

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0553

Address

UNIT 2 6 MANSELL CT SANDY BAY TAS 7005

Titles

58671/2

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement
[REDACTED]	[REDACTED]	[REDACTED]	Personal Information Removed [REDACTED]	[REDACTED]

Owners

Name	Email Address	Address
[REDACTED]	[REDACTED]	Personal Information Removed [REDACTED]

Certificate(s) of Title

Selected Titles

Total Area: 604m²

58671/2

58671/1

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Enter the date that the last owner, joint or part owner was notified

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section - see further information below
- Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section
- Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
- I want to use the property for visitor accommodation
- I want to subdivide
- I want to undertake a new development or alteration
- I want to do a minor boundary adjustment
- I want to put up a sign(s)
- I want to demolish
- I want to do works only
- Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- Yes
- No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
- No
- Unsure

Is the proposed use or development permitted or discretionary?

- Permitted
- Discretionary
- Unsure if permitted or discretionary

Provide a full description of the proposed use or development

demolition of two multiple dwellings and construct new single dwelling

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

1800000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	4 Nov 2025	Planning Assessment Report	Planning Report	Mr Frazer Read
1	28 Oct 2025	Property Title Document	Certificate of titles.pdf	Mr Frazer Read
1	4 Nov 2025	Architectural Plans	Plans	Preston Lane

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 58671	FOLIO 0
EDITION 3	DATE OF ISSUE 02-Nov-1999

SEARCH DATE : 16-Oct-2025

SEARCH TIME : 06.20 AM

DESCRIPTION OF LAND

City of HOBART

The Common Property for Strata Scheme [58671](#) (formerly being STR1213)

Derivation : Part of 91 Acres Gtd. to J. Sharpe

Prior CT [3771/29](#)

SCHEDULE 1

STRATA CORPORATION NO. [58671](#), 6 MANSELL COURT, HOBART

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP [12496](#) EASEMENTS in Schedule of Easements

SP [12496](#) FENCING PROVISION in Schedule of Easements

SP [12496](#) COUNCIL NOTIFICATION under Section 468(12) of the Local Government Act 1962

[A799356](#) APPLICATION TO AMEND STRATUM PLAN. Registered 24-Jun-1982 at noon

[C206961](#) ORDER FOR RELIEF by the Recorder of Titles Registered 12-Jan-2000 at noon

[C144155](#) Notice of Variation of Order of the Recorder under Section 150(2) of the Strata Titles Act 1998 Registered 27-Apr-2000 at noon

[C412712](#) ORDER for Relief by the Recorder of Titles. Registered 21-Mar-2003 at noon

[C468375](#) ORDER FOR RELIEF by the Recorder of Titles Registered 15-Sep-2003 at noon

[C527521](#) APPLICATION by body corporate to amend strata plan by amending Lots 1 & 2 and decreasing the common property Registered 28-May-2007 at noon

[C792660](#) NOTICE of Variation of Order No. [C468375](#) Registered 30-May-2007 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 58671	FOLIO 1
EDITION 10	DATE OF ISSUE 11-Jul-2025

SEARCH DATE : 16-Oct-2025

SEARCH TIME : 06.20 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Strata Plan [58671](#) (formerly being STR1213) and a general unit entitlement operating for all purposes of the Strata Scheme being a 50 undivided 1/100 interest

Derived from Strata Plan [58671](#)

Derivation : Part of 91 Acres Gtd. to J. Sharpe

Prior CT [3886/40](#)

SCHEDULE 1

[N255906](#) TRANSFER to RICHARD JOHN GORMAN and MARZENA RYBAK
Registered 11-Jul-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement

subject to any interest noted on common property
Folio of the Register volume [58671](#) folio 0

SP [12496](#) EASEMENTS in Schedule of Easements

SP [12496](#) FENCING PROVISION in Schedule of Easements

SP [12496](#) COUNCIL NOTIFICATION under Section 468(12) of the
Local Government Act 1962

[N251680](#) BENEFITING EASEMENT: a Right of carriage way over the
land marked Right of Way limited in height from
ground level to 3.00 meters above ground level on
Sealed Plan [12496](#) Registered 05-May-2025 at noon

[E418194](#) MORTGAGE to National Australia Bank Limited
Registered 11-Jul-2025 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 58671	FOLIO 2
EDITION 6	DATE OF ISSUE 10-Oct-2022

SEARCH DATE : 16-Oct-2025

SEARCH TIME : 06.20 AM

DESCRIPTION OF LAND

City of HOBART

Lot 2 on Strata Plan 58671 (formerly being STR1213) and a general unit entitlement operating for all purposes of the Strata Scheme being a 50 undivided 1/100 interest

Derived from Strata Plan 58671

Derivation : Part of 91 Acres Gtd. to J. Sharpe

Prior CT 3886/41

SCHEDULE 1

M975965 TRANSFER to MARZENA RYBAK and RICHARD JOHN GORMAN as tenants in common in equal shares Registered 03-Oct-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement subject to any interest noted on common property
Folio of the Register volume 58671 folio 0

SP 12496 EASEMENTS in Schedule of Easements

SP 12496 FENCING PROVISION in Schedule of Easements

SP 12496 COUNCIL NOTIFICATION under Section 468(12) of the Local Government Act 1962

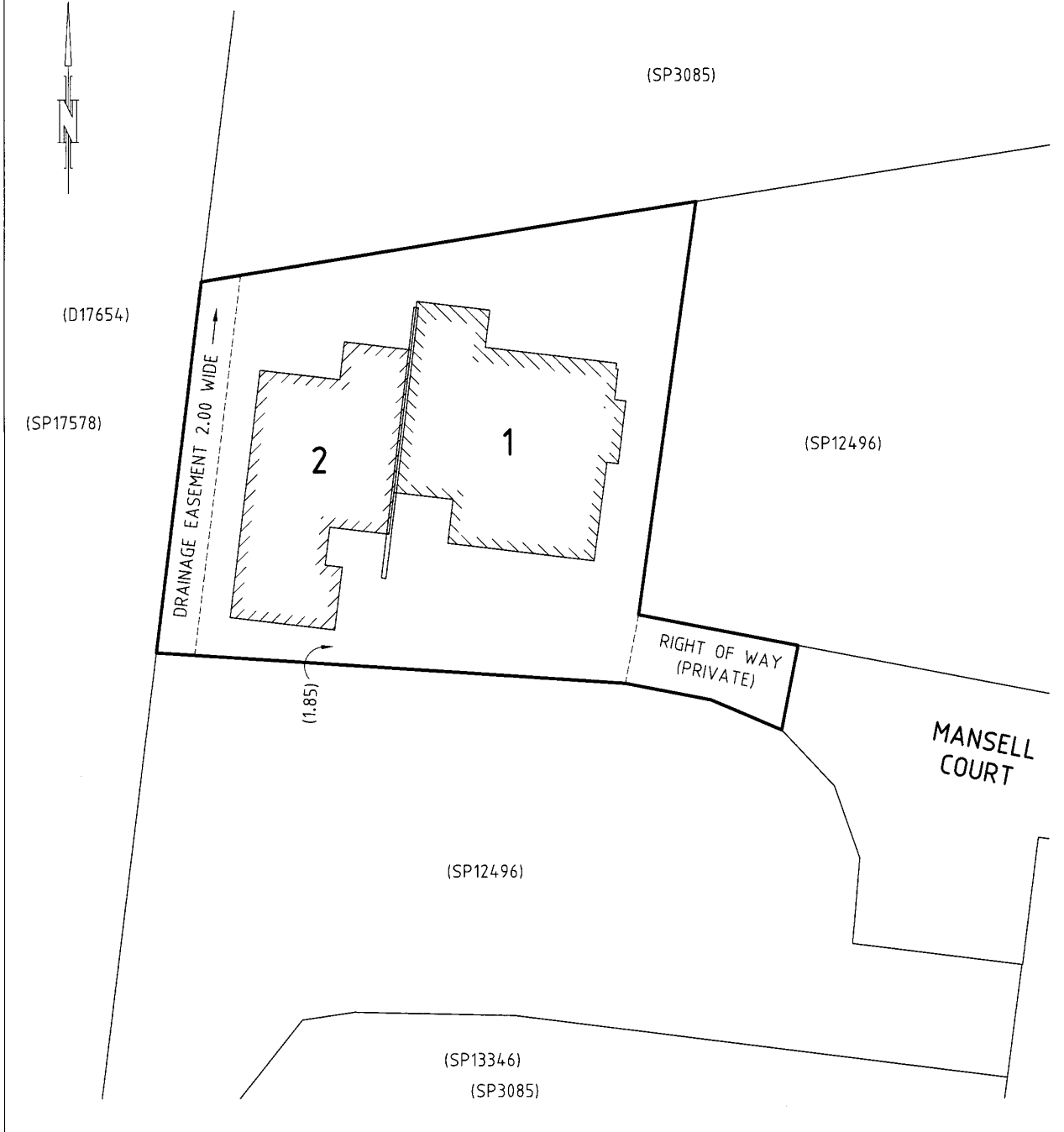
E318322 MORTGAGE to National Australia Bank Limited Registered 03-Oct-2022 at 12.02 PM

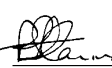


UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN HOBART		STRATA PLAN		Registered Number
SUBURB/LOCALITY SANDY BAY				NEW SHEET 1 OF 5 SHEETS C 527521
FOLIO REFERENCE CT.3771 - 29		NAME OF STRATA SCHEME No. 6 MANSELL COURT, HOBART		STRATA TITLES ACT 1998
SITE COMPRISES THE WHOLE OF LOT 2 ON PLAN No. SP.12496				REGISTERED <u>30-APR-1981</u>
MAPSHEET MUNICIPAL CODE No. (5214-13) 114	LAST UPI No. GMM74	SCALE 1:200	LENGTHS IN METRES	ACTING DEPUTY Recorder of Titles

SITE PLAN



NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.	 Council MANAGER Delegate SURVEYING SERVICES	22.1.2007 Date	 Registered Land Surveyor	 Date
	STAGED/COMMUNITY DEVELOPMENT, SCHEME No. (IF APPLICABLE)	LODGED BY PEACOCK DARCEY & ANDERSON P/L		

STRATA PLAN

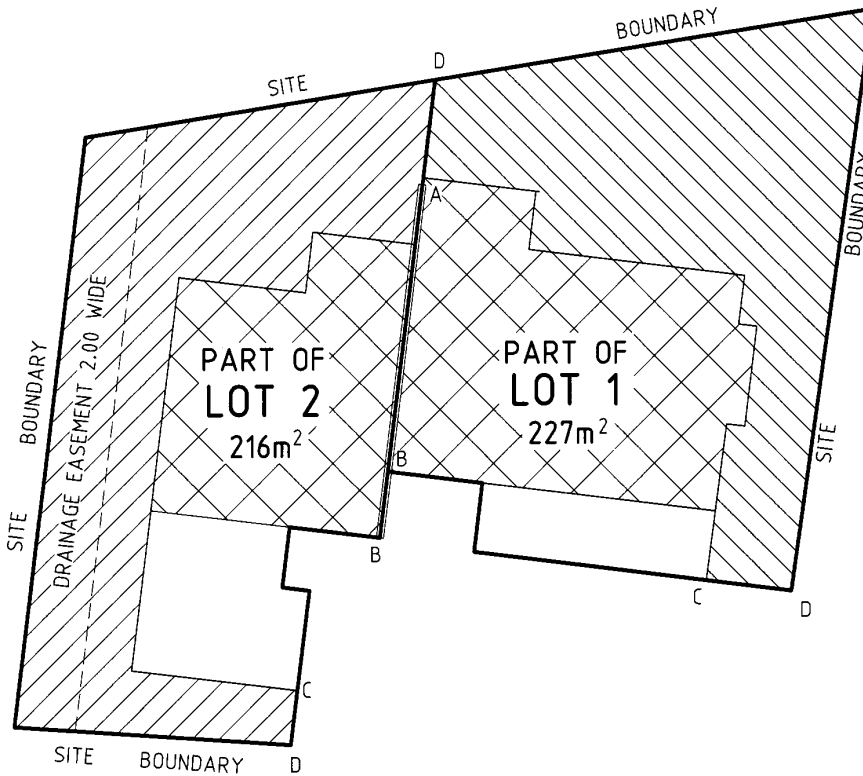
NEW SHEET 2 OF 5 SHEETS
C 527521

STRATA TITLES ACT 1998

Registered Number

Blair
MANAGER SURVEYING SERVICES
Council Delegate Date
22-1-2007

58671



GROUND FLOOR
SCALE 1:150

HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:

- SITE BOUNDARY.
- THE CENTRELINE OF WALLS LABELLED AB, BB & EXTENSION THEREOF LABELLED AD.
- THE FACE OF WALL LABELLED BC & EXTENSION THEREOF LABELLED CD.

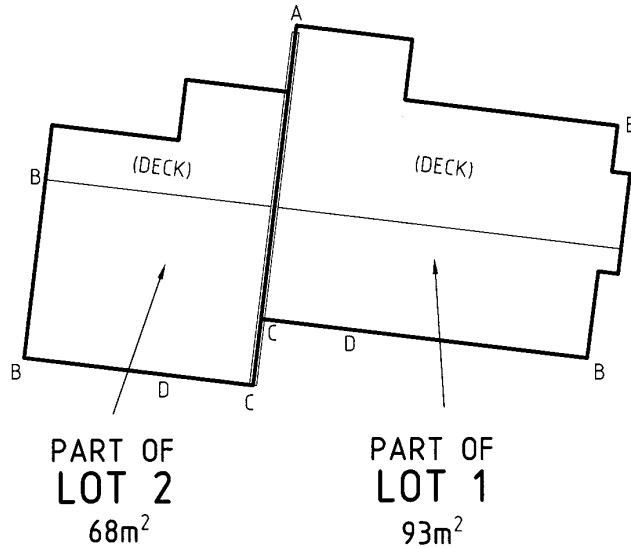
VERTICAL LOT BOUNDARIES EXTEND FROM 2.00 METRES BELOW GROUND LEVEL TO 10 METRES ABOVE GROUND LEVEL EXCEPT THE HATCHED PORTIONS WHICH ARE PRIVATE OPEN SPACES AND EXTEND FROM GROUND LEVEL TO A HEIGHT OF 3.00 METRES ABOVE GROUND LEVEL AND THE CROSS HATCHED PORTION WHICH EXTENDS FROM 2.00 METRES BELOW GROUND LEVEL TO THE CENTRELINE OF THE CEILING ABOVE.


NO PART OF THE BUILDINGS ON LOT 1 OR LOT 2 IS COMMON PROPERTY AND NO PART OF THE BUILDINGS OVERHANGING THE COMMON PROPERTY IS COMMON PROPERTY.

AREAS ARE APPROXIMATE

Colin Wood
Registered Land Surveyor Date
11/12/2006

<p>STRATA PLAN</p> <p>NEW SHEET 3 OF 5 SHEETS C 527521</p>	<p>STRATA TITLES ACT 1998</p>	<p>Registered Number</p> <p>58671</p>
	<p><i>[Signature]</i> MANAGER SURVEYING SERVICES 22-1-2007 Council Delegate Date</p>	



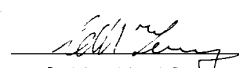

FIRST FLOOR
 SCALE 1:150

HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES DEFINED BY:

- CENTRELINE OF WALL OR EXTENSION THEREOF LABELLED AC & CC.
- THE OUTSIDE EDGE OF DECK LABELLED AB.
- THE OUTSIDE FACE OF WALL LABELLED BB & CD OR EXTENSION THEREOF LABELLED BD.

VERTICAL LOT BOUNDARIES EXTEND FROM CENTRELINE OF CEILING BELOW TO 10m ABOVE GROUND LEVEL.

AREAS ARE APPROXIMATE


 Registered Land Surveyor Date **8/12/2006**

12496

APPROVAL BY LOCAL AUTHORITY

Insert here any qualification to the approval under section 468 (12), section 472 or section 477B of the Local Government Act 1962. Rule through any blank space.

The subdivision shown in this Plan is approved subject to the Corporation not providing a means of sewerage below the elevation of 3.5 m on state datum.

Seal

In witness whereof the common seal of the Lord Mayor, Aldermen and Citizens of the City of Hobart has been hereunto affixed, pursuant to a resolution of the Council of the said municipality passed the day of 10th APRIL 1979, in the presence of us

[Signature]
Town Council Clerk

LOT/AREA	VOL	
1.	3771	28 SEE S.P. 13346
2.		29
3.		30.
4.		31.

TO BE COMPLETED AND SIGNED BY COUNCIL CLERK OR OWNER

For the purposes of section 464 of the Local Government Act 1962, the owner has nominated/~~I nominate~~ As his/~~my~~ solicitor Simmons McPherson
Simmons & Walsh
As his/~~my~~ surveyor G.W. Griggs & Co.

[Signature]
Town Council Clerk/Owner

TO BE FILLED IN BY SURVEYOR

Survey commenced 14.7.78
Survey finished 18.7.78
Error of Close See Calcs
OFFICE EXAMINATION
Plot Checked BH 19.4.79
Mathematically Checked BH 19.4.79
Examined as to boundaries MW 3/5/79
Entered on Card

05379

Surveyor's Certificate

I, Geoffrey William Griggs of 295 Elizabeth Street N. Hobart, in Tasmania, registered surveyor, hereby certify that this plan:

1. Has been made from surveys executed by me or a registered pupil under my personal supervision, inspection, and field-check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors By-Laws 1966;
2. Complies with all statutory provisions relating to anything appearing thereon; and
3. Requires the approval of the local authority, which has been obtained (or, does not require the approval of any local authority)

Dated this 25th day of SEPT 1978
[Signature]
Registered Surveyor

[Signature]
Authorised Student

6108

SURVEY REQUISITION

Lands Titles Office, Hobart.

To: *SURVEYOR G. W. GRIGGS*
NORTH HOBART

23/4/79

REFERENCE: *S.P. 12496*
A.D. & J.C. HOLMES OWR.
C.T. 3085-15
CITY OF HOBART.

Please attend to the requisitions marked below and return together with enclosures at your earliest convenience.

M. Blennett
 Chief Draftsman
for

- (a) Surveyors declaration not completed.
- (b) Survey notes not certified correct.
- (c) Commencement and finishing dates incomplete.
- (d) Survey notes are incomplete.
- (e) Nature of boundaries to be described.
- (f) Boundaries in relation to not defined.
- (g) Corners not marked.
- (h) Origin of old marks not stated.
- (i) Datum of survey not stated.
- (j) Figures will not close.
- (k) C.T. boundaries not reproduced.
- (l) Connections as per Circular Memorandum 1/1975 required.
- (m) Parcels not numbered.
- (n) Outlet of drainage easements to be in terms of section 472 (1) (g) of the Local Government Act 1962.
- (o) Fall of easements to be indicated.
- (p)

*Please see memorandum to effect
 field notes have with
 27-4-79*

14293

12496

S.P. 12496

CITY OF HOBART

Subdivision of C.T. 3085-15 for A.D. & J.C. Holmes, Owrns.

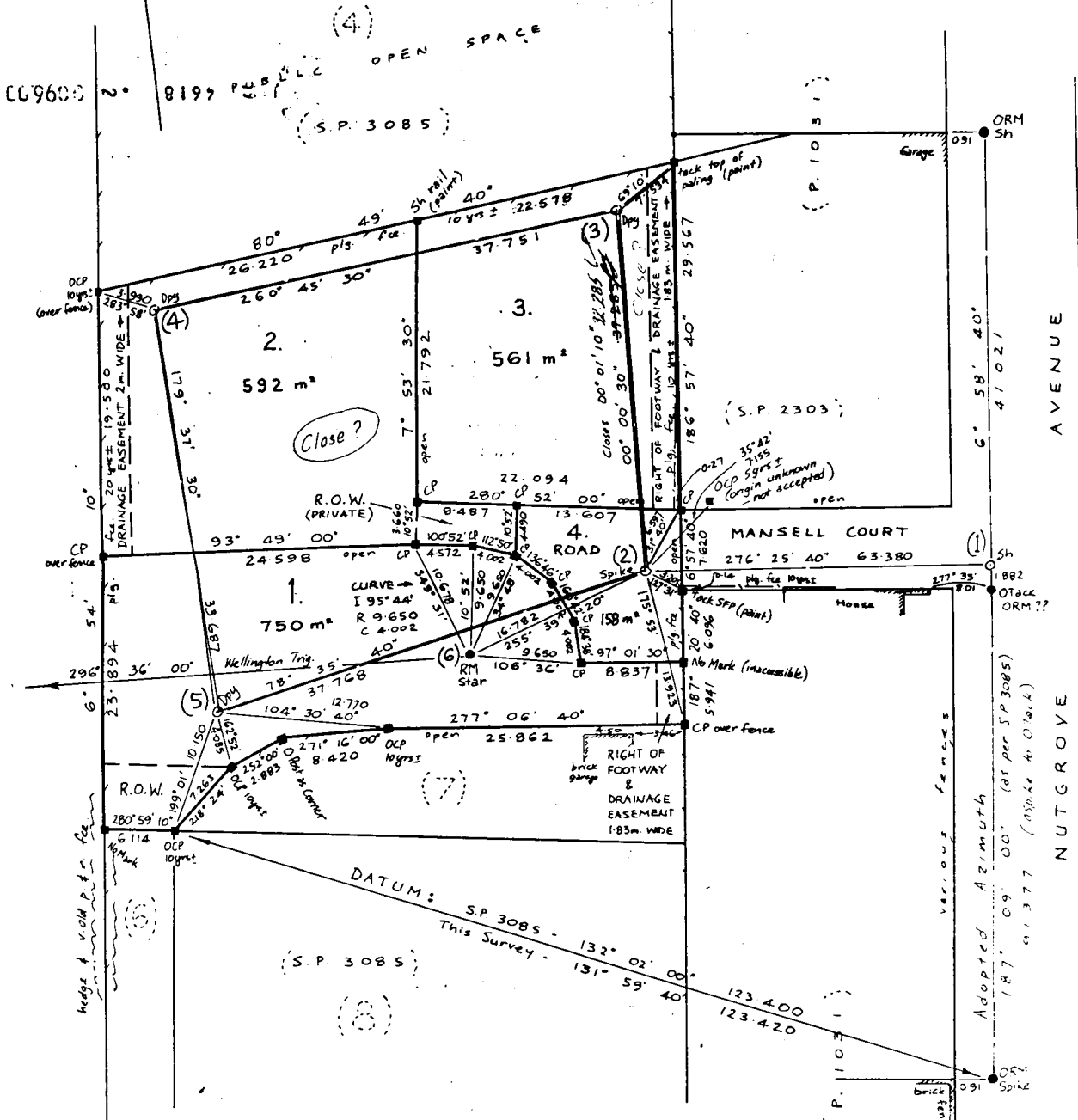
Part of 91 A. gtd. to James Sharp.

Error of Close: see calcs.

Survey Commenced: 14-7-78

Survey Completed: 18-7-78

Query - Closes surrounded by red and green lines wont close? Common error?

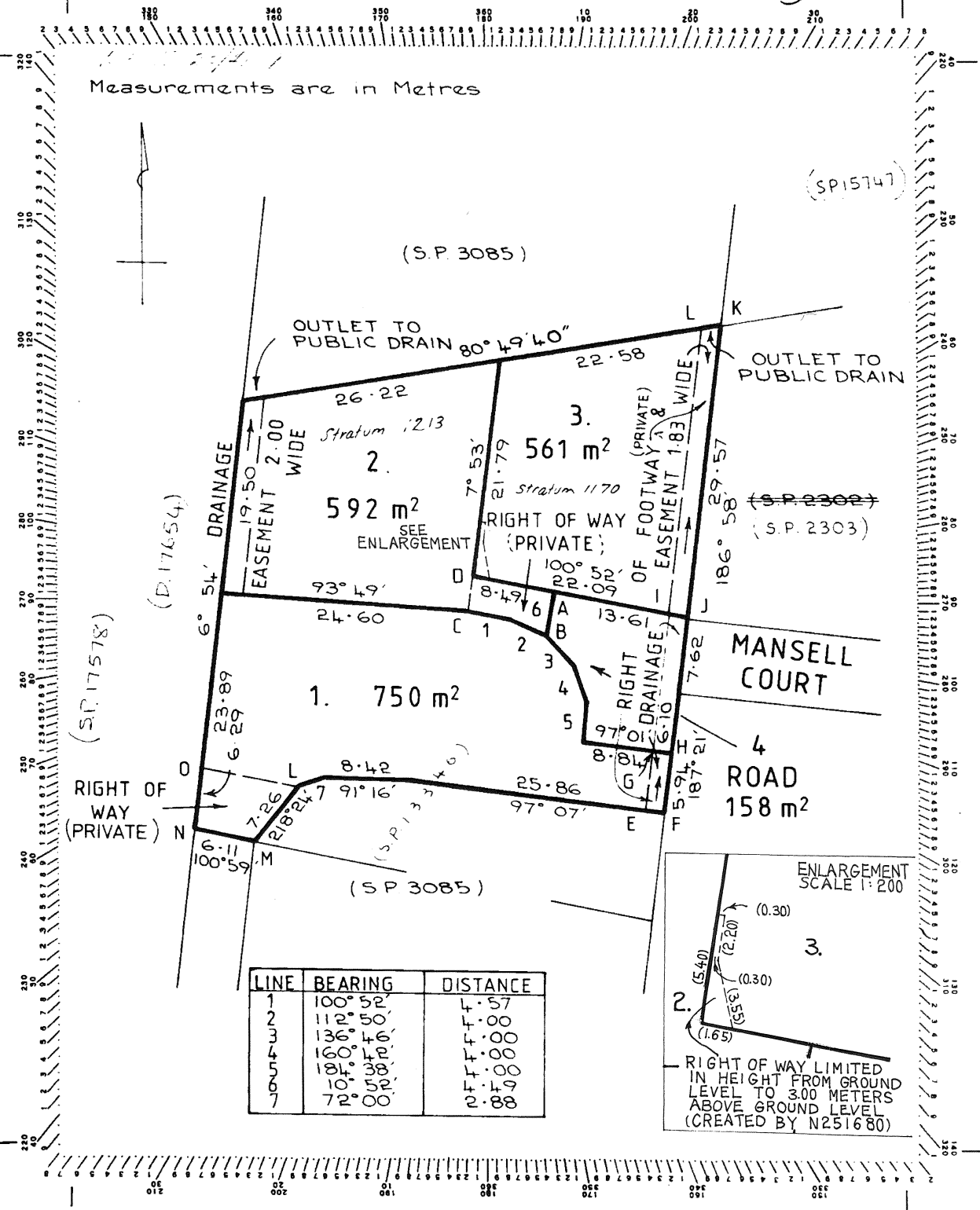


These Survey Notes
have been correctly compiled
from the field notes of this survey.
[Signature]
Registered Surveyor.

57° 12' 40"

Owner: A.D. & J.C. Holmes	PLAN OF SURVEY by Surveyor G.W. Griggs of land situated in the	Registered Number: S.P. 12496
Title Reference: C.T. 3085-15	CITY OF HOBART	Effective from: JUN 1979
Grantee: Portion of 91 acres gtd. to James Sharpe		<i>[Signature]</i> Recorder of Titles

Scale 1:400





SCHEDULE OF EASEMENTS

PLAN NO. 12496

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

RIGHT OF FOOTWAY

Lot 1 is together with a right of footway over the right of footway private marked IJKL on the plan.

Lot 3 is subject to a right of footway appurtenant to Lot 1 over the right of footway private marked IJKL on the plan.

RIGHT OF CARRIAGEWAY

Lots 1 and 3 are each together with a right of carriageway over the right of way (Private) marked ABCD on the plan.

Lot 2 is subject to a right of carriageway over the right of way (Private) marked ABCD on the plan as appurtenant to Lots 1 and 3.

EXISTING EASEMENTS

Lots 1, 4 and 3 are each subject to a right of drainage (appurtenant to Lots 6 to 10 on Sealed Plan No. 3085) over the drainage easement shown hereon passing through such Lot.

Lots 1 and 3 are each subject to a right of footway (appurtenant to Lots 6 to 10 on Sealed Plan No. 3085) over the right of footway private shown hereon passing through such Lot.

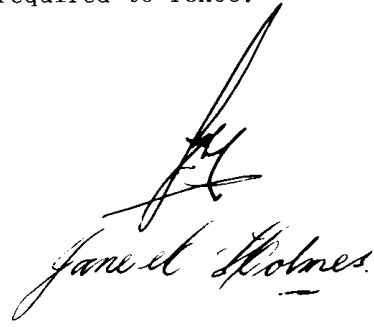
Lot 1 is subject to a right of carriageway (appurtenant to the land comprised in Certificate of Title Volume 3085 Folio 17) over the right of way private marked LMNO shown hereon.

FENCING PROVISION

In respect of the lots on the plan Anthony David Holmes and Jane Carol Holmes as Vendors shall not be required to fence.

SIGNED by ANTHONY DAVID HOLMES and JANE CAROL HOLMES the registered proprietors of the land comprised in Certificate of Title Registered Volume 3085 Folio 15 in the presence of:

*D. P. Taylor,
Law Clerk,
Hobart.*



THE COMMON SEAL of PERMANENT BUILDING

SOCIETY OF TASMANIA as Mortgagee under Memorandum of Mortgage Registered Number A480790 was hereunto affixed this 16th

day of *May* 1979 by order of the Board of Directors in the presence of:

[Signature]

Director

[Signature]

Secretary



SIGNED for and on behalf of the COMMONWEALTH TRADING BANK OF AUSTRALIA as Mortgagee under Memorandum of Mortgage

by its duly Registered Number A623855/~~XXXXXX~~ constituted Attorney Albert Reginald ALLDAY under Power of Attorney No 16375 ~~XXXXXXXX~~ who hereby certifies that he

has received no notice of revocation of the said Power in the presence of:

[Signature]

[Signature]

~~Signed for and on behalf of COMMONWEALTH TRADING BANK OF AUSTRALIA by its duly constituted Attorney Albert Reginald Allday under Power of Attorney No 16375 who hereby certifies that he has received no notice of revocation of the said Power in the presence of :~~

Certified correct for the purposes of the Real Property Act 1862, as amended.

SIMMONS WOLFHAGEN

Per: *[Signature]*
Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of Anthony David Holmes and Jane
(Insert Subdivider's Full Name)

Carol Holmes affecting land in

Certificate of Title Registered Volume 3085 Folio 15
(Insert Title Reference)

Sealed by HOBART CITY COUNCIL on 10th APRIL 19 79

[Signature]
Council Clerk/Town Clerk

10385

DRAWING SCHEDULE - ARCHITECTURAL

DRAWING NUMBER	TITLE	REVISION	DATE ISSUED
A00-00	COVER PAGE	E	12/12/25
A00-10	SITE PLAN - DEMOLITION	D	04/11/25
A00-11	SITE PLAN - PROPOSED	E	12/12/25
A02-00	GROUND FLOOR PLAN - PROPOSED	E	12/12/25
A02-01	FIRST FLOOR PLAN - PROPOSED	E	12/12/25
A02-50	ROOF PLAN - PROPOSED	E	12/12/25
A04-00	ELEVATIONS	E	12/12/25
A04-01	ELEVATIONS	E	12/12/25
A07-00	EXISTING SHADOW DIAGRAMS - DECEMBER	E	12/12/25
A07-01	PROPOSED SHADOW DIAGRAMS - DECEMBER	E	12/12/25
A07-02	EXISTING SHADOW DIAGRAMS - MARCH	E	12/12/25
A07-03	PROPOSED SHADOW DIAGRAMS - MARCH	E	12/12/25
A07-04	EXISTING SHADOW DIAGRAMS - JUNE	E	12/12/25
A07-05	PROPOSED SHADOW DIAGRAMS - JUNE	E	12/12/25

DESIGN DETAILS

TITLE REFERENCE		
LOT/PLAN	1-2 58671	
FLOOR AREAS		
EXISTING SITE AREA	592.5	m2
PROPOSED GROUND FLOOR	194	m2
PROPOSED FIRST FLOOR (INCLUDING DECK)	225	m2
PROPOSED TOTAL FLOOR AREA	419	m2
DESIGN WIND CLASSIFICATION		
DESIGN WIND CLASSIFICATION	TBC	
DESIGN WIND VELOCITY Vh,S	M/S	M/S
DESIGN WIND VELOCITY Vh,U	M/S	M/S
SOIL CLASSIFICATION		
SOIL CLASSIFICATION	TBC	
CLIMATE ZONE		
CLIMATE ZONE	7	
BAL RATING		
BAL RATING	N/A	
CORROSION ENVIRONMENT		
CORROSION ENVIRONMENT	TBC	
OTHER HAZARDS		
OTHER HAZARDS	-	



Hobart
60 Barrack Street TAS 7000
T 61 3 6231 2923
ACC CC1017F

Melbourne
3 Tivoli Road South Yarra VIC 3141
T 61 3 9827 8902

info@prestonlane.com.au
prestonlane.com.au

The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

Ⓒ No part of this drawing shall be reproduced or otherwise dealt with without the prior written consent of Preston Lane.

Proprietor **MARZENA RYBAK + RICHARD GORMAN**

Project **6 MANSELL COURT, SANDY BAY**

Drawing **COVER PAGE**

Scale **1 : 100 @ A3**

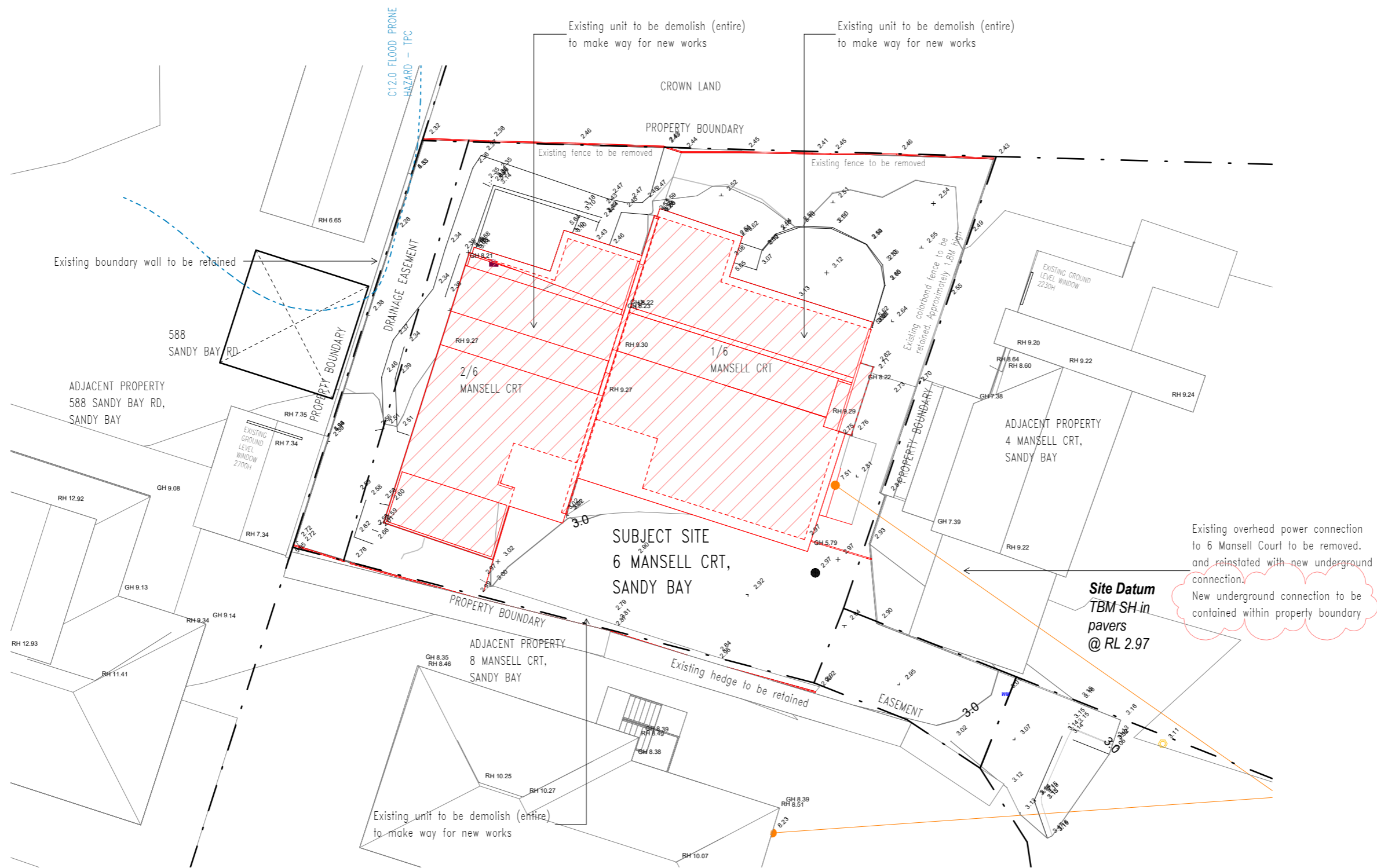
Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**

Drawing Number **A00-00**



PRELIMINARY- NOT FOR CONSTRUCTION



Hobart
60 Barrack Street TAS 7000
T 61 3 6231 2923
ACC CC1017F

Melbourne
3 Tivoli Road South Yarra VIC 3141
T 61 3 9827 8902

info@prestonlane.com.au
prestonlane.com.au

The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

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1 SITE PLATE – EXISTING/DEMOLITION
1 : 200

DEMOLITION LEGEND

--- Demolition works denoted by red dashed line

NOTES

- The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
- All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.

- Contractor to ensure all services are appropriately capped and sealed to make way for new work.
- Contractor to ensure all services are appropriately capped and sealed to make way for new work.
- Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
- Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish
- Remove all visible unused service pipes and conduits etc.

- Provide temporary support to existing structure as required.
- All existing services not noted for demolition are to be retained/relocated to make way for new works as required, unless otherwise noted.
- If asbestos is found on site, immediately report to architect. Asbestos removal to be in accordance with Safe Work Australia 'How to safely remove asbestos' Code of Practice 2020.

PRELIMINARY- NOT FOR CONSTRUCTION

Proprietor **MARZENA RYBAK + RICHARD GORMAN**
Project **6 MANSELL COURT, SANDY BAY**

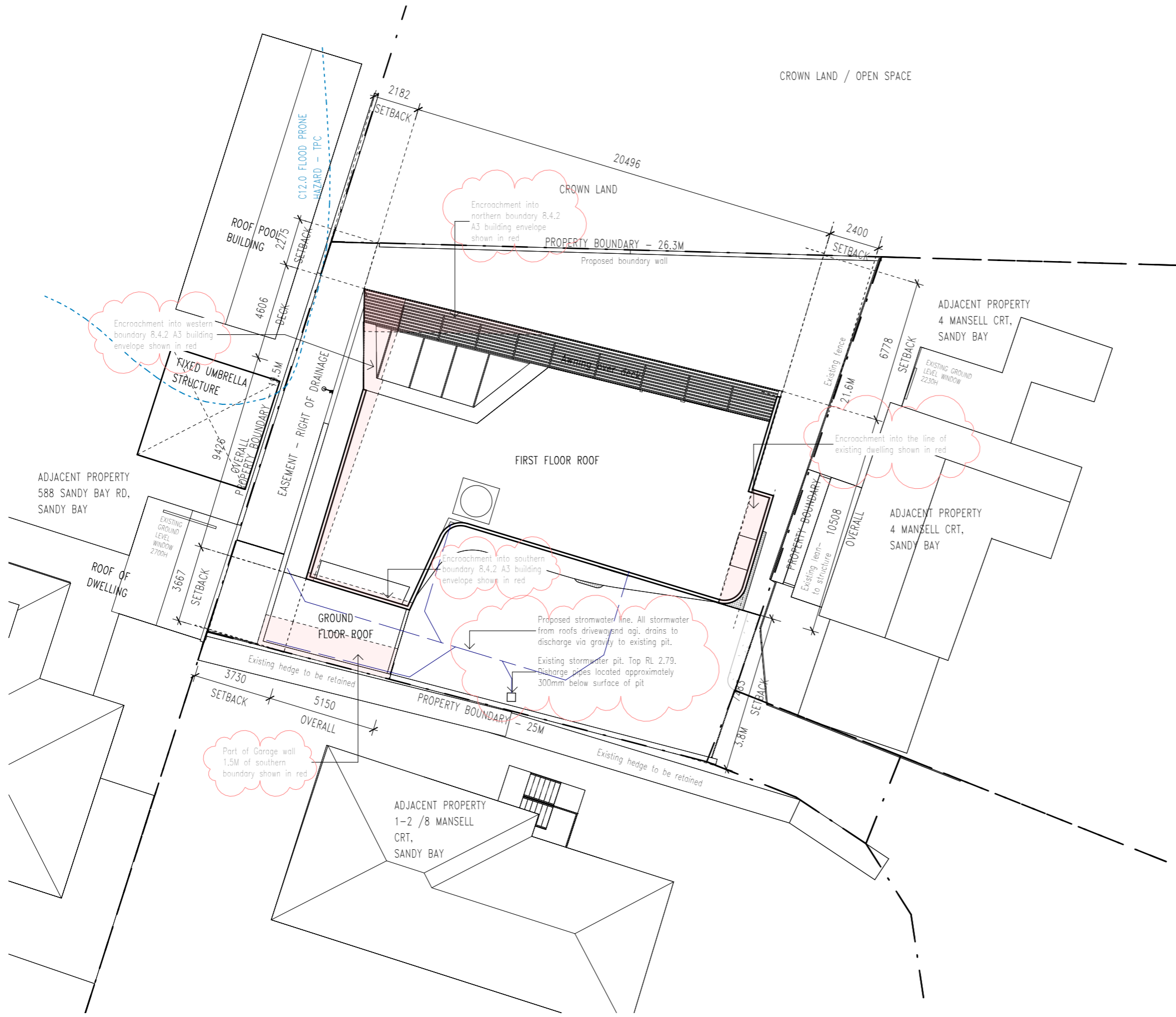
Drawing **SITE PLAN - DEMOLITION**

Scale **As indicated @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission

Project No **25034**
Drawing Number **A00-10**

MATERIAL SCHEDULE - EXTERNAL	
Code	Description
BR1	Pressed Clay Face Brick. Bagged Finish. Colour TBC
BR2	Pressed Clay Brick Tile. Product TBC
BS1	Brass Sheet Lining with Vertical Brass Flat Bar Batens in Front
FC1	Fibre Cement Sheet. Paint finish. White
GL1	Clear Double Glazing
TB1	30mm Square Timber Batten. White Paint Finish
TM1	Timber Lining Board Cladding (Species to future selection). Clear oil finish



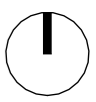
Hobart
 60 Barrack Street TAS 7000
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 Project **6 MANSELL COURT, SANDY BAY**

Drawing **SITE PLAN - PROPOSED**

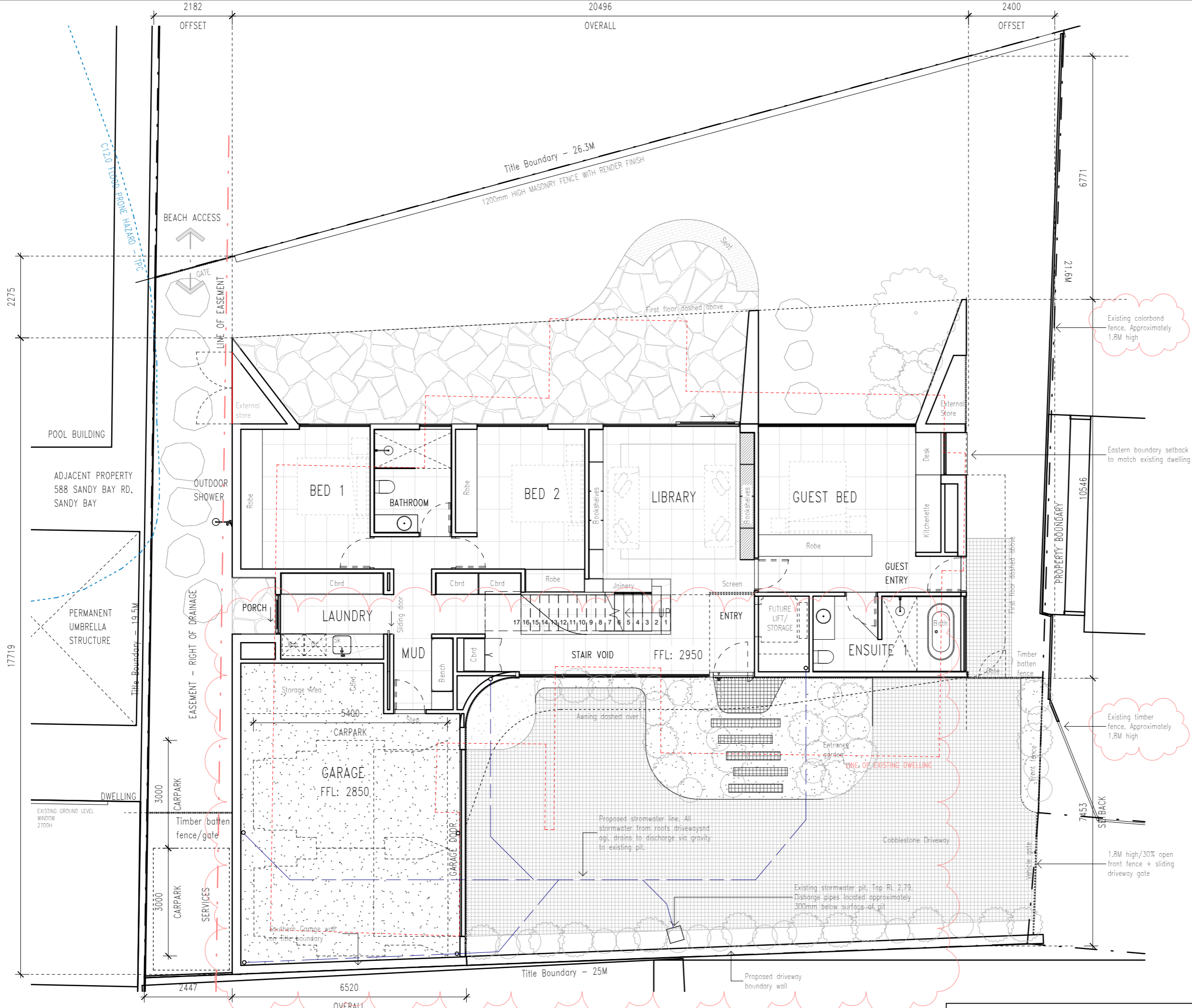
Scale **1 : 200 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**
 Drawing Number **A00-11**

1 SITE PLAN - PROPOSED
 1 : 200

PRELIMINARY- NOT FOR CONSTRUCTION



MATERIAL SCHEDULE - EXTERNAL	
Code	Description
BR1	Pressed Clay Face Brick. Bagged Finish. Colour TBC
BR2	Pressed Clay Brick Tile. Product TBC
BS1	Brass Sheet Lining with Vertical Brass Flat Bar Batens in Front
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GL1	Clear Double Glazing
TB1	30mm Square Timber Batten. White Paint Finish
TM1	Timber Lining Board Cladding (Species to future selection). Clear oil finish



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 Project **6 MANSELL COURT, SANDY BAY**

Drawing **GROUND FLOOR PLAN - PROPOSED**

Scale **1 : 100 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**

Drawing Number **A02-00**

PRELIMINARY- NOT FOR CONSTRUCTION

1 GROUND FLOOR - PROPOSED
 1 : 100

MATERIAL SCHEDULE - EXTERNAL	
Code	Description
BR1	Pressed Clay Face Brick. Bagged Finish. Colour TBC
BR2	Pressed Clay Brick Tile. Product TBC
BS1	Brass Sheet Lining with Vertical Brass Flat Bar Batens in Front
FC1	Fibre Cement Sheet. Paint finish. White
GL1	Clear Double Glazing
TB1	30mm Square Timber Batten. White Paint Finish
TM1	Timber Lining Board Cladding (Species to future selection). Clear oil finish



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 Project **6 MANSELL COURT, SANDY BAY**

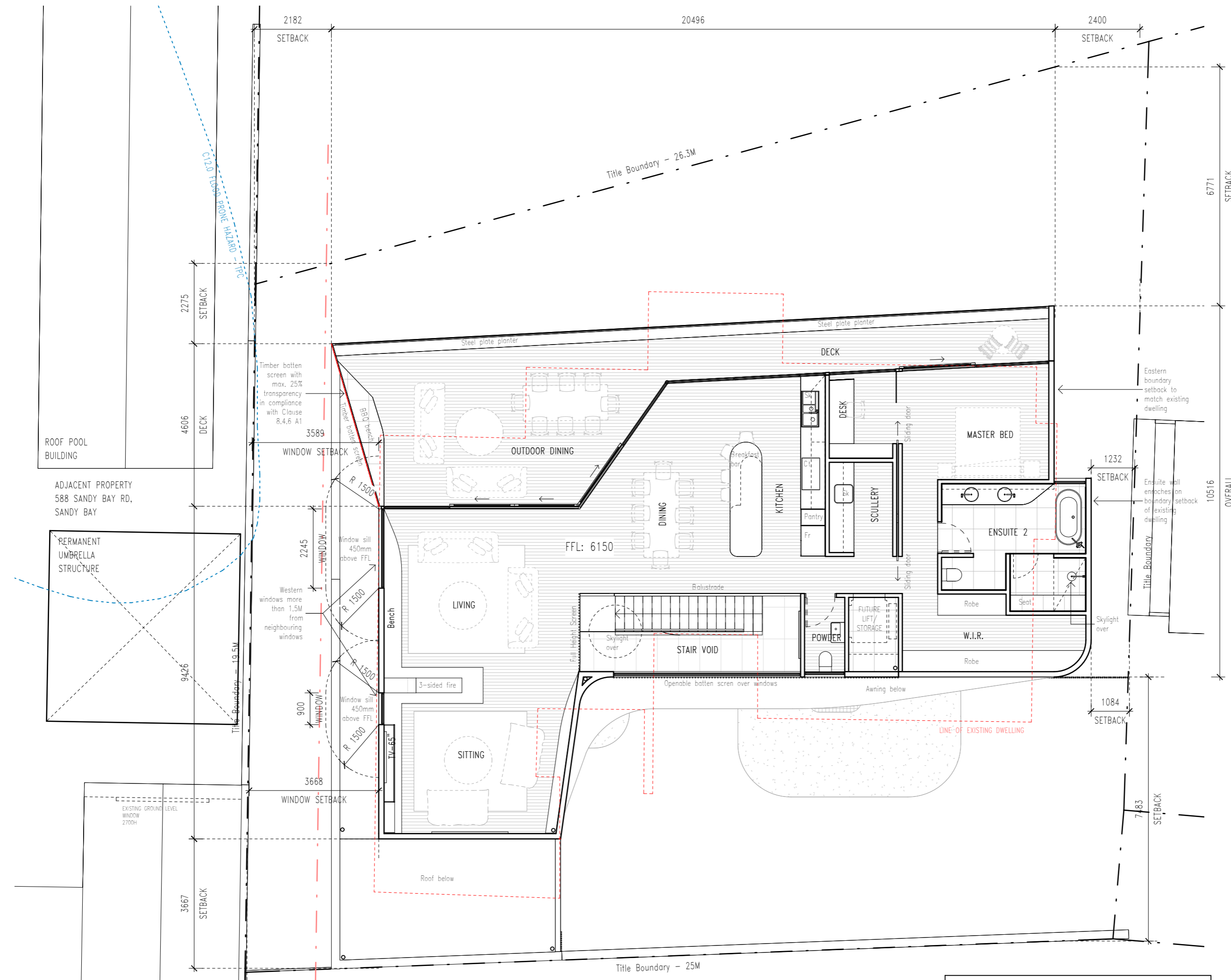
Drawing **FIRST FLOOR PLAN - PROPOSED**

Scale **1:100 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**

Drawing Number **A02-01**



1 FIRST FLOOR
 1:100

PRELIMINARY- NOT FOR CONSTRUCTION

MATERIAL SCHEDULE - EXTERNAL	
Code	Description
BR1	Pressed Clay Face Brick. Bagged Finish. Colour TBC
BR2	Pressed Clay Brick Tile. Product TBC
BS1	Brass Sheet Lining with Vertical Brass Flat Bar Batens in Front
FC1	Fibre Cement Sheet. Paint finish. White
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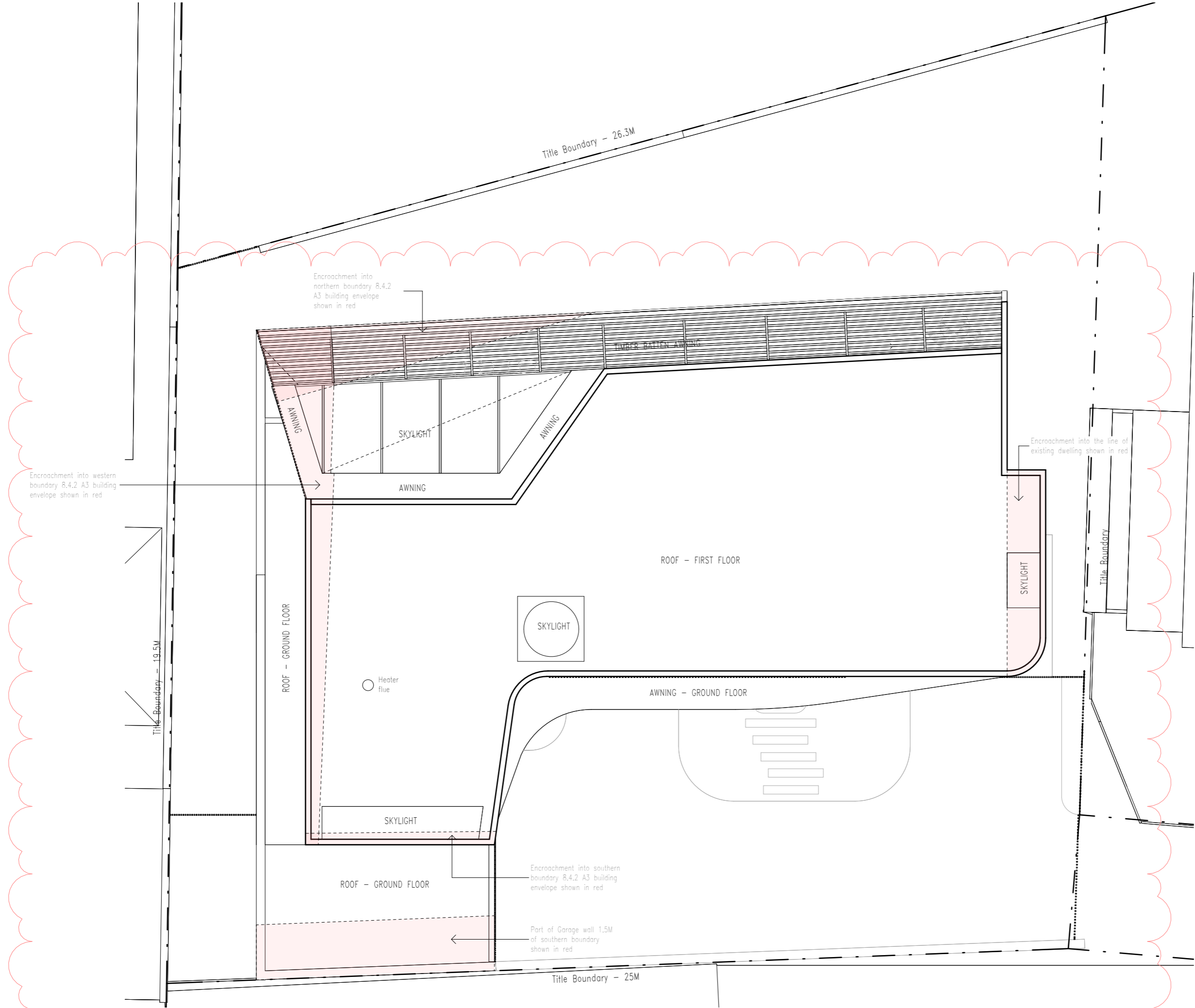
Proprietor **MARZENA RYBAK + RICHARD GORMAN**
 Project **6 MANSELL COURT, SANDY BAY**

Drawing **ROOF PLAN - PROPOSED**

Scale **1 : 100 @ A3**

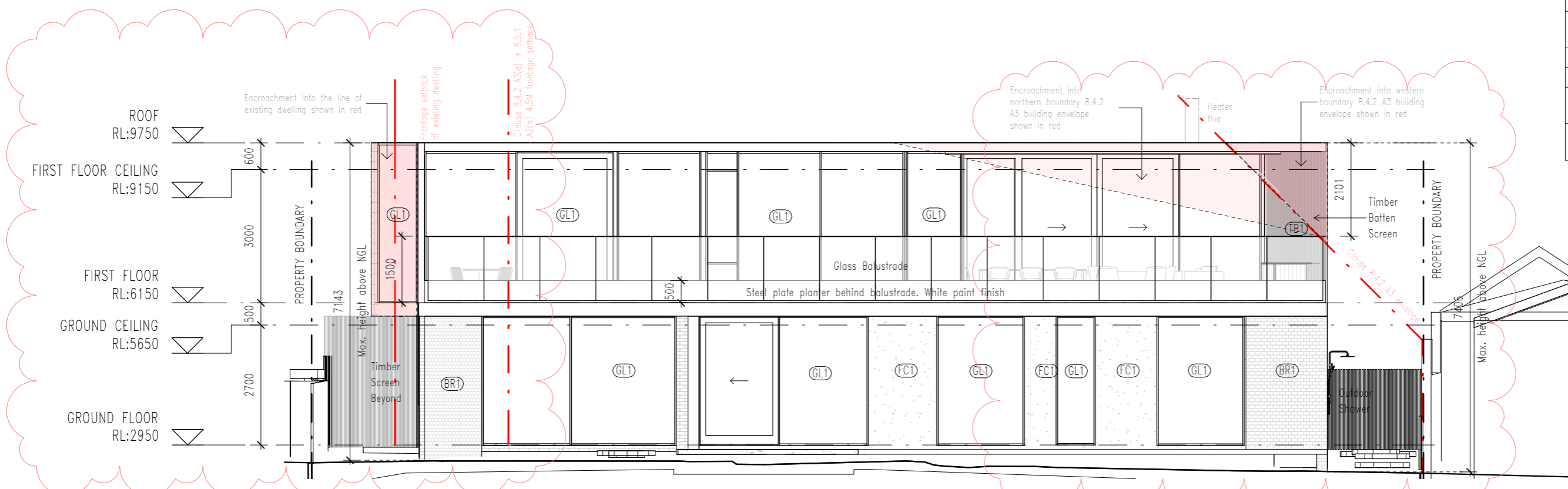
Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**
 Drawing Number **A02-50**

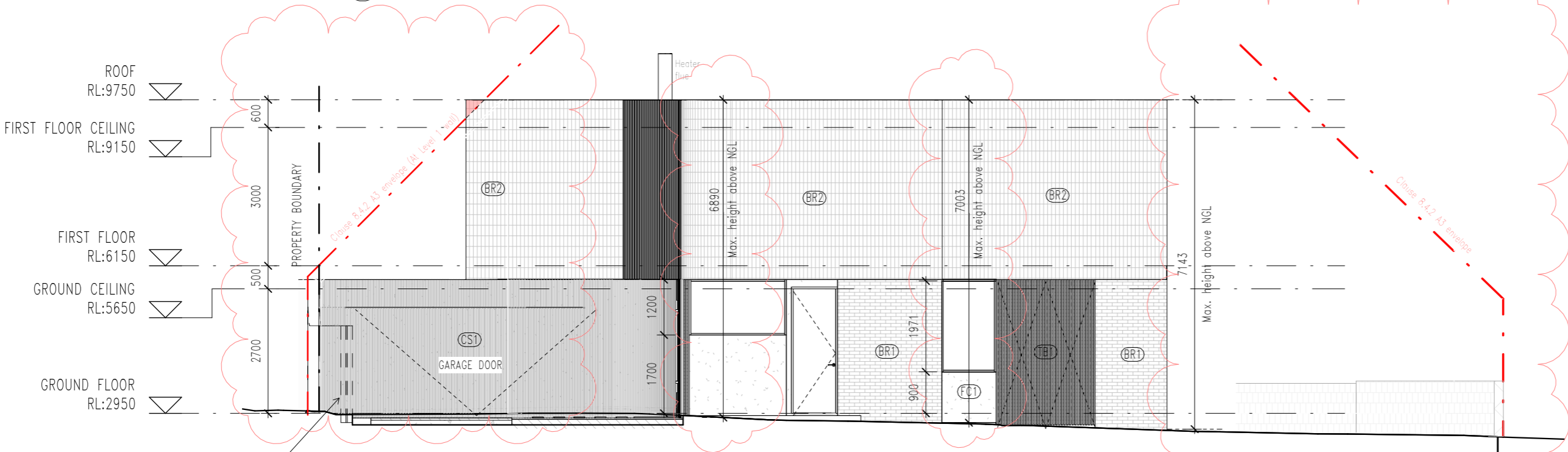


PRELIMINARY - NOT FOR CONSTRUCTION

MATERIAL SCHEDULE - EXTERNAL	
Code	Description
BR1	Pressed Clay Face Brick. Bagged Finish. Colour TBC
BR2	Pressed Clay Brick Tile. Product TBC
BS1	Brass Sheet Lining with Vertical Brass Flat Bar Batens in Front
FC1	Fibre Cement Sheet. Paint finish. White
GL1	Clear Double Glazing
TB1	30mm Square Timber Batten. White Paint Finish
TM1	Timber Lining Board Cladding (Species to future selection). Clear oil finish



2 NORTH ELEVATION
1 : 100



1 EAST ELEVATION
1 : 100



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Project **6 MANSELL COURT, SANDY BAY**

Drawing **ELEVATIONS**

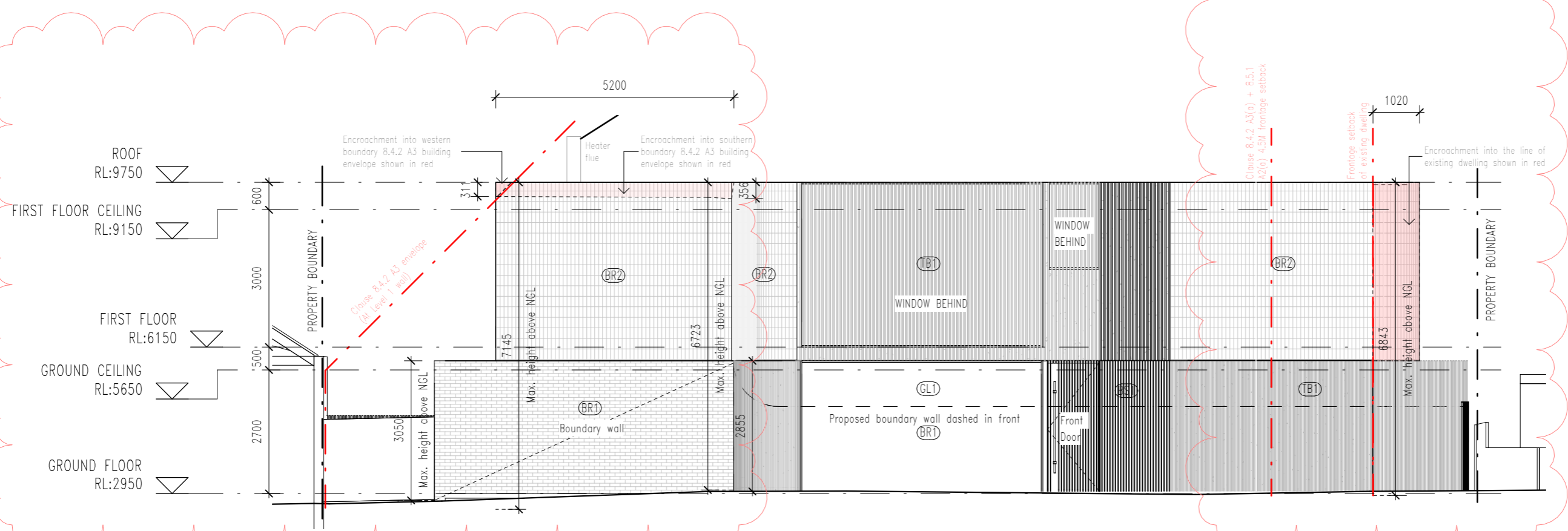
Scale **1 : 100 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

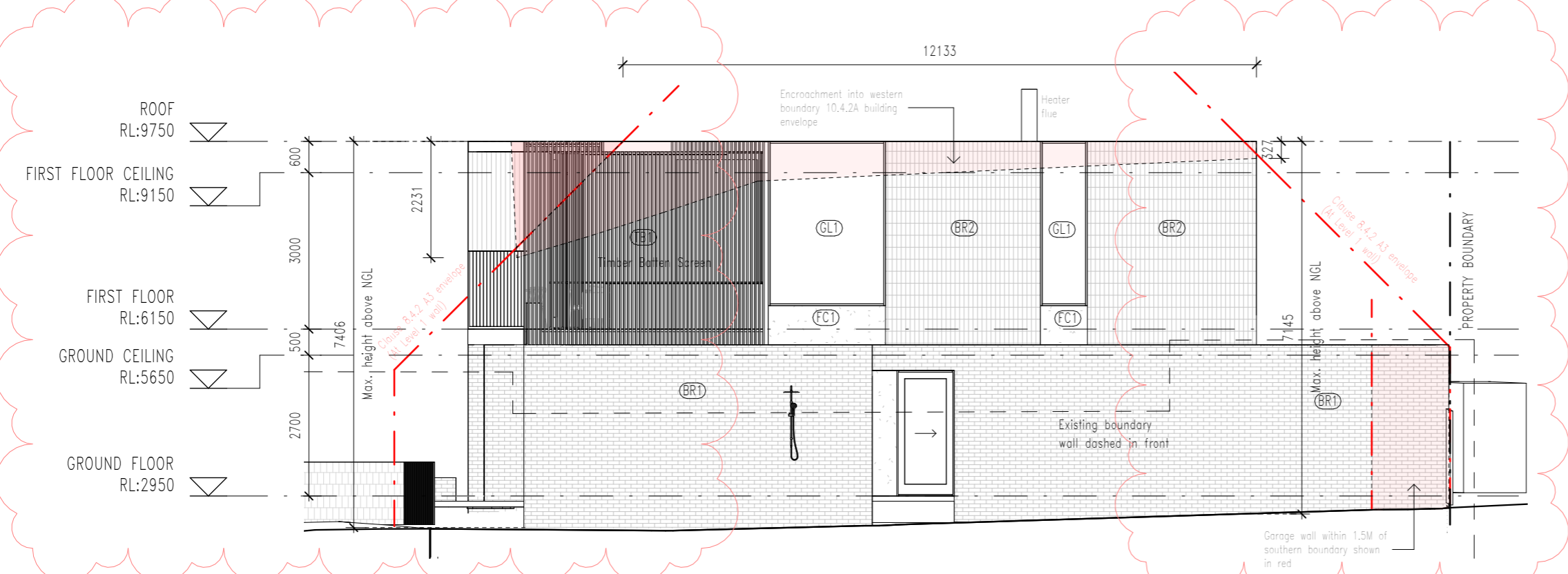
Project No **25034**
Drawing Number **A04-00**

PRELIMINARY- NOT FOR CONSTRUCTION

MATERIAL SCHEDULE - EXTERNAL	
Code	Description
BR1	Pressed Clay Face Brick. Bagged Finish. Colour TBC
BR2	Pressed Clay Brick Tile. Product TBC
BS1	Brass Sheet Lining with Vertical Brass Flat Bar Batens in Front
FC1	Fibre Cement Sheet. Paint finish. White
GL1	Clear Double Glazing
TB1	30mm Square Timber Batten. White Paint Finish
TM1	Timber Lining Board Cladding (Species to future selection). Clear oil finish



1 SOUTH ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



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Project **6 MANSELL COURT, SANDY BAY**

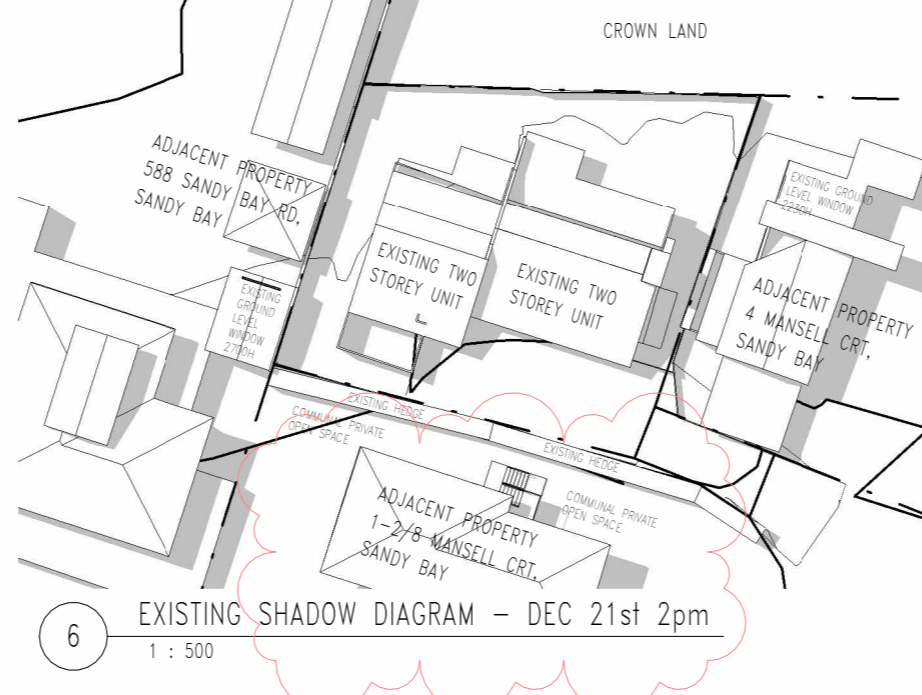
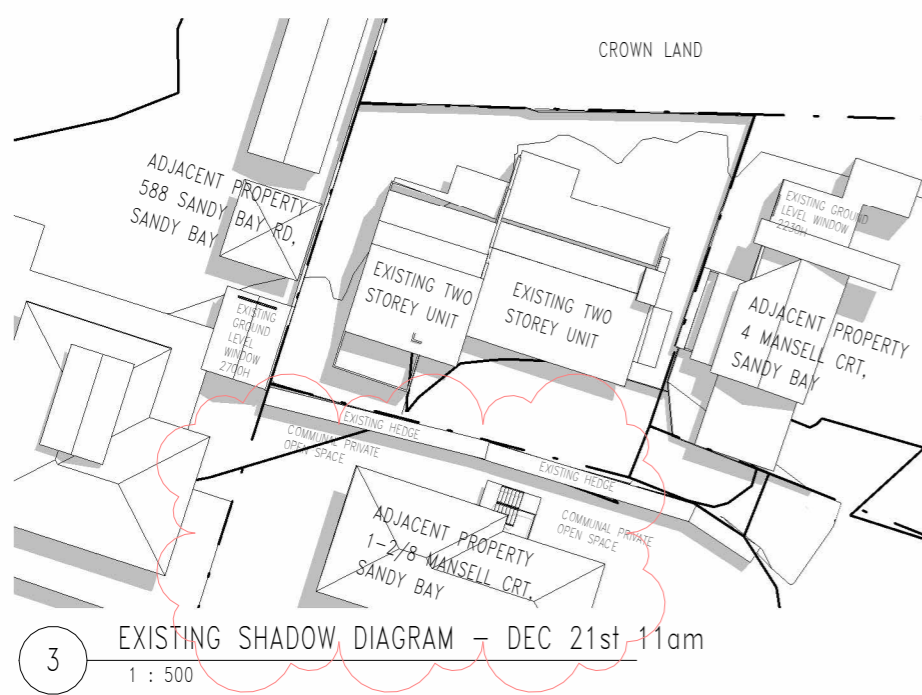
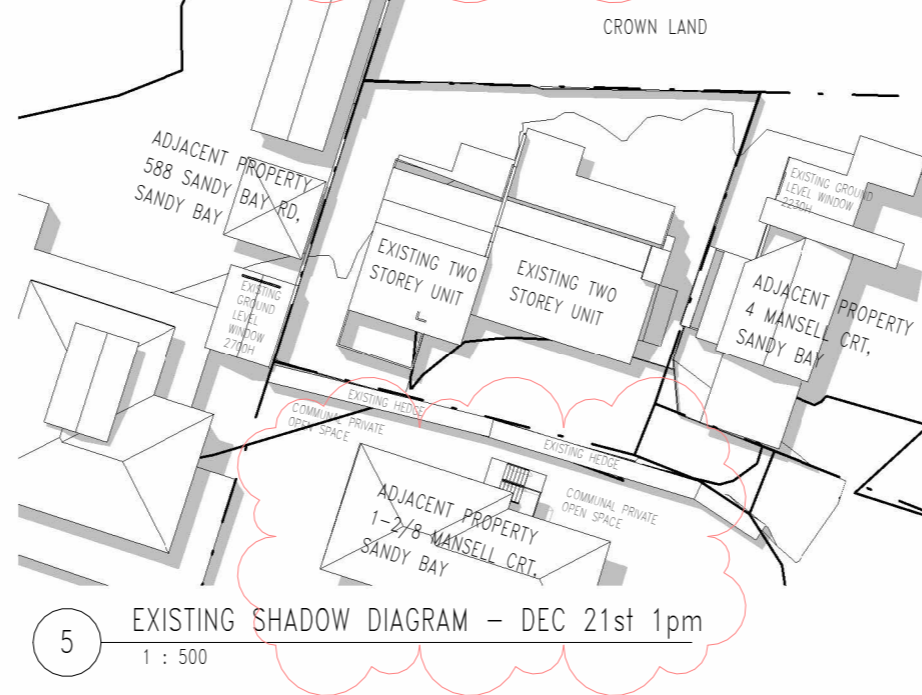
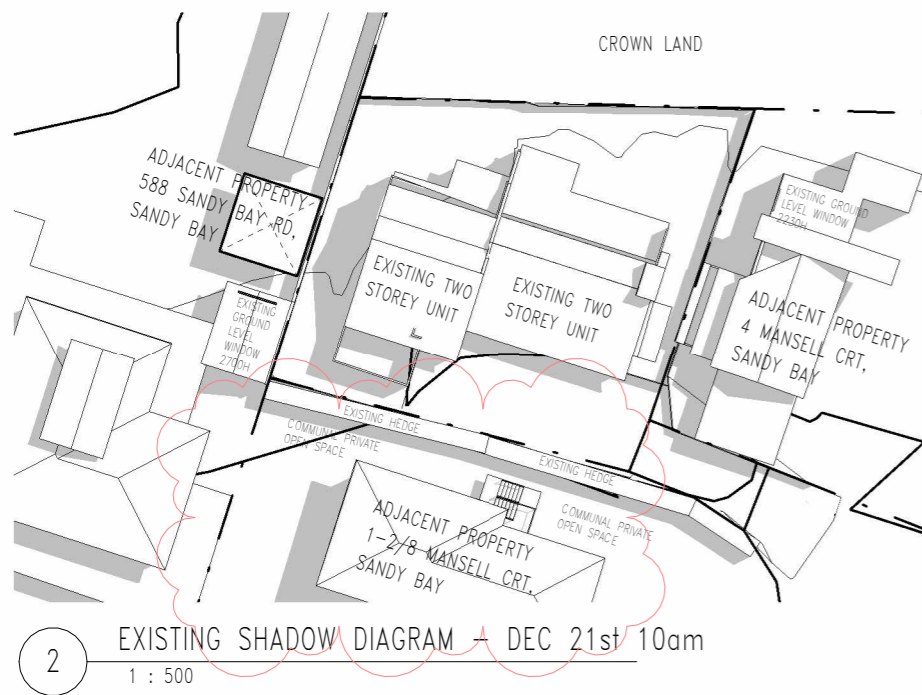
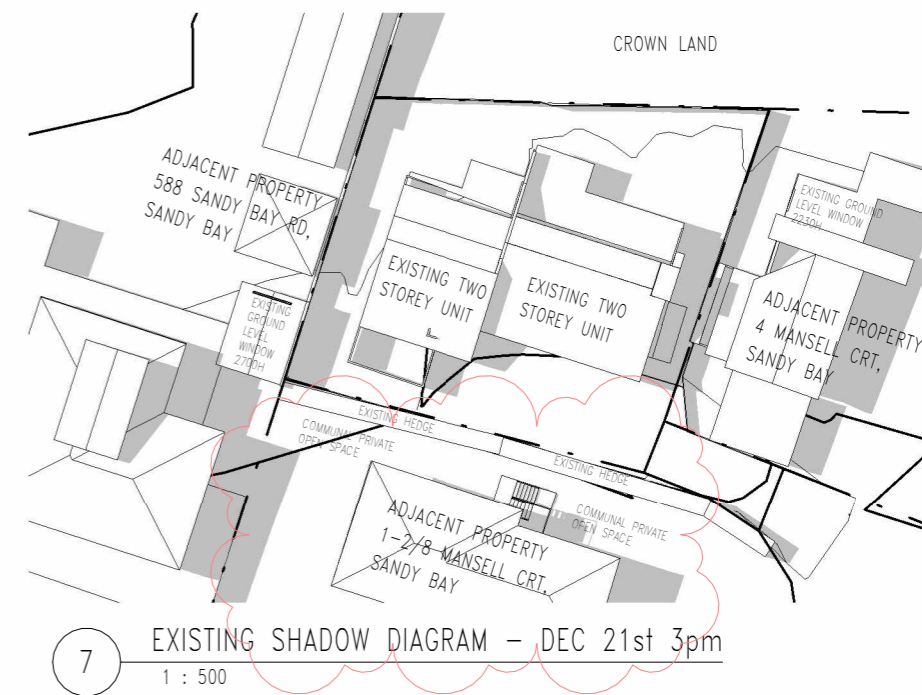
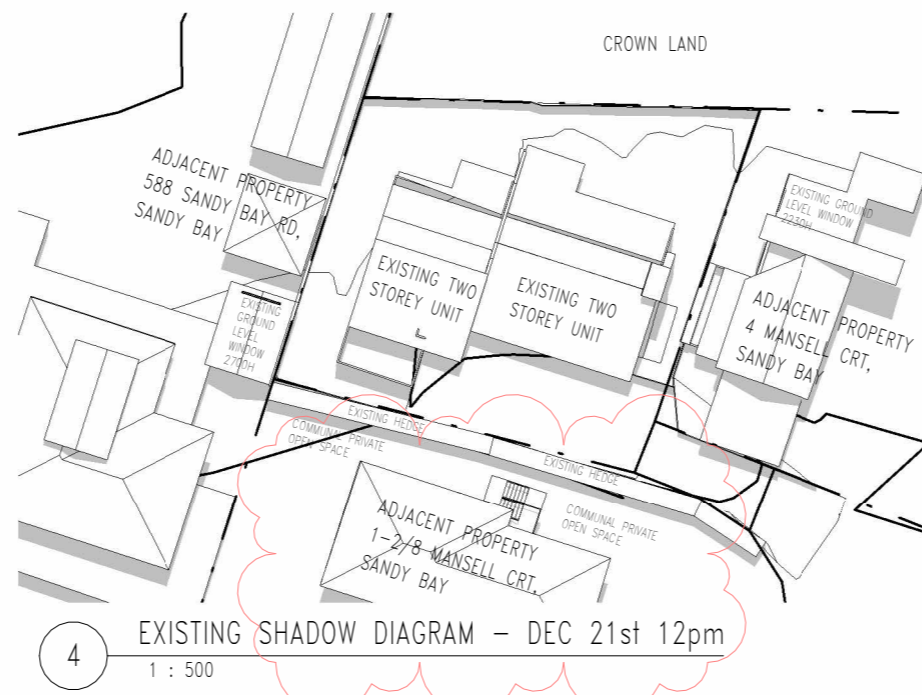
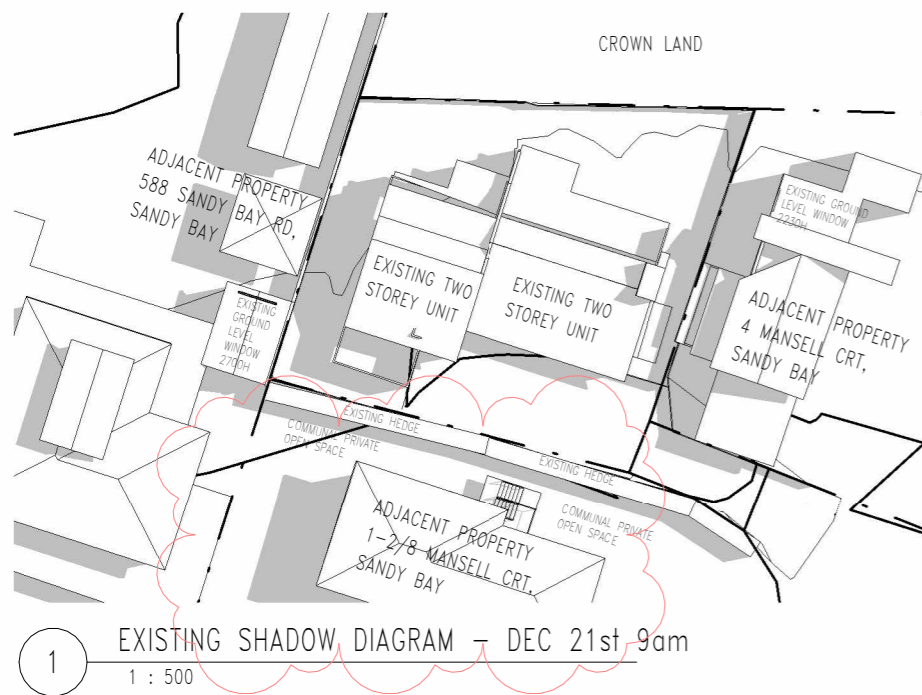
Drawing **ELEVATIONS**

Scale **1 : 100 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**
Drawing Number **A04-01**

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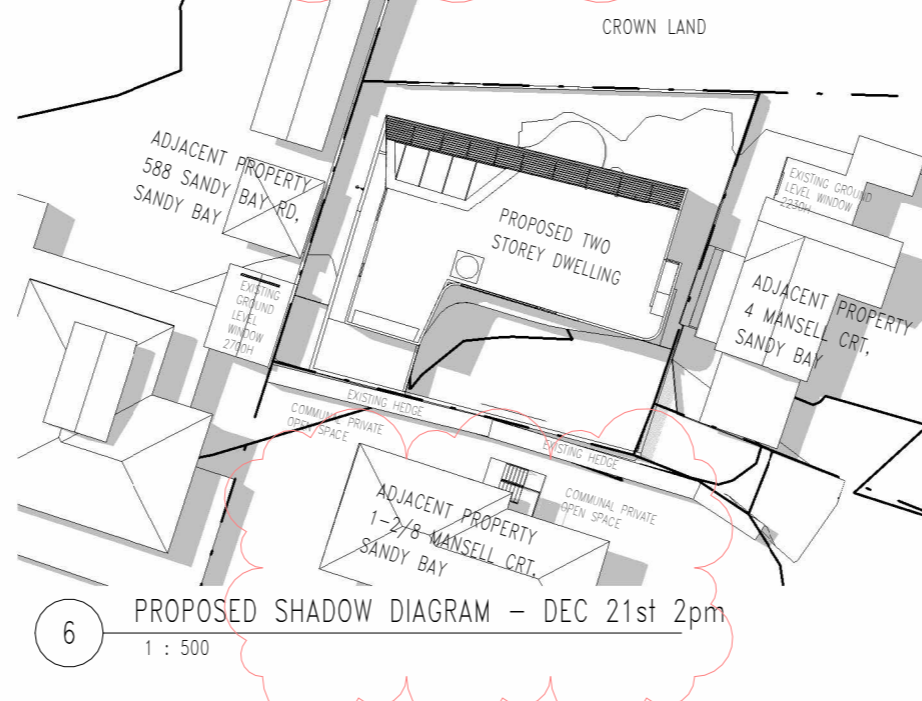
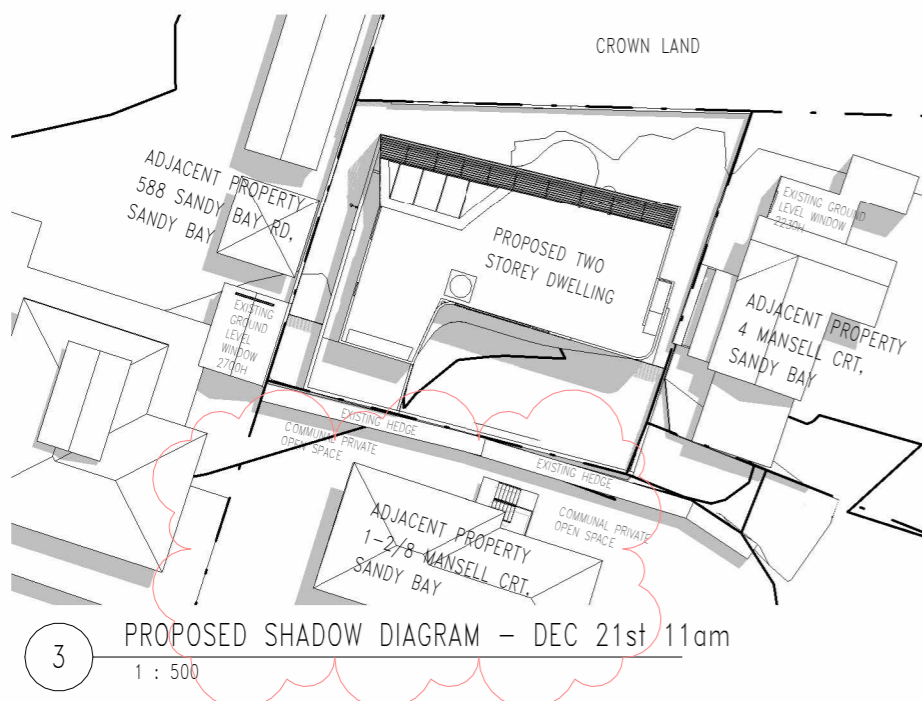
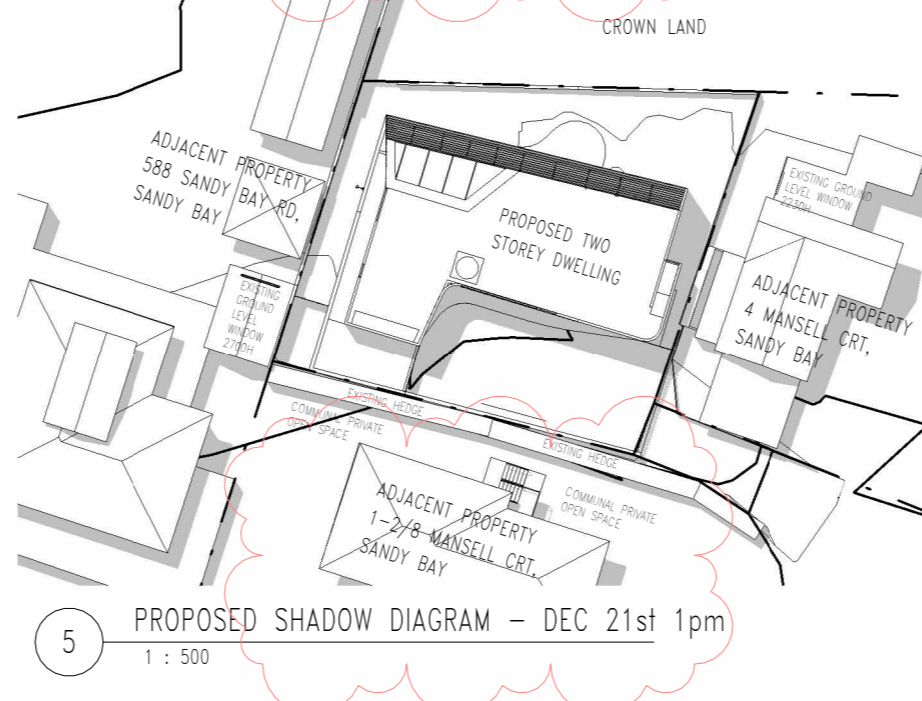
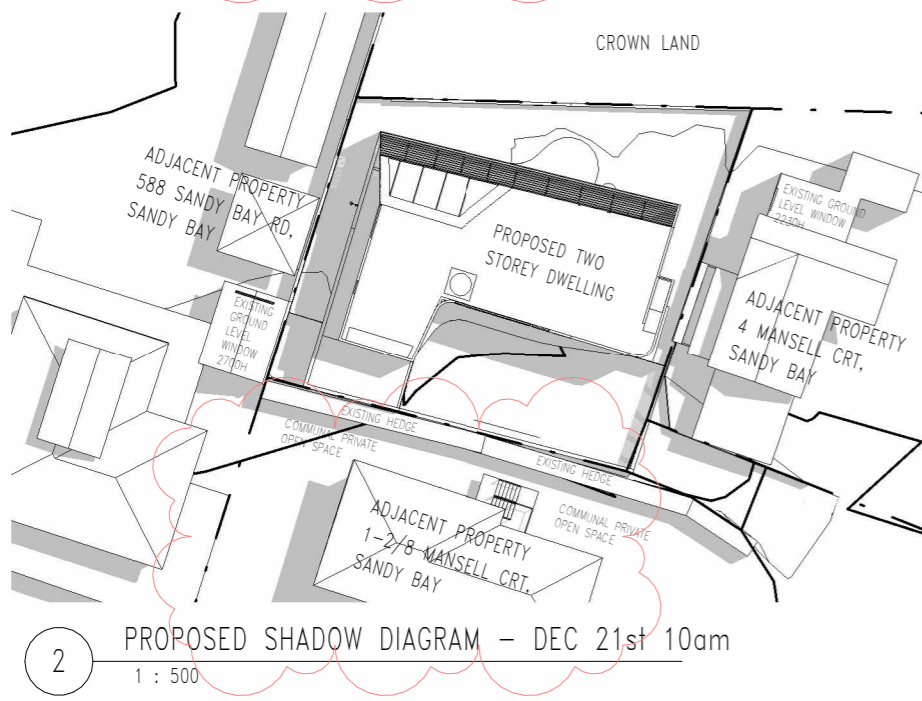
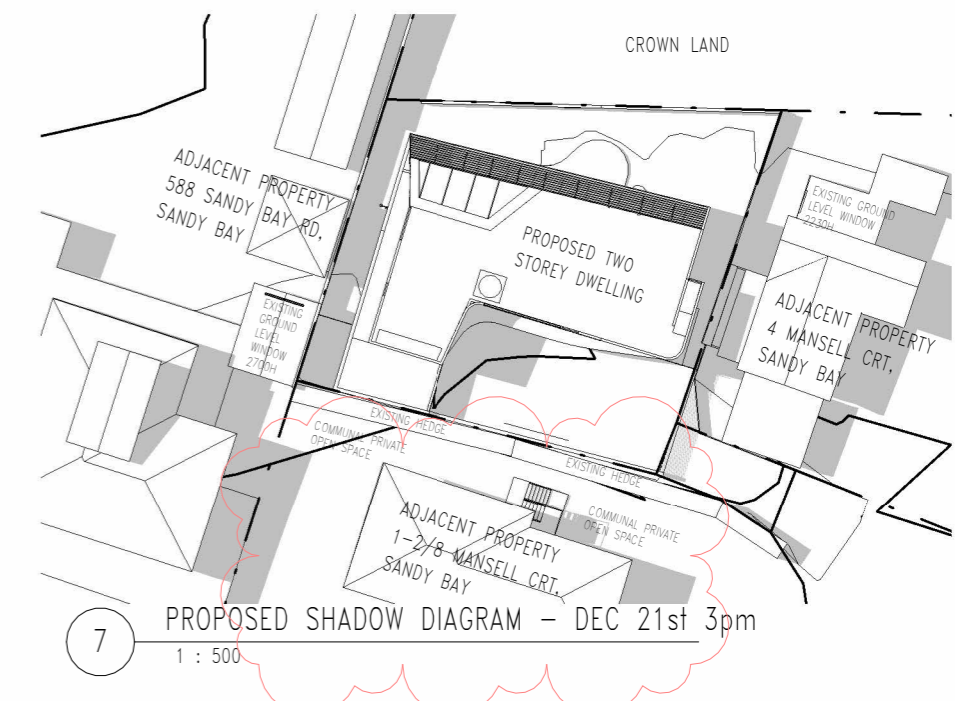
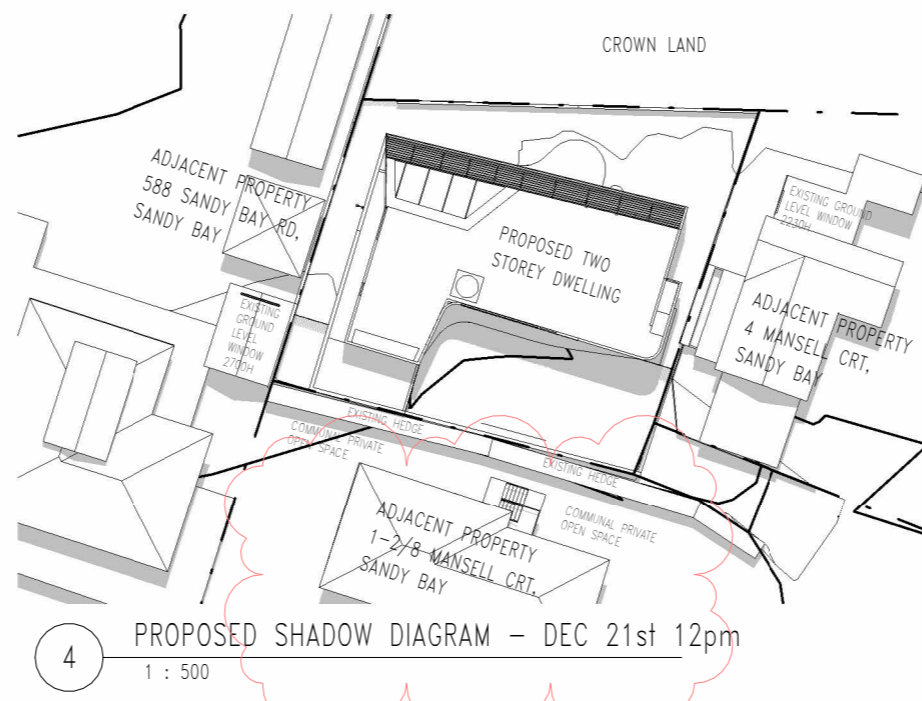
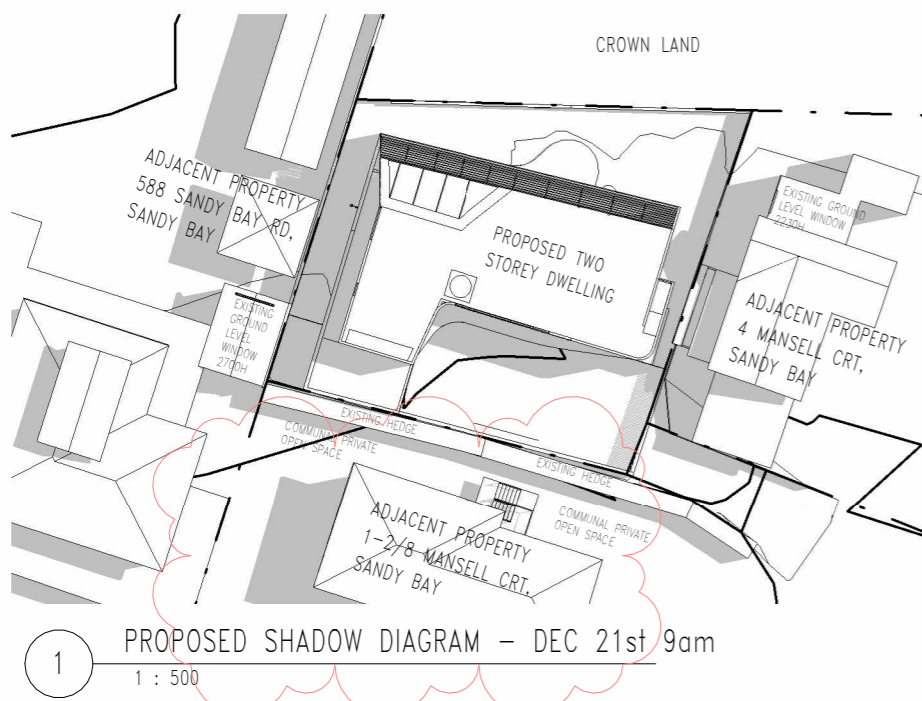
Proprietor **MARZENA RYBAK + RICHARD GORMAN**
Project **6 MANSELL COURT, SANDY BAY**

Drawing **EXISTING SHADOW DIAGRAMS - DECEMBER**
Scale **1 : 500 @ A3**

Revision	Date	Description
A	16/10/25	Client Meeting 4
B	21/10/25	Draft DA submission
C	30/10/25	Client Meeting 5
D	04/11/25	DA submission
E	12/12/25	DA RFI#1 response

Project No **25034**
Drawing Number **A07-00**

PRELIMINARY- NOT FOR CONSTRUCTION



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 Project **6 MANSELL COURT, SANDY BAY**

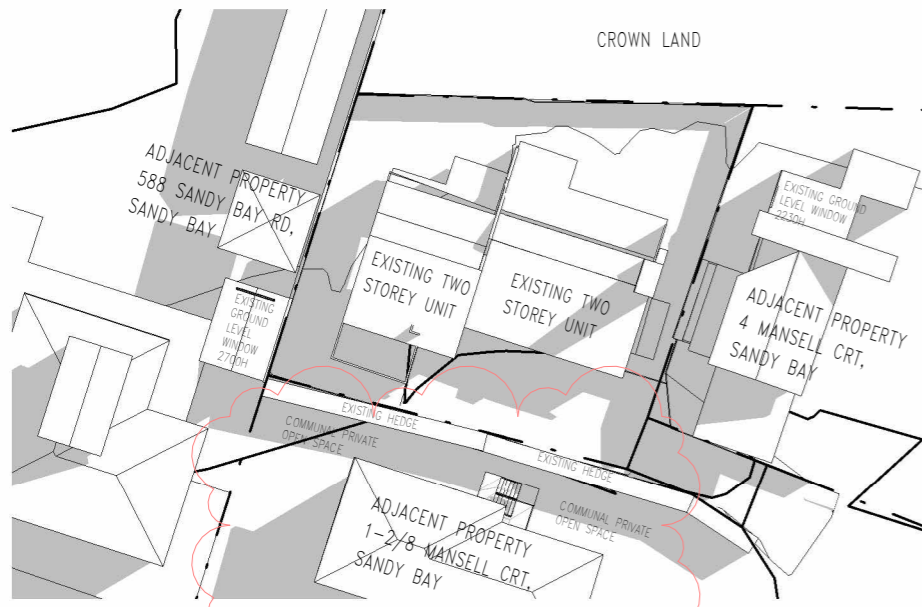
Drawing **PROPOSED SHADOW DIAGRAMS - DECEMBER**

Scale **1 : 500 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**
 Drawing Number **A07-01**

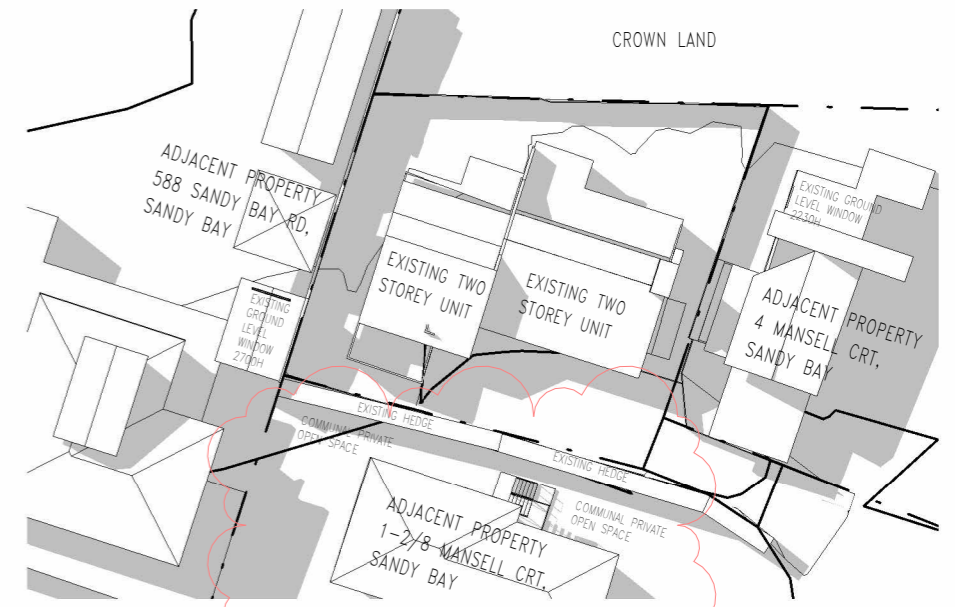
PRELIMINARY- NOT FOR CONSTRUCTION



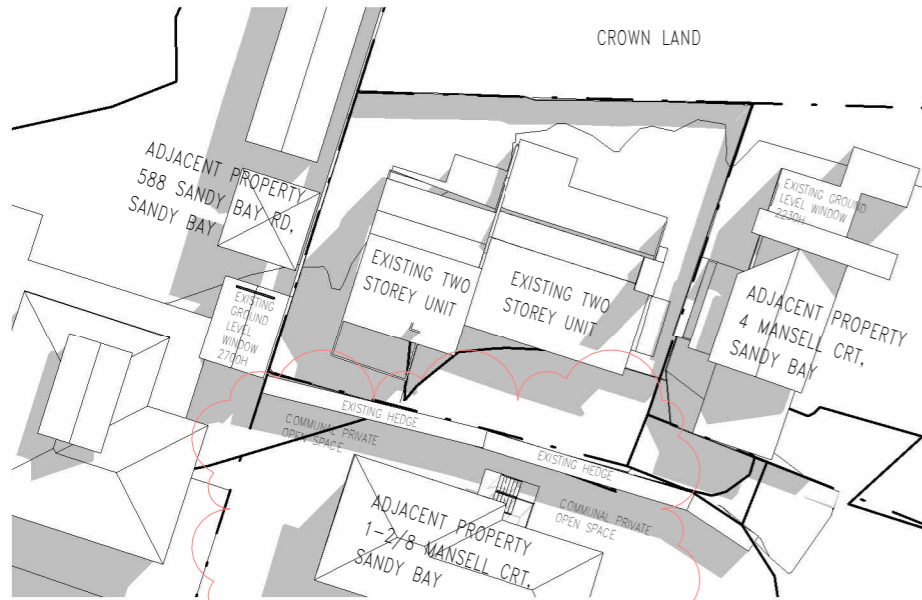
1 EXISTING SHADOW DIAGRAM - MARCH 21st 9am
1 : 500



4 EXISTING SHADOW DIAGRAM - MARCH 21st 12pm
1 : 500



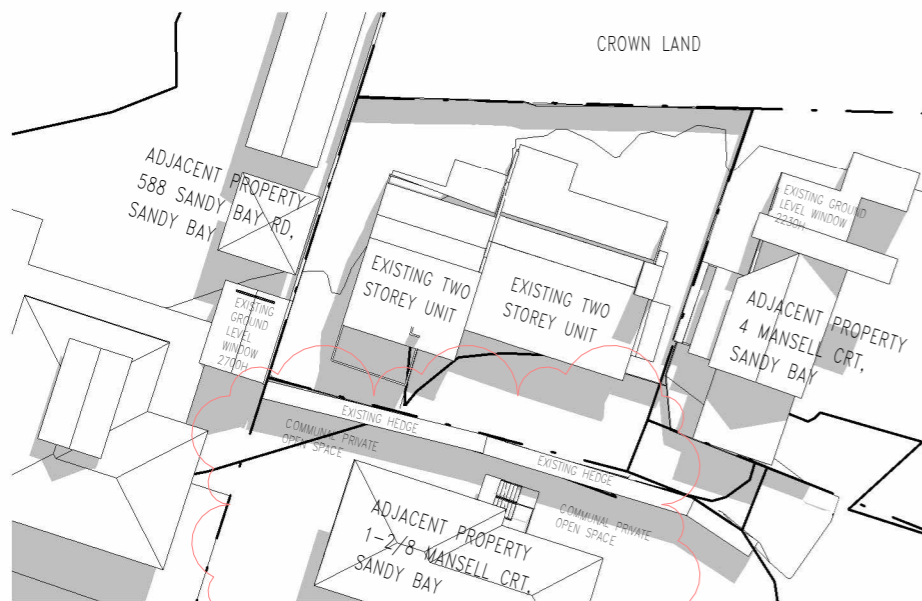
7 EXISTING SHADOW DIAGRAM - MARCH 21st 3pm
1 : 500



2 EXISTING SHADOW DIAGRAM - MARCH 21st 10am
1 : 500



5 EXISTING SHADOW DIAGRAM - MARCH 21st 1pm
1 : 500



3 EXISTING SHADOW DIAGRAM - MARCH 21st 11am
1 : 500



6 EXISTING SHADOW DIAGRAM - MARCH 21st 2pm
1 : 500



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Project **6 MANSELL COURT, SANDY BAY**

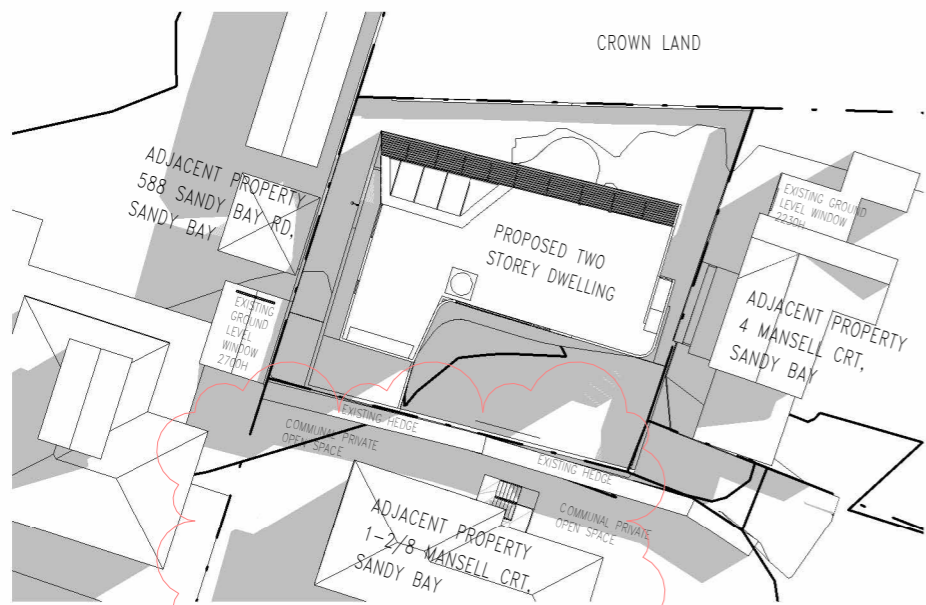
Drawing **EXISTING SHADOW DIAGRAMS - MARCH**

Scale **1 : 500 @ A3**

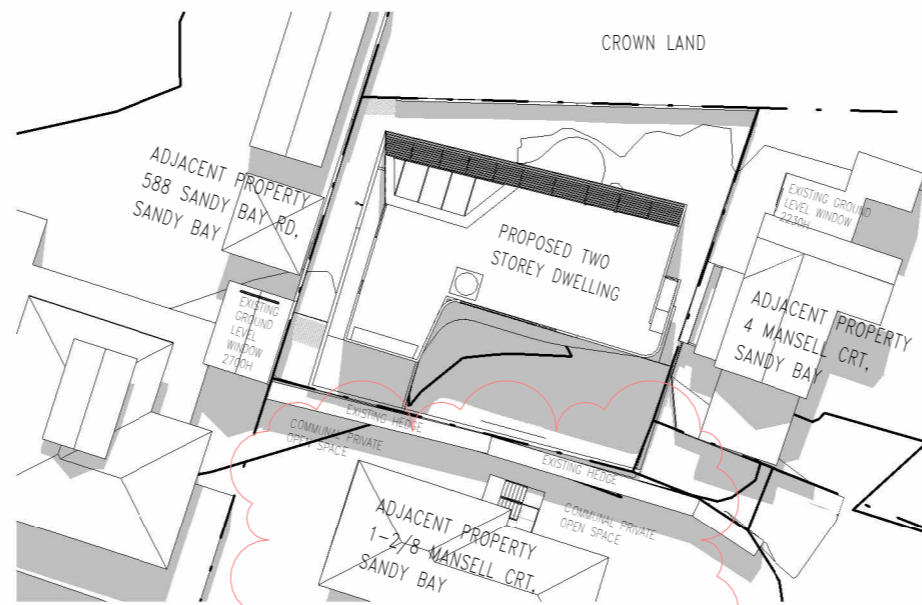
Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**
Drawing Number **A07-02**

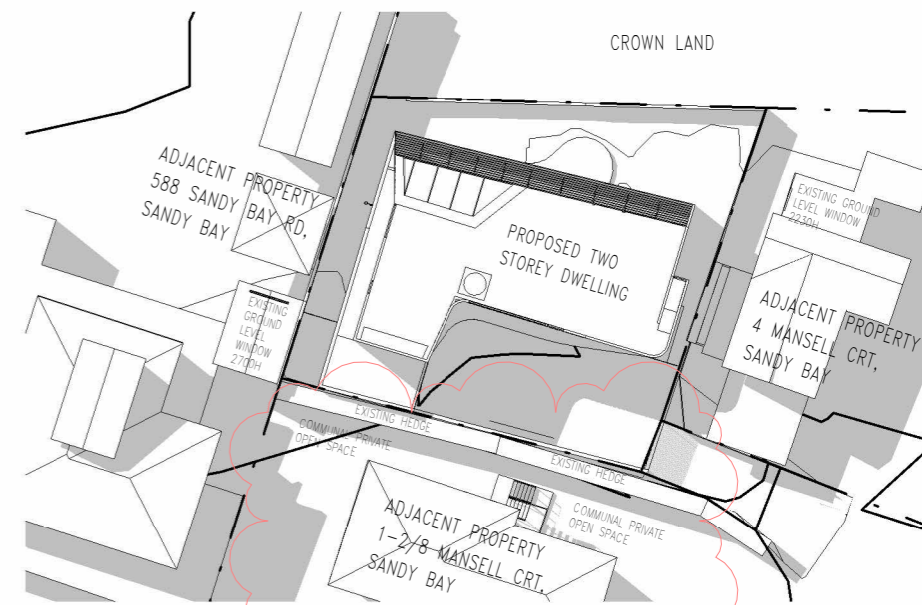
PRELIMINARY- NOT FOR CONSTRUCTION



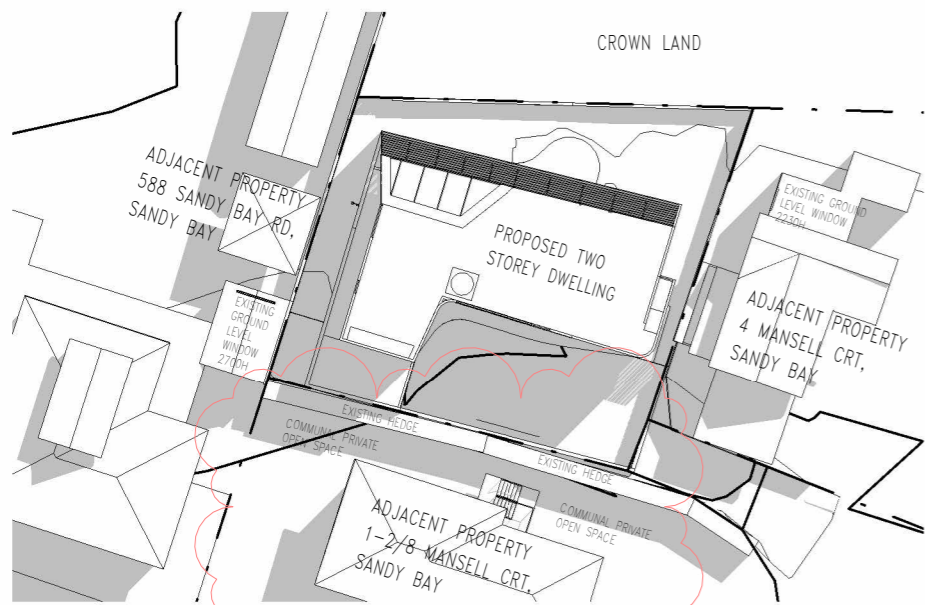
1 PROPOSED SHADOW DIAGRAM - MARCH 21st 9am
1 : 500



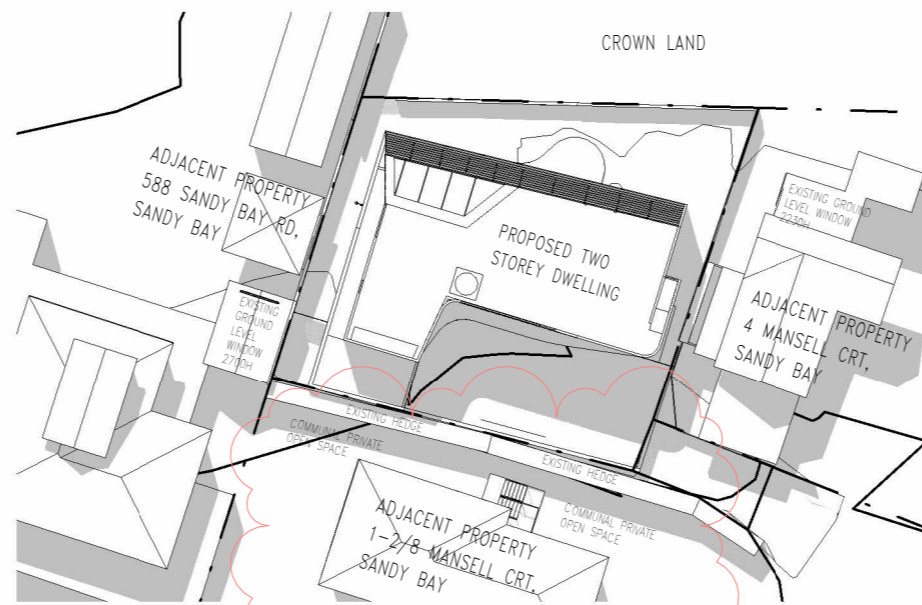
4 PROPOSED SHADOW DIAGRAM - MARCH 21st 12pm
1 : 500



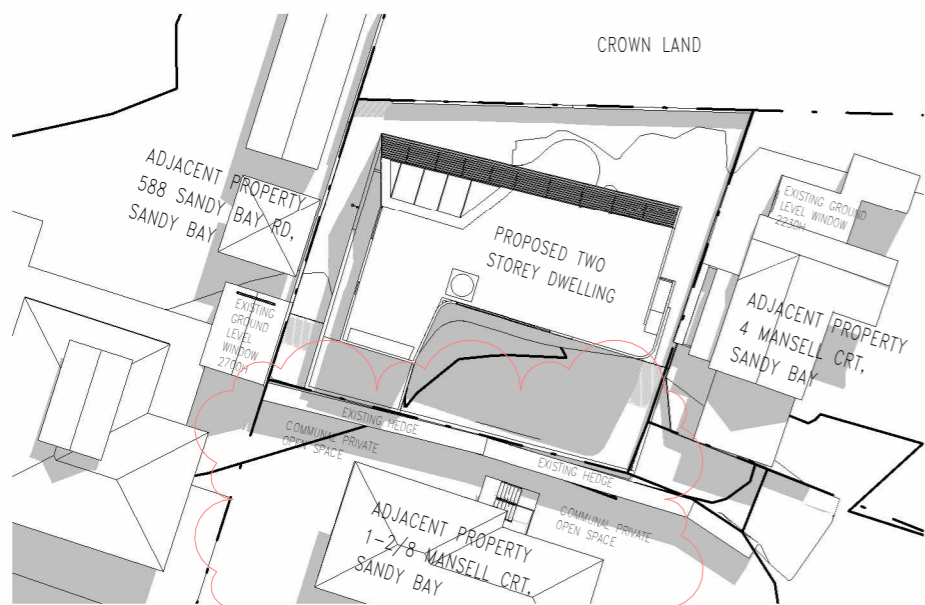
7 PROPOSED SHADOW DIAGRAM - MARCH 21st 3pm
1 : 500



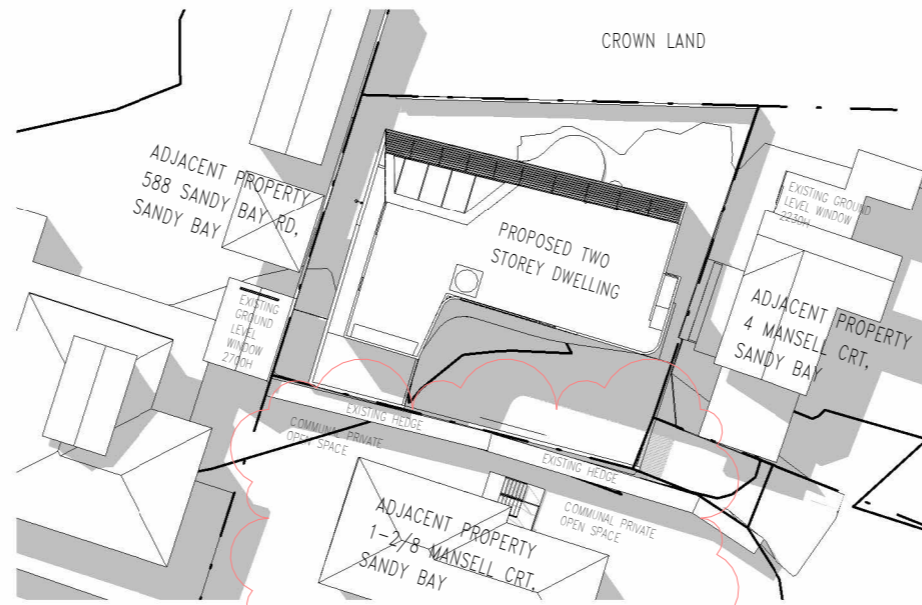
2 PROPOSED SHADOW DIAGRAM - MARCH 21st 10am
1 : 500



5 PROPOSED SHADOW DIAGRAM - MARCH 21st 1pm
1 : 500



3 PROPOSED SHADOW DIAGRAM - MARCH 21st 11am
1 : 500



6 PROPOSED SHADOW DIAGRAM - MARCH 21st 2pm
1 : 500



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Project **6 MANSELL COURT, SANDY BAY**

Drawing **PROPOSED SHADOW DIAGRAMS - MARCH**
Scale **1 : 500 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

Project No **25034**
Drawing Number **A07-03**

PRELIMINARY- NOT FOR CONSTRUCTION



1 EXISTING SHADOW DIAGRAM - JUNE 21st 9am
1 : 500



4 EXISTING SHADOW DIAGRAM - JUNE 21st 12pm
1 : 500



7 EXISTING SHADOW DIAGRAM - JUNE 21st 3pm
1 : 500



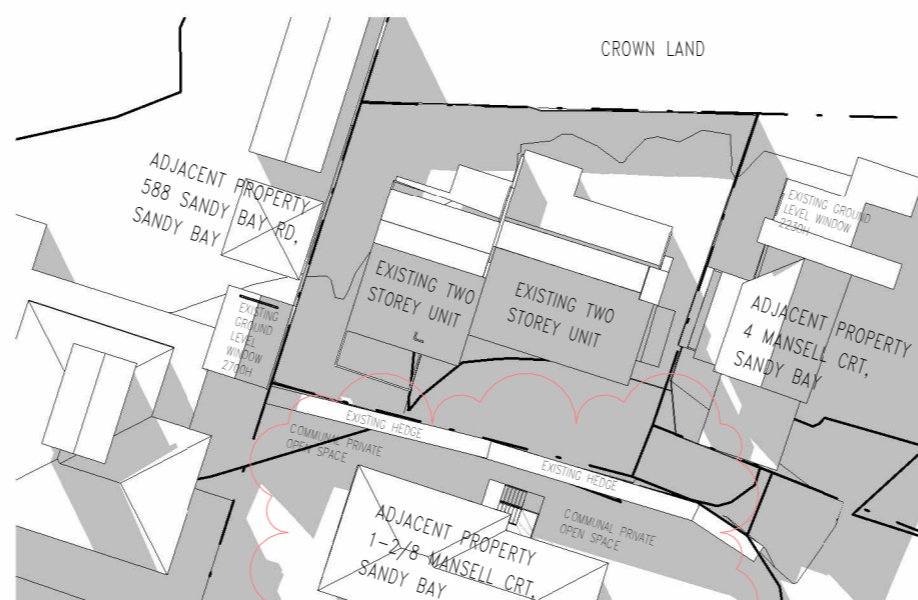
2 EXISTING SHADOW DIAGRAM - JUNE 21st 10am
1 : 500



5 EXISTING SHADOW DIAGRAM - JUNE 21st 1pm
1 : 500



3 EXISTING SHADOW DIAGRAM - JUNE 21st 11am
1 : 500



6 EXISTING SHADOW DIAGRAM - JUNE 21st 2pm
1 : 500



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Project **6 MANSELL COURT, SANDY BAY**

Drawing **EXISTING SHADOW DIAGRAMS - JUNE**

Scale **1 : 500 @ A3**

Revision	
A	16/10/25 Client Meeting 4
B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

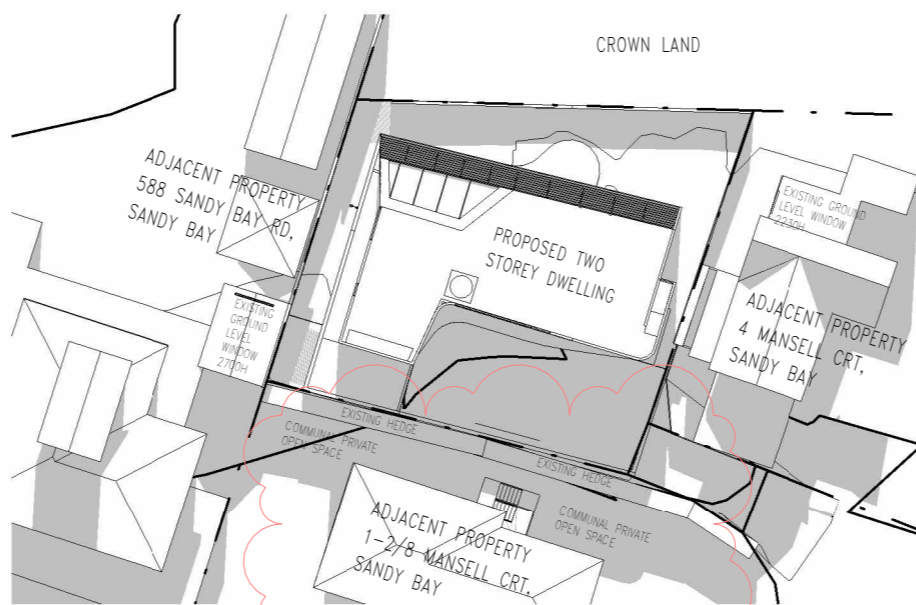
Project No **25034**

Drawing Number **A07-04**

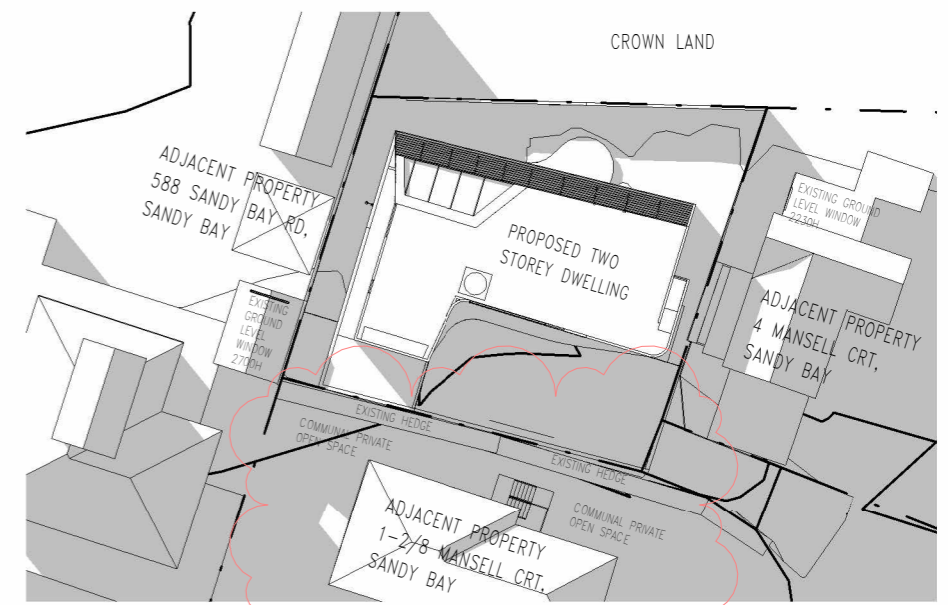
PRELIMINARY- NOT FOR CONSTRUCTION



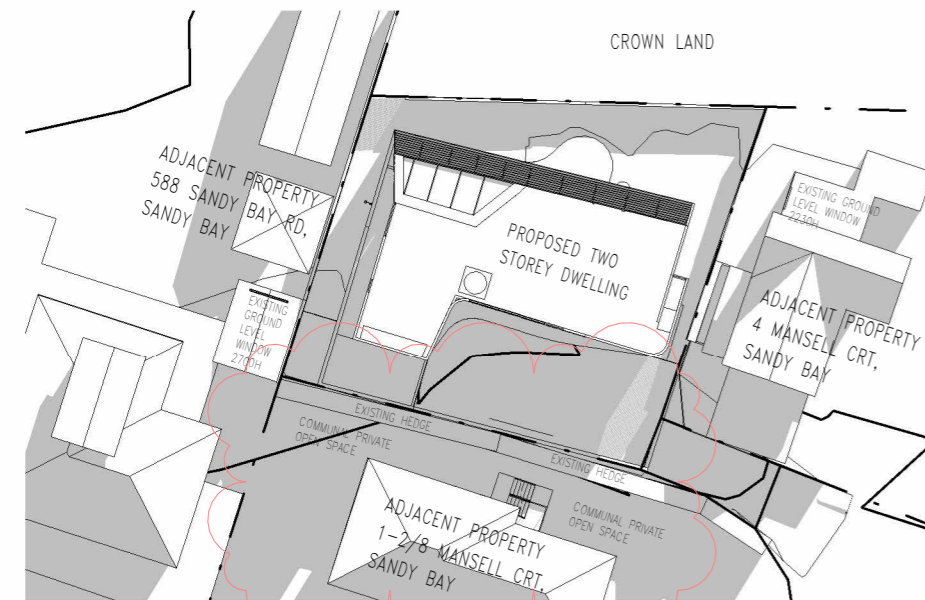
1 PROPOSED SHADOW DIAGRAM - JUNE 21st 9am
1 : 500



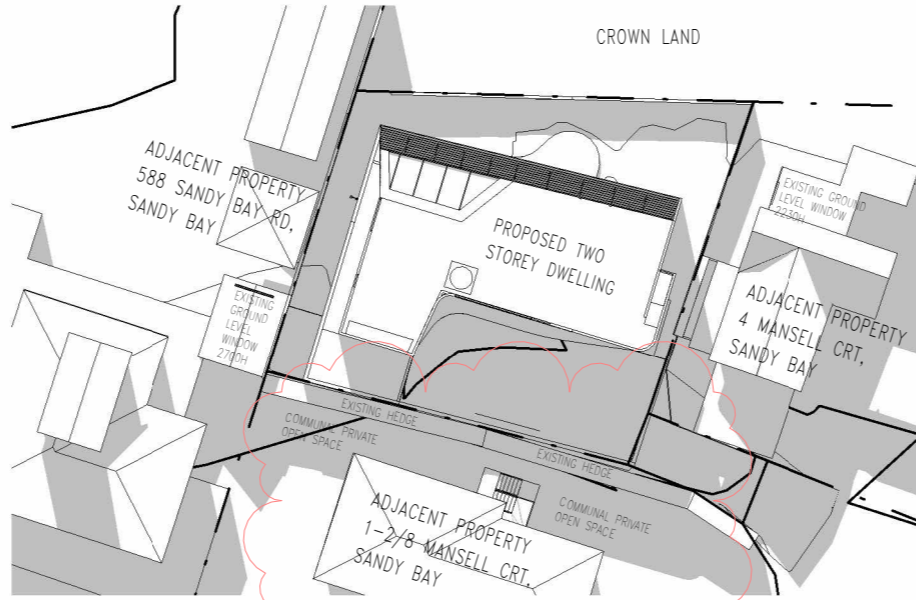
4 PROPOSED SHADOW DIAGRAM - JUNE 21st 12pm
1 : 500



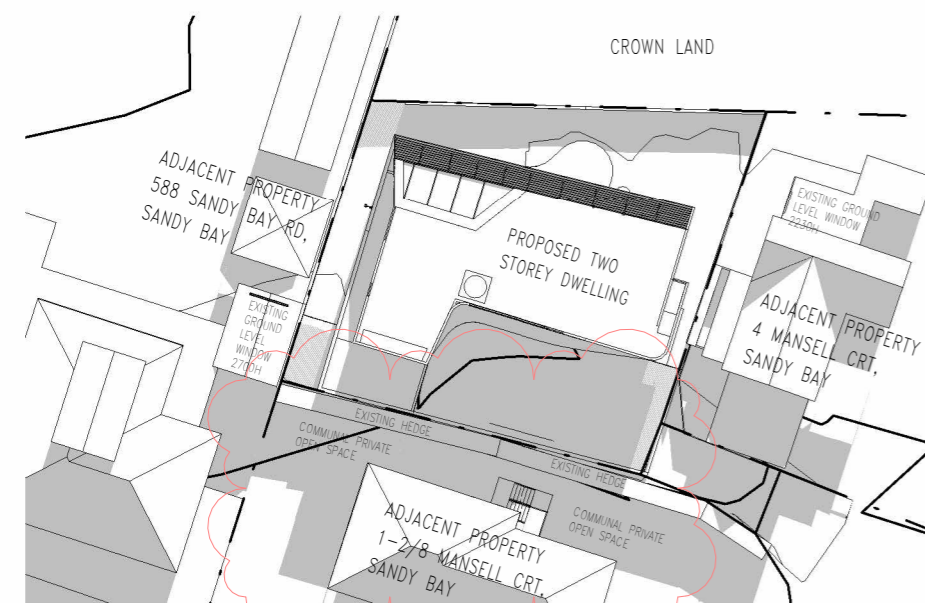
7 PROPOSED SHADOW DIAGRAM - JUNE 21st 3pm
1 : 500



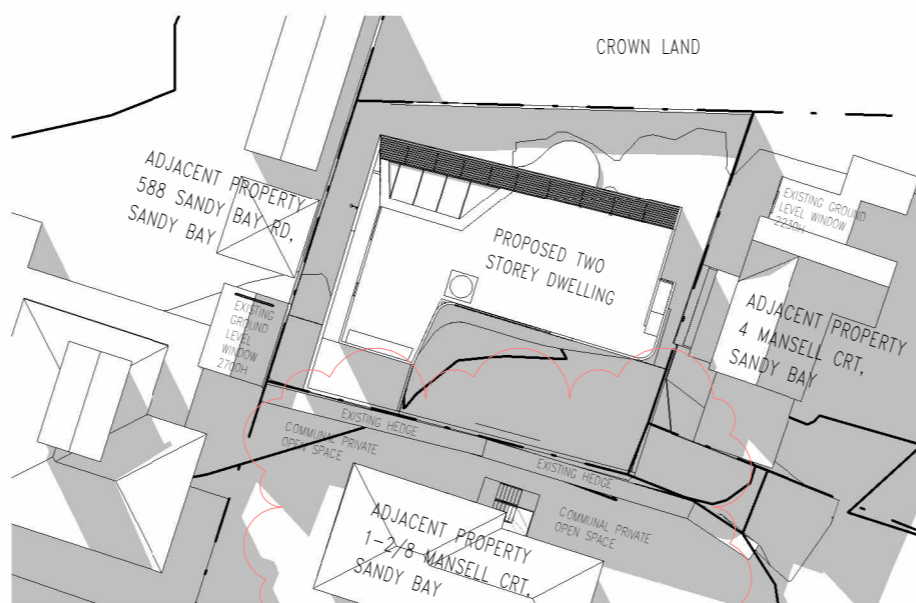
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Project **6 MANSELL COURT, SANDY BAY**

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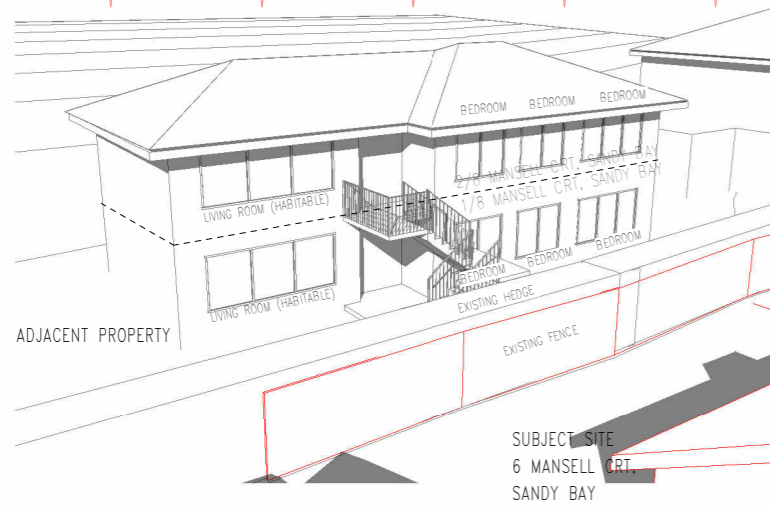
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B	21/10/25 Draft DA submission
C	30/10/25 Client Meeting 5
D	04/11/25 DA submission
E	12/12/25 DA RFI#1 response

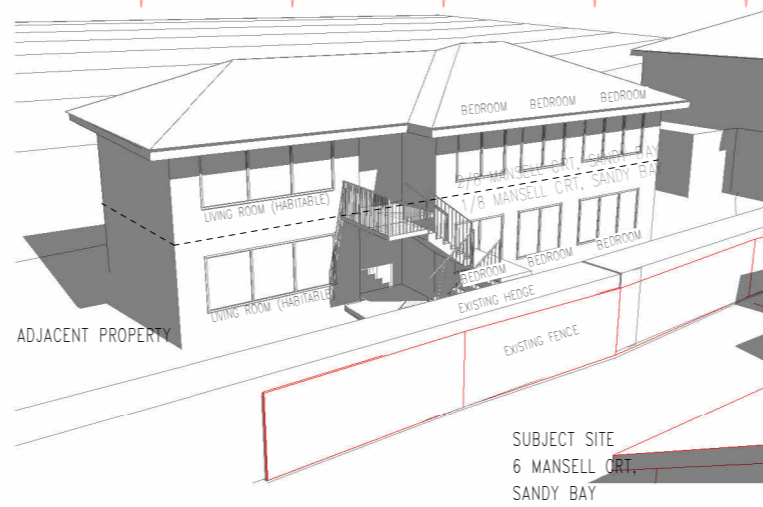
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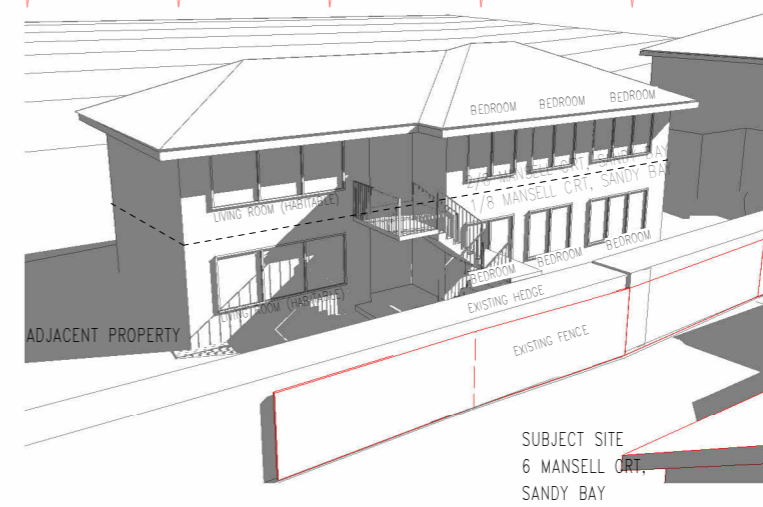
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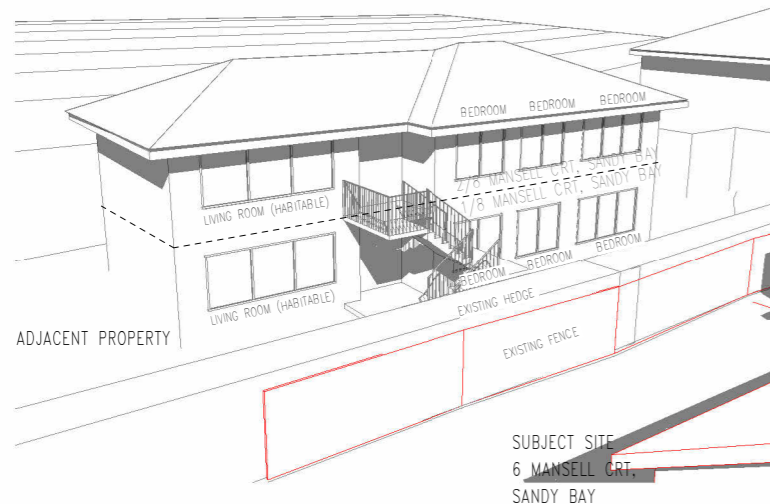
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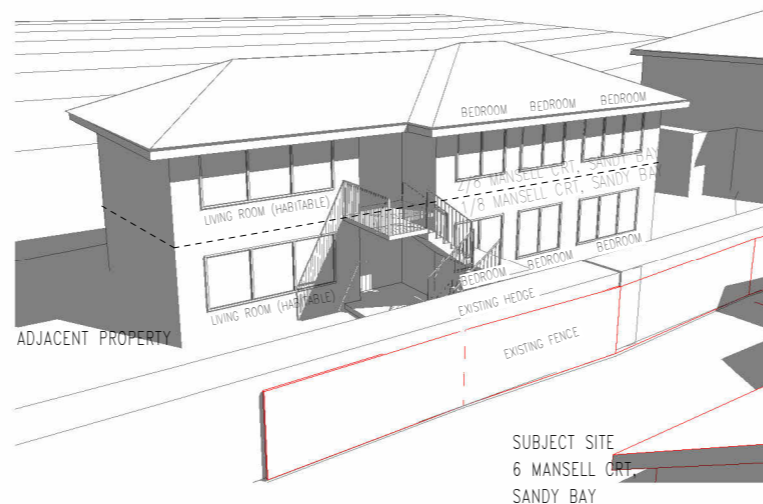
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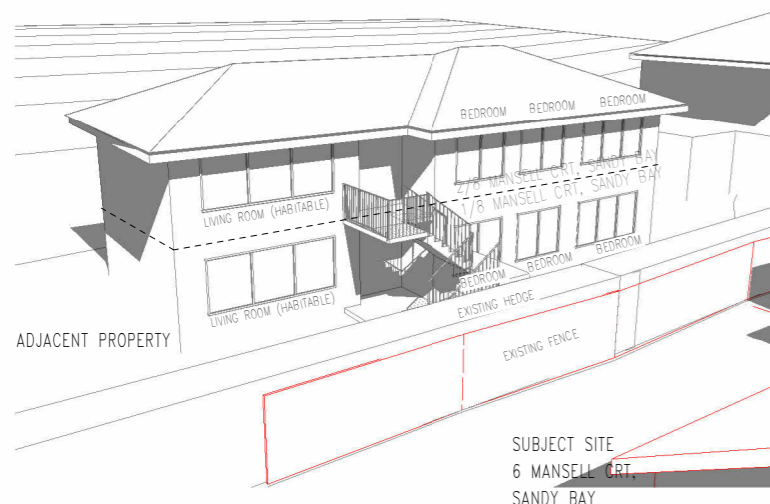
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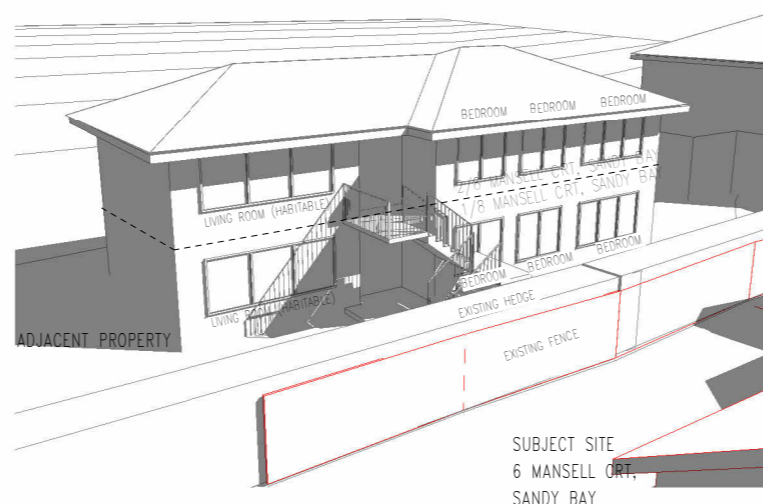
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3 3D EXISTING SHADOW DIAGRAM – MARCH 21st 11am



6 3D EXISTING SHADOW DIAGRAM – MARCH 21st 2pm



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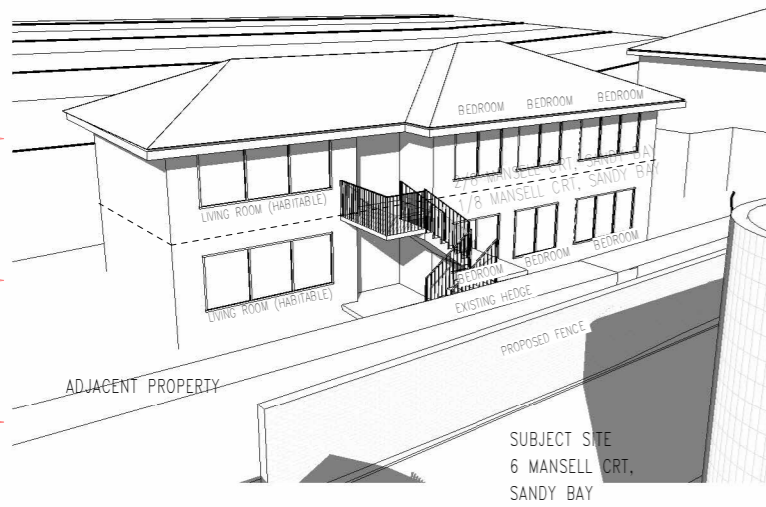
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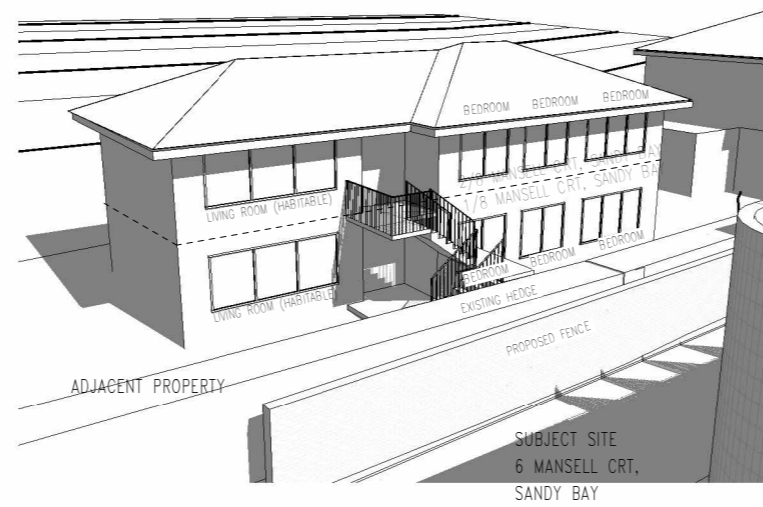
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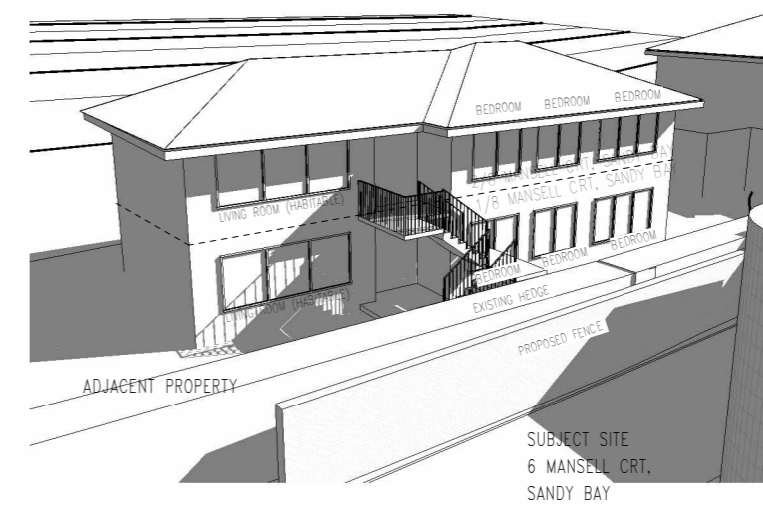
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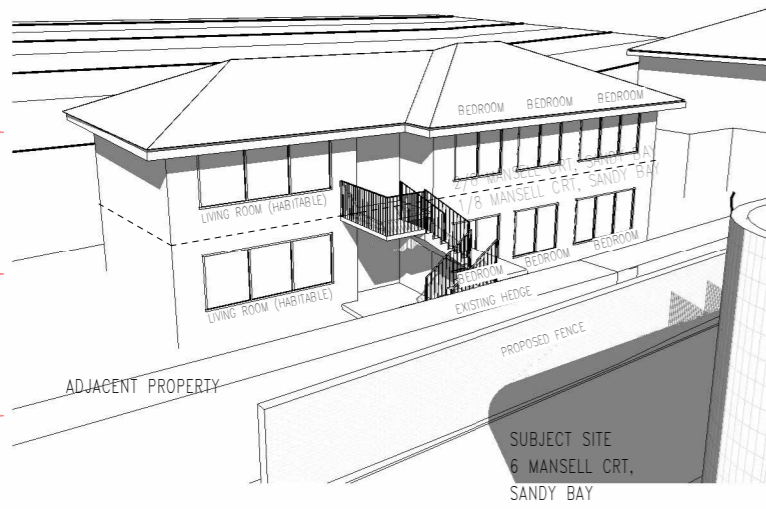
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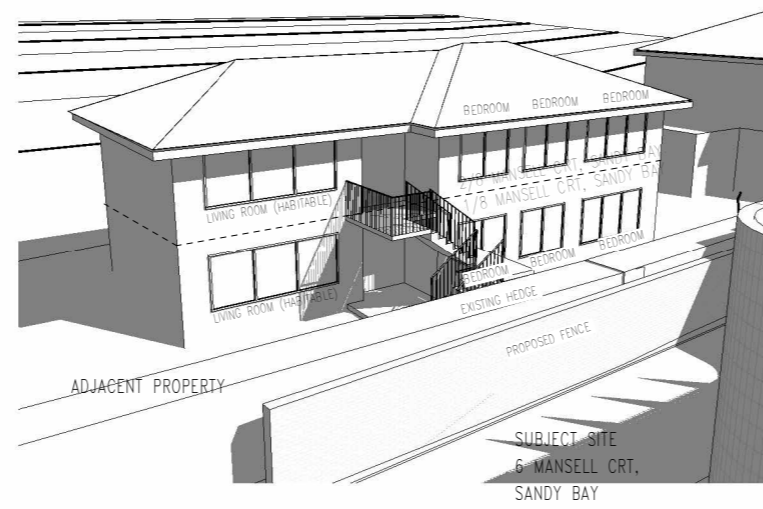
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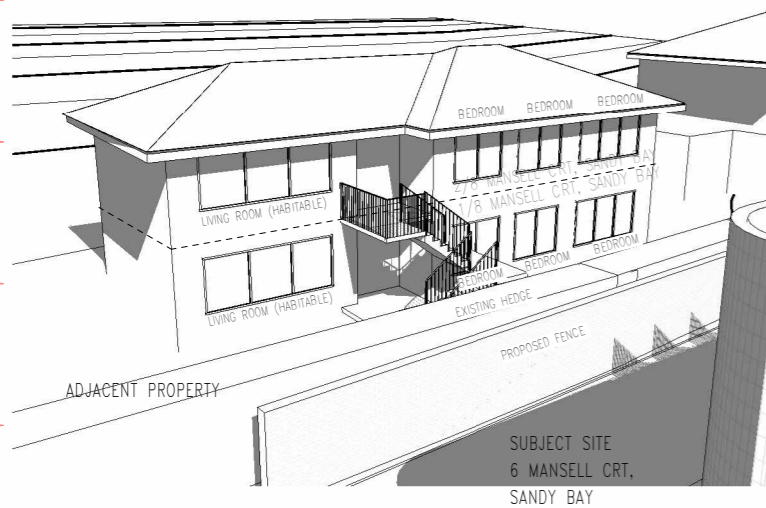
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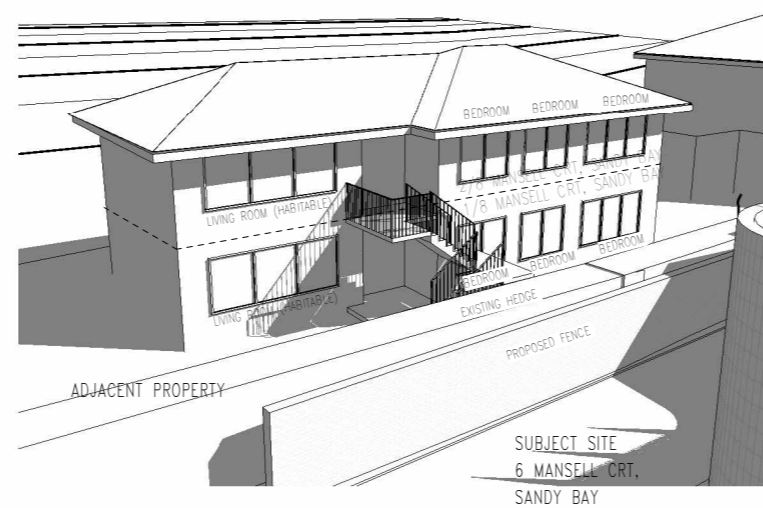
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3 3D PROPOSED SHADOW DIAGRAM – MARCH 21st 11am



6 3D PROPOSED SHADOW DIAGRAM – MARCH 21st 2pm



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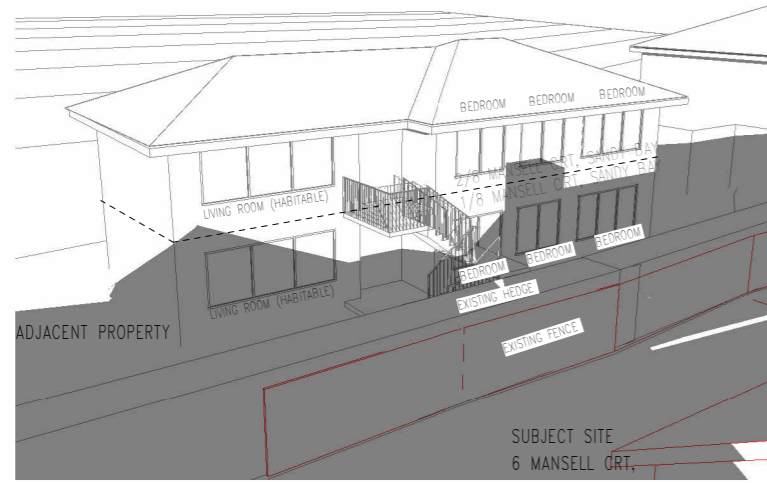
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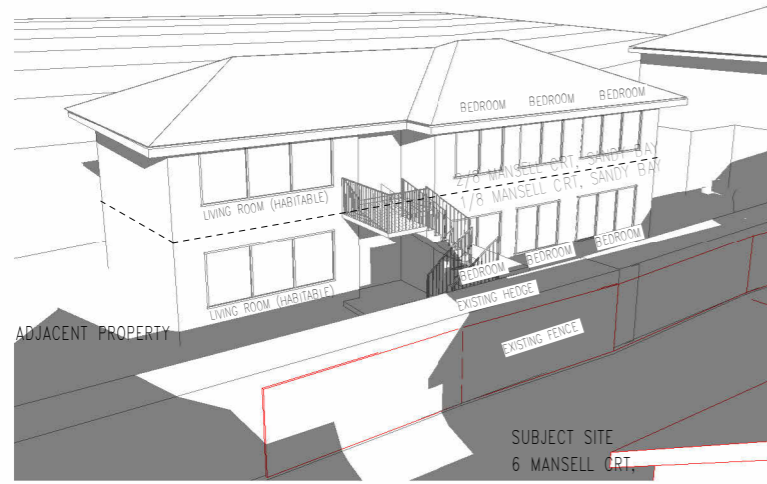
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Drawing Number	A07-53	

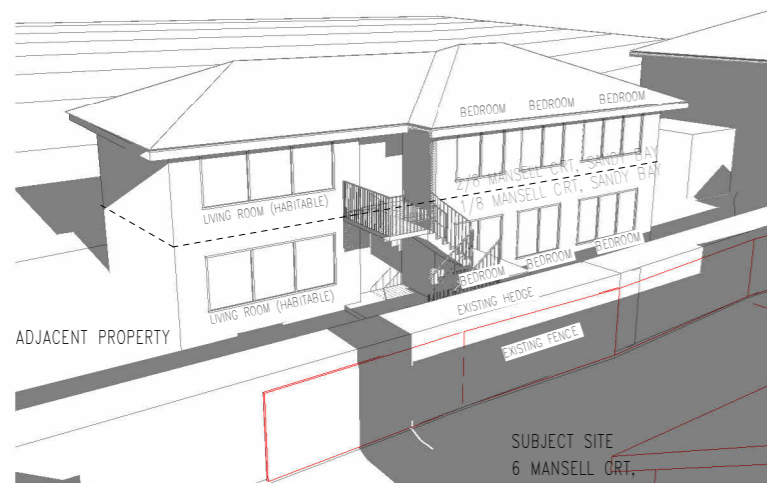
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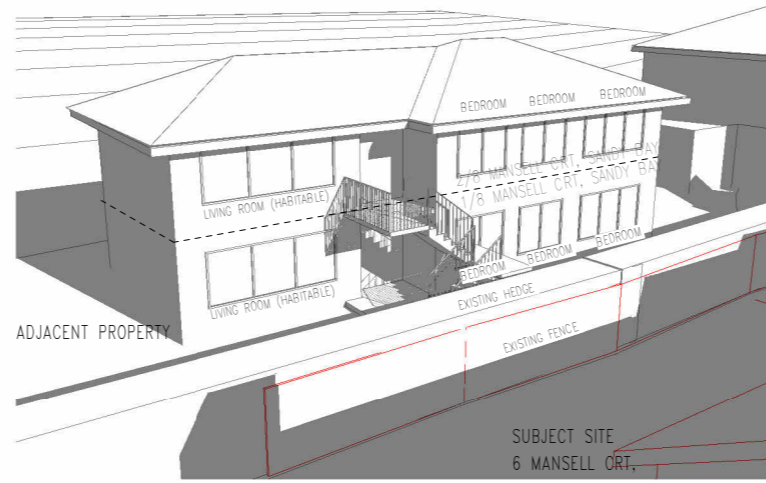
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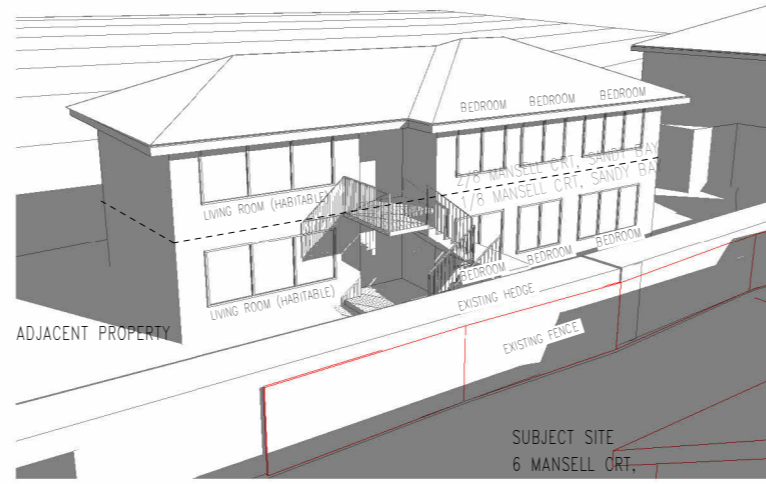
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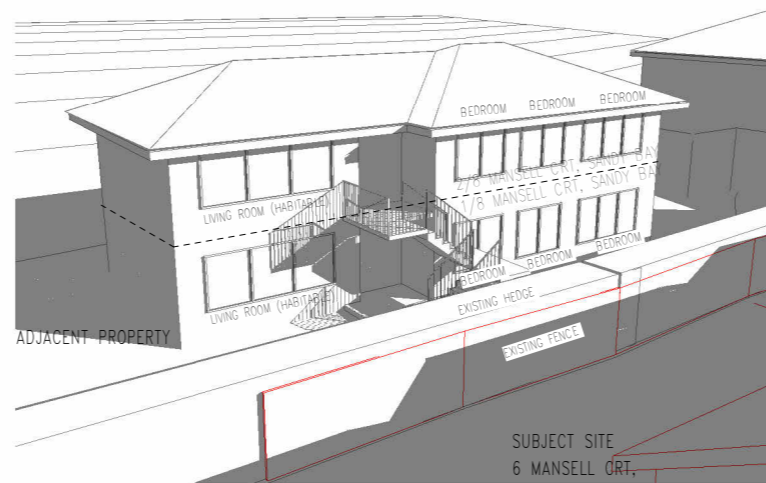
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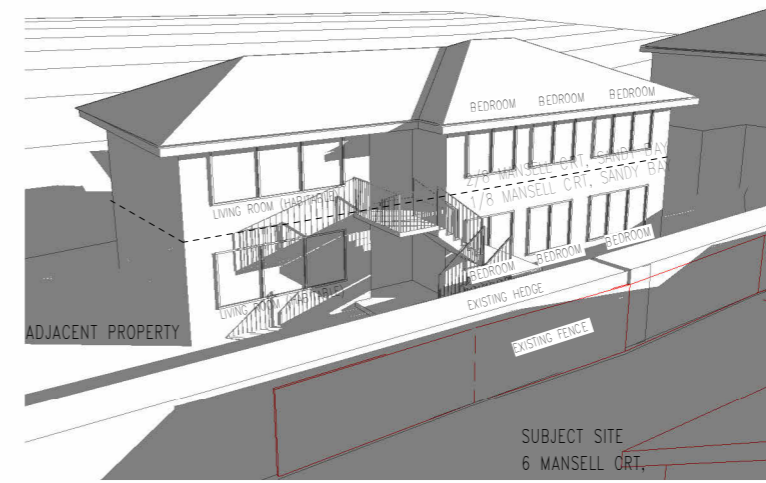
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
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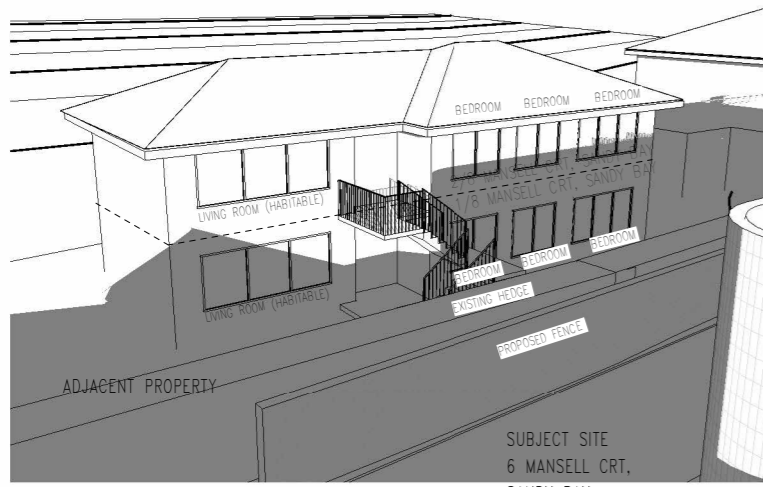
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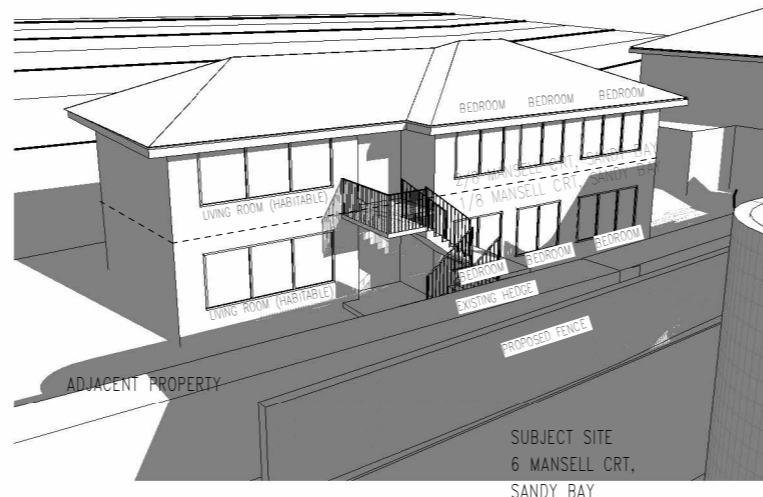
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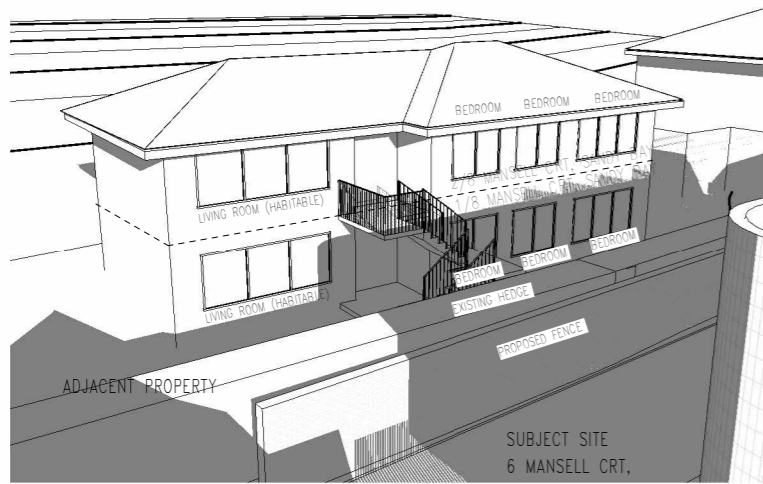
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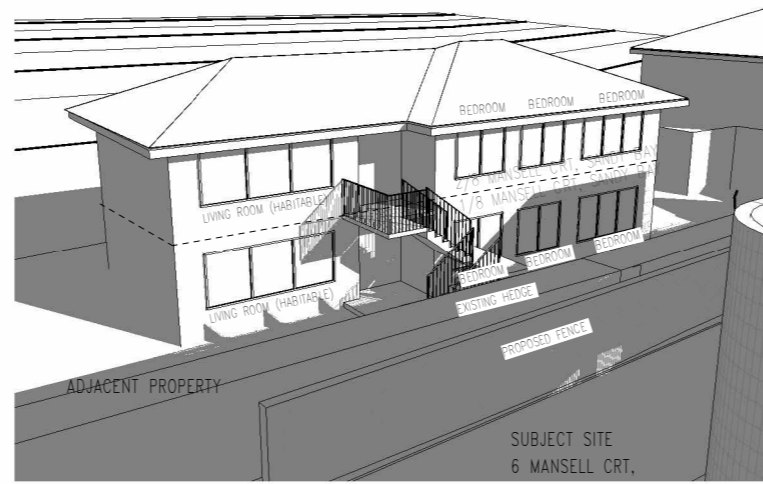
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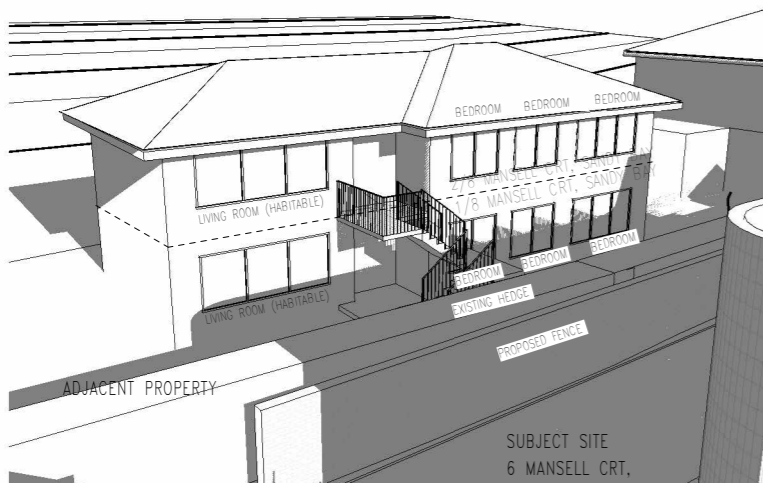
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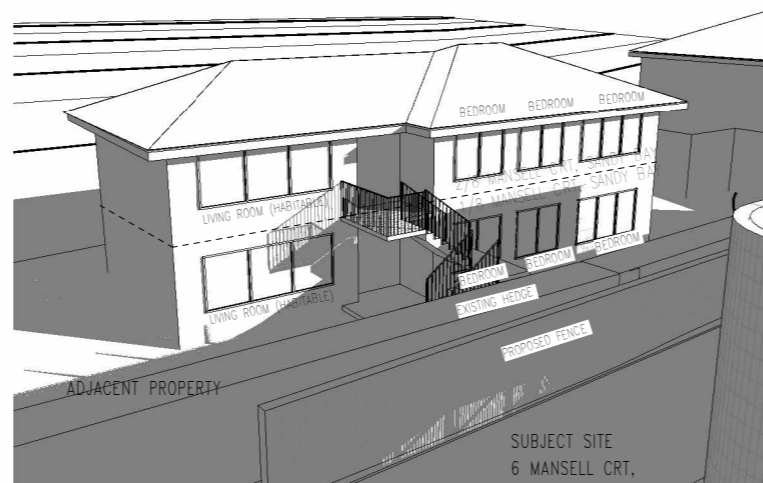
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Planning Assessment
6 Mansell Court
Demolition and New
Single Dwelling



Date 4 November 2025

Cover image: Preston Lane

Version Control			
Version	Author	Date	Changes
0	Frazer Read	4/11/2025	

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1. Introduction

All Urban Planning Pty Ltd has been engaged by Preston Lane on behalf of Marzena Rybak and Richard Gorman to prepare the following Planning Assessment for demolition and a new single dwelling at 6 Mansell Court under the provisions of the Hobart Local Provisions Schedule (planning scheme).

1. Site & Surrounds

The proposal relates to 6 Mansell Court which includes two strata titled properties, CT 58671/ 1 and 2. The site has an area of approximately 592m².



Figure 1– Site Plan (source annotated from theList)

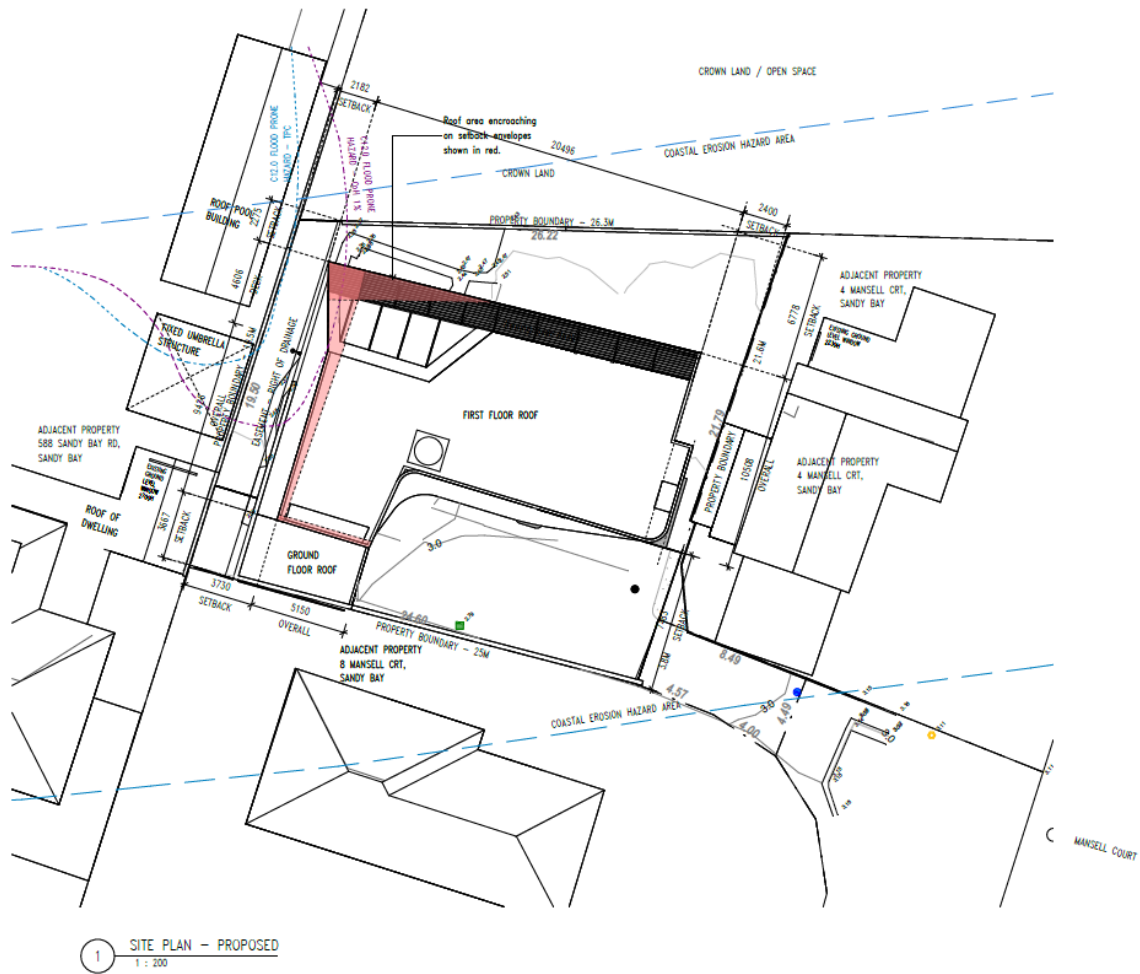


Figure 2 – proposed site plan (Source: Preston Lane)



Figure 3 - View from Mansell Court to the site (centre)

2. Title Information

The proposal relates to the following land as shown on Figure 4 below.

Address	Title	Area	Owner
Unit 1, 6 Mansell Court	58671/ 1	227m2*	Marzena Rybak and Richard Gorman
Unit 2, 6 Mansell Court	58671/2	216m2*	Marzena Rybak and Richard Gorman

*Plus common property

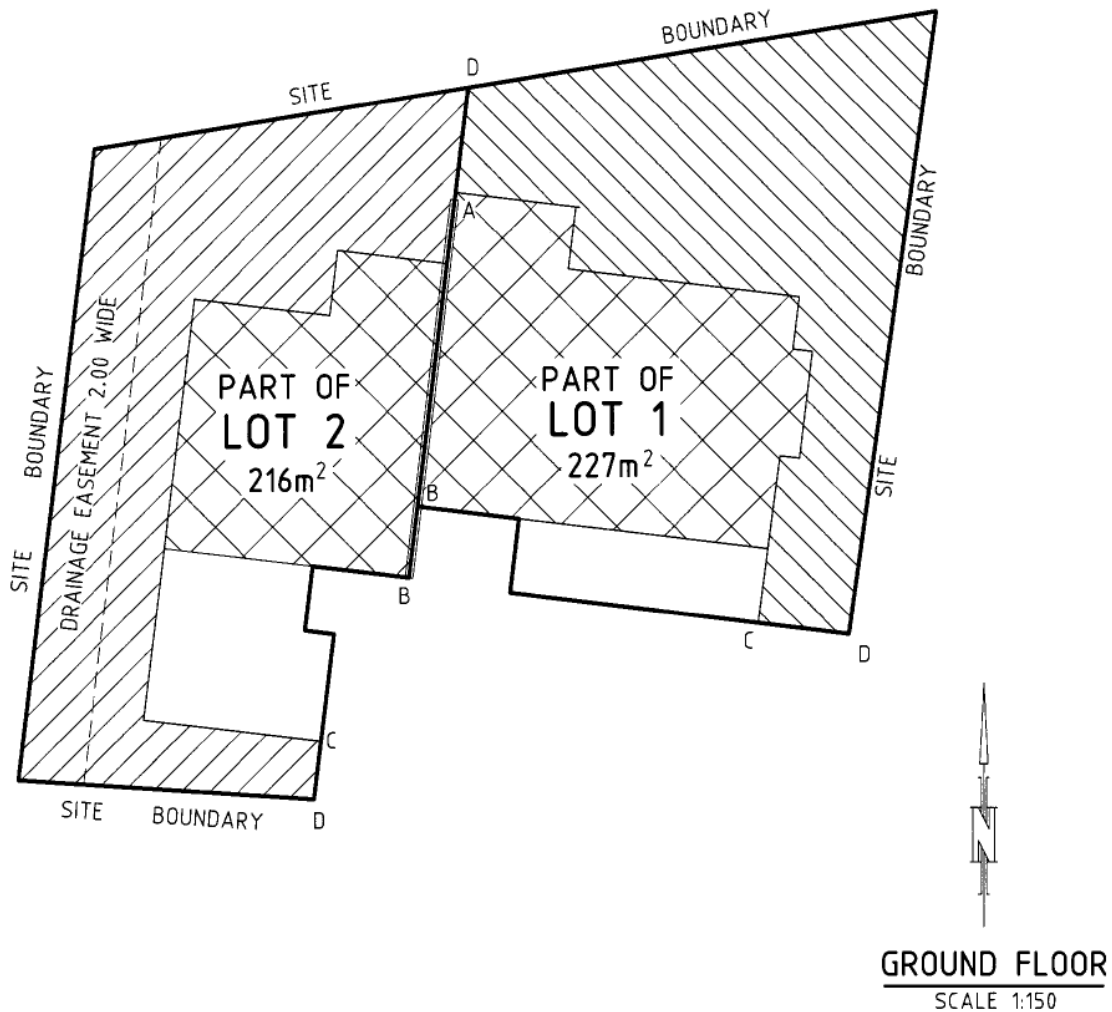


Figure 4– The site showing strata lot boundaries (Source: annotated aerial photo and cadastre from theList)

2. Proposal

The proposal is for demolition of the two existing, two storey conjoined dwellings on the site and construct a new two storey dwelling. The existing strata title over the land will be removed.

The dwelling will have 4 bedrooms, 3.5 bathrooms and a double garage with ground and first floor north facing decks.

3. The Planning Scheme

Under Clause 6.10.1 of the planning scheme the planning authority must, in addition to the matters required by ss51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act, but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised.

A standard is applicable if the site is within the relevant zone, specific area plan or an area where a site-specific qualification applies and the standard deals with a matter that could affect or be affected by the proposed development; cl.5.6.2.

A standard is defined to mean the objective for a particular planning issue and the means for satisfying that objective through either an acceptable solution or corresponding performance criterion.

Compliance with a standard is achieved by complying with either the acceptable solution or corresponding performance criterion; cl.5.6.3.

The objective of the standard may be considered to help determine whether the proposed use or development complies with the performance criterion of that standard; cl.5.6.4. The acceptable solution is not relevant to the assessment of the corresponding performance criteria.

3. Zoning

The land is zoned General Residential.

The Zone Purpose Statements under Clause 8.1 are as follows:

- 8.1.1 *To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.*
- 8.1.2 *To provide for the efficient utilisation of available social, transport and other service infrastructure.*
- 8.1.3 *To provide for non-residential use that:*
 - (a) *primarily services the local community; and*
 - (b) *does not cause unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.*
- 8.1.4 *To provide for Visitor Accommodation that is compatible with residential character.*

The proposed Single Dwelling is a No Permit Required Use in the Zone and therefore deemed consistent with Purpose of the General Residential Zone.

4. Development Standards for Dwellings

8.4.2 Setbacks and building envelope for all dwellings

Objective:

The siting and scale of dwellings:

(a) provides reasonably consistent separation between dwellings and their frontage within a street;

(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;

(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and

(d) provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p><i>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</i></p> <p><i>(a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;</i></p> <p><i>(b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;</i></p> <p><i>(c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</i></p> <p><i>(d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level.</i></p>	<p>P1</p> <p><i>A dwelling must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</i></p>

<p>Assessment:</p> <p>The subject lot has frontage to Mansell Court via an access strip. The park fronting aspect is not a frontage as the park is not a road. The proposal comfortably complies with the permitted 4.5m setback to the primary frontage and therefore complies with A1a).</p>	
<p>A2</p> <p><i>A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</i></p> <p><i>(a) 5.5m, or alternatively 1m behind the building line;</i></p> <p><i>(b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</i></p> <p><i>(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</i></p>	<p>P2</p> <p><i>A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</i></p>
<p>Assessment:</p> <p>The proposed garage is well setback from the frontage and complies with A2.</p>	
<p>A3</p> <p><i>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</i></p> <p><i>(a) be contained within a building envelope (refer to Figures 8.1, 8.2 and 8.3) determined by:</i></p> <p><i>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and</i></p> <p><i>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and</i></p> <p><i>(b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:</i></p> <p><i>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or</i></p>	<p>P3</p> <p><i>The siting and scale of a dwelling must:</i></p> <p><i>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</i></p> <p><i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</i></p> <p><i>(ii) overshadowing the private open space of a dwelling on an adjoining property;</i></p> <p><i>(iii) overshadowing of an adjoining vacant property; and</i></p> <p><i>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property;</i></p> <p><i>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</i></p> <p><i>(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</i></p> <p><i>(i) an adjoining property; or</i></p>

(ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).

(ii) another dwelling on the same site.

Assessment:

Council has advised in preliminary discussion with the architect that a 4.5m permitted setback applies to the eastern boundary that adjoins 4 Mansell Court. The proposal will be setback 1m from this side boundary and is therefore to be assessed under P3.

(a) Unreasonable Loss of Amenity to Adjoining Properties

(i) Reduction in Sunlight to Habitable Rooms

The proposed two-storey dwelling largely follows the existing siting footprint, as shown on the accompanying plans.

The shadow diagrams for both existing and proposed conditions confirm that, in the worst-case scenario (winter solstice, 21 June), overshadowing of the adjoining dwellings at 4 and 8 Mansell Court is minimal and does not extend to habitable room windows between 9:00 am and 2:00 pm. Further, as shown Figure 6 below, there is a substantial hedge planting between Nos. 6 and 8 that would already have equal or greater shadowing impact to No. 8 than the proposed new dwelling.

Applying the “three hours of direct sunlight on 21 June” rule of thumb, it is considered that the proposal will not result in an unreasonable reduction in sunlight to habitable rooms of adjoining dwellings.

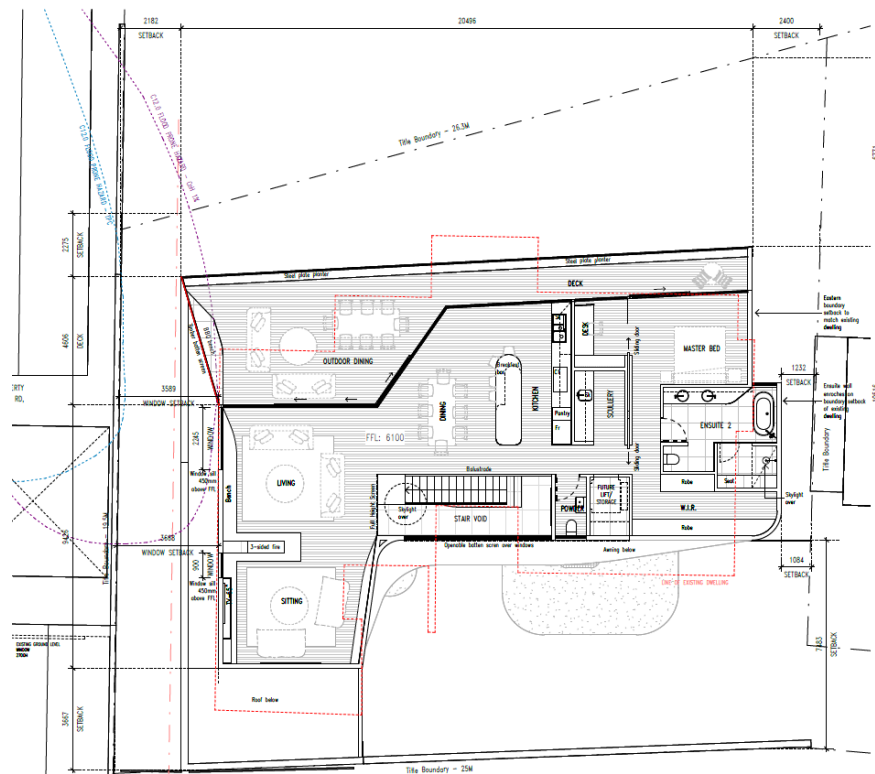


Figure 5 – Site plan showing the existing building siting with the red outline (source: Preston Lane)



Figure 6 - View showing the existing hedge planting between Nos. 8 (left) and No. 6 (right).

(ii) Overshadowing of Private Open Space

The proposed shadow diagrams demonstrate that the private open space areas of adjoining properties at 4 and 8 Mansell Court, and at 588 Sandy Bay Road, will continue to receive adequate sunlight throughout the day. As discussed above, it is considered that the shadow cast by the existing hedge along the northern, side boundary of No. 8 would already have a greater shadowing impact on the private open space of No. 8 than the proposed dwelling.

The private open space areas of No. 4, adjoining to the east are located on the northern side of that property and will not be overshadowed by the proposal.



Figure 7 - View looking north between No.6 (left) and No. 4 (right). The private open space areas of No. 4 are located to the north of No. 4, towards the water and will not be overshadowed by the proposal.

Any incremental increase in shadowing compared to existing conditions will be minor and will not materially affect the amenity or usability of the private open space of adjoining properties.

(iii) Overshadowing of an Adjoining Vacant Property

There are no adjoining vacant properties. The foreshore reserve to the north of the site will not be affected by shadowing given its northerly orientation relative to the subject site.

(iv) Visual Impacts from Scale, Bulk, or Proportions

The proposal presents as a clean-lined, contemporary two-storey form with a flat roof and strong horizontal emphasis. Its overall height of approximately 6.8 metres is consistent with nearby dwellings and lower than several larger buildings in the vicinity.

The building's scale and proportions are comparable to the existing units on the site that are to be replaced. The proposed design employs a combination of glazing, recessed upper levels, and varied materials to break up the façade and reduce apparent bulk when viewed from adjoining properties.

In this context, the dwelling will not cause an unreasonable loss of amenity to adjoining properties by way of visual impact.

(b) Separation Consistent with Established Properties

The proposed side setbacks are similar to those of the existing unit development on the site and are consistent with the rhythm of separation typical within Mansell Court.

The proposed walls follow similar alignments to the existing building footprint, ensuring a consistent built form pattern.

(c) Solar Energy Installations

No solar panels or similar installations are located on adjoining properties that would be affected by the proposed dwelling.

In my assessment the siting and design of the proposal will ensure that there is no unreasonable loss of amenity to adjoining properties in terms of sunlight access, overshadowing, or visual bulk. The proposal is considered to satisfy P3.

8.4.3 Site coverage and private open space for all dwellings

Objective:

That dwellings are compatible with the amenity and character of the area and provide:

- (a) for outdoor recreation and the operational needs of the residents;*
- (b) opportunities for the planting of gardens and landscaping; and*
- (c) private open space that is conveniently located and has access to sunlight.*

Acceptable Solutions	Performance Criteria
<p>A1</p> <p><i>Dwellings must have:</i></p> <p><i>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and</i></p> <p><i>(b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</i></p>	<p>P1</p> <p><i>Dwellings must have:</i></p> <p><i>(a) site coverage consistent with that existing on established properties in the area;</i></p> <p><i>(b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate:</i></p> <ul style="list-style-type: none"> <i>(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and</i> <i>(ii) operational needs, such as clothes drying and storage; and</i> <p><i>(c) reasonable space for the planting of gardens and landscaping.</i></p>
<p>Assessment:</p> <p>The proposal involves a proposed site cover of 269m² on the 592m², equating to a proposed site cover of 45% and therefore complies.</p>	
<p>A2</p>	<p>P2</p>

<p><i>A dwelling must have private open space that:</i></p> <p><i>(a) is in one location and is not less than:</i></p> <p><i>(i) 24m² or</i></p> <p><i>(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</i></p> <p><i>(b) has a minimum horizontal dimension of not less than:</i></p> <p><i>(i) 4m; or</i></p> <p><i>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</i></p> <p><i>(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</i></p> <p><i>(d) has a gradient not steeper than 1 in 10.</i></p>	<p><i>A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and is:</i></p> <p><i>(a) conveniently located in relation to a living area of the dwelling; and</i></p> <p><i>(b) orientated to take advantage of sunlight.</i></p>
<p>Assessment:</p> <p>The proposal includes north facing private open space areas at ground level and the first floor decks comfortably exceed the 24m² minimum requirement with a minimum horizontal dimension of 4m and of compliant grade.</p>	

8.4.5 Width of openings for garages and carports for all dwellings

Objective:

To reduce the potential for garage or carport openings to dominate the primary frontage.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p><i>A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).</i></p>	<p>P1</p> <p><i>A garage or carport for a dwelling must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.</i></p>
<p>Assessment:</p> <p>Complies.</p>	

8.4.6 Privacy for all dwellings

Objective:

To provide a reasonable opportunity for privacy for dwellings.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p>A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.</p>	<p>P1</p> <p>A balcony, deck, roof terrace, parking space or carport for a dwelling (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above existing ground level, must be screened, or otherwise designed, to minimise overlooking of:</p> <p>(a) a dwelling on an adjoining property or its private open space; or</p> <p>(b) another dwelling on the same site or its private open space.</p>
<p>Assessment:</p> <p>The proposed first floor level deck includes screens that comply with A1 that will prevent sideways views to the adjoining residential neighbours at 588 Sandy Bay Road and 4 Mansell Court.</p> <p>The proposed upper level deck is less than 3m from the side boundary adjoining the park and is to be assessed under P1. In this case the proposed deck will overlook the foreshore park and will not overlook a dwelling on an adjoining property and therefore complies with P1.</p>	
<p>A2</p> <p>A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p>	<p>P2</p> <p>A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p>

<p><i>(a) the window or glazed door:</i></p> <p><i>(i) is to have a setback of not less than 3m from a side boundary;</i></p> <p><i>(ii) is to have a setback of not less than 4m from a rear boundary;</i></p> <p><i>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</i></p> <p><i>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</i></p> <p><i>(b) the window or glazed door:</i></p> <p><i>(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;</i></p> <p><i>(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or</i></p> <p><i>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.</i></p>	<p><i>(a) a window or glazed door, to a habitable room of another dwelling; and</i></p> <p><i>(b) the private open space of another dwelling.</i></p>
<p>Assessment:</p> <p>There are no upper level windows in the east facing wall adjacent to 4 Mansell Court. There are no upper level windows in the southern wall within 3m of the boundary.</p> <p>The proposed upper level windows in the western wall facing 588 Sandy Bay Road are setback 3m from that side boundary and comply with A2a(i).</p> <p>The proposal complies with A2.</p>	
<p>A3</p> <p><i>A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:</i></p> <p><i>(a) 2.5m; or</i></p> <p><i>(b) 1m if:</i></p>	<p>P3</p> <p><i>A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise unreasonable impact of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.</i></p>

<p><i>(i) it is separated by a screen of not less than 1.7m in height; or</i></p> <p><i>(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.</i></p>	
<p>Assessment:</p> <p>This standard does not apply to the proposed single dwelling.</p>	

8.4.7 Frontage fences for all dwellings

Objective:

The height and transparency of frontage fences:

- (a) provides adequate privacy and security for residents;*
- (b) allows the potential for mutual passive surveillance between the road and the dwelling; and*
- (c) is reasonably consistent with that on adjoining properties.*

Acceptable Solutions	Performance Criteria
<p><i>No Acceptable Solution. [S5]</i></p>	<p><i>A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must:</i></p> <ul style="list-style-type: none"> <i>(a) provide for security and privacy while allowing for passive surveillance of the road; and</i> <i>(b) be compatible with the height and transparency of fences in the street, having regard to:</i> <ul style="list-style-type: none"> <i>(i) the topography of the site; and</i> <i>(ii) traffic volumes on the adjoining road.</i>
<p>Footnotes</p> <p><i>[S5] An exemption applies for fences in this zone – see Table 4.6.</i></p>	
<p>Assessment:</p> <p>A new 1.8m high front fence with a sliding gate with a spaced transparency of 30% is proposed at entry to the lot from the Mansell Court frontage. This fence is exempt under Table 4.6.3.</p>	

8.4.8 Waste storage for multiple dwellings

Objective:

To provide for the storage of waste and recycling bins for multiple dwellings.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p><i>A multiple dwelling must have a storage area, for waste and recycling bins, that is not less than 1.5m² per dwelling and is within one of the following locations:</i></p> <p><i>(a) an area for the exclusive use of each dwelling, excluding the area in front of the dwelling; or</i></p> <p><i>(b) a common storage area with an impervious surface that:</i></p> <p><i>(i) has a setback of not less than 4.5m from a frontage;</i></p> <p><i>(ii) is not less than 5.5m from any dwelling; and</i></p> <p><i>(iii) is screened from the frontage and any dwelling by a wall to a height not less than 1.2m above the finished surface level of the storage area.</i></p>	<p>P1</p> <p><i>A multiple dwelling must have storage for waste and recycling bins that is:</i></p> <p><i>(a) capable of storing the number of bins required for the site;</i></p> <p><i>(b) screened from the frontage and dwellings; and</i></p> <p><i>(c) if the storage area is a common storage area, separated from dwellings on the site to minimise impacts caused by odours and noise.</i></p>
<p>Assessment:</p> <p>This standard is not relevant to this proposal for a single dwelling.</p>	

4. Planning Scheme Codes

The site is within the following mapped code overlays:

- Flood Prone Area Overlay
- Coastal Erosion Area
- Coastal Inundation Hazard Area

The proposal is considered in relation to these and other relevant codes below.

5. Parking and Sustainable Transport Code

This Code applies to all use and development.

2.5 Use Standards

C2.5.1 Car parking numbers

Objective:

That an appropriate level of car parking spaces are provided to meet the needs of the use.

Acceptable Solutions	Performance Criteria
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<p>A1</p> <p><i>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, excluding if:</i></p> <p><i>(a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</i></p> <p><i>(b) the site is contained within a parking precinct plan and subject to Clause C2.7;</i></p> <p><i>(c) the site is subject to Clause C2.5.5; or</i></p> <p><i>(d) it relates to an intensification of an existing use or development or a change of use where:</i></p> <p><i>(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or</i></p> <p><i>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:</i></p> <p>$N = A + (C - B)$</p> <p><i>N = Number of on-site car parking spaces required</i></p> <p><i>A = Number of existing on site car parking spaces</i></p> <p><i>B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1</i></p> <p><i>C = Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</i></p>	<p>P1</p> <p><i>The number of on-site car parking spaces for uses, excluding dwellings, must meet the reasonable needs of the use, having regard to:</i></p> <p><i>(a) the availability of off-street public car parking spaces within reasonable walking distance of the site;</i></p> <p><i>(b) the ability of multiple users to share spaces because of:</i></p> <p style="padding-left: 20px;"><i>(i) variations in car parking demand over time; or</i></p> <p style="padding-left: 20px;"><i>(ii) efficiencies gained by consolidation of car parking spaces;</i></p> <p><i>(c) the availability and frequency of public transport within reasonable walking distance of the site;</i></p> <p><i>(d) the availability and frequency of other transport alternatives;</i></p> <p><i>(e) any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;</i></p> <p><i>(f) the availability, accessibility and safety of on-street parking, having regard to the nature of the roads, traffic management and other uses in the vicinity;</i></p> <p><i>(g) the effect on streetscape; and</i></p> <p><i>(h) any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.</i></p> <p>P1.2</p> <p><i>The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:</i></p> <p><i>(a) the nature and intensity of the use and car parking required;</i></p> <p><i>(b) the size of the dwelling and the number of bedrooms; and</i></p> <p><i>(c) the pattern of parking in the surrounding area.</i></p>
<p>Assessment:</p> <p>The proposal includes 2 garaged car parking spaces and complies.</p>	

2.6 Development Standards

C2.6.1 Construction of parking areas

Objective:

That parking areas are constructed to an appropriate standard.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p><i>All parking, access ways, manoeuvring and circulation spaces must:</i></p> <p><i>(a) be constructed with a durable all weather pavement;</i></p> <p><i>(b) be drained to the public stormwater system, or contain stormwater on the site; and</i></p> <p><i>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</i></p>	<p>P1</p> <p><i>All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:</i></p> <p><i>(a) the nature of the use;</i></p> <p><i>(b) the topography of the land;</i></p> <p><i>(c) the drainage system available;</i></p> <p><i>(d) the likelihood of transporting sediment or debris from the site onto a road or public place;</i></p> <p><i>(e) the likelihood of generating dust; and</i></p> <p><i>(f) the nature of the proposed surfacing.</i></p>
<p>Assessment:</p> <p>Complies.</p>	

C2.6.2 Design and layout of parking areas

Objective:

That parking areas are designed and laid out to provide convenient, safe and efficient parking.

Acceptable Solutions	Performance Criteria
<p>A1.1</p> <p><i>Parking, access ways, manoeuvring and circulation spaces must either:</i></p> <p><i>(a) comply with the following:</i></p> <p><i>(i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;</i></p> <p><i>(ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;</i></p> <p><i>(iii) have an access width not less than the requirements in Table C2.2;</i></p>	<p>P1</p> <p><i>All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to:</i></p> <p><i>(a) the characteristics of the site;</i></p> <p><i>(b) the proposed slope, dimensions and layout;</i></p> <p><i>(c) useability in all weather conditions;</i></p> <p><i>(d) vehicle and pedestrian traffic safety;</i></p> <p><i>(e) the nature and use of the development;</i></p> <p><i>(f) the expected number and type of vehicles;</i></p>

<p><i>(iv) have car parking space dimensions which satisfy the requirements in Table C2.3;</i></p> <p><i>(v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;</i></p> <p><i>(vi) have a vertical clearance of not less than 2.1m above the parking surface level; and</i></p> <p><i>(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or</i></p> <p><i>(b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.</i></p> <p>A1.2</p> <p><i>Parking spaces provided for use by persons with a disability must satisfy the following:</i></p> <p><i>(a) be located as close as practicable to the main entry point to the building;</i></p> <p><i>(b) be incorporated into the overall car park design; and</i></p> <p><i>(c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities. [S35]</i></p>	<p><i>(g) the likely use of the parking areas by persons with a disability;</i></p> <p><i>(h) the nature of traffic in the surrounding area;</i></p> <p><i>(i) the proposed means of parking delineation; and</i></p> <p><i>(j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Off-street car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.</i></p>
<p>Footnotes:</p> <p><i>[S35] Requirements for the number of accessible car parking spaces are specified in part D3 of the National Construction Code 2016.</i></p>	
<p>Assessment:</p> <p>The proposal includes 2 x garaged carparking spaces with internal dimensions of 5.4m x 3m and complies C2.3.</p>	

C2.6.3 Number of accesses for vehicles

Objective:

That:

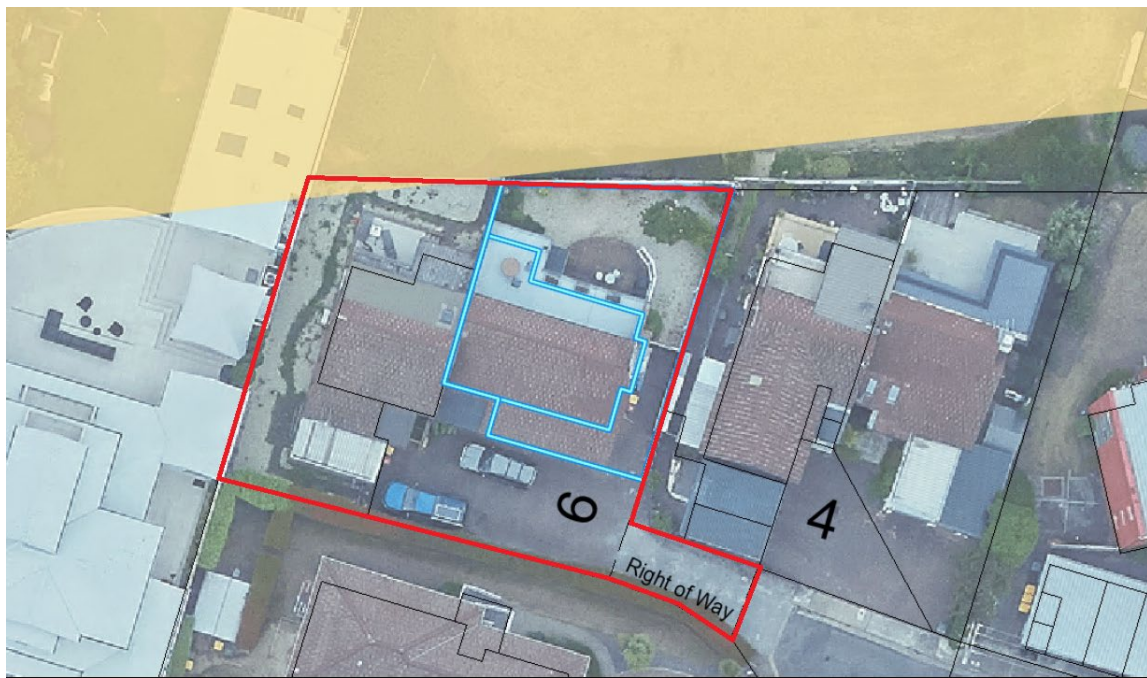
- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;*
- (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and*

(c) the number of accesses minimise impacts on the streetscape.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The number of accesses provided for each frontage must:</p> <p>(a) be no more than 1; or</p> <p>(b) no more than the existing number of accesses,</p> <p>whichever is the greater.</p>	<p>P1</p> <p>The number of accesses for each frontage must be minimised, having regard to:</p> <p>(a) any loss of on-street parking; and</p> <p>(b) pedestrian safety and amenity;</p> <p>(c) traffic safety;</p> <p>(d) residential amenity on adjoining land; and</p> <p>(e) the impact on the streetscape.</p>
<p>Assessment:</p> <p>The site will retain a single access and complies with A1.</p>	

6. Coastal Erosion Hazard Code

The site is subject to a very small area of Low Coastal Erosion Hazard Area in the northwest corner adjacent to the foreshore park boundary as shown below. However, the proposal that is not within a High Hazard Area and requires approval under the Building Act is be exempt from this code under Clause C.10.4.1.



Map Title

Disclaimer: The City of Hobart does not warrant that the information contained on this plan is correct and a field survey is to be conducted before the information contained in the plan is relied upon. | the UST State of Tasmania
© City of Hobart. Map generated on: Thursday, 16 October, 2025.

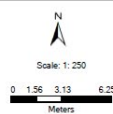


Figure 8 -Coastal Erosion Hazard Area Hobart Local Provisions Schedule– (Source: HCC)

7. Coastal Inundation Hazard Code

The subject site includes a small extent of mapped Low Coastal Inundation Hazard Area at the western side of the property as shown below.

To the extent that the proposal may involve use or development within this mapped low hazard area, the proposal in an urban zone and requiring approval under the Building Act is exempt from this Code under Clause C11.4.1(a).

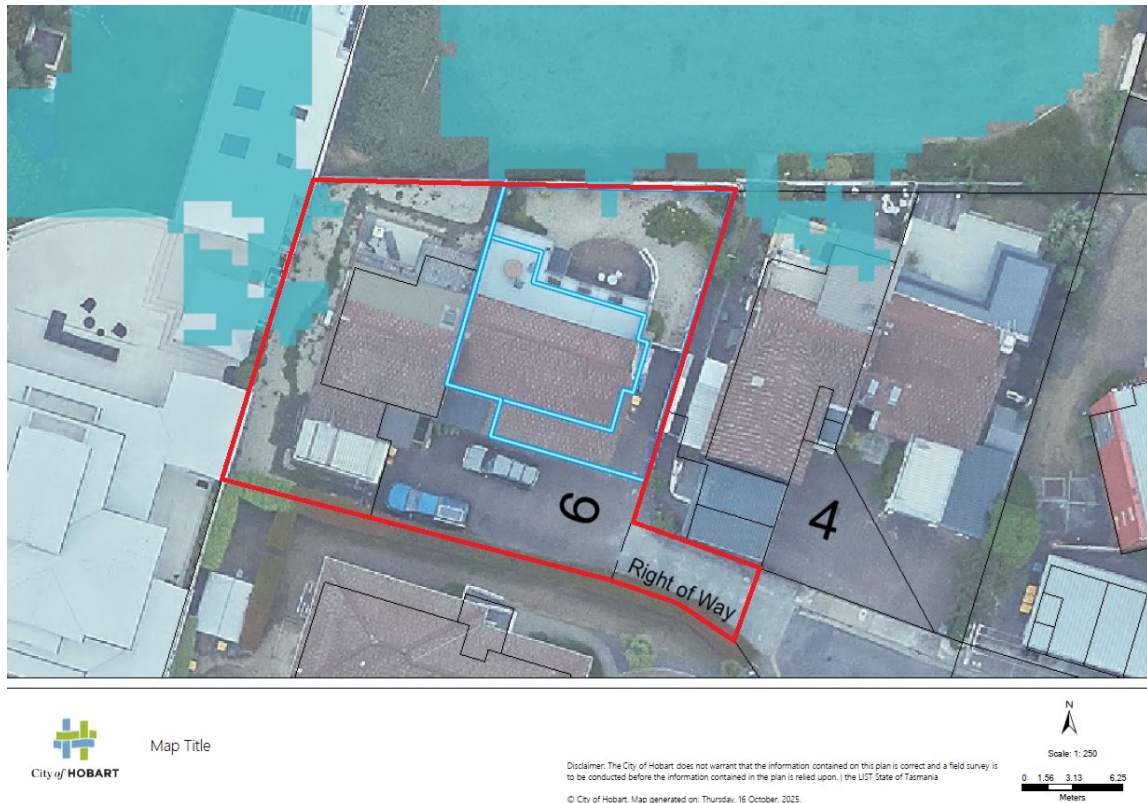


Figure 9 – Low Coastal Inundation Hazard Area - (Source: HCC)

8. Flood-Prone Areas Hazard Code

The site involves a small area of flood-prone hazard area as shown on the site plan and Figure 10 below. The proposed dwelling does not extend into the mapped flood prone hazard area and no assessment under this code is required (Clause C12.2.3).

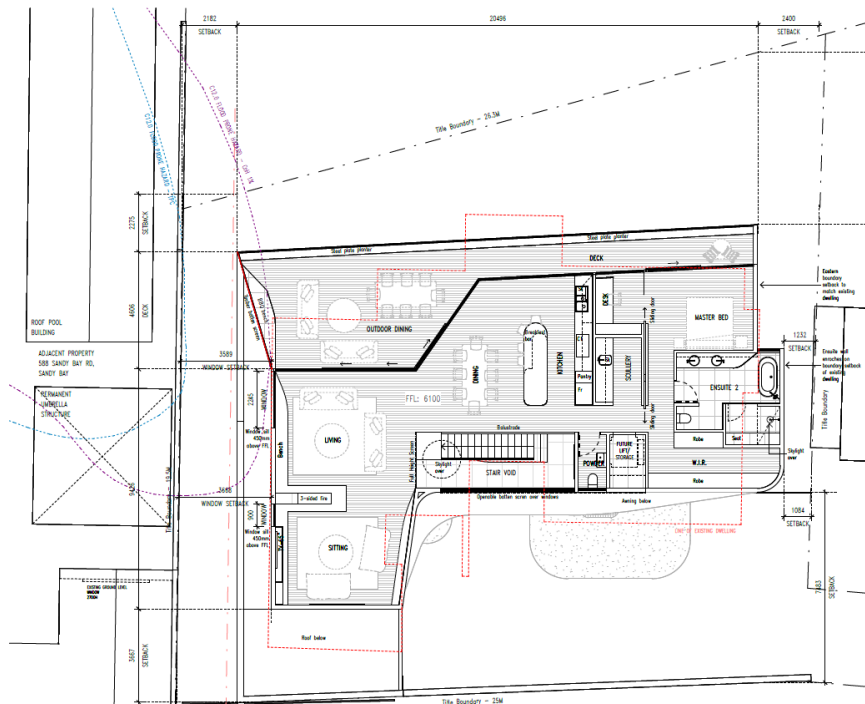


Figure 10 -Flood Prone Hazard Area (light blue hatching) (Source: HCC)

5. Conclusion

The proposed demolition of the existing two conjoined dwellings and construction of a new single dwelling at 6 Mansell Court represents an appropriate and well-considered form of residential redevelopment within the General Residential Zone.

The proposal satisfies the relevant development standards of the zone. The design ensures that no unreasonable loss of amenity will occur to adjoining properties, as demonstrated by the shadow diagrams and visual analysis confirming minimal overshadowing and a scale and siting compatible with surrounding dwellings.

The proposal also satisfies the Parking and Sustainable Transport Code and is either exempt or unaffected by the Coastal Erosion, Coastal Inundation, and Flood-Prone Areas Hazard Codes.

Architecturally, the new dwelling presents a contemporary and contextually appropriate form, utilising materials and articulation that reduce visual bulk and maintain the existing residential character of Mansell Court. The proposal will contribute positively to the streetscape and enhance the overall amenity of the site.

In summary, the development is consistent with the purpose of the General Residential Zone, represents a substantial improvement to the existing built form, and will contribute positively to the character and amenity of the area.

The proposal is recommended for approval following public advertisement pursuant to Section 57 of the Act.

Frazer Read

Principal

REQUEST FOR INFORMATION

Reference

PLANNA-HOB-2025-4366

Application Reference

PLN-HOB-2025-0553

Address

UNIT 2 6 MANSELL CT SANDY BAY TAS 7005

Titles

58671/2

Information Requested

#	Reason	Origin
1	<p>PLN - Title Documentation & Restrictions</p> <p>There are a number of restrictions that are registered on the subject titles. (a) Accordingly, please provide the following:</p> <ul style="list-style-type: none"> • SP12496 Schedule of Easements • SP12496 Council Notification <p>(b) The land is subject to restrictions for means of sewerage pursuant to the Council Notification under Section 468(12) of the Local Government Act 1962. If works are required for a private sewage lift pump, please include this in the proposal plans. (Please find SPAN attached for your information).</p>	
2	<p>PLN - Works - Underground power</p> <p>Please provide a plan showing the location and extent of proposed works associated with the laying of the proposed underground power connection in order to demonstrate all works will be fully contained within the lot boundaries of the subject lot.</p>	LUPAA 1993
3	<p>PLN - Boundary walls</p> <p>The submitted render and plans do not appear to be consistent in their description of existing and/or proposed boundary walls, or walls within boundaries of neighbouring lots. Accordingly, please provide amended renders/plans to reflect all existing boundary walls, and all proposed walls. For Advice: The inconsistency appears largely related to the eastern side boundary.</p>	LUPAA 1993
4	<p>PLN- Building Envelope for Internal Lots</p> <p>It appears that the building envelope assessed under Clause 8.4.2 A3 of the State Planning Provisions under the Tasmanian Planning Scheme (TPS) has been incorrectly applied on the proposal plans. Accordingly, please provide amended plans demonstrating the extent of the non-compliant development, including:</p> <ol style="list-style-type: none"> 1. development within 4.5m of the boundary shared with 4 Mansell Court; 2. development within 1.5m of the southern side boundary (boundary wall and garage); 3. correctly describe the projecting line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries (refer to Figure 8.3); 4. provide an annotation with maximum building height; and 5. amend reference to identify the relevant clause in the TPS under which the proposal is being assessed. 	LUPAA 1993
5	<p>PLNFi6 - Planning - Residential Zones Shadow and Sunlight Diagrams</p> <p>It is acknowledged that shadow diagrams have been provided in plan showing impacts to neighbouring properties. The diagrams show that the proposal results in an increase in the extent of overshadowing that impacts the dwelling and its private open space located to the south of the proposed development (8 Mansell Court). To enable the Council to assess the application against the development standards for buildings and works in the General Residential Zone of the TPS, please provide:</p> <ol style="list-style-type: none"> 1. Fully dimensioned three-dimensional shadow diagrams, prepared at a suitable scale, showing the extent of shadowing on the private open space of the dwelling at 8 Mansell Court at hourly intervals between 9.00am and 3.00pm on March and June 21st, cast by the proposed development and by the existing development on the site. 2. Three-dimensional solar access diagrams showing the sunlight to habitable rooms (excluding bedrooms) of the dwellings at 8 Mansell Court, at hourly intervals between 9.00am and 3.00pm on March and June 21st, with the proposed development and with the existing development on the site. <p>For Advice: the whole of the cadastre for 8 Mansell Court should be included in the diagrams so that the full extent of impacts and areas of private open space that remain unimpacted can be clearly understood.</p>	LUPAA 1993
6	<p>PLN - Privacy for all dwellings</p> <p>The proposal includes a deck and windows within 4m of a rear boundary where the finished surface or floor level is more than 1m above existing ground level.</p> <ol style="list-style-type: none"> 1. Please provide an annotation on the plans to demonstrate the proposed percentage of transparency for the screen on the western edge of the deck to demonstrate compliance with Clause 8.4.6 A1; and 2. Please demonstrate that the windows on the western facade are offset in the horizontal plane not less than 1.5m from a window or glazed door to a habitable room of another dwelling to demonstrate compliance with Clause 8.4.6 A2. 	LUPAA 1993

7	<p>STM - Flood-Prone Areas</p> <p>According to Council records, and as shown on the proposal plans (C12.0 Flood Prone Hazard - CoH 1%), the proposed building and works are located within a Flood-Prone Area, indicating that the site is subject to potential flood risk. Please provide a flood hazard report addressing Flood-Prone Areas Hazard Code. The flood hazard report should provide a brief discussion of the performance criteria, including (but not limited to) the following information:</p> <ol style="list-style-type: none"> 1. Please include a brief discussion of the proposed floor height in relation to the flood depth at the site; 2. Please include a brief discussion of the impact of the proposed development upon the risk of inundation of other land, buildings and infrastructure. 	LUPAA 1993
8	<p>STM - Stormwater</p> <p>To allow for the appropriate conditioning of any permit under the Planning Scheme, and assess likely compliance with Council's <i>Stormwater Management Policy for Development</i> and the <i>Urban Drainage Act 2013</i>; please provide a site plan to demonstrate how stormwater from the proposed development including roofs, driveways and g drains will be disposed of via gravity to public stormwater infrastructure or to a Council approved system. Clearly distinguish between existing and proposed, and public and private.</p>	Urban Drainage Act 2013

Response comments

Response to Request for Further Information

Hi Mary, please see attached a response to your request for information.

Documents

Version	Document Date	Document Type	Description	Prepared By
1	17 Nov 2025	TasWater Document	TASWASPAN-HOB-2025-0228 (SPAN)	Ms Mary McNeill
1	15 Dec 2025	Plans	Amended plans	Preston Lane
1	15 Dec 2025	Other	Certificate of title docs	Mr Frazer Read
1	15 Dec 2025	Other	Cover letter	Mr Frazer Read

Submitted on **18/12/2025**

Form published: 28/11/2024 08:21

15 December 2025

Mary McNeill
Development Appraisal Planner
Hobart City Council
Via PlanBuild

Dear Mary,

Development Application PLANNA-HOB-2025-4366 - 6 MANSELL CT SANDY BAY TAS 7005

I refer to your request for further information dated 20 November 2025 and respond in relation to each matter as follows:

PLN - Title Documentation & Restrictions

Please see attached Schedule of Easements for SP12496 and the Council Notification on SP 12496.

PLN - Works - Underground power

This request is not relevant to an assessment under the planning scheme.

Nevertheless, the amended plans confirm that the proposed power connection will be contained wholly within the lot.

PLN - Boundary walls

Some additional notes have been added to the render drawing on the cover page and on the site plan A02-00 for information.

PLN- Building Envelope for Internal Lots

The building envelope under Clause 8.4.2 A3 of the Tasmanian Planning Scheme has been correctly applied and clearly annotated on the revised elevations, including identification of non-compliances, maximum building height, and the relevant assessment provisions.

PLNF_{i6} - Planning - Residential Zones Shadow and Sunlight Diagrams

Fully dimensioned three-dimensional shadow and solar access diagrams have been provided for March and June 21st at hourly intervals, illustrating impacts to the dwelling and private open space at 8 Mansell Court, both for the existing and proposed development.

The shadow diagrams demonstrate minimal increased overshadowing to the common open space areas and habitable rooms (other than bedrooms) of 8 Mansell Court.

PLN - Privacy for all dwellings

Privacy measures have been clarified on the plans, including screen transparency and window offsets, demonstrating compliance with Clause 8.4.6 of the Scheme.

STM - Flood-Prone Areas

The LPS flood mapping does not cover the proposed replacement dwelling, and the building footprint sits wholly outside the mapped LPS flood hazard area.

The proposal falls only very marginally within Council's own 1% AEP climate-change scenario map, an area that Council has previously acknowledged includes Hazard 1 extents and is characterised by low hazard ratings.

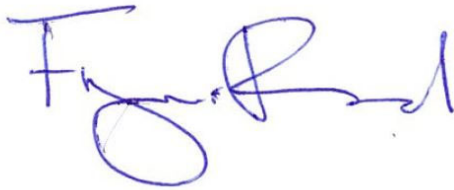
At the TPC hearings in relation to the Draft LPS, Council was clear that it exercises discretion when requesting flood assessments and does not typically require a report where the encroachment is minor and the hazard level low particularly if outside the planning scheme mapping.

Given the above, and that the proposed ground floor level is no lower than 2.90m AHD, it is understood that Council's Stormwater section is happy to condition the permit rather than require a flood assessment.

STM - Stormwater

Stormwater pit and RL shown on A00-11 and A2-00. Proposed stormwater lines and notation added to A00-11 and A02-00 stating all stormwater will be discharged to pit via gravity.

Yours sincerely,



Frazer Read
Principal
All Urban Planning Pty Ltd

SUBMISSION TO PLANNING AUTHORITY NOTICE - SPAN

Reference

TASWASPAN-HOB-2025-0228

Application Reference

PLN-HOB-2025-0553

Address

UNIT 2 6 MANSELL CT SANDY BAY TAS 7005

Titles

58671/2

Applicant

Name	Email	Phone	Address	Involvement
Mr Frazer Read	frazer@allurbanplanning.com.au	0400109582	19 Mawhera Avenue, Sandy Bay, Tasmania, Australia, 7005	Applicant

Owner

Name	Email Address	Address
Marzena Rybak and Richard Gorman	richard@corporatefinancial.com.au	20 Murray Street, Hobart, 7000, Aus

Relevant Property Title/s

Selected Titles

58671/2 58671/1

 Total Area: 604m²

Council Description of Use and/or Development

Council Proposed Use or Development Description

Demolition and Change of Use to Single Dwelling

Response

Pursuant to the Water and Sewerage Industry Act 2008 (TAS)

Section 56P(1) - TasWater imposes the following conditions on the permit for this application:

Conditions

#	Condition	Origin
1	Connections, Metering, Backflow - connections The development must be serviced by a suitably sized water supply with metered connections and sewerage system and connections to TasWater's satisfaction and be in accordance with any other conditions in this permit. Advice: TasWater cannot guarantee the existing sewer property connection can control the entire lot by gravity. In the event a private sewage lift pump is required, a suitable boundary backflow prevention device must be installed to the property water connection.	Water and Sewerage Industry Act 2008
2	Connections, Metering, Backflow - Removal/installation Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.	Water and Sewerage Industry Act 2008
3	Connections, Metering, Backflow - Subdivision Prior to use of the development, any water connection utilised for the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.	Water and Sewerage Industry Act 2008
4	Fees payment required The applicant or landowner as the case may be, must pay a development assessment fee of \$251.35 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.	Water and Sewerage Industry Act 2008

5	Declaration The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.	Water and Sewerage Industry Act 2008
6	Advice - General For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form	
7	Advice - Service Locations Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure. A copy of the GIS is included in email with this notice and should aid in updating of the documentation. The location of this infrastructure as shown on the GIS is indicative only. <ul style="list-style-type: none">• A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater• TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies• Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.	Water and Sewerage Industry Act 2008

Referral Documents

Version	Document Date	Document Type	Description	Prepared By
1	7 Nov 2025	General	Application Form - redacted	Jacqui Loring
1	28 Oct 2025	Property Title Document	Certificate of titles.pdf	Mr Frazer Read
1	4 Nov 2025	Planning Assessment Report	Planning Report	Mr Frazer Read
1	4 Nov 2025	Architectural Plans	Plans	Preston Lane

Schedule of Drawings/Documents

Schedule of Drawings/Documents

Prepared By	Drawings / Document No.	Revision No.	Date of Issue
Preston Lane Architects	Site Plan / A00-11	D	04/11/2025

TasWater Details

Officer Name

Phil Papps

Officer Title

Senior Assessment Officer

Officer Contact Number

0474931272

Submitted on 17/11/2025

Form published: 08/10/2025 08:54