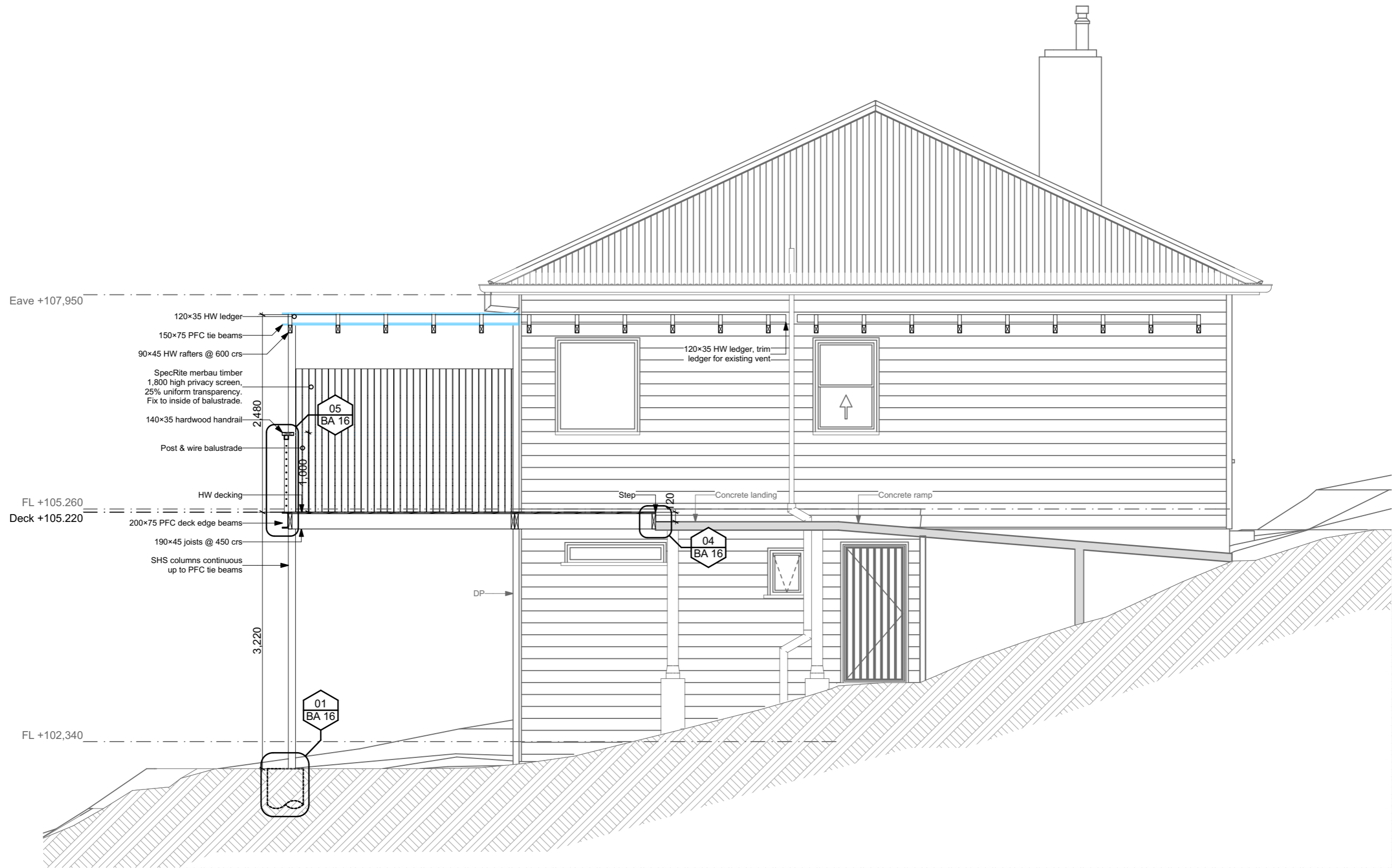
Proposed SW Elevation

- Building envelope protrusion
- PFC tie beam
- Eave + 107,950
- SpecRite merbau timber
1,800 high privacy screen,
25% uniform transparency.
Fix to inside of balustrade.
- Post & wire balustrade
with hardwood handrail
- FL + 105.260
Deck +105.220
- PFC deck edge beams
- SHS columns continuous
up to PFC tie beams
- FL + 102,340

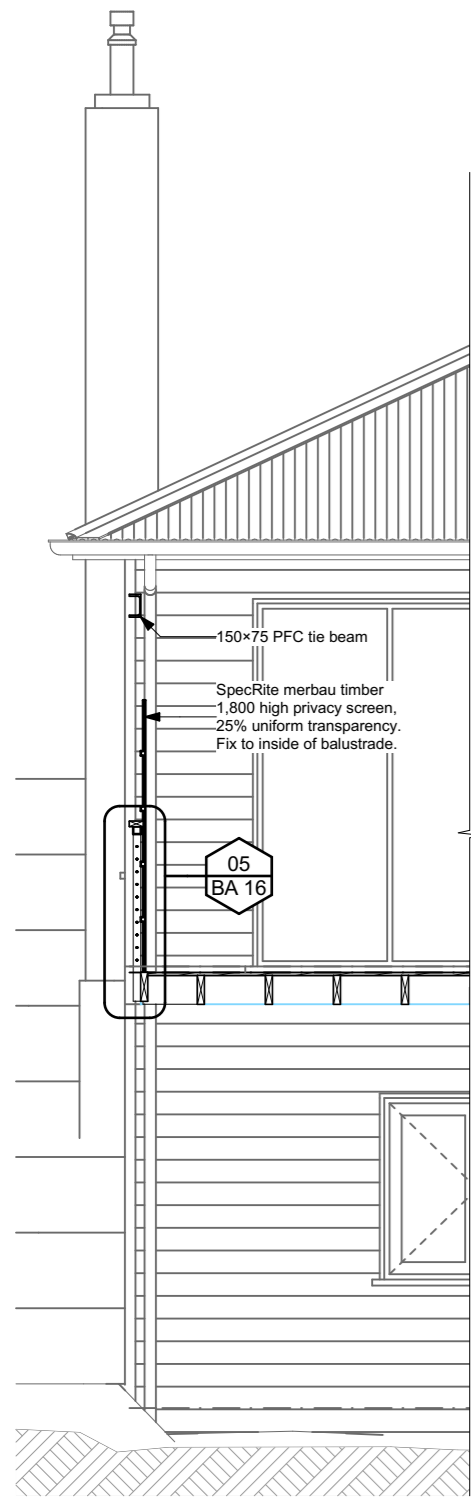
Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.

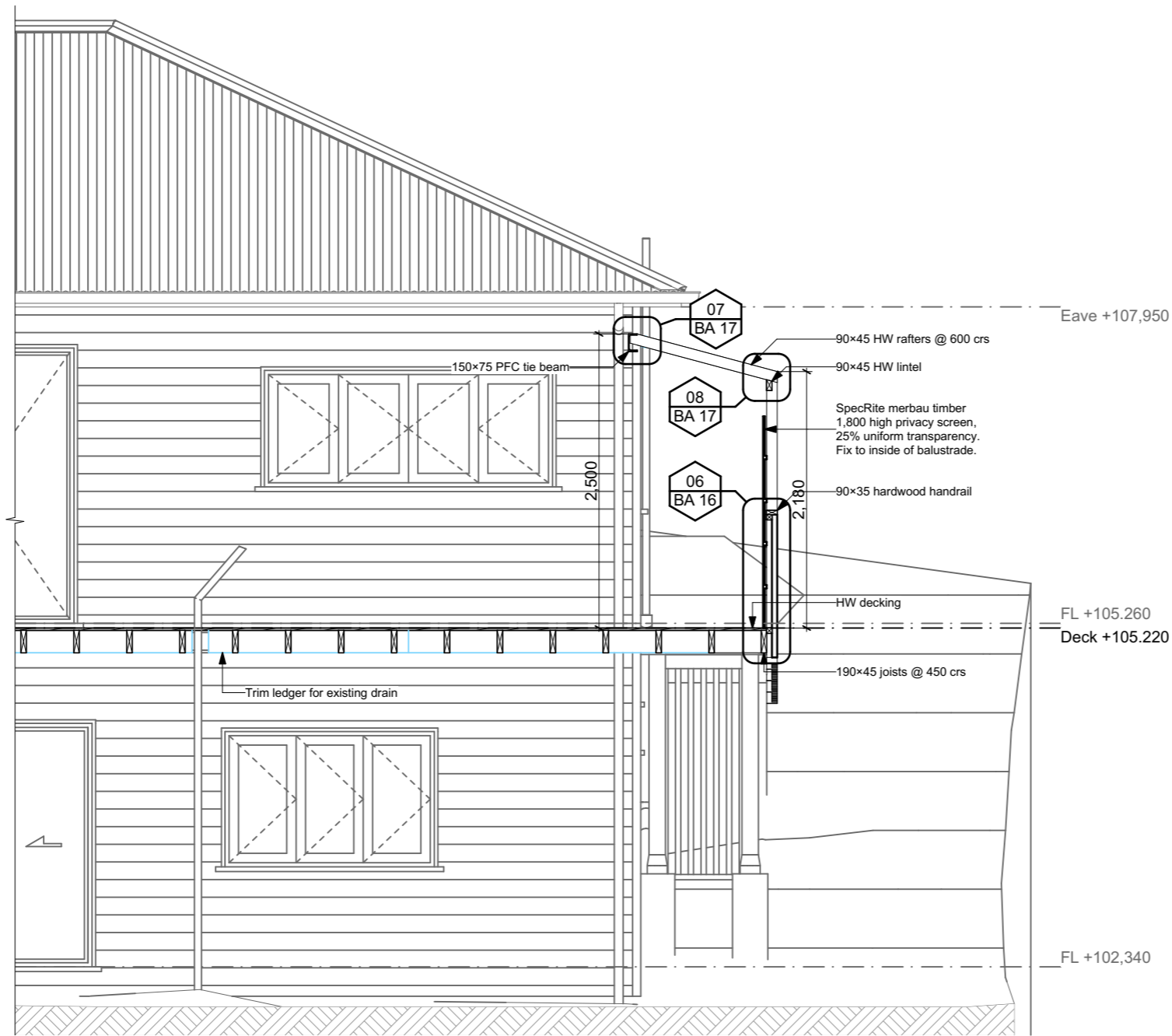




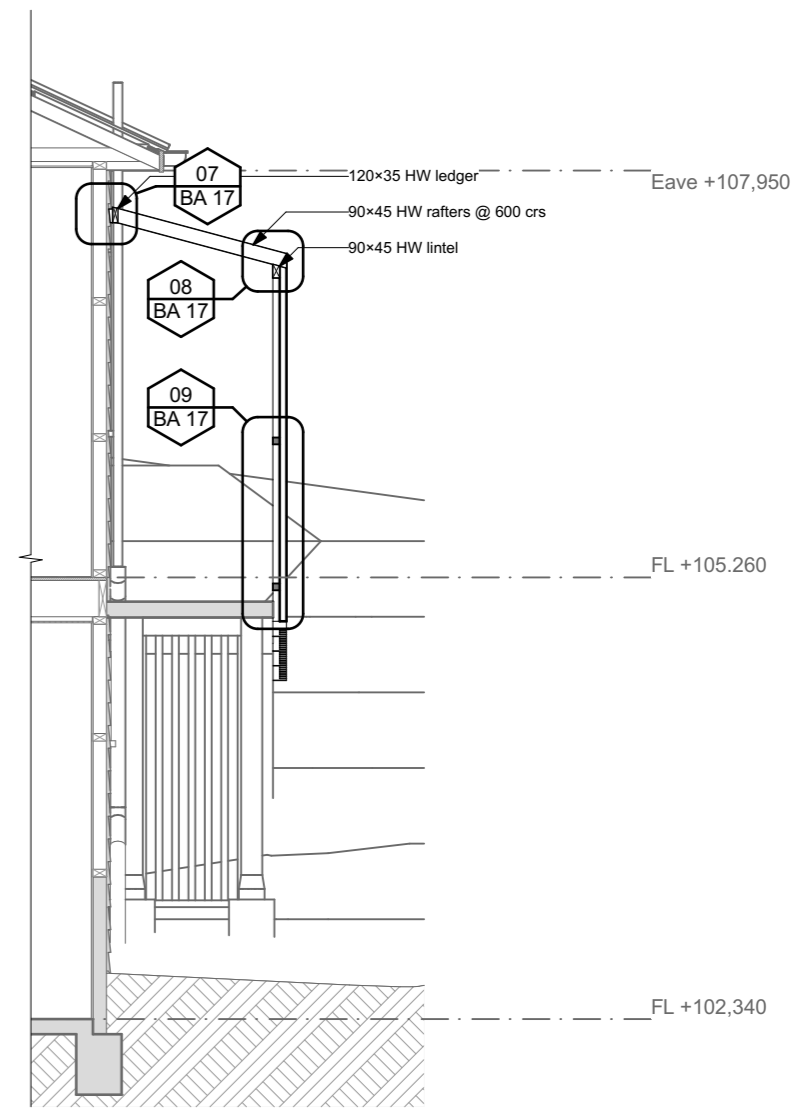
Section A



Section B



Section B



Section C

Bushfire Hazard Report

**22 Romilly St
South Hobart**

Performance Solution

Hobart Interim Planning Scheme

Property ID 5589061 Title Reference 20513/10

K Reid

September 2025

Roger Fenwick Bush Fire Consultant
PO Box 86B Kettering Tasmania 7155
roger@bushfire-consultant.com.au
0411 609 906
Accreditation No. BFP - 162

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Executive summary

I am an Accredited person permitted to assess bushfire hazards and to define Hazard Management Areas and to prepare appropriate plans for their ongoing management. A summary of my *curriculum vitae* is Annexure A.

This report concerns proposed construction of a large elevated deck attached to a single family residence in a bushfire-prone area within the Hobart Interim Planning Scheme area, assessed under the provisions of the Director's Determination – Requirements for Building in Bushfire-Prone Areas (transitional) v2.3 (DDRBBPA).

The presence of unmanageable (off-site) vegetation on slopes exceeding the 20° limit in the Deemed to Satisfy tables of AS 3959 necessitates a Performance Solution, in turn necessitating a Performance-Based Design Brief, for new work. The objective will be to show that siting and construction satisfy the Performance Requirements of DDRBBRA.



Roger Fenwick BFP 162 Scope 1, 2, 3A, 3B



Streetside view to south of existing house.

Purpose

I have been engaged to undertake a Bushfire Hazard Report for proposed construction of an attached deck (BCA Class 10b structure) adjoining an existing residence located at 22 Romilly St, South Hobart known as Property ID 5589061, Title Reference 20513/10.

The new works will adjoin the house, and be 29m from vegetation growing on a 22° downslope on adjoining land.

This report provides an assessment of the bushfire risk as required by the provisions of the *Director's Determination – Requirements for Building in Bushfire-prone Areas (transitional) v2.3*. (DDRBBPA).

Methodology

The assessment protocol relies on definitions and specifications in the Australian Standard *Construction of buildings in bushfire-prone area 2018* (AS 3959), *Nash Standard – Steel Framed Construction in Bushfire Areas*, vegetation classification by Specht 1970, and in particular, State variations defined in the DDRBBPA. Those variations specify additional requirements for access, water supply, and a Hazard Management Area (HMA) plan.

For defined vegetation classes, litter and other flammable vegetation component standard values have been determined. These, slope values and standard weather conditions are used to calculate bushfire behaviour, including rate of forward spread, radiant heat output and flame height. When considered in conjunction with the distance between the edge of the fire and the point of measurement (eg the wall of a house), they show the intensity of the fire exposure.

Those combined values are expressed as a Bushfire Attack Level (BAL) plus a number which expresses the radiant heat output in kilowatts per square metre (kWm²). The BAL rating determines the required construction standard. As the setback distance increases, the BAL rating decreases.

Vegetation on adjoining land beside the proposed building site is growing on a slope exceeding the limit of the range within the Deemed to Satisfy tables in AS 3959. This requires a Method 2 assessment as outlined in the Standard. That in turn requires a preliminary Performance-Based Design Brief, defining how compliance with specified fire safety outcomes will be achieved.

As part of the evaluation, fuel loads in the specific Forest vegetation type present (described in a paper by Marsden-Smedley *et al*¹) have been used in lieu of standard Forest figures in the Method 2 calculations.

Proposal

Plans showing the site and proposed development are attached at Annexure E. The proposal is to create an attached deck beside the Class 1a house.

General site description

This 723m² site is located on the northern side of Sandy Bay Rivulet.

¹ Fuel in Tasmanian Dry Eucalypt Forests, Marsden-Smedley, Anderson & Pyrke 2022, mdpi.com/journal/fire, Fire, 5, 103. Table 4

Vegetation

The site itself is completely cleared. Native vegetation to the NE is nominal Forest, specifically *E globulus* (Tasmanian blue gum) Eucalypt Forest and Woodland, as described by Dr Marsden-Smedley *et al*². As described in TASVEG Live, a strip of *E obliqua* separates the lot from a stand of *E globulus* Wet sclerophyll forest & woodland that (collectively) commences 29m from the nearest part of the proposed new works and extends to Sandy Bay Rivulet. The designation Wet to the Blue gum stand, and the description of a strip of Messmate, are not supported by inspection. Presumably because it is on a SE aspect it was assumed to be Wet rather than Dry, but the undergrowth belies this. There is no Messmate visible in the area. I am satisfied that the (dry) fuel loads derived from Marsden-Smedley *et al* adequately describe the setting. There is also *A. dealbata* (Silver wattle) on the lower slope and beside the Rivulet .

The Forest type has been assessed by Marsden-Smedley *et al (ibid)* as having a surface and near-surface fuel load of about 13.5tha⁻¹, to which must be added 1tha⁻¹ for bark and 10tha⁻¹ for canopy. This provides w and W values of 14.5 & 24.5 for use in M2 calculations.

Topography

The site is on a 23° slope downwards (SE) towards Sandy Bay Rivulet. The slope decreases marginally beyond the property boundary, becoming 22° before flattening and becoming effectively level on both sides of the watercourse. The gradient to the NE & SW is effectively level across the fully developed, vegetation-free sides, and upslope beneath the houses to the NW.



Views from deck site to South



and East

Fire history

The LIST records no fire on the property.

Bushfire Context

A bushfire prone area is defined as land so mapped, or land within 100m of bushfire prone vegetation equal to or exceeding 1 hectare in area. Bushfire prone vegetation includes areas of grasses and shrubs other than defined exceptions such as maintained lawns, gardens, some horticultural land and the like.

² Marsden-Smedley, Anderson & Pyrke, Fuels in dry Tasmanian forests, Fire 2022, 5, 103 MDPI Table 4

The slope used in bushfire assessments is the gradient beneath unmanaged adjoining vegetation able to support fire movement towards structures. It varies from Upslope and Level (both defined as 0°) to groups of Downslope in 5° increments. Downslope means that fire is travelling uphill when moving towards the structure.

Setbacks are defined as the plan view (horizontal) distance between the edge of unmanaged vegetation and the nearest part of a structure subject to the assessment. This means to the nearest wall, or if there is no wall, to the nearest supporting post or column of a carport, deck, veranda, landing, stairs or ramps. Eaves and overhangs, tanks, chimneys, unroofed pergolas and sun blinds are excluded.

For planning purposes, it is assumed that the McArthur Forest Fire Danger Index (FDI) is 50. This defined FDI may not cover the worst case exposure at a site, and even strict adherence to the mandatory and other recommended specifications will not guarantee that structures will not be ignited by bushfire.

Site slopes & vegetation

The distance from the outer edge of the proposed deck to the nearest vegetation on the slopes shown to the southeast is 29m. No specific fire-protection works are undertaken on the adjoining property.



Looking downslope from near boundary

Performance-Based Design Brief (PBDB)

Objective

The intention is to ensure that adequate setback distances from fire in nearby unmanaged vegetation are provided for the construction of a deck beside a class 1a building.

Table 2.6 in AS 3959 provides specifications for recognised vegetation types and slope classes in 5° increments up to a value of 20° only, showing the combinations of setback distance and construction level generally regarded as providing acceptable levels of fire resistance. AS 3959 specifies (in Appendix B, Method 2) the methodology by which fire behaviour and resultant radiant heat output are calculated, and permits both extension of the table beyond its 20° maximum slope value and more refined calculations for precise slope values. I have written an Excel spreadsheet which performs the calculations specified in the Standard.

The approved PBDB protocol requires that the relevant stakeholders agree on the required outcome and the means by which proposed solutions will be assessed.

Relevant stakeholders

The relevant stakeholders in this case include Tasmania Fire Service, the property owner, the designer (Paul Davies), the Building Surveyor (BS TAS), and the bushfire hazard practitioner.

When applying a Method 2 analysis, the entire mathematical procedure is as specified in the Standard. Only if an acceptable outcome (a sufficiently low BAL rating) cannot be achieved is there any need or scope for subjective inputs.

The Building Surveyor has no role in carrying out the Method 2 analysis, but has responsibility for ensuring that the design and its processes properly reflect building regulations.

The building designer has no role in carrying out the Method 2 analysis, but is content to be given the design parameters (design to BAL-xx specifications in the Standard) resulting from the process. The property owner has no particular input in this case, being content to be guided on how to build to the acceptable standard.

Agreed input data

Nearby vegetation types are assessed by the application of the standard tables and methodology specified in AS 3959. In this case the rating is modified Forest, using the w and W values of 14.5 & 24.5 from Marsden-Smedley. Slopes and setback distances between adjacent vegetation and the proposed new works were assessed by direct measurement on site.

The proposed deck is attached to the southeastern side of the existing house.

DTS departures and relevant Performance Requirements

The applicable requirements are provided in the *Director's Determination – Requirements for Building in Bushfire-prone Areas (transitional) v2.3*. (DDRBBPA).

DtS provision	DtS compliance	Relevant performance requirement
3(3) Design & Construction	4.1(1)(b) Design will comply with DtS	3(3) – construction, as this is relevant to separation 3(4)(c) – appropriate separation from the hazard
3(4)(a) Property Access	4.2 Will comply with DtS	-
3(4)(b) Water Supply	4.3 Will comply with DtS	-
3(4)(c) Hazard Management Area	HMA will not be DtS Table 4.4 D compliant, as it does	3(4)(c) – appropriate separation from the hazard.

	not cover slopes exceeding 20°.	3(3) – construction, as this is relevant to separation.
--	---------------------------------	---

Assessment Methods

The Performance Solution will demonstrate equivalence to the already approved standards of siting and construction for the existing dwelling.

The proposed NCC Assessment Methods under A2G2(2) are:

- (b)(ii) - Other Verification Method, being AS3959 Method 2 calculations to determine the minimum separation required to achieve no worse than a BAL-29 exposure.

When assessing Forest vegetation, calculations as per Method 2 in AS 3959 have been made. Results from calculations show that setbacks corresponding to a BAL not greater than 29 at the building site have been applied.

Acceptance Criteria

The proposed Acceptance Criteria are

- Construction to BAL-29 specifications,
- Separation sufficient to mitigate radiant heat flux to <math><29\text{kWm}^2</math>;

Documentation and evidence to be provided

The following documentation will be provided to the building surveyor:

- Bushfire hazard management plan
- Bushfire hazard report that complies with Bushfire Hazard Advisory Note 4 and A2G2(4)(d) and includes:
 - Method 1 assessment;
 - Method 2 assessment calculations.
- Detailed design documentation demonstrating compliance with the design BAL (to be provided by designer).

BAL ratings

The exposure of the new deck will be to BAL-29, and therefore comply with all construction and siting requirements.

Access

There is direct access to Romilly St and a fire hydrant in the roadway outside the property. This complies with Table 4.2 A.

Water

As reticulated water supply and a hydrant within 120m of all parts of the dwelling exist, DDRBBPA Table 4.3A applies and is satisfied.

Environmental & other constraints

No overlays (apart from bushfire) cover the site.

Assessment

Hazard Management Area

The HMA corresponding to a BAL-29 determination is shown on the plan at Annexure B. The HMA covers the entire property.

Construction specification

All new works must be constructed in accordance with sections 3 and 7 of AS 3959.

In addition to the specifications within AS 3959, I recommend that non-combustible leaf guard be fitted to every roof gutter.

Conclusion

The performance provisions of the relevant regulatory documents and instruments will be met by adherence to the points in this report. The hazard separation distances to be achieved **and maintained** in accordance with the plan for the Hazard Management Area, combined with construction to the recommended BAL-29 specifications, will provide what is regarded as an acceptable protection against the anticipated exposure to bushfire attack. Under bushfire weather conditions that exceed the design criteria, the probable survival of structures is less likely.

Summary of requirements

Initial checklist

1. Complete construction to the specifications in sections 3 and 7 of AS 3959-2018.
2. Create the Hazard Management Area as prescribed in Annexure C, to the dimensions shown in Annexure B. In particular, keep nearby lawn mown to less than 50mm, and to the extent possible, keep it green by regular watering.

Annual checklist

1. Maintain the Hazard Management Area as prescribed in Annexure C, to the dimensions shown in Annexure B. In particular, keep the nearby lawn mown to less than 50mm, and to the extent possible, keep it green by regular watering.

Annexure A Curriculum vitae

Qualifications	<p>Graduate Certificate in Bushfire Protection, UWS, 2013</p> <p>Bachelor of Science (Forestry), ANU, 1969</p>
Work Experience	<p>Self-employed consultant – 1988 to present</p> <p>ACT Bush Fire Council</p> <p>Chief Fire Control Officer – 1986 to 1987</p> <p>Secretary – 1985</p> <p>Chief Fire Control Officer -1976 to 1978</p> <p>Deputy Chief Fire Control Officer – 1972 to 1975</p> <p>Assistant to Chief Fire Control Officer - 1970 to 1971</p> <p>CSIRO</p> <p>Experimental Officer, Project Aquarius 1982 to 1984</p> <p>Chemonics Industries USA 1979 to 1981</p> <p>Field Service Representative, chemical fire retardants</p>
Project Experience	<ul style="list-style-type: none"> • Responsible for all aspects of staff administration, finance, bush fire safety planning, fire management, training, and fire control operations in the ACT. • Attended approximately 2000 wildfires, experimental fires and controlled burns. • Attended to an additional approximately 1000 wildfires. • Personally prepared approximately 2800 compliance reports to accompany Development Applications for subdivisions, Special Purpose structures, houses, industrial buildings and Defence complexes. • Prepared assessments for 31 schools in the Nation-Building Program for the Dept of Education, Employment & Workplace Relations. • Gave evidence in the Land & Environment Court on contested DA matters. • Prepared Vegetation Management Plans for large (primarily Defence) estates throughout Australia. • Prepared training plans and the Bushfire Response Action Plan for Puckapunyal Base, Dept of Defence. • Provided studies of bush fire behaviour to assist planning and risk management by plantation insurance companies, Councils and other land management agencies. • As an Expert Witness, investigated, reported on and gave evidence in 47 matters involving fire causation and fire management activities, mainly in connection with civil litigation. • As Senior Research Officer, assisted in the experiment design and data analysis and responsible for all field operations for Project Aquarius, the major study of large aircraft assisted bush fire control by CSIRO Division of Forestry Research. • As a field representative for Chemonics Industries in the USA, maintained and oversaw the operation of all of the US Forest Service air tanker bases in Washington & Oregon, and introduced the use of fire retardants by ground application for fire management in the western states. • Lectured in bush fire behaviour and control principles at the ANU and the Canberra College of Advanced Education (now University of Canberra). • Wrote the bush fire training module for the ACT Fire Brigade. • Prepared the first urban-rural interface bush fire protection planning guidelines in the ACT for the National Capital Development Commission.

Annexure B Bushfire Hazard Management Plan

Lawn or equivalent and isolated shrubs and trees over the entire site, as indicated in Annexure C.

BUSHFIRE HAZARD MANAGEMENT PLAN

22 Romilly St, South Hobart

Property ID 5589061 Title 20513/10

Report 2509KEL.SOH.ROM1.0

Roger Fenwick BFP 162 Scope 1, 2, 3A, 3B

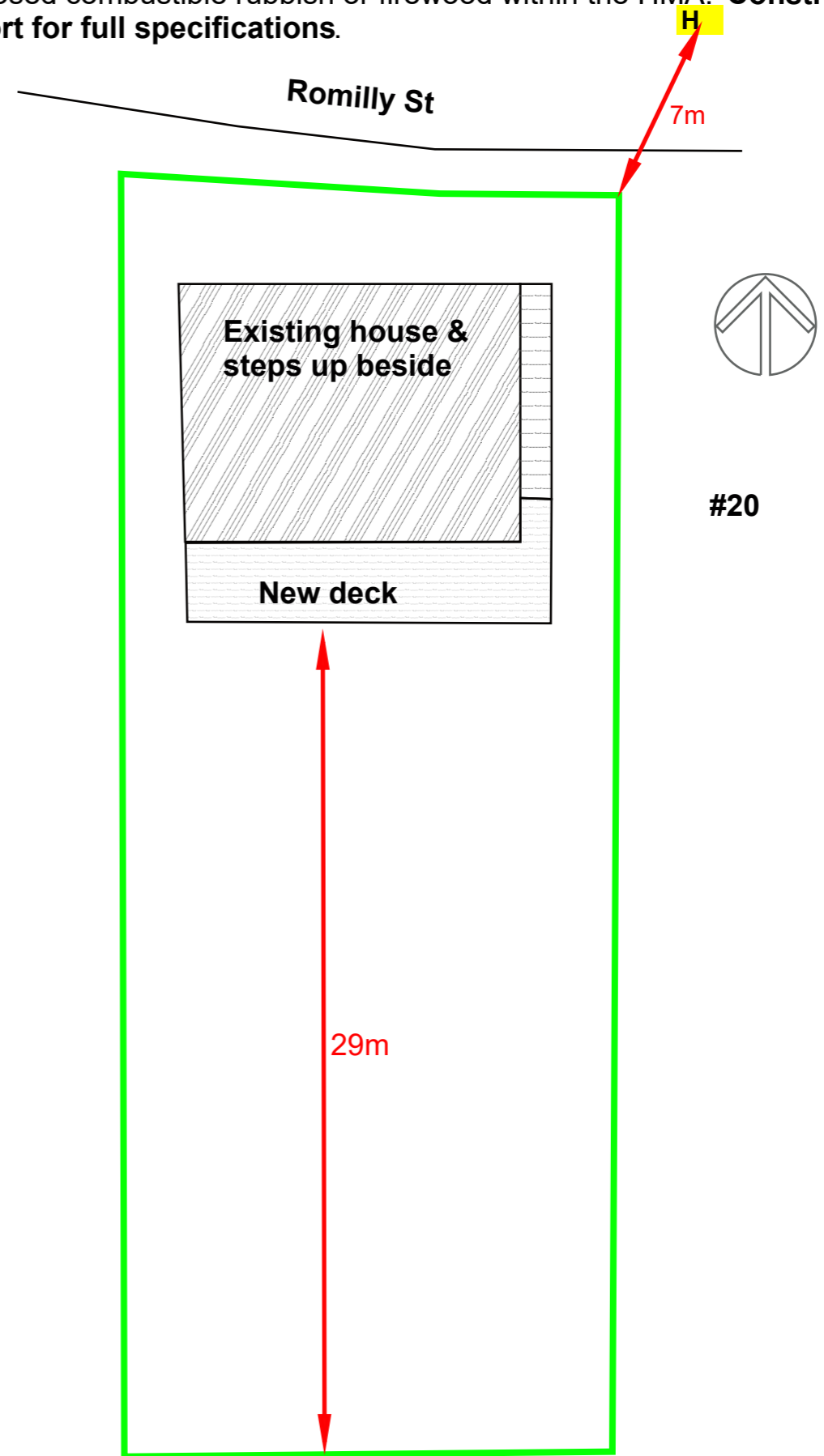
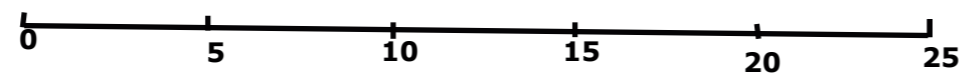
6 September 2025

The Hazard Management Area covers the entire property, outlined in solid green

Within the HMA maintain lawn to 50mm, kept green if possible, or garden with only isolated trees pruned to 2m. Scattered shrubs at least 2m from walls & 5m from windows, and not beneath trees, are permitted. Do not store exposed combustible rubbish or firewood within the HMA. **Construction to BAL-29. Refer to the Report for full specifications.**



H Fire hydrant location in road.



Dry Blue gum forest beside

Annexure C Management specifications

Hazard Management Areas

The intent is to maintain the Hazard Management Area in a condition that will not allow the development or passage of fire able to ignite structures through radiant heat or flame contact. In addition, providing protection against ember attack is highly desirable. Much of the aim is to limit the intensity of the approaching fire to a level which can be absorbed without damage by the passive protection measures included in the house construction. The materials used have been chosen to (probably) not be ignited (eg walls) or be sufficiently heat-affected to break (eg windows) during the passage of the fire. It is assumed that nobody will necessarily be present during the passage of the fire, so that the structure will hopefully survive by itself. Heat from the head of the approaching fire will probably be at its peak for around 5 minutes, but embers, smoke and uncomfortably high heat will continue for around an hour or so. Attendance by suitably clothed, trained, fit and able-bodied people with appropriate equipment immediately after passage of the fire increases the likelihood of the structure surviving, particularly if small local patches have ignited.

Fire must be kept far enough away to limit the radiant heat which will threaten both structures and anyone (homeowners, fire-fighters) in the path of the fire. Basically, fire spreads rapidly in surface litter and low grassy growth, and develops tall flames in the shrub layer. That makes things difficult for fire-fighters trying to work the fire edge. With enough heat generated by vigorous fire in the shrub and sapling (understorey) layers, the fire flame height will increase, and involve the crowns of the overstorey trees. Flames also run up the bark of many fibrous-barked eucalypt species, adding to the overall heat output but primarily creating showers of embers.

Limiting fire behaviour is achieved by separating the various vegetation components both vertically and horizontally. Less surface litter will result in a slightly slower-moving fire, putting out less heat and therefore slower to ignite the shrub layer. Partial removal of the shrub layer significantly reduces the low-level flame height, making it easier for fire-fighters to work near the fire edge, and becoming less likely to ignite the sapling layer. Keeping the shrub and sapling layer fire intensity low means that fire is unlikely to move into the canopy of the overstorey. That is a crown fire, and is completely uncontrollable by any means.

Limiting ember production is best achieved by not having rough-barked species nearby, or by removing the loose outer bark layer before fire gets near.

Protecting against ember attack relies largely on proper construction material selection, and good design that will not trap embers or the litter on which they may land and ignite. Properly screened openings are essential, but good plant selection and layout can create an ember shield, to deflect or trap embers approaching the house. Remember that embers will also accumulate in the sheltered side, in the eddy zone behind the house. Anywhere leaves accumulate, so will embers.

It is essential to keep even low creeping flames from contacting walls of the house. Maintain a path at least 30cm wide completely clear of all flammable material immediately between the garden/ lawn area – a concrete or gravel path, bare soil, whatever – and the house.

The HMA is to be kept in a substantially cleared condition, with mown lawn and only occasional scattered low-flammability ornamental shrubs, garden plants and the like.

- Immediately beside the house there must be a strip not less than 30cm wide which is kept bare of any combustible material.

- Grass must be kept mown to not more than 50mm in height, and should be kept watered and green within 5m of a wall.
- Shrubs should not be located within 2m of a wall, or within 5m of a window.
- Avoid using combustible mulch within 2m of a window and within 1m of a wall – use pebbles instead in these settings.
- Trees are to be kept well-spaced, with one crown diameter between canopy crowns,
- Shrubs to 1.5m height (or shrub clusters, to 2m diameter) should have 5m between them. (If trees have a 10m diameter canopy, there should be 10m between their canopies, ie 20m between trunks. Similarly, a 2m diameter cluster of shrubs should not be within 5m of other shrubs.
- Favour smooth-barked over rough-barked trees, and low-flammability species.
- Prune all tree branches to a height of 2m.
- Shrubs should not be located directly under trees.
- Don't have open woodpiles or locate rubbish heaps within the HMA.

Annexure D Form 55 Certificate

**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM****Section 321**

To: *Owner /Agent*
 Address
 Suburb/postcode

Form **55****Qualified person details:**

Qualified person:
 Address: *Phone No:*
Fax No:
Licence No: *Email address:*

Qualifications and Insurance details:
(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:
(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: *Lot No:*
Certificate of title No:

The assessable item related to this certificate:
(description of the assessable item being certified)
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type:
(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (*tick one*)

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report dated September 2025 including Bushfire Hazard Management Plan dated September 2025 AS 3959-2018 <i>Construction of buildings in bushfire-prone areas</i> Plans by Paul Davies
Relevant calculations:	Method 2 calculations, shown in above documents
References:	N/A

Substance of Certificate: (what it is that is being certified)

A bushfire assessment and management plan for proposed new construction, in accordance with BAL-29 construction standard of AS 3959-2018.

Scope and/or Limitations

A Bushfire Hazard Assessment was commissioned by K Reid to identify the potential bushfire risk and BAL rating, and to recommend appropriate compliance and protection measures.

Limitations: The proposed measures comply with the guidelines. Full compliance with the requirements in this report and/or AS 3959-2018 does not guarantee survival of structures or persons.

Performance Solution elements must be certified by TFS via a Form 47.

I certify the matters described in this certificate.

Signed:

Certificate No:

Date:

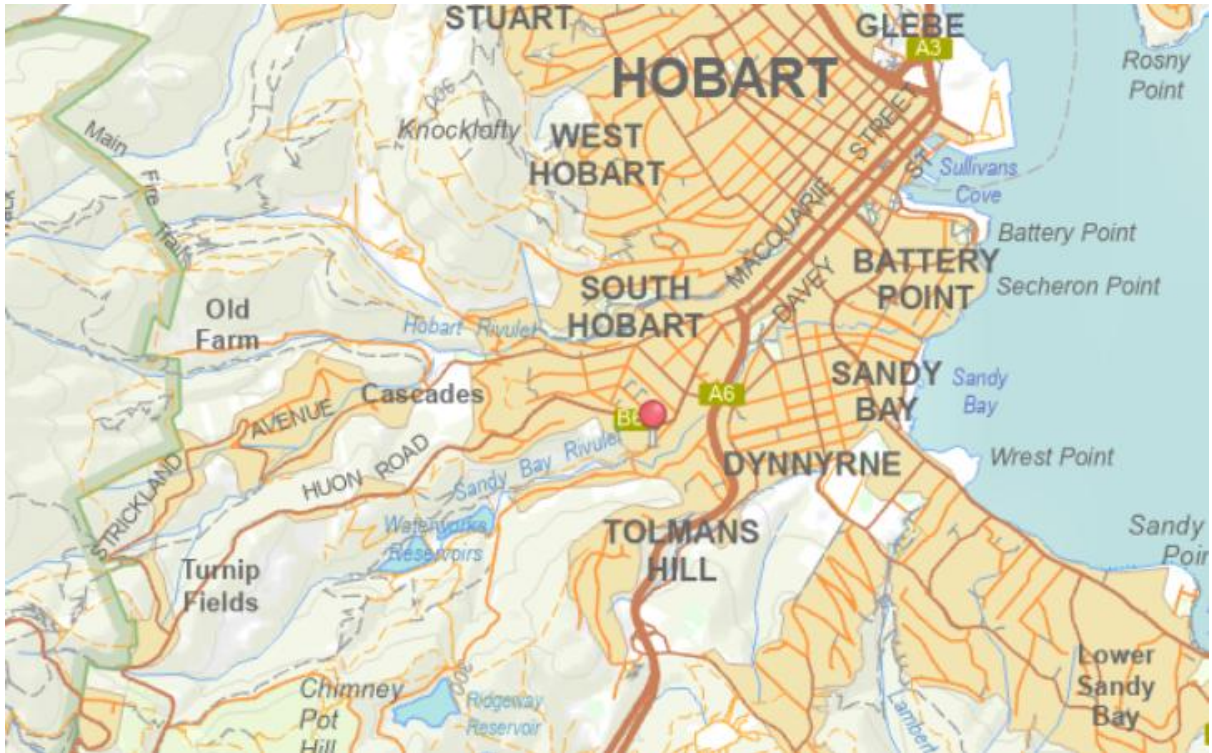


2503KEL.SHO.ROM1.0

6 September 2025

Qualified person:

Annexure E Site plans



KELROM 22 Romilly St, South Hobart Listlocsite

Land Title Information
 Property ID = 5589061
 Title Reference = 20513/10

Areas
 Land Parcel = 731m²

Existing buildings
 Dwelling = 101.25m²
 Ramp + Old Entry = 7.96m²
 Shed = 10.49m²

Proposed buildings
 Deck = 39.77m²

Site Coverage
 Total proposed building area = 159.47m²
 Site Coverage = 22%

Design Wind Speed - AS 4055-2021
 Wind Region = A
 Terrain Category = 3
 Topographic Classification = T2
 Shielding Factor = PS
 Site Wind Classification = N3
 Gust Wind Speed = 41m/s

Soil Classification
 AS 2870-2011 T.B.C.
 Engineered footing design.

Climate Zone 7

Bushfire Attack Level
 AS 3959-2018 BAL-29
 Achieved with Performance Solution.
 Refer to Bushfire Hazard Report & BHMP.

Alpine or Sub-alpine Area N/A

Corrosion Environment Low

Other Hazards N/A

Proposed Works:

Removal of old entry and construction of new timber deck attached to existing dwelling.

Notes for Owner and Contractors:

Do not scale drawings, use written dimensions only.

Do not work from any drawings or associated documents that have not been stamped 'APPROVED' by the Local Authority.

A copy of all drawings and associated documents stamped "APPROVED" by the local Authority **must be kept on site**.

Prior to any works, the Owner must pass onto the Contractor any 'CONDITIONS OF APPROVAL' issued by the Building Surveyor, Local Authority or other Authorities.

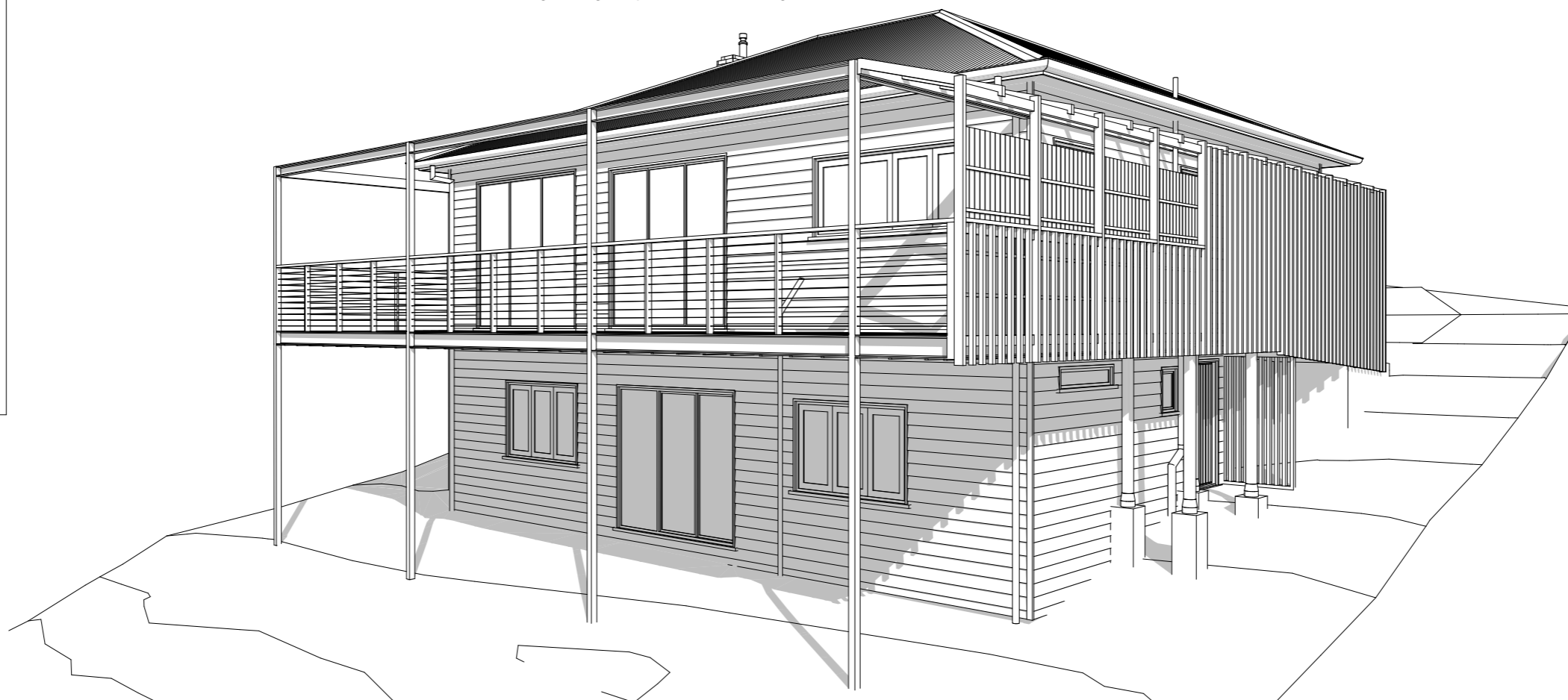
Do not proceed with any work that varies to that detailed herein without the approval of the Owner, Designer and Building Surveyor.

These plans shall be read in conjunction with any structural or civil engineering computations and drawings.

The Contractor, Owner/Builder shall:

- verify all dimensions, levels, setbacks on site in relation to these drawings and specifications prior to commencing any works or ordering materials.
- ensure that all work and materials comply with the Building Code of Australia and any relevant standards.
- ensure all materials are installed to manufacturers specifications.
- take all steps necessary to ensure the stability of new and existing structures during all works.
- ensure the general water tightness of all new and existing works.



These notes are neither exhaustive nor a substitute for regulations, statutory requirements or contractual obligations and unless stated otherwise, are provided only as guidelines.



Proposed Deck For:
Kelven Reid
 22 Romilly St, South Hobart

Sheet Index DA	
Sheet ID	Drawing Name
DA 01	Cover Sheet
DA 02	Site Plan
DA 03	Ground Floor Plan
DA 04	First Floor Plan
DA 05	NE Elevation
DA 06	SE Elevation
DA 07	SW Elevation
DA 08	NW Elevation
DA 09	Section A

Associated Documents
Bushfire Hazard Report & BHMP

Site Plan Legend	
	Existing Buildings
	Proposed Buildings

Earthworks & Services

There are no proposed Sewer or Stormwater changes.

The Builder shall confirm the presence & location of all existing services on the site & within the area of works.

All dangerous services (underground & overhead) must be clearly identified.

There are no proposed earthworks other than column footings.



Boundary disclaimer
The information shown on this plan is as per the field survey undertaken by

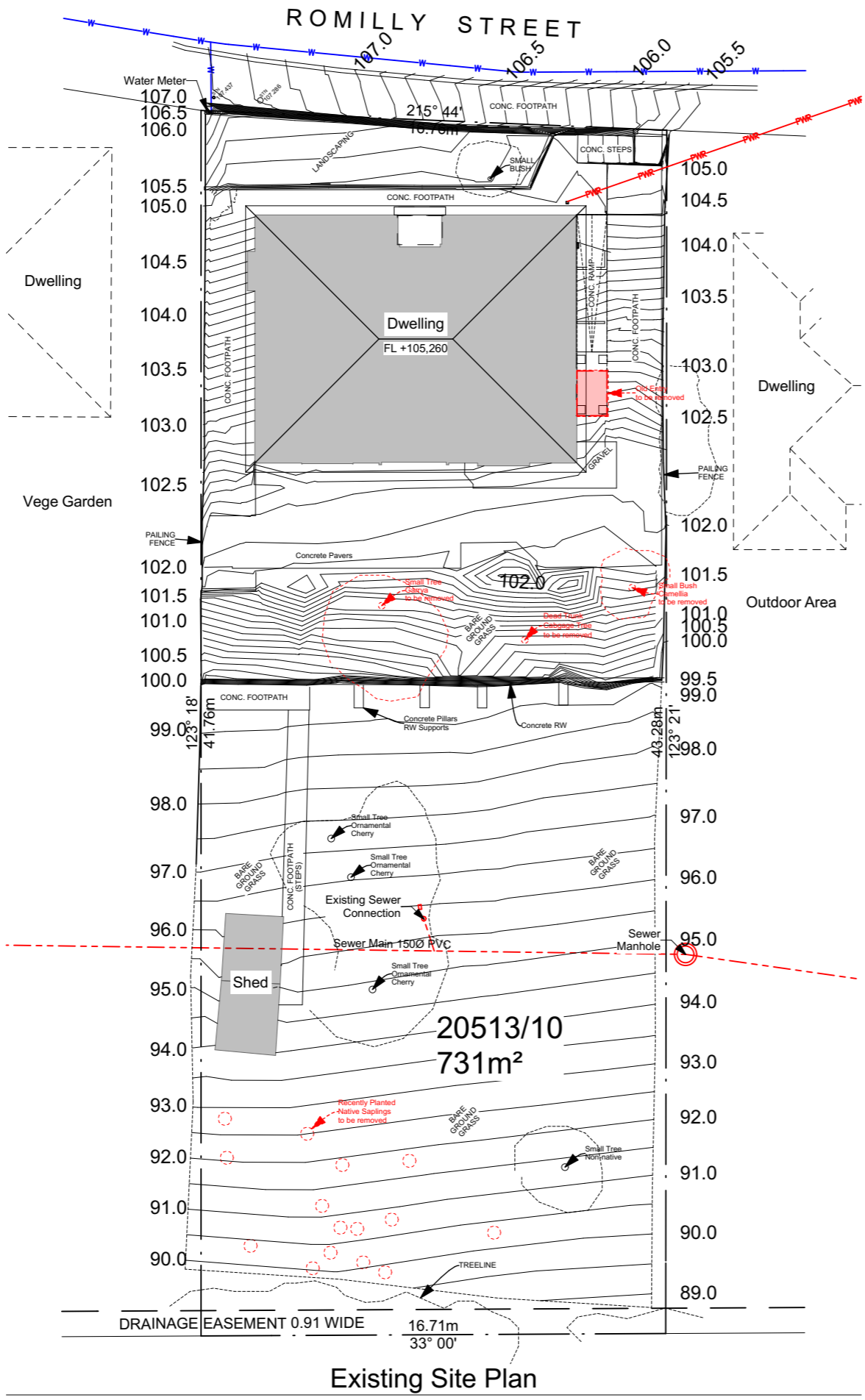
Studio South West 3D - Survey Ref. FA-638

Further information is provided on the survey.

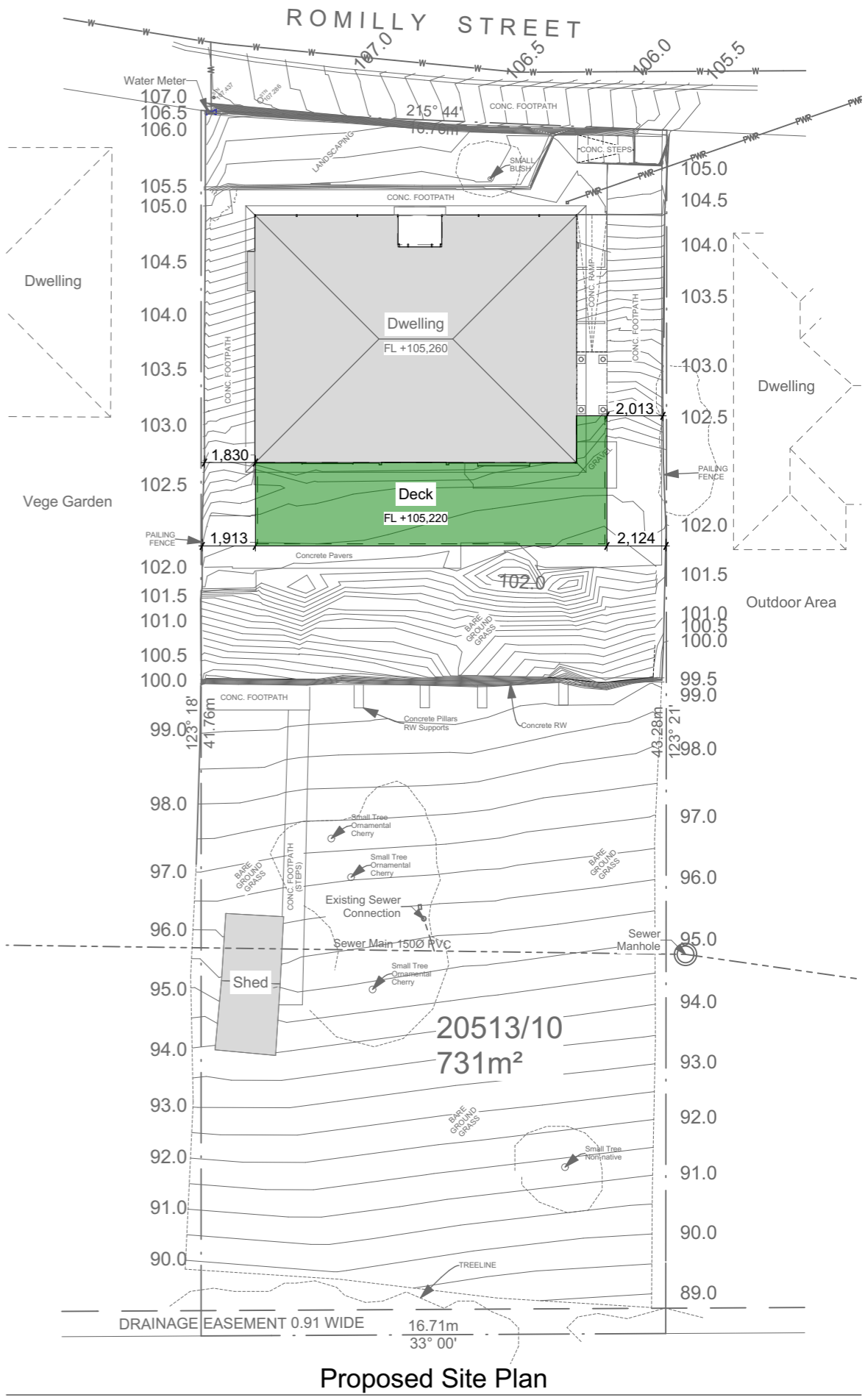
Boundaries shown are best fit overlay only!
No boundary pegs are present. The exact position of the boundaries is not likely to impact the location of the proposed buildings. It is the land owners responsibility to have the boundaries confirmed with a boundary remark survey if deemed necessary.

Survey Spatial References
SPM3660
GDA1994 525475.565E / 5250289.131N z55
GDA94 Horizontal Class B
GDA94 Horizontal Order 2ND
Height 103.482m AHD83
Height Class GPS
Height Order 3RD
GDA2020 525475.973E / 5250290.55N z55
GDA2020 Positional Uncertainty 0.025
Positional Uncertainty Method Rigorous

Contour Intervals = 0.1m / 0.5m



Existing Site Plan



Proposed Site Plan



Paul Davies
Building Designer
License #: 376495511

Address: 59 Fletcher Ave, Moonah, 7009
Phone: 0472 703 636
Email: paul@pddesign.com.au

Note:
- Do not scale off drawings. Copy reproduction can alter scale.
- All dimensions are to be confirmed on site before construction or manufacture.
- These drawings are to be read in conjunction with any written specification and/or engineers drawings.
- All work is to be carried out in accordance with the NCC and the relevant Australian Standards.

Project Address:
Proposed Deck
22 Romilly St, South Hobart

Client:
Kelven Reid

Drawing Title:
Site Plan

Job #:
242504

Drawn:
P. Davies

Checked:
P. Davies

Issued:
Monday, 6 October 2025

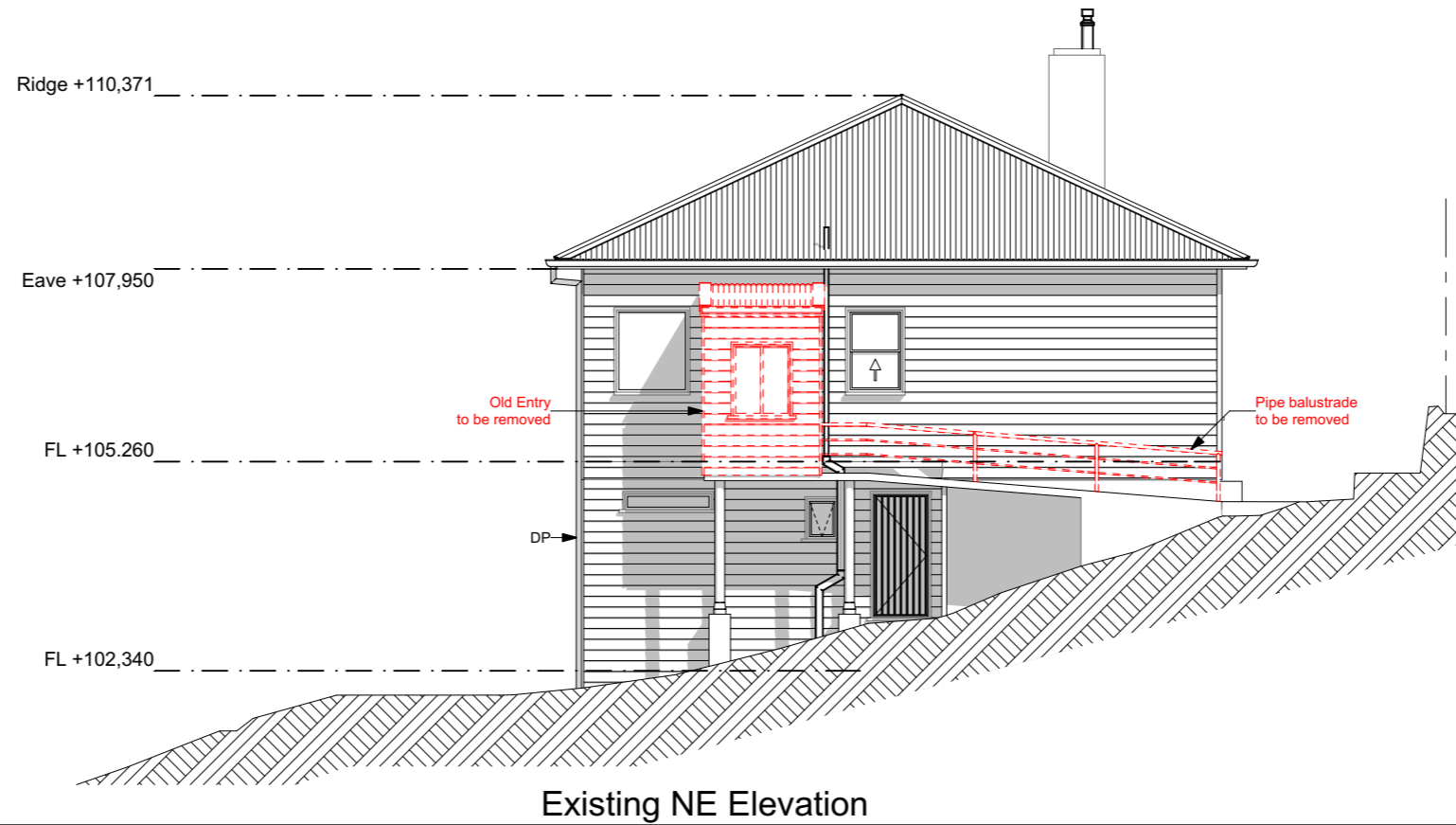
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Rev:

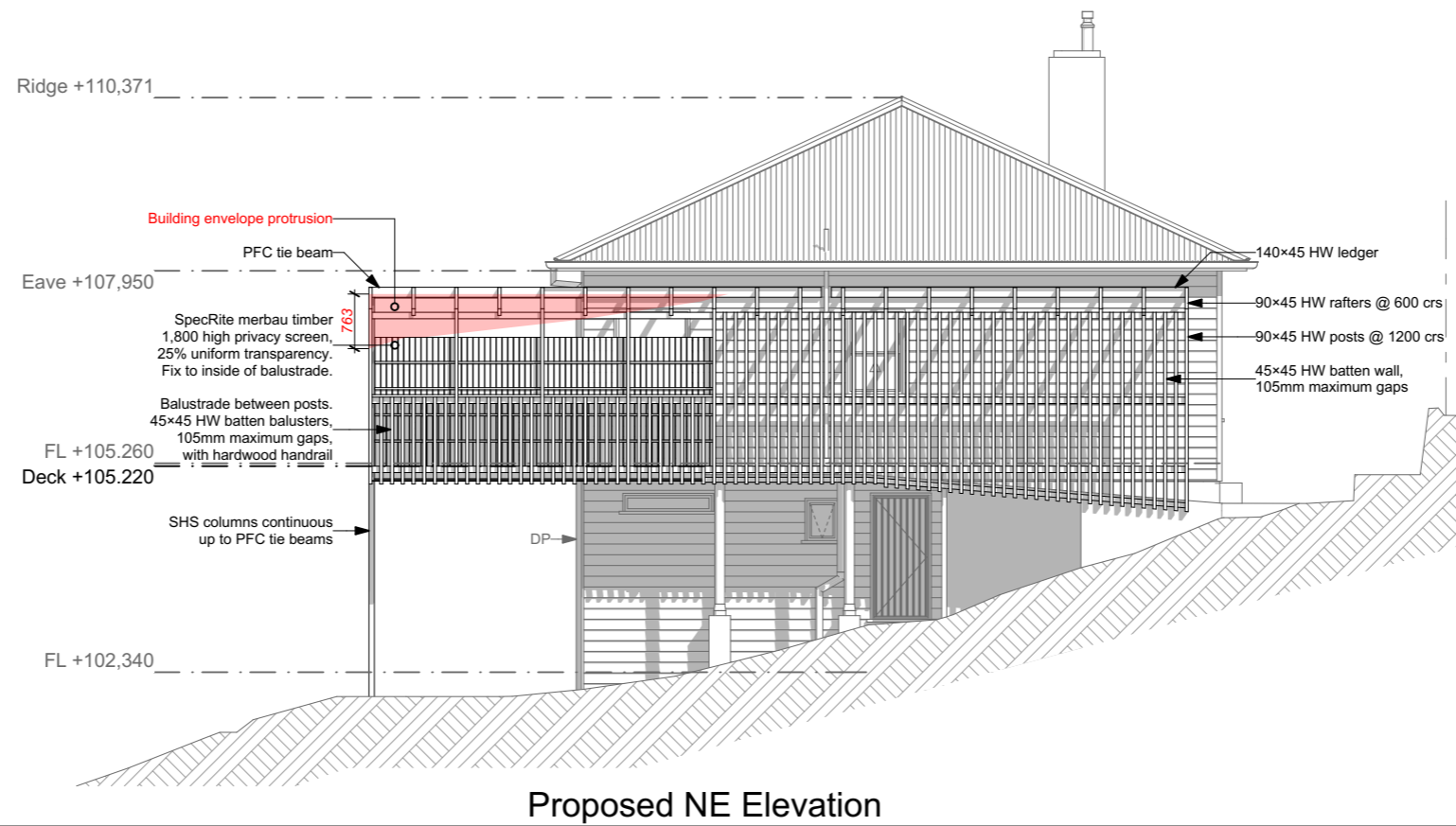
Drawing #:
(Sheet 2 of 9) DA 02

Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



Existing NE Elevation



Proposed NE Elevation

Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



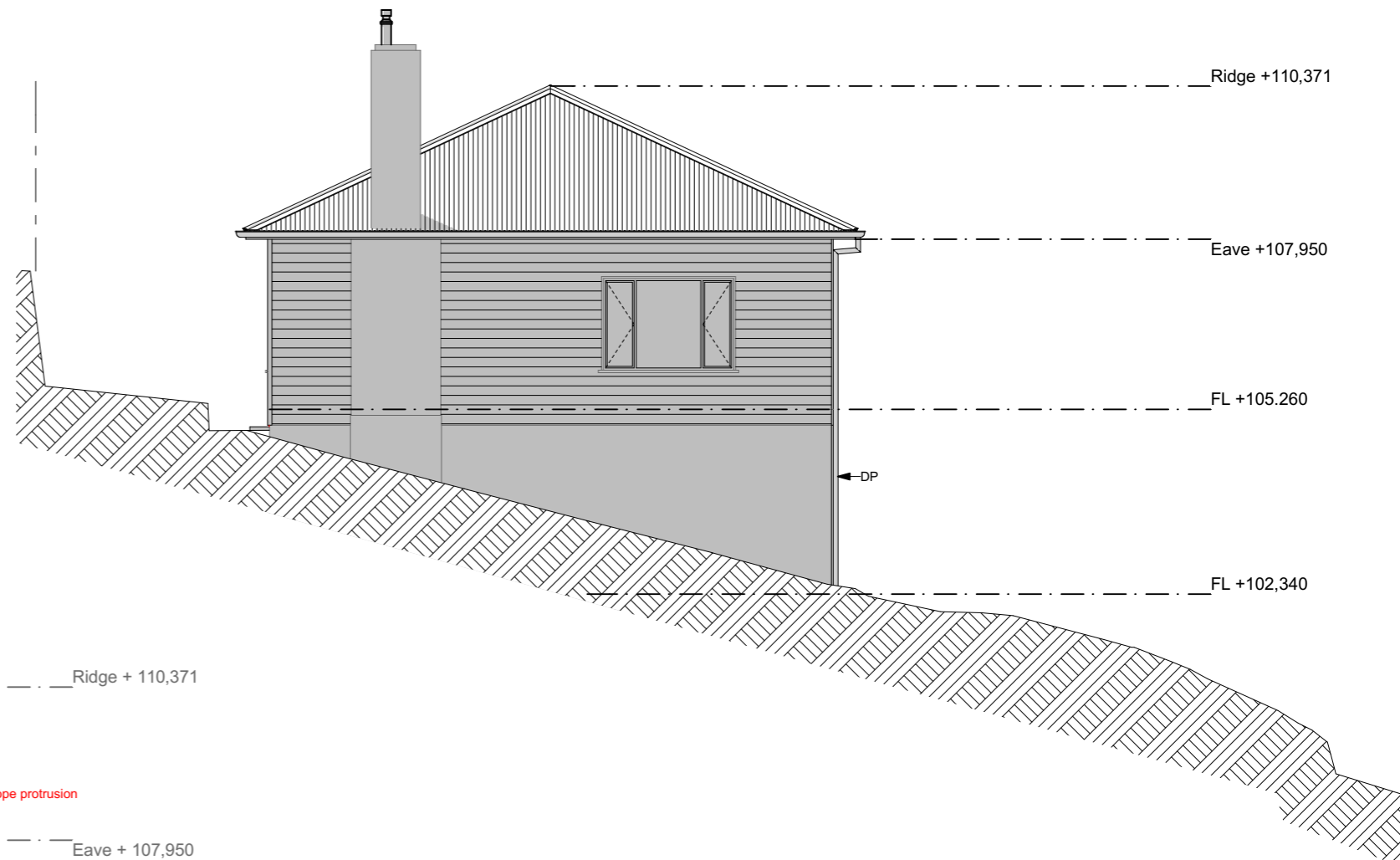
Existing SE Elevation



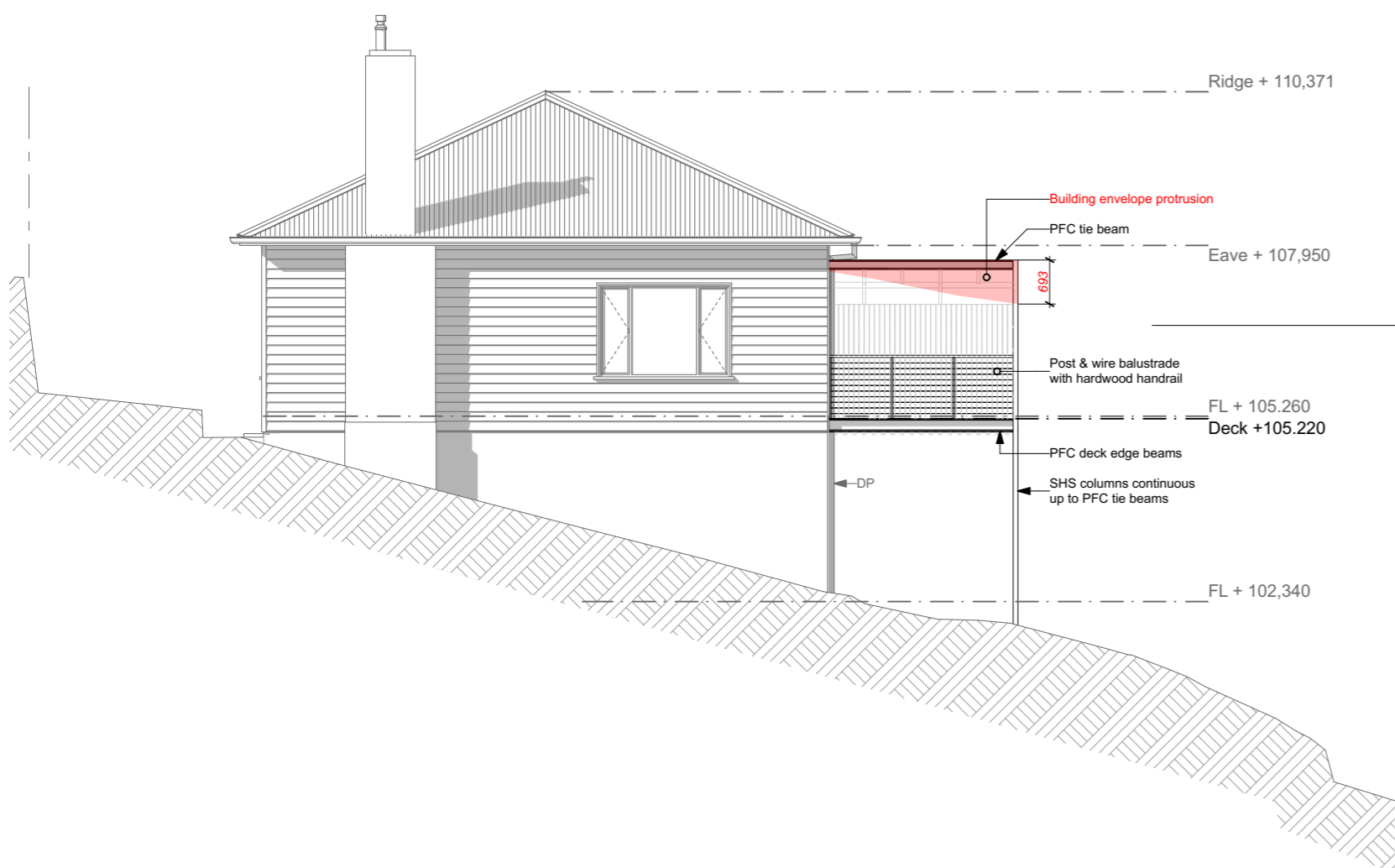
Proposed SE Elevation

Elevation Notes

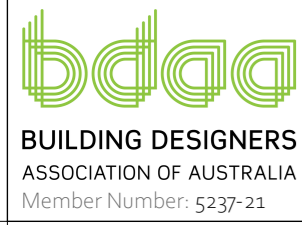
Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



Existing SW Elevation



Proposed SW Elevation



Paul Davies
Building Designer
License #: 376495511
Address: 59 Fletcher Ave, Moonah, 7009
Phone: 0472 703 636
Email: paul@pdbuildingdesign.com.au

Note:
- Do not scale off drawings. Copy reproduction can alter scale.
- All dimensions are to be confirmed on site before construction or manufacture.
- These drawings are to be read in conjunction with any written specification and/or engineers drawings.
- All work is to be carried out in accordance with the NCC and the relevant Australian Standards.

Project Address:
Proposed Deck
22 Romilly St, South Hobart

Client:
Kelven Reid

Job #:
242504

Drawing Title:
SW Elevation

Drawn:
P. Davies

Checked:
P. Davies

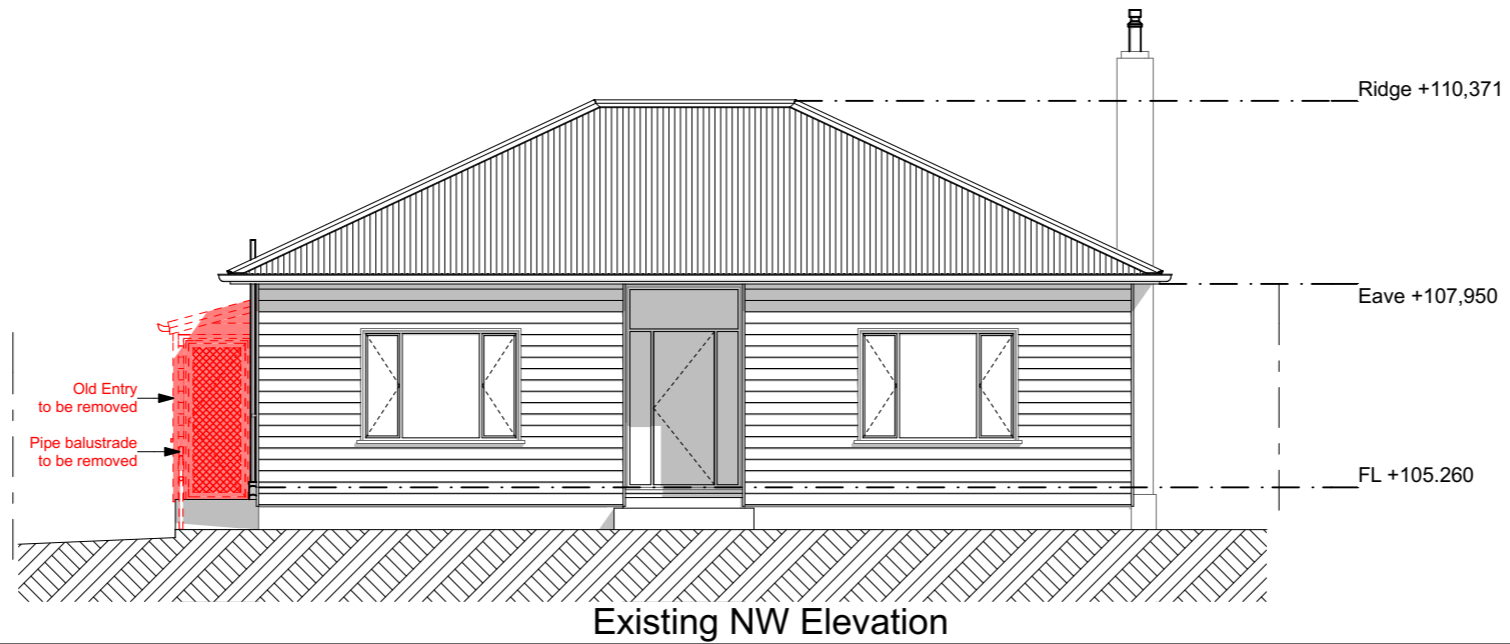
Issued: Monday, 6 October 2025

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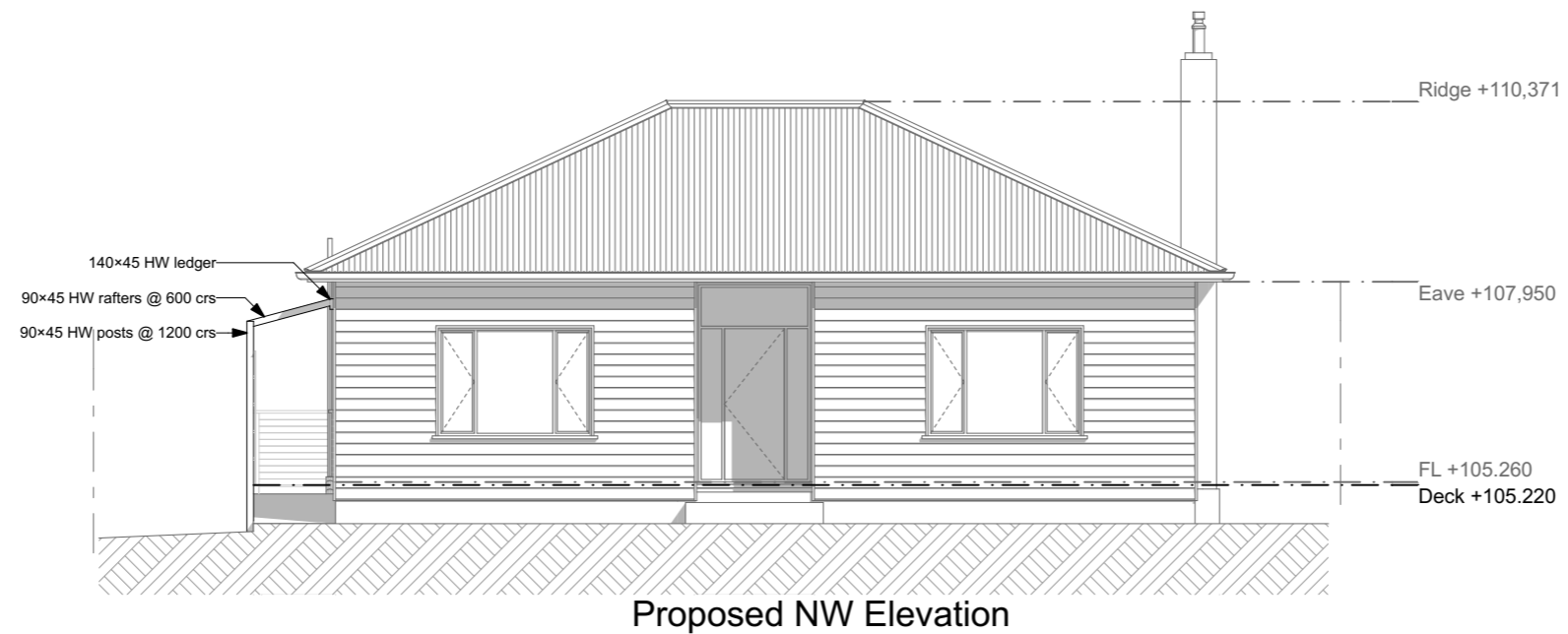
Rev:
Drawing #:
(Sheet 7 of 9) DA 07

Elevation Notes

Deck columns, beams, and balustrade to be painted black.
All hardwood handrail to have natural stain finish.



Existing NW Elevation



Proposed NW Elevation

AS 3959 Method 2 calculations							
Address	22 Romilly St, South Hobart						
PID	5589061		Title ref	20513/10			
	Inputs	derived figures	outputs				
FDI	50	w	ros				
Vegetation	D	14.5	0.9				
Veg Slope		derived figures	degrees		22 Forest	F	
HMA slope	0.401425728	24.5	F length		23 Dry Tasmanian Forest	D	
HMA width	29	R slope	28.7		Rainforest	R	
		4.0	28.7		Elevation receiver	3 Woodland	W
Flame width	100	W	28.7		Low heath	L	Shrubland
		24.5	28.7		Heath	H	Scrub
			28.7		Grass	G	
			28.7		forest wetland	fw	
			28.7				
			28.7				
		R (slope)	F length	Intensity		Radiation	25.94 kWm ⁻²
Forest & Woodland		3.97	28.74	50252			
Shrub, Heath, Scrub		3.97	5.6	11013		temp (1090, 1200)	1090
Grass		3.97	8.4	50252			
flame angle	80						
The variable inputs to this spreadsheet appear in the yellow-highlighted boxes.							
The derived values w and W are as they appear in AS 3959, apart from individually allocated figures for D vegetation types, taken from Marsden-Smedley <i>et al</i> , Fuel in Tasmanian Dry Eucalypt Forests, Fire 2022, 5, 103. Table 4							
The usual output is Radiation in kWm ⁻² but the program can be forced to find input values matching a desired outcome.							
Simulations of the shielding effect of fences are made by manually adjusting the F length value							
If that has been done, the first column of F length values will show mis-matching numbers							

22 October 2025

Planning Department
Hobart City Council

Subject: Development Application – Proposed Deck at 22 Romilly St, South Hobart

Dear Planning Officer,

This Cover Letter forms part of the proposed Development Application for the subject property, located within the **Inner Residential Zone** under the Tasmanian Planning Scheme. The proposed development seeks to:

- Remove an old entry porch no longer in use, and
- Add a new timber deck fixed to the existing dwelling.

Vegetation removal is proposed for bushfire hazard control and includes a garrya tree, cabbage tree (dead trunk), camellia, and native saplings (recently planted).

The site is currently used for residential purposes. The design of the new deck has been carefully considered to minimise visual impact and to meet the performance criteria.

We respectfully submit the following supporting information in response to the planning scheme:

Clause 9.4.2 - Setbacks and building envelope for all dwellings (Performance Criteria P3)

The proposed deck protrudes marginally beyond the prescribed building envelope, with a vertical projection of less than 700 mm. The protrusions are created only by open framing members, not solid walls or enclosed structures.

In terms of P3, the siting and scale of the proposed deck will not cause an unreasonable loss of amenity to adjoining properties because:

- (a) (i-iii) The proposed deck does not overshadow any habitable rooms or private open space on the adjoining property to the southwest.
 - (iv) The visual impact of the protrusions is minimal. The structure is lightweight, with open framing and no enclosing walls, ensuring it does not present excessive bulk, scale, or massing when viewed from neighbouring land.
- (b) The projections are vertical only. Separation between dwellings is consistent with the existing.

Accordingly, the proposal satisfies the intent of Performance Criteria P3 and achieves the objective of Clause 9.4.2, ensuring that the siting and scale of the development is appropriate for its context.

Clause 9.4.6 – Privacy for all dwellings (Performance Criteria P1)

Although the proposed deck is located closer than 3 metres to the side boundary, it has been designed to minimise overlooking of the adjoining properties.

Northeast boundary compliance:

The existing ramp and old entry are not currently screened and therefore do not require screening.

Compliant screening has been shown to the proposed deck area beyond the line of old entry and also on the Southwest side of the deck.

Accordingly, the design of the proposed deck achieves compliance with the Performance Criteria P1 by ensuring that reasonable levels of privacy are maintained between dwellings and adjoining properties.

Should you require any further information or clarification, please do not hesitate to contact me.

Yours faithfully,

Paul Davies

Building Designer