

# PLANNING APPLICATION

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## Status:

### Reference

PLN-HOB-2025-0595

### Address

521 SANDY BAY RD SANDY BAY TAS  
7005

### Titles

226477/1

## Before you start

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Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

## Pre-Application Advice

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Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Tristan Widdowson

## Applicant

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Name	Email	Phone	Address	Involvement
Personal Information Removed				

## Owners

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Name	Email Address	Address
Personal Information Removed		

## Certificate(s) of Title

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### Selected Titles

226477/1                      84017/1

Total Area: 4710m<sup>2</sup>

## Owner Notification

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Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Wade and Annah Fromberg

Enter the date that the last owner, joint or part owner was notified

18/11/2025

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

## Crown Land Consent

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Is Crown Land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section - see further information below

Unsure

If yes, has written Crown Land consent been obtained?

Yes - upload written consent

No - application will not be progressed until consent has been provided

## General Manager Consent

---

Is Council-owned or administered land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section

Unsure

If yes, has written consent been obtained from the Council General Manager?

Yes - upload written consent

No - application will not be progressed until consent has been provided

## Proposed Use or Development

---

What is the reason for your planning application?

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

Yes

No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

Yes

No

Unsure

Is the proposed use or development permitted or discretionary?

Permitted

Discretionary

Unsure if permitted or discretionary

**Provide a full description of the proposed use or development**

Partial demolition, alterations and additions to single residence.

**Will the proposed use or development involve a road reserve?**

Yes - complete the section below

No - continue to the next section

Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

## Value of Works

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What is the estimated value of the works?

1500000.00

## Supporting Documents

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Version	Document Date	Document Type	Description	Prepared By
1	22 Oct 2025	Architectural Plans	521 Sandy Bay Road DA.02	Room 11 Architects
1	18 Nov 2025	Property Title Document	FolioPlan-226477-1 (2).pdf	Ms Kate Phillips
1	18 Nov 2025	Property Title Document	FolioText-226477-1 (2).pdf	Ms Kate Phillips
1	18 Nov 2025	Property Title Document	FolioPlan-84017-1.pdf	Ms Kate Phillips
1	18 Nov 2025	Property Title Document	FolioText-84017-1.pdf	Ms Kate Phillips
1	1 July 2025	Arboricultural Report	Arboricultural Report 521 Sandy Bay Road	Tree Pioneers
1	22 Oct 2025	Planning Assessment Report	521 Sandy Bay Road Planning Report	Ms Kate Phillips
1	18 Sept 2025	Heritage Report	Heritage Summary	Ms Kate Phillips
1	14 Nov 2025	Heritage Impact Assessment	521 Sandy Bay Road Heritage Impact Statement	Praxis Environmental

## Next steps

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When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 84017	FOLIO 1
EDITION 1	DATE OF ISSUE 21-Nov-1994

SEARCH DATE : 17-Oct-2024

SEARCH TIME : 11.57 AM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 84017 (formerly being 490-17D)

Derivation : Part of 30A-2R-12.4/10Ps. Gtd. to E.H. Webster

Prior CT 2046/92

SCHEDULE 1

A193323 HELEN TRAVERS HAWKER

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

A193323 FENCING CONDITION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

N208335 TRANSFER to FROMBERG SUPER CO PTY LTD Lodged by  
PAGE SEAGER on 01-Oct-2024 BP: N223484

N223484 FELICITY HELEN HAWKER, ELIZABETH LOUISE OXLEY and  
ANGELA JANE OCKENDEN as personal representative of  
HELEN TRAVERS HAWKER Lodged by PAGE SEAGER on  
01-Oct-2024 BP: N223484

**DIAGRAM FROM ACTUAL SURVEY**

**490/17**  
P  
VOL  
FOL

CITY OF HOBART

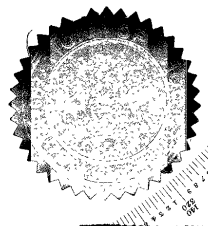
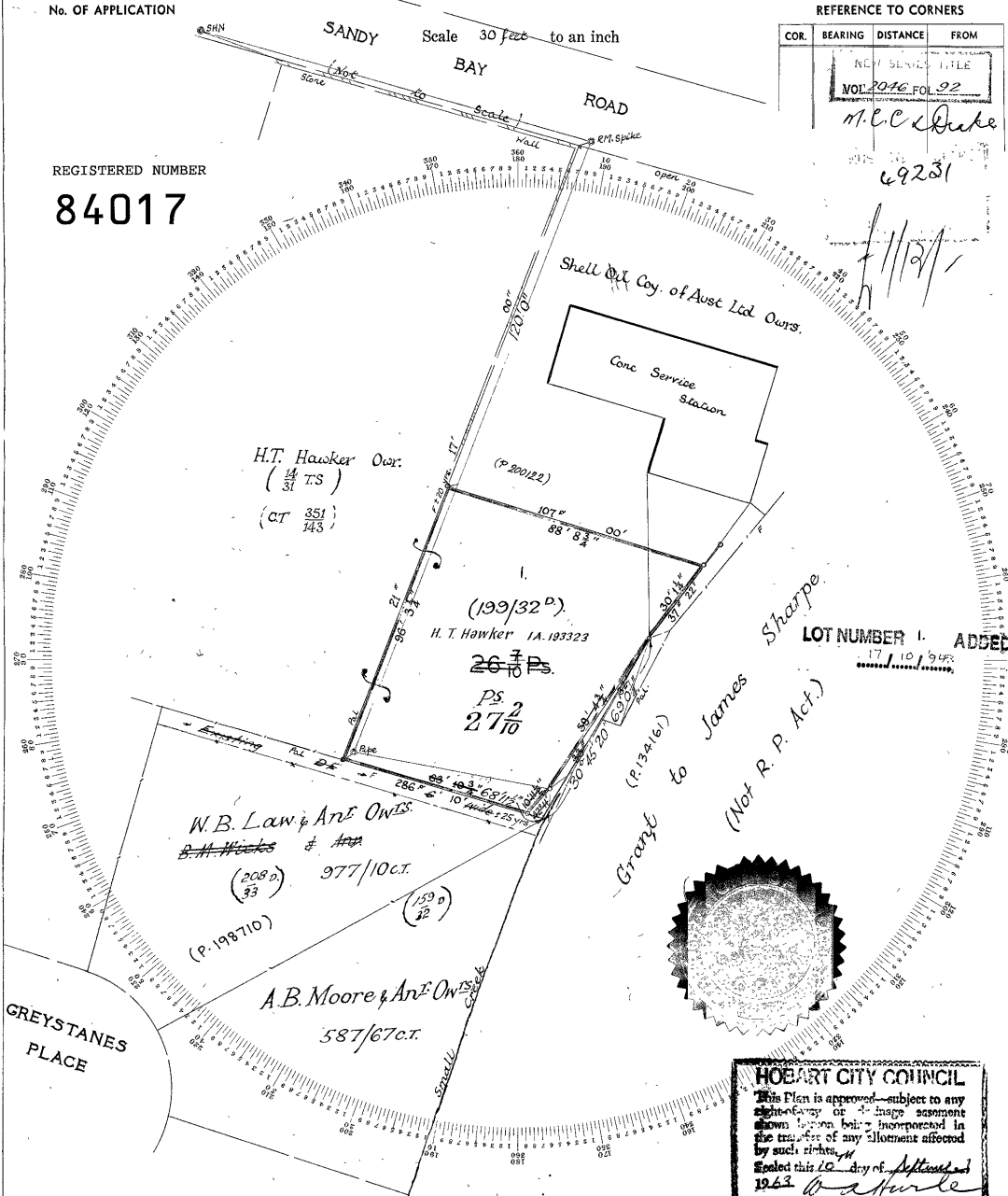
Shell Company of Australia Limited 557.07/35 Part of 30 ac. 2r 12.4/10 p. Gtd. to Edwin H Webster

No. OF APPLICATION

REGISTERED NUMBER  
**84017**

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE	FROM
			NEW SERIAL TITLE
			VOL. 2046 FOL. 92
			M. C. Drake
			69231



**HOBART CITY COUNCIL**  
This Plan is approved—subject to any right-of-way or easement shown herein being incorporated in the transfer of any allotment affected by such rights.  
Signed this 12<sup>th</sup> day of September 1963.  
Town Clerk

To be filled in by Surveyor

Date of Instructions 22-7-'63  
Survey commenced 22-7-'63  
Survey finished 23-7-'63  
Error of close 1 in 1267

Office Examination

Regulations Checked [initials]  
Computations Checked [initials]  
Boundaries Checked [initials]  
Entered on Diagrams [initials]  
Entered on General Plan [initials]  
Permanent Marks [initials]  
Finally examined [initials]

May be acted upon [initials]  
Acted upon [initials]

PURCHASER'S NAME	ACT	DATE OF CONTRACT	GRANTED

Report

I, ROSS DYMCK CASSELL, of Lindisfarne, Registered Surveyor of Tasmania, do hereby certify that this plan has been made from surveys executed by me, or under my own personal supervision, inspection and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

Dated this 13<sup>th</sup> day of Aug 1963

[Signature]  
Authorised Surveyor.

SEARCH OF TORRENS TITLE

VOLUME 226477	FOLIO 1
EDITION 2	DATE OF ISSUE 21-Dec-2024

SEARCH DATE : 09-Jan-2025

SEARCH TIME : 01.37 PM

DESCRIPTION OF LAND

City of HOBART  
 Lot 1 on Plan 226477  
 Derivation : Part of 30A-2R-12Ps. - Gtd. to E.H. Webster.  
 Prior CT 2926/53

SCHEDULE 1

N203343 TRANSFER to WADE WILLEM FROMBERG and ANNAH CLARE  
 FROMBERG Registered 21-Dec-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 E401727 MORTGAGE to Westpac Banking Corporation Registered  
 21-Dec-2024 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

E406110 MORTGAGE to Westpac Banking Corporation Lodged by  
 DOBSON MITCHELL on 08-Jan-2025 BP: E406110

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469  
TASMANIA  
REAL PROPERTY ACT, 1862, as amended  
NOTE--REGISTERED FOR OFFICE  
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book  
Vol. Fol.

2926 53

Cert. of Title Vol. 351 Fol. 143.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

*M. H. Lipscombe*  
Recorder of Titles.



THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.

DESCRIPTION OF LAND

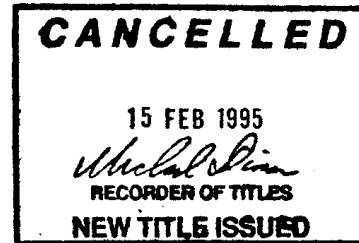
CITY OF HOBART  
ONE ACRE SEVEN PERCHES AND SEVEN TENTHS OF A PERCH  
on the Plan hereon

FIRST SCHEDULE (continued overleaf)

HELEN TRAVERS HAWKER of Hobart, Married Woman.

SECOND SCHEDULE (continued overleaf)

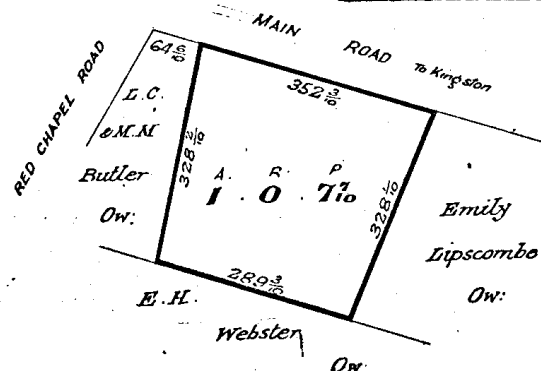
NIL.



Lot 1 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register

REGISTERED NUMBER

226477



Part of 30A-2R-12Ps. - Gtd. to E.H. Webster - Meas. in Links.  
14/31T.S.

FIRST Edition. Registered

Derived from C.T. Vol. 351. Fol. 143. Transfer A18158 J. Hempseed & Anr. *JK*

**Christopher Phu**

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**From:** Kate Phillips

**Subject:** Re: 521 Sandy Bay Road RFI Response

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#) | [Report](#)

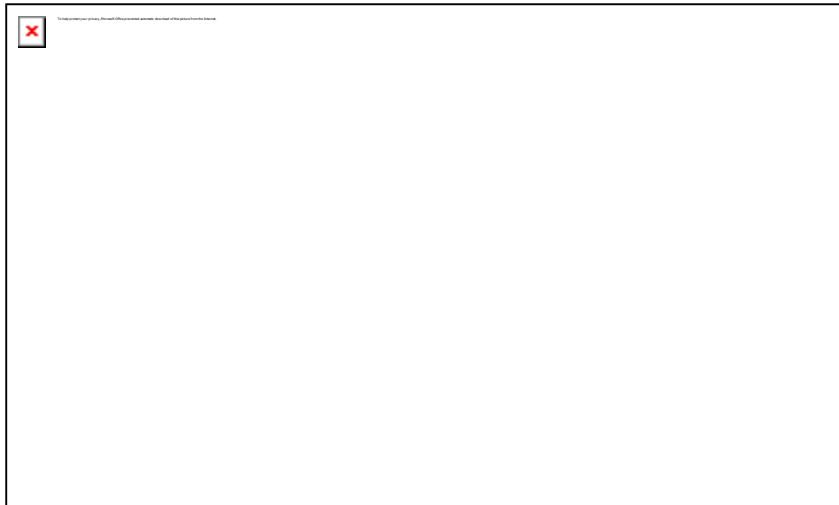
Hi Christopher,

Thank you for your time on the phone just now.

For clarification, the outbuilding that is noted as 'Garage' on the stormwater plans by PDA is an outbuilding, and not proposed to be used as a garage or parking structure.

Please let me know if you require anything else at this time.

Kind Regards,  
Kate Phillips



On Thu, Jan 22, 2026 at 1:29 PM Christopher Phu <[christopher.phu@hobartcity.com.au](mailto:christopher.phu@hobartcity.com.au)> wrote:

**Christopher Phu**

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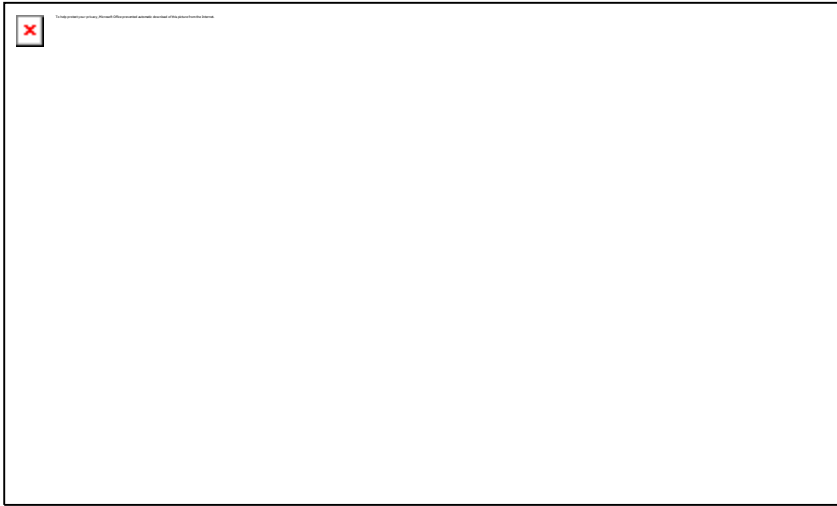
**From:** Kate Phillips

Hi again Christopher,

Further to my last email, for the purposes of this application the building noted as Garage on the lot 521A Sandy Bay Road is an outbuilding.

Thank you.

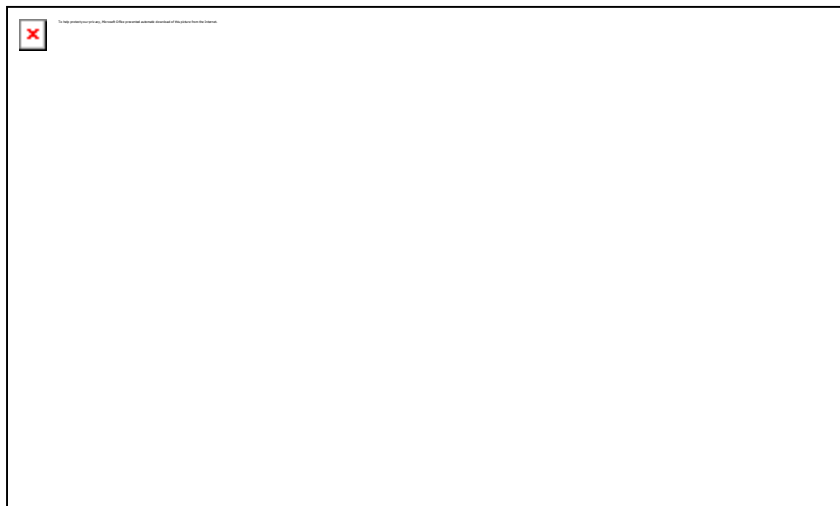
Kind Regards,  
Kate Phillips

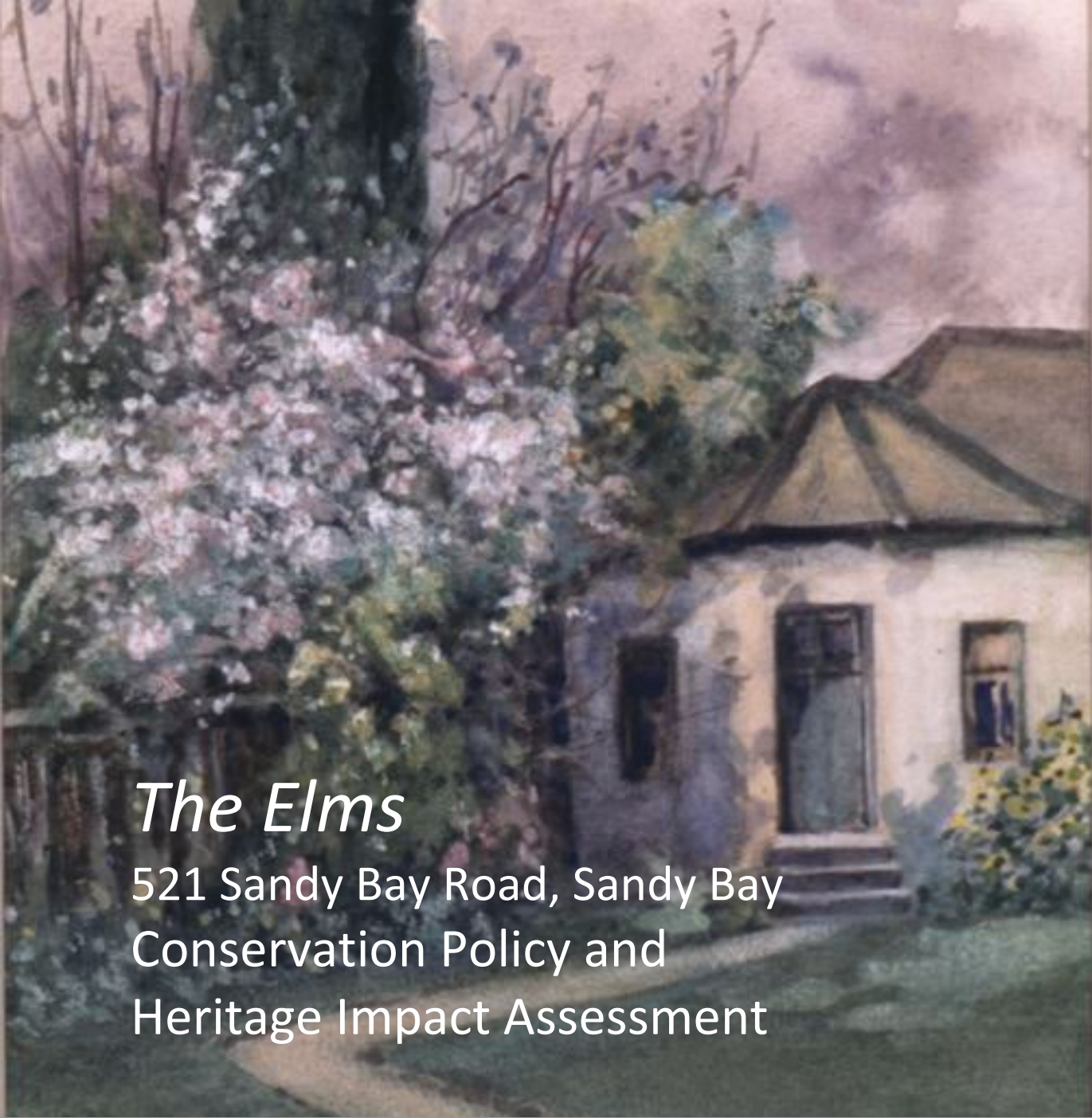


The application is for 521 and 521A Sandy Bay Road. Both titles have been provided with the application. The right of way over 1 Lipscombe Avenue is a separate application. No works are proposed to 1 Lipscombe Avenue in this application.

Please let me know if you require anything further from us at this time.

Kind Regards,  
Kate Phillips





praxisenvironment

# *The Elms*

521 Sandy Bay Road, Sandy Bay  
Conservation Policy and  
Heritage Impact Assessment

heritage

planning

archaeology

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po box 338  
north hobart  
tasmania 7002

0418 303 184  
info@prax.com.au

NOVEMBER 2025

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Brad Williams – Heritage Consultant.

For Wade and Annah Fromberg

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This document was written by Brad Williams CF (BA.Hons Archaeology, G.Dip Maritime Archaeology, MA Cultural Heritage Management, G.Dip Environmental Planning) Senior Heritage Consultant and Historical Archaeologist, Praxis Environment.

Unless otherwise stated, the north point (or approximate) of maps and plans is to the top of the page. Project North as described in this document refers to the direction of Sandy Bay Road.

Unless otherwise stated, all photographs were taken by Brad Williams, September 2025. Cadastral information depicted in this document must not be relied upon without verification by a surveyor.

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Frontispiece: The Elms, Sandy Bay. Curzona Allport c1920s. Allport Library and Museum of Fine Arts, AUTAS001124065921.

# 1. INTRODUCTION, RATIONALE AND BRIEF

## 1.1. The Subject Site

<b>Site name</b>	<i>The Elms</i>
<b>Address</b>	521 and 527A Sandy Bay Road, Sandy Bay, Tasmania.
<b>C/T</b>	226477/1 and 84017/1
<b>PID</b>	9306456 and 9306457
<b>Owner</b>	Wade and Annah Fromberg
<b>Client/Proponent</b>	Wade and Annah Fromberg via Room 11 Architects
<b>Current use</b>	Single dwelling with ancillary dwelling.

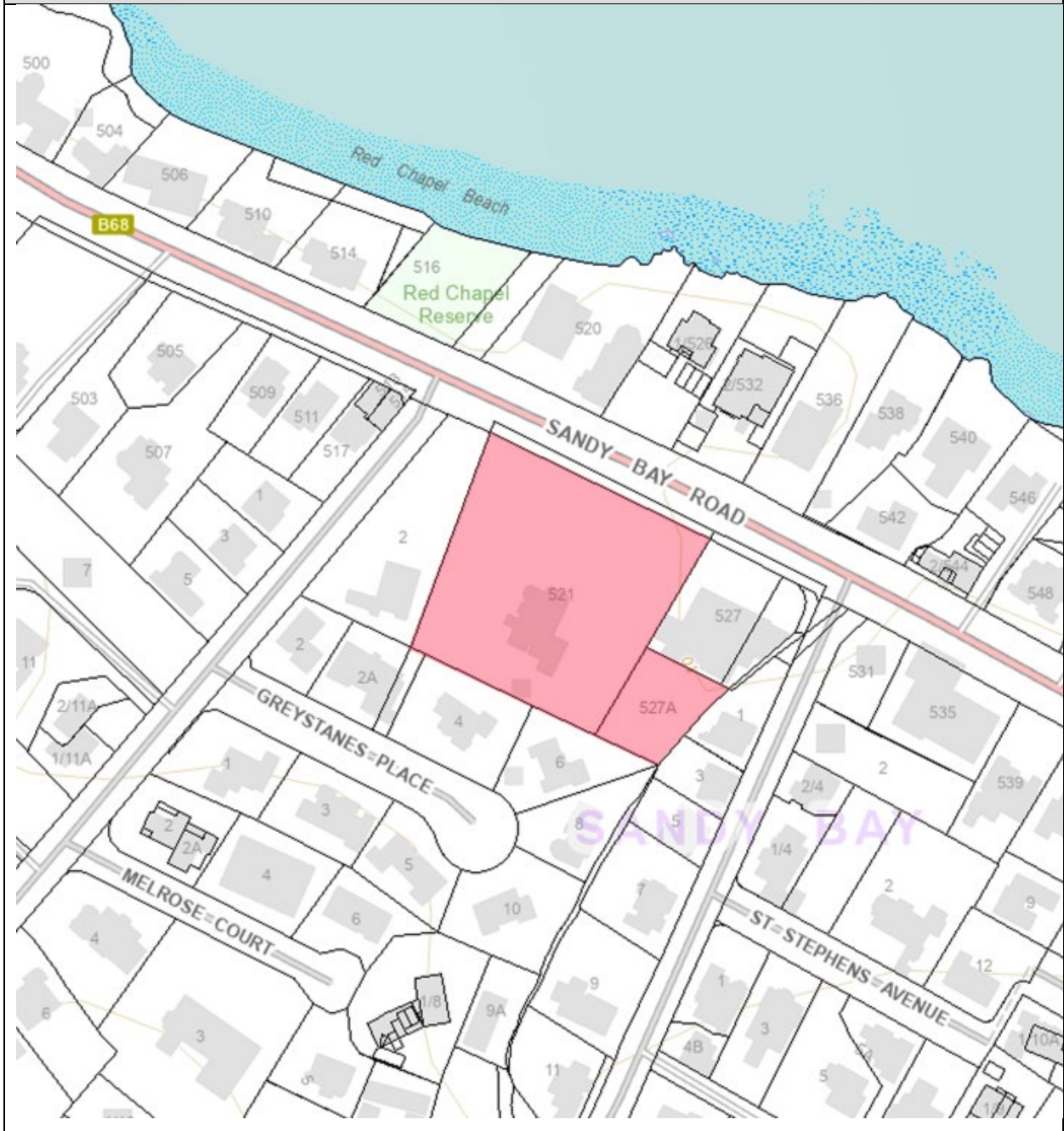
Figure 1.1 – Aerial image of the wider area, the subject site shaded orange. LIST.



Figure 1.32– Aerial image of the subject site (outlined in red). LIST.



Figure 1.3 – Cadastral arrangement of the wider area, the subject site shaded red. LIST.



## 1.2. Commissioning and Brief

The aspirations of the client are to provide for an upgrade of the existing heritage building for continued residential purposes for a large family residence, plus upgrade and continued use of the ancillary dwelling. Proposed changes to the existing residence are generally limited to later (clearly non-significant) additions, therefore a detailed conservation management plan is not warranted. Further, a large semi-detached extension is proposed, together with a covered parking area and garage, so a consideration of the brief was to provide policy for the setting and curtilage of the residence to ensure that these additions do not have any indirect impact upon the residence and the values of the setting of the place.

The brief was to provide a conservation planning policy to guide the planning of the development to ensure that there is not any undue impact upon the building via a heritage impact assessment. Basic conservation policy is required as a benchmark against which possible impact can be measured, specifically:

### **The first stage of the project (i.e. pre-development design):**

1. An overview **site history** which is the essential basis for (2) below. Note that the site owner is to provide some background for the site history.
2. The analysis of the building and wider site for the formulation of a **conservation management policy**, which would provide a broad assessment of building fabric, the setting of the building, understanding of the evolution of building and landscape form, an understanding of the significance of that building and the formulation of conservation policies against which consideration can be given as to what impacts any future development may have on that building.

### **As second stage of the project (i.e. following development design):**

3. A **heritage impact assessment** (including a statement of compliance) for the proposed development plan which is to be measured against the conservation policies as well as the statutory requirements identified [here](#).

### 1.3. Terminology, Glossary and Abbreviations

The following glossary and abbreviations are used in this document (where not defined elsewhere within this document):

Development	As defined in the Land Use Planning and Approvals Act 1993.
LIST	Land Information Systems Tasmania.
NRE Tasmania	Natural Resources Tasmania (Land Data Branch).
Suitably qualified person	As per s.65 of the Local Government Act 1993.
TAHO	Tasmanian Archive and Heritage Office.
THC	Tasmanian Heritage Council
TPS – Hobart	Tasmanian Planning Scheme – Hobart
Use	As defined in the Land Use Planning and Approvals Act 1995

## 2. STATUTORY HERITAGE REQUIREMENTS

### 2.1. Land Use Planning and Approvals Act 1995 - Tasmanian Planning Scheme – Hobart

Pursuant to the Land Use Planning and Approvals Act 1995 (LUPAA), the subject site is subject to the Local Historic Heritage Code (C6) of the Tasmanian Planning Scheme – Hobart (the *planning scheme*), by inclusion on any of the following Tables in the Local Provisions Schedule (LPS).

Note however that as per Clause C6.2.3 of the Tasmanian Planning Scheme, the Local Historic Heritage Code does not apply to places registered on the Tasmanian Heritage Register (except for Clause C6.9.1 (Significant Trees)).

#### C6.1. Local Heritage Place

521 Sandy Bay Road is included on Table C6.1 of the Tasmanian Planning Scheme – Hobart (Local Heritage Places). As it is also included on the Tasmanian Heritage Register, by virtue of Clause C6.2.2 the Local Historic Heritage Code does not apply. 527A Sandy Bay Road is not listed on that Table.

#### C6.2. Local Heritage Precinct

Both titles are included on Table C6.2 of the Tasmanian Planning Scheme – Hobart as being within the HOB-C6.2.56 (Sandy Bay Road D) Local Heritage Precincts. As they are also included on the Tasmanian Heritage Register, by virtue of Clause C6.2.2 the Local Historic Heritage Code does not apply.

#### C6.3. Local Historic Landscape Precinct

The subject site is not included on Table C6.3 of the LPS (Local Historic Landscape Precincts), therefore is not subject to Clauses C6.7.1, C6.7.3, C6.10.2 or C1.6.4 of the planning scheme which relate to Local Historic Landscape Precincts.

#### **C6.4. Place of Archaeological Potential**

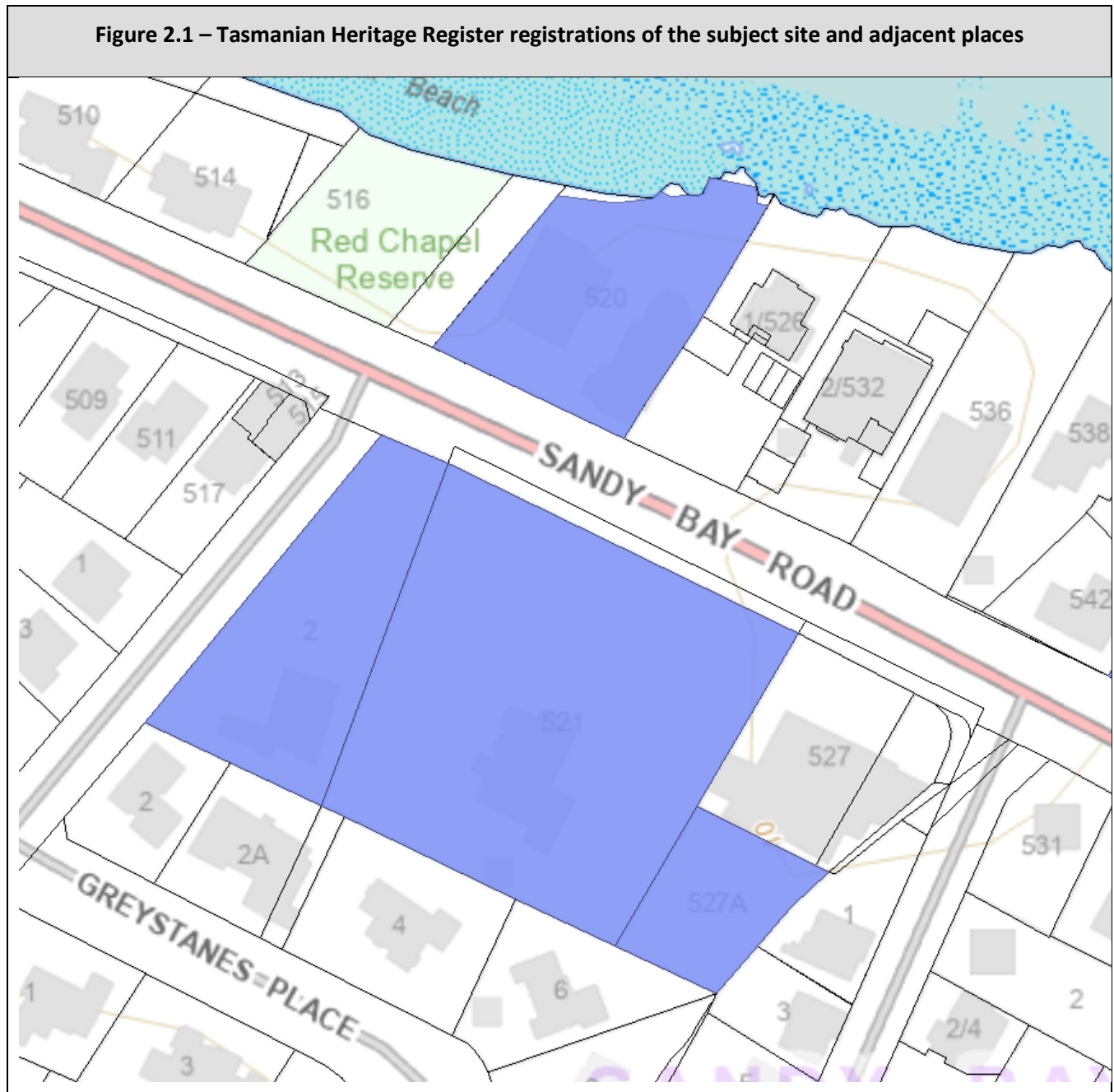
The subject site is not included on Table C6.4 of the LPS (Places or Precincts of Archaeological Potential), therefore is not subject to Clauses C6.8.1, or C6.10.3 of the planning scheme which relate to Places of Archaeological Potential.

#### **C6.5. Significant Trees**

No tree within the subject site is not included on Table C6.5 of the LPS, therefore is not subject to Clause C6.9.1 of the planning scheme which relate to Significant Trees.

## 2.2. Historic Cultural Heritage Act 1995 – Tasmanian Heritage Register

The subject site is listed on the Tasmanian Heritage Register (THR) (place ID 2625, which includes both titles); therefore is subject to the provisions of the *Historic Cultural Heritage Act 1995* (HCHA). Note that 2 Red Chapel Avenue is also registered, which is considered as an *adjacent place* for the purposes of the Act.



Part 6 of the HCHA (Heritage Works) sets the process by which approvals for works may be gained from the Tasmanian Heritage Council (THC):

**35. Heritage works require heritage approval**

- (1) A person must not carry out any heritage works unless those heritage works have heritage approval.*
- (2) For the purposes of subsection (1), heritage works are taken to have heritage approval if, and only if –*
  - (a) in a case where a minor works approval has been issued, the heritage works are carried out in accordance with –*
    - (i) that minor works approval; and*
    - (ii) if a discretionary permit or other permit is required for the heritage works under the Planning Act, that discretionary permit or other permit; or*
  - (b) in a case where a minor works approval has not been issued, the heritage works are carried out in accordance with a discretionary permit, major project permit or a combined permit.*
- (3) It is a defence in proceedings for an offence under subsection (1) if the defendant establishes that –*
  - (a) the heritage works were carried out in response to an emergency; and*
  - (b) the heritage works were, both as to nature and extent, reasonably necessary for the purposes of responding to the emergency; and*
  - (c) in the circumstances, it was not practicable to seek a minor works approval; and*
  - (d) the defendant, before, while or as soon as practicable after carrying out the heritage works, notified the Heritage Council, in writing, of the emergency and the details of the heritage works.*

Sections 36-41 set the process for the lodgment and assessment of applications for a heritage works permit, via a Discretionary Development Application under the Land Use Planning and Approvals Act 1993.

Section 39 sets the Procedure if the Heritage Council wishes to be involved in determining discretionary permit application.

**39. Procedure if Heritage Council wishes to be involved in determining discretionary permit application**

- (1) This section applies if, in respect of a discretionary permit application, the Heritage Council gives the relevant planning authority the notification referred to in section 36(3)(b).*
- (2) The Heritage Council is to further consider the discretionary permit application and in so doing –*
  - a) is to have regard to the likely impact of the relevant heritage works on the historic cultural heritage significance of the relevant registered place or heritage area and any registered place that adjoins the relevant registered place or heritage area; and*
  - b) may have regard to any representations made in respect of the application; and*

- c) *is to have regard to any matters prescribed by the regulations for the purposes of this subsection; and*
- d) *is to have regard to any relevant works guidelines; and*
- e) *may liaise with the relevant planning authority.*

Section 42 describes the process whereby certain works may be exempt from the requirement of s.35:

#### **42. Minor works approvals**

- (1) A person may apply to the Heritage Council for a minor works approval for heritage works.*
- (2) The minor works approval application –*
  - (a) is to be in a form provided or approved by the Heritage Council; and*
  - (b) is to be supported by such information as the Heritage Council requires, either at the time of lodgment or subsequently.*
- (3) The Heritage Council may –*
  - (a) approve the minor works application; or*
  - (b) refuse the minor works application.*
- (4) Without limiting its discretion, the Heritage Council must approve the minor works application if it is reasonably satisfied that the heritage works –*
  - (a) are identified in the works guidelines as works that will have no impact or only negligible impact on the historic cultural heritage significance of the relevant registered place or heritage area; and*
  - (b) are capable of being carried out in accordance with the works guidelines.*

Whilst the HCHA provides no specific detail as to how particular proposals are considered, nor does it provide any indicative thresholds of what may be considered to have *no or negligible* heritage impact, the THC/Tasmanian Government publication *Works Guidelines for Historic Heritage Places – Version 2, October 2025* provides further detail on the application process, guiding principles and the basis for decisions made by the THC. The applicable acceptable outcomes from the works guidelines are provided here in Section 9.4 where the heritage management policies formulated in the current document are aligned.

In addition, the THC has a series of practice notes and technical guides, available via [www.heritage.tas.gov.au](http://www.heritage.tas.gov.au) which provide useful guiding principles for how the THC are expected to assess and determine applications for heritage works.

## **2.3. Environment Protection and Biodiversity Conservation Act 1999**

The subject site is not listed on any of the following statutory lists arising from the Environment Protection and Biodiversity Conservation Act:

- The National Heritage List
- The Commonwealth Heritage List
- The World Heritage List

Nor is it included in any buffer zones arising from those lists, therefore is not subject to the historic heritage provisions of that Act.

## **2.4. Aboriginal Heritage Act 1975**

An assessment of any possible Aboriginal heritage values is not part of the brief for this report; nonetheless the provisions of the *Aboriginal Heritage Act 1975* are applicable to the place. A search of the Tasmanian Aboriginal Heritage sites register (Job # 51533964) indicates the presence of registered Aboriginal heritage within or near the site. Any excavation must be preceded by submission of a desktop review form to Aboriginal Heritage Tasmania and advice followed further to the results of that search.

## **2.5. Other Heritage Registers/Lists**

The site is not included on any other statutory or non-statutory heritage list/register.

## **2.6. National Construction Code 2023 and Building Act 2016**

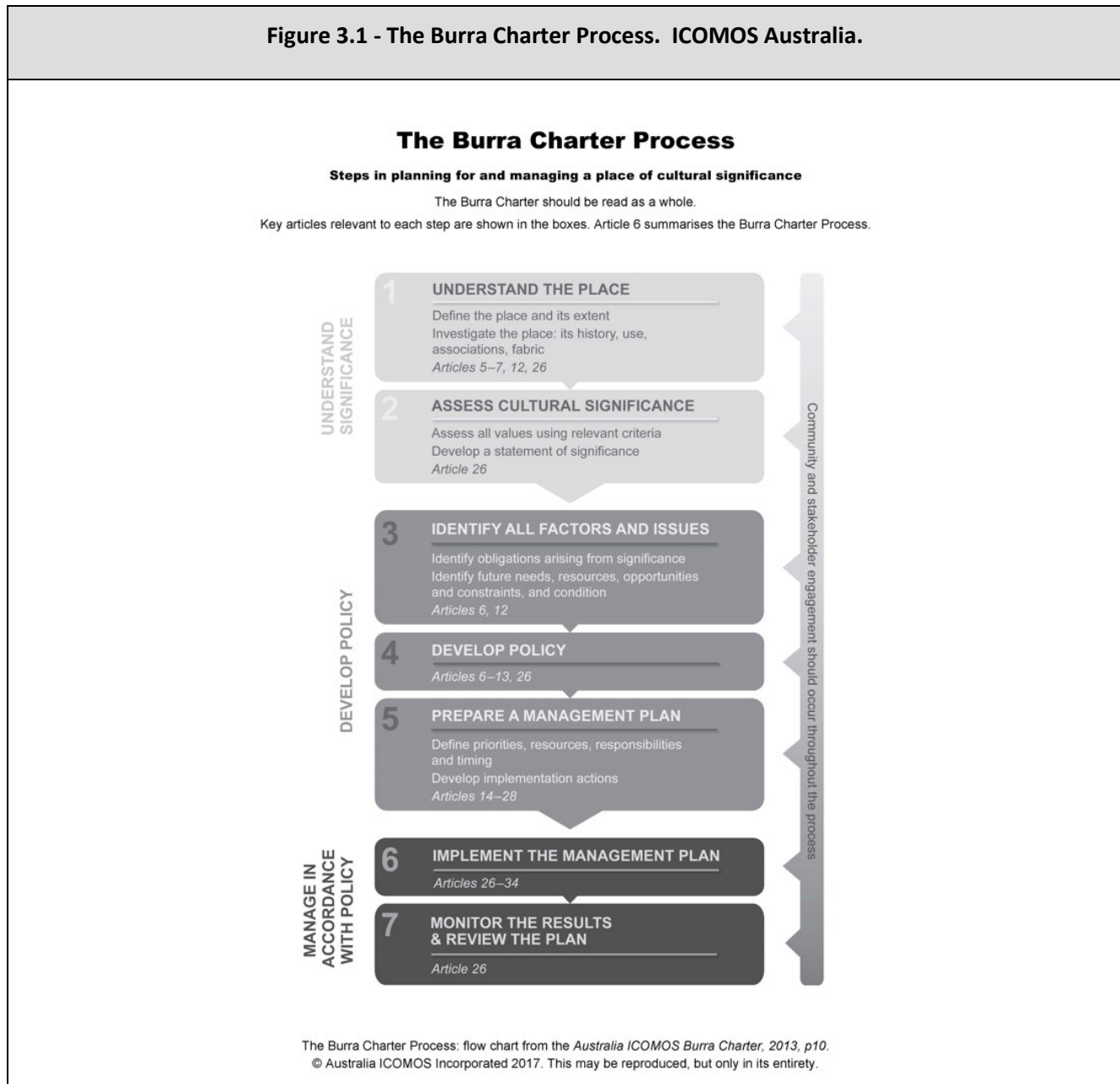
As set by the *National Construction Code 2023* and the *Building Act 2016*: Work to the place should comply with building code provisions, via the relevant building and plumbing permits. A Building Surveyor must review plans prior to submission to the Permit Authority for building approval to ensure that compliance is best met. It is acknowledged that there may be cases where the code may not be met due to the impact which compliance may have on significant fabric, therefore these should be assessed case-by-case, with non-compliance mitigated as

best as possible to ensure appropriate conservation outcomes. The *Building Act 2016* (s.13, s.53(b)) has provision where provisions may be modified for applicability to heritage buildings where compliance would threaten the historic cultural heritage significance of the place – this should be assessed by a building surveyor, in conjunction with a heritage professional, to ensure best-fit with the provisions of the act within the conservation policies.

# 3. CONSERVATION PLANNING METHODOLOGY

This document has been formulated in accordance with the International Council on Monuments and Sites (ICOMOS) Australia **Burra Charter**, which is considered to be the Australian heritage industry’s benchmark for assessing, understanding and managing heritage values.

Figure 3.1 - The Burra Charter Process. ICOMOS Australia.



The methodology in this document utilises the process detailed by James Semple Kerr in *The Conservation Plan*<sup>1</sup> which is considered to be a sound benchmarking document for the formulation of conservation management plans and is endorsed by ICOMOS Australia.

In the prefacing commentary of the document, Kerr provides a succinct overview of the aims of a conservation plan and the need for relevance and currency of such documents:

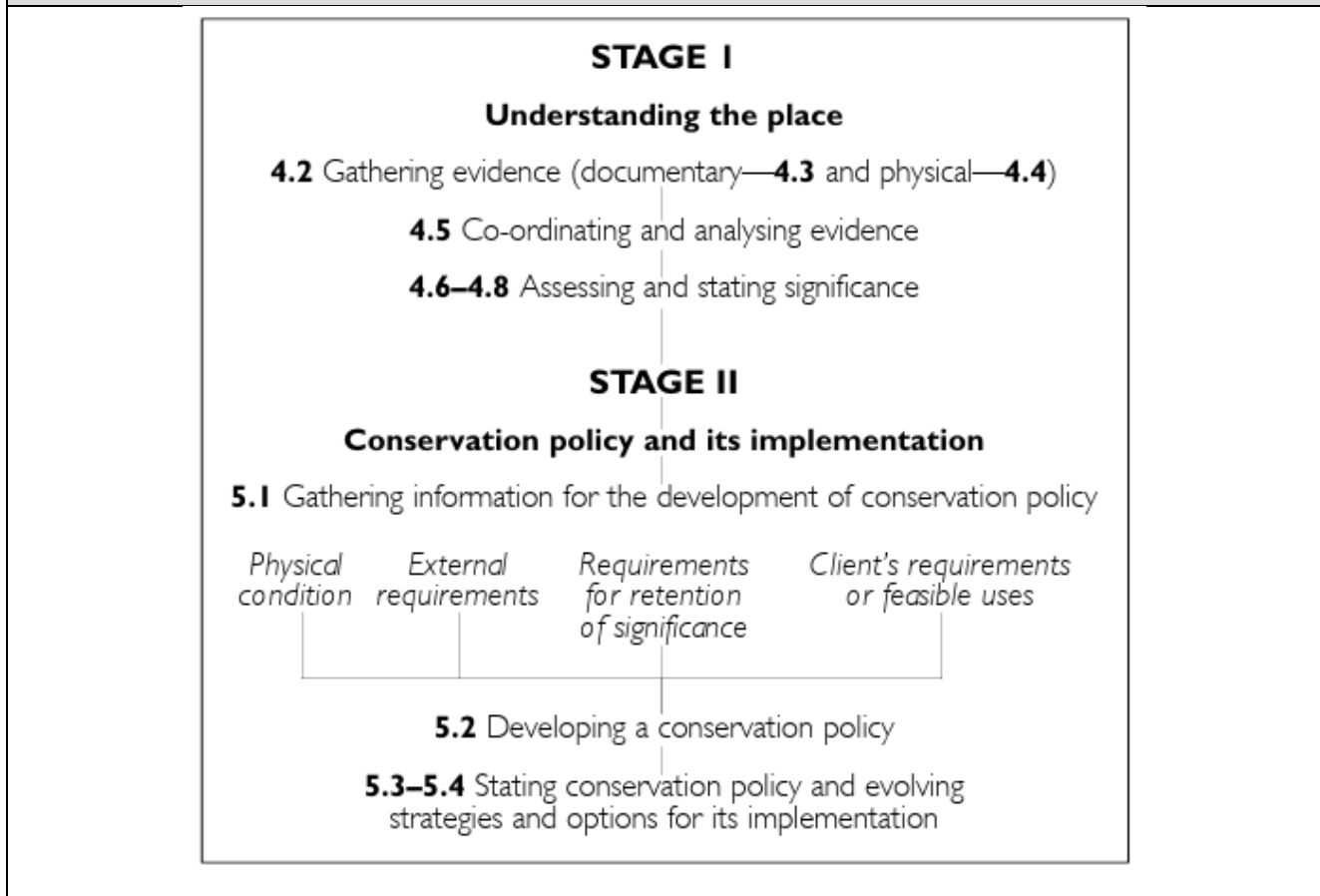
*At its simplest, a conservation plan is a document which sets out what is significant in a place and, consequently, what policies are appropriate to enable that significance to be retained in its future use and development. For most places it deals with the management of change..... 'Conservation plan' has become a convenient generic term covering a variety of productions. The type of place, needs of owners, range of problems encountered and skills available all mean that the scope and approach must be flexible if the contents are to be both useful and succinct. The structure of such plans should therefore be tailored to resolve relevant issues in the most direct way..... The actual structure and scope of the plan has to evolve to suit the particular place and its problems.*

Kerr summarises the process in the following table (with references to specific sections of his document):

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<sup>1</sup> KERR, J.S. (2013): *The Seventh Edition Conservation Plan. A Guide to the Preparation of Conservation Plans for Places of European Cultural Heritage*. Australia ICOMOS. The first edition of this document was prepared in 1982. <https://australia.icomos.org/wp-content/uploads/The-Conservation-Plan-7th-Edition-reduced-file-size.pdf>

Figure 3.2 - The Kerr conservation planning process.



The process detailed by Kerr finds its roots in the ICOMOS Australia *The Burra Charter*<sup>2</sup>, which was first adopted in 1979 and was most recently reviewed in 2013. The charter and associated practice notes are considered to represent best-practice in historic cultural heritage management and are applicable as the basis of conservation management plans in conjunction with the Kerr process. The following flowchart depicts the *Burra Charter* process:

Further to the broader conservation management planning process, the basis of all conservation planning is a thorough understanding of the historic cultural heritage significance of a place. As informed by historical and physical analysis, coupled with intangible values and meaning, all conservation planning decisions rely on the fundamental knowledge of the significance of a place. The document *Assessing Historic Heritage Significance for*

<sup>2</sup> <https://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

*Application with the Historic Cultural Heritage Act 1995*<sup>3</sup> is considered to provide a sound and logical process for the assessment and understanding of historic heritage significance. The principles of that document are utilised in the current document when considering the adequacy of statements of significance for the place and if these provide a sufficient basis for conservation management planning.

The fundamental distillation of conservation planning is the development of conservation policy, which is then utilised in further planning and implementation of the conservation management plan. In the formulation of conservation policy the ICOMOS Practice Note *Developing Policy*<sup>4</sup> has been utilised as the framework for this task. In addition to industry standard conservation planning process, the conservation policy must also be aligned to statutory heritage requirements.

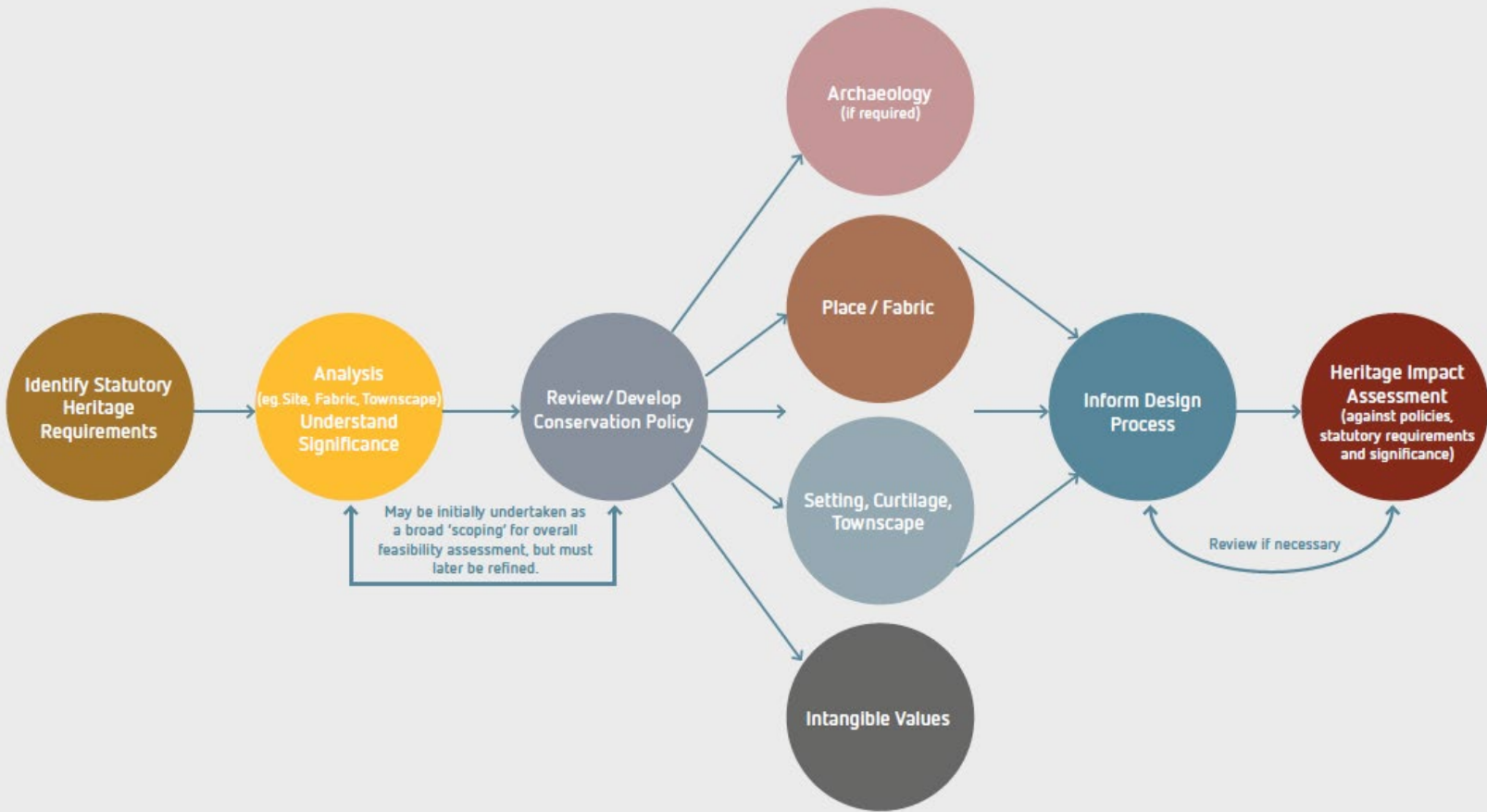
To be applied in conjunction with the scope and limitations of the brief, this document utilises that process in the following flowchart, which is expected to be used by the proponent and design team of any development to understand and respond to historic heritage values in the development process. Figure 3.3 depicts this process:

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<sup>3</sup> Department of Natural Resources and Environment Tasmania, Version 7, February 2025.  
<https://heritage.tas.gov.au/Documents/Assessing%20Historic%20Heritage%20Significance.pdf>

<sup>4</sup> [https://australia.icomos.org/wp-content/uploads/Practice-Note\\_Developing-Policy.pdf](https://australia.icomos.org/wp-content/uploads/Practice-Note_Developing-Policy.pdf)

Figure 3.3 – Practice flowchart for the application of conservation management planning in the development process.



Heritage Input into the Development Process

## 4. HISTORY OF THE PLACE

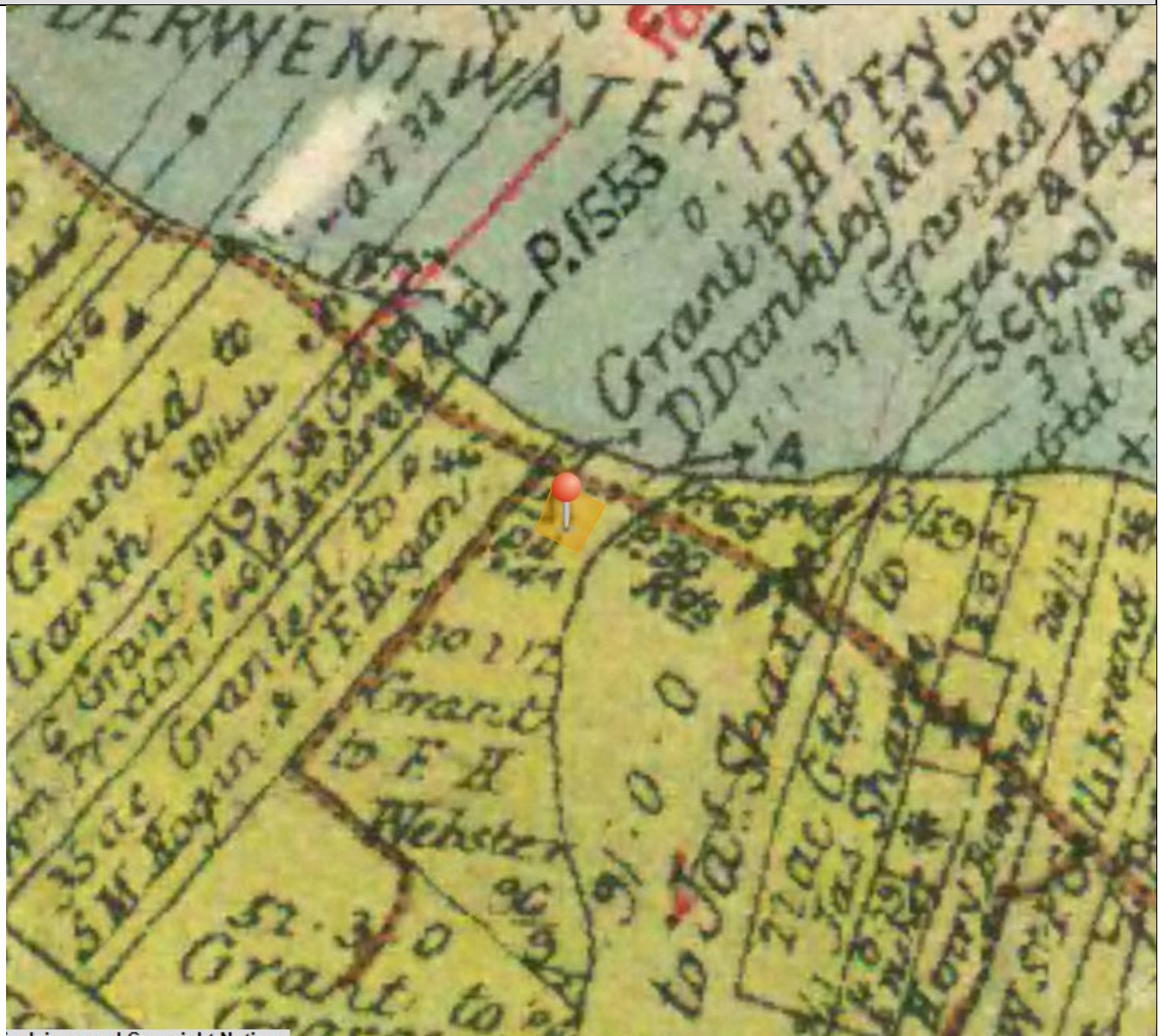
As outlined in the methodology in Section 3, the key to assessing historic heritage significance is to gain an understanding of the history of the place, the context of it within its surrounds, associated thematic contexts, and other intangible values (e.g. community value, value associated with people, events etc.). Whilst the scope of the current assessment did not allow a full and comprehensive historical research project into the place, it has been commissioned to provide sufficient understanding of the physical context of the building and surrounds upon which decisions regarding the management of heritage values can be made. Where relevant, this document suggests where further research may be required to further clarify or articulate particular points (e.g. associative values). A portion of this history has been provided by the owner, Mr. Wade Fromberg.

Figure 4.1 – Buckingham Land District Chart 1814. TAHO AF396-1-4.



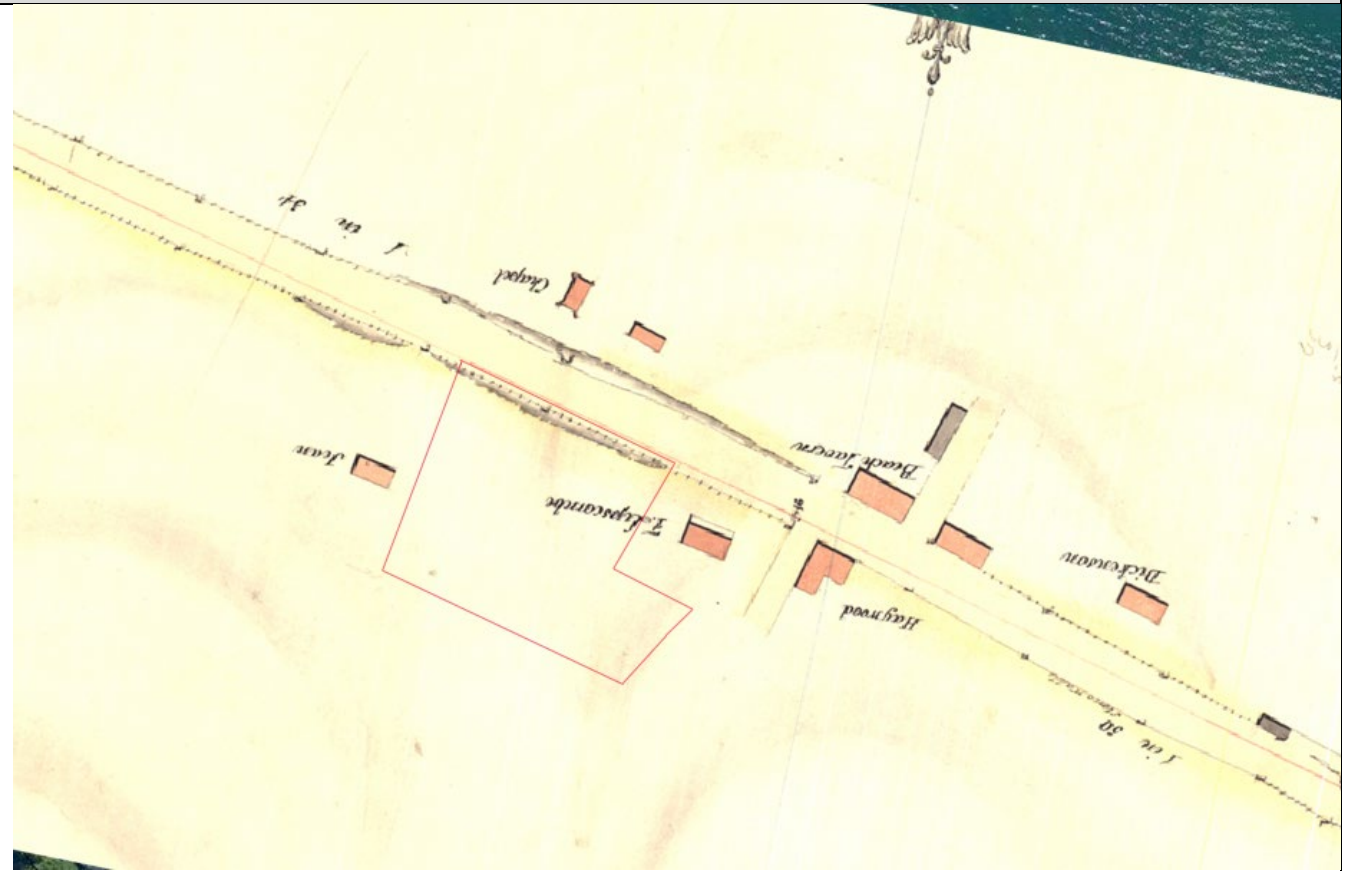
The earliest chart of Sandy Bay available dates from 1814, showing the subject site as part of a 30-acre location to Thomas Kidner. Kidner sold the property to James Moodie in 1827. It is unclear whether Kidner or Moodie built the house at 2 Red Chapel Avenue which was in common ownership with the subject site at the time and is likely to be older than The Elms – although James Moodie was recorded in the 1828 census as living in a wooden house in Queenborough. 2 Red Chapel Avenue is a brick house, therefore it is possible that there was another wooden house on Moodie's land. It is however possible that Moodie owned land elsewhere in Queenborough.

Figure 4.2 – Sandy Bay Land District Chart – Grants. LIST.



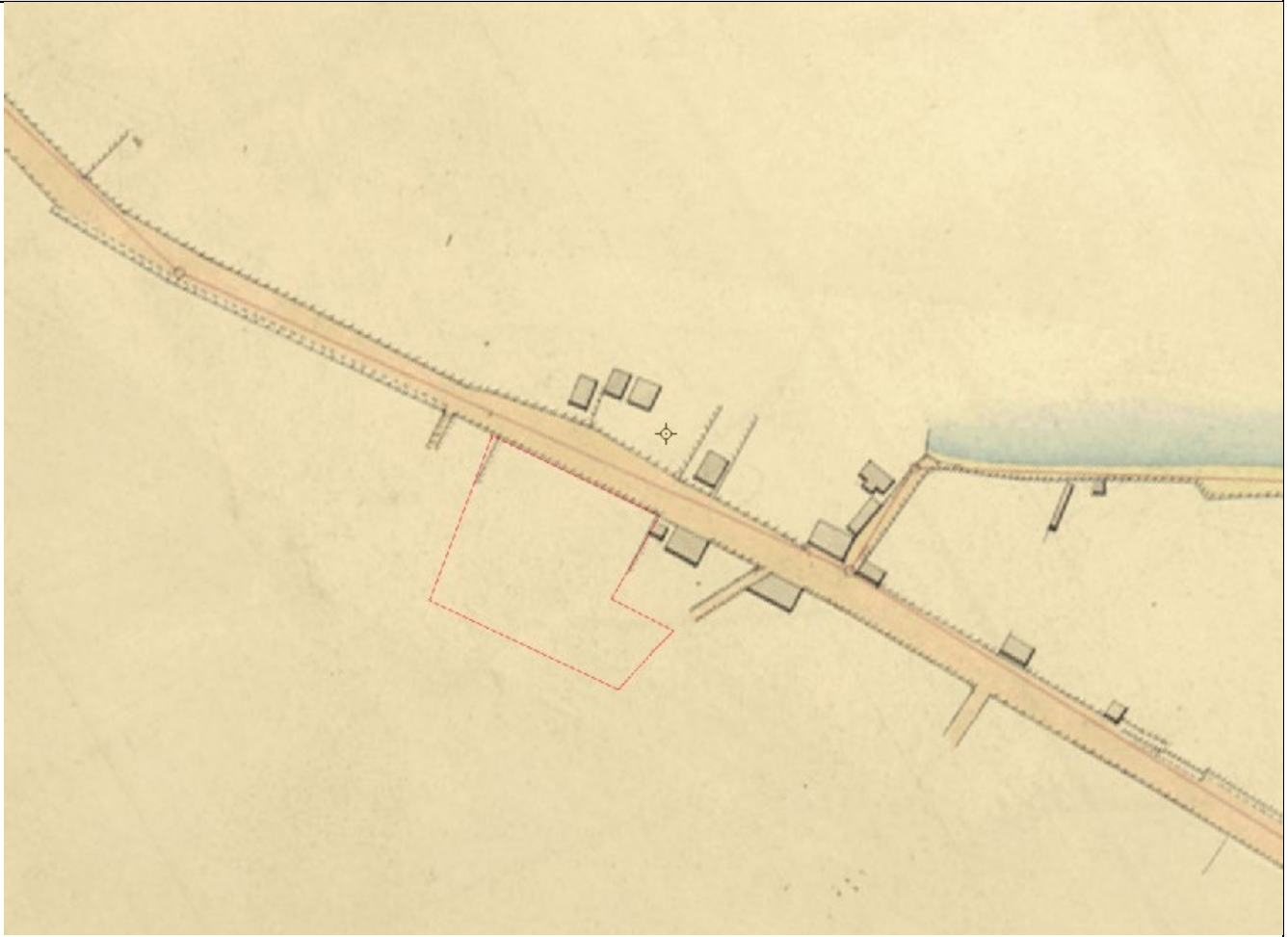
The Hobart Grants Chart name F.H. Walker as the grantee, suggesting that all earlier land transactions were 'informal' and it is at the time of Walker's purchase (1909) that the title was formalised to General Law.

Figure 4.3 – Survey of the road to Browns River 1858. TAHO AF766-1-253.



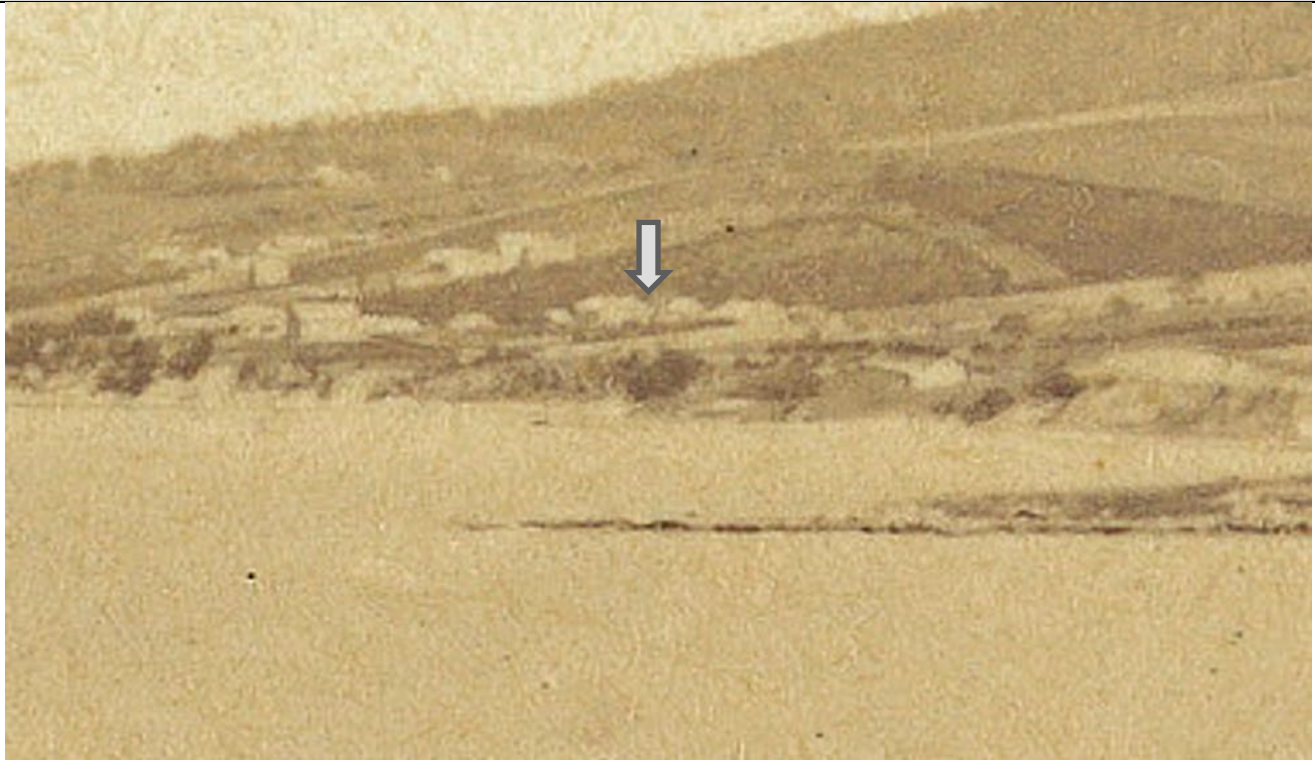
This map shows the Elms site as being part of the Lipscombe estate, but with no buildings within the subject site.

Figure 4.4 – Survey of the road to Browns River 1861. TAHO AF398-1-63



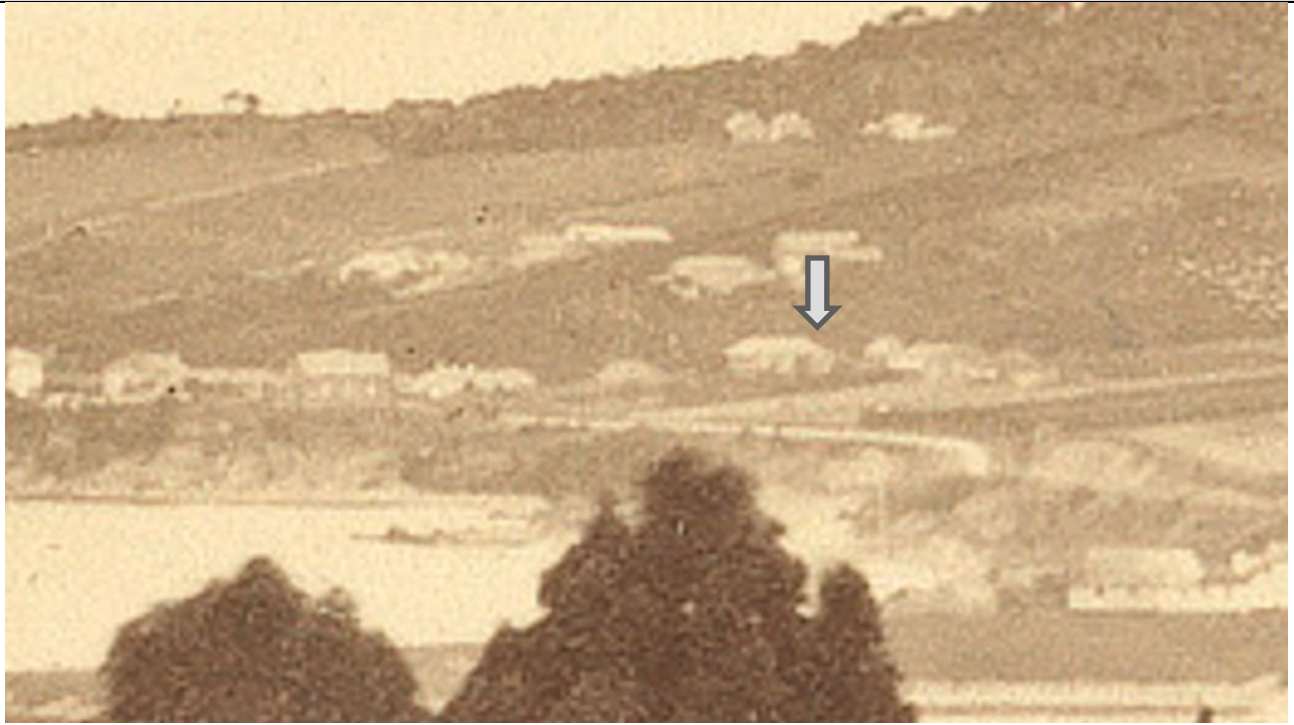
This survey does not show any development within the subject site, however does indicated that the frontage to Sandy Bay (Browns River) Road appears to have been subdivided from the Lipscombe estate. It is possible that the building was constructed by this time, but that the survey only concentrated on close-to-road development (as other known buildings at that time which were more distant from the road are not depicted). Note the angular road to the east which still exists in-part as part of the right-of-way to 527a Sandy Bay Road.

Figure 4.5 – 1862 photograph of Sandy Bay, Alfred Abbott. Libraries Tasmania SD-ILS135769.



This photograph shows a node of development around the area of The Elms, with several more buildings depicted than the 1861 survey (noting the doubt that all were shown on that survey). This photograph is not of sufficient clarity to provide any meaningful information on The Elms, the arrow depicting what *might* be the building. In around 1865 Miss Caroline Hawkins purchased the property.

Figure 4.6 – 1878 photograph of Sandy Bay, Samuel Clifford. Libraries Tasmania AUTAS001136156478.



This photograph shows a node of development around the area of The Elms. This photograph is not of sufficient clarity to provide any meaningful information on The Elms, the arrow depicting what *might* be the building.

Figure 4.7 – Sandy Bay Road c1900. TAHO NS1013-1-933.



This photograph shows the roof form and chimneys, and some landscape elements of The Elms.

Figure 4.8 – Excerpt from a panorama from an elevated area of Lipscombe Avenue 1915. Libraries Tasmania AUTAS001126252303.



This image shows a portion of the front of the eastern elevation of The Elms, prior to the addition of the Inter-War additions. The property was owned by Sir Philip Fysh until his death in 1919 and subsequently purchased by Henry Edwin Button, storekeeper at Oatlands in 1920. In January 1920 an auction of Fysh's furniture was held, which is the first mention of the name 'The Elms' found in the current research. A small portion of land at the front of the site was transferred to the Hobart Council in 1925 for road widening. His wife, Cecila Button, resided at The Elms until her death in 1929<sup>5</sup>. The Oatlands Regional Hospital is named in her honour,

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<sup>5</sup> TAHO AB35-1-3.

her husband having bequeathed the funds for its construction<sup>6</sup> - representing the prominence of the Button family in midlands history.

*The Mercury* reported in 1924:

*OUTBREAKS OF FIRE.*

*Sandy Bay Residence Ablaze.*

*Brigade's Fine Work.*

*Several outbreaks of fire occurred yesterday. But for the quick arrival of the Fire Brigade the residence known as "The Elms," situated at Sandy Bay, would probably have been completely destroyed. A call was received at the Fire Brigade station at 11.37 a.m., intimating that a fire had broken out at the residence of Mr. H. E. Button, in Red Chapel-lane, Sandy Bay. A motor hose carriage, motor pump, and 12 men turned out, and were soon at the scene of the fire, which by this time had got a firm hold. Mr. Button was out of town at the time. The origin of the fire is a mystery.*

*The fire had evidently been burning for some time before it was noticed. The outbreak was first observed by some neighbours about an hour before the brigade was called, it being thought that some rubbish was burning at, the back of the house. It was seen on arrival, however, that they had a considerable task ahead of them, as the fire had a strong hold, and the main body of the roof was composed of shingles. A good supply of water was available, and after a hard battle, the men succeeded in getting the blaze under control. Only three of the rooms out of ten were damaged by fire, two of them being badly damaged, whilst the other was not so badly touched. The passage suffered slightly from water.*

*The efforts of the men to extinguish the first were greatly hampered by the electric light current short-circuiting across the wet wood. Numerous shocks were received, which, added to the discomfort caused by the intense heat, made the firemen's task a most difficult one. Two firemen were burnt about the hands.*

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<sup>6</sup> The Examiner, 1<sup>st</sup> October 1936:6.

*"The Elms" is a large single-storeyed weatherboard dwelling<sup>7</sup>, and is owned and occupied by Mr. T. E. Button. It is an old residence, and operations in connection with the suppressing of the fire were handicapped by an underroof which had recently been built over. The contents of the house were insured in the Farmers' and Citizens' Insurance Office for £740.*

*Mr. H. E. Button, owner of The Elms, called at "The Mercury" Office last night to express his appreciation of the splendid save made by the Fire Brigade. "Was it not for their really wonderful work the whole place would have gone," he stated. "The roof was afire and the flames were getting a good hold when the brigade arrived, but they quickly had the battle won. I regard it as a splendid feat that the brigade was at my house just four and a half minutes after the alarm was given - and my house is fully two miles from the city. It is opposite the Red Chapel-road. I stood to lose between £3,000 and £4,000 by the fire, and thanks to the brigade's excellent work the loss will not be more than £300."*

*Mr. Button has donated £10 to the firemen as an expression of his gratitude.<sup>8</sup>*

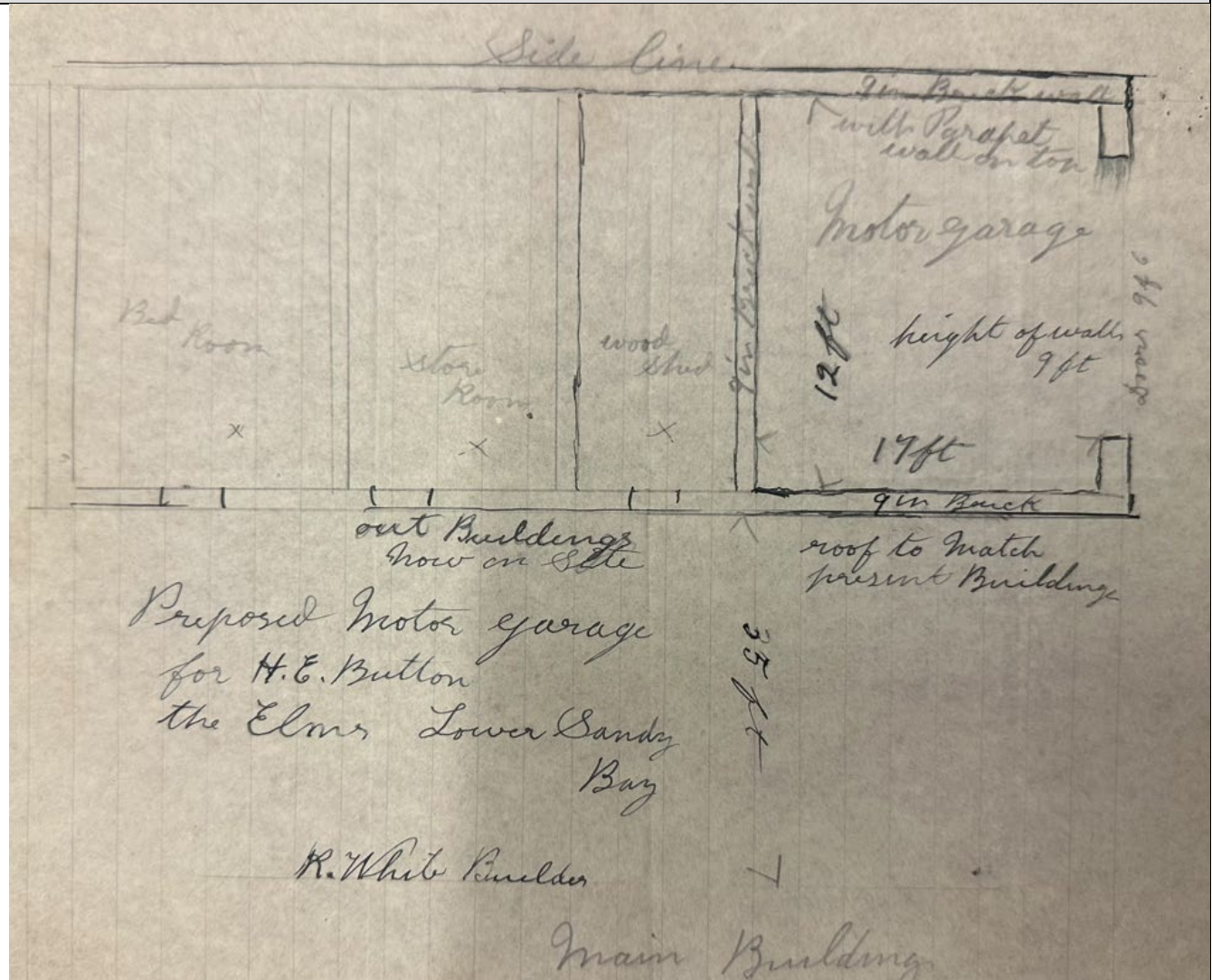
No plans or documentation associated with the post-fire works to the building were found during the course of this research.

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<sup>7</sup> It is unusual that the building was described as a 'weatherboard dwelling' – this is probably an error.

<sup>8</sup> The Mercury, July 4<sup>th</sup> 1924:6.

Figure 4.9 – 1926 garage addition to existing outbuilding 521 Sandy Bay Road. TAHO AE417/



These plans show the addition of a motor garage to the western end of the existing outbuilding at the rear of the residence. Note that the existing building at that time was probably not much earlier than 1926 and was probably built as part of the post-1924 fire work.

**Figure 4.10 – The Elms, Sandy Bay. Curzona Allport c1920s. Allport Library and Museum of Fine Arts, AUTAS001124065921.**



This shows the north-eastern corner of the house after the fire restoration and additions. Note the cyprus tree and garden gazebo. Note that there may be some rtistic licence in the perspective of this depiction as archaeolgocial evidence appers to place the garden gazebo in a slightly different position.

Figure 4.11 – 1946 aerial photograph. NRE Tasmania 0017-076.



The property was purchased by Arthur Travers Crisp and Barbara Helen Crisp in 1936 from the estate of Henry Button and passed to their daughter Helen Hawker in 1953. This gives the best indication of the early garden layout.

**Figure 4.12 – The Elms from Sandy Bay Road (not dated, probably mid c20th). Provided by Room11 Architects.**



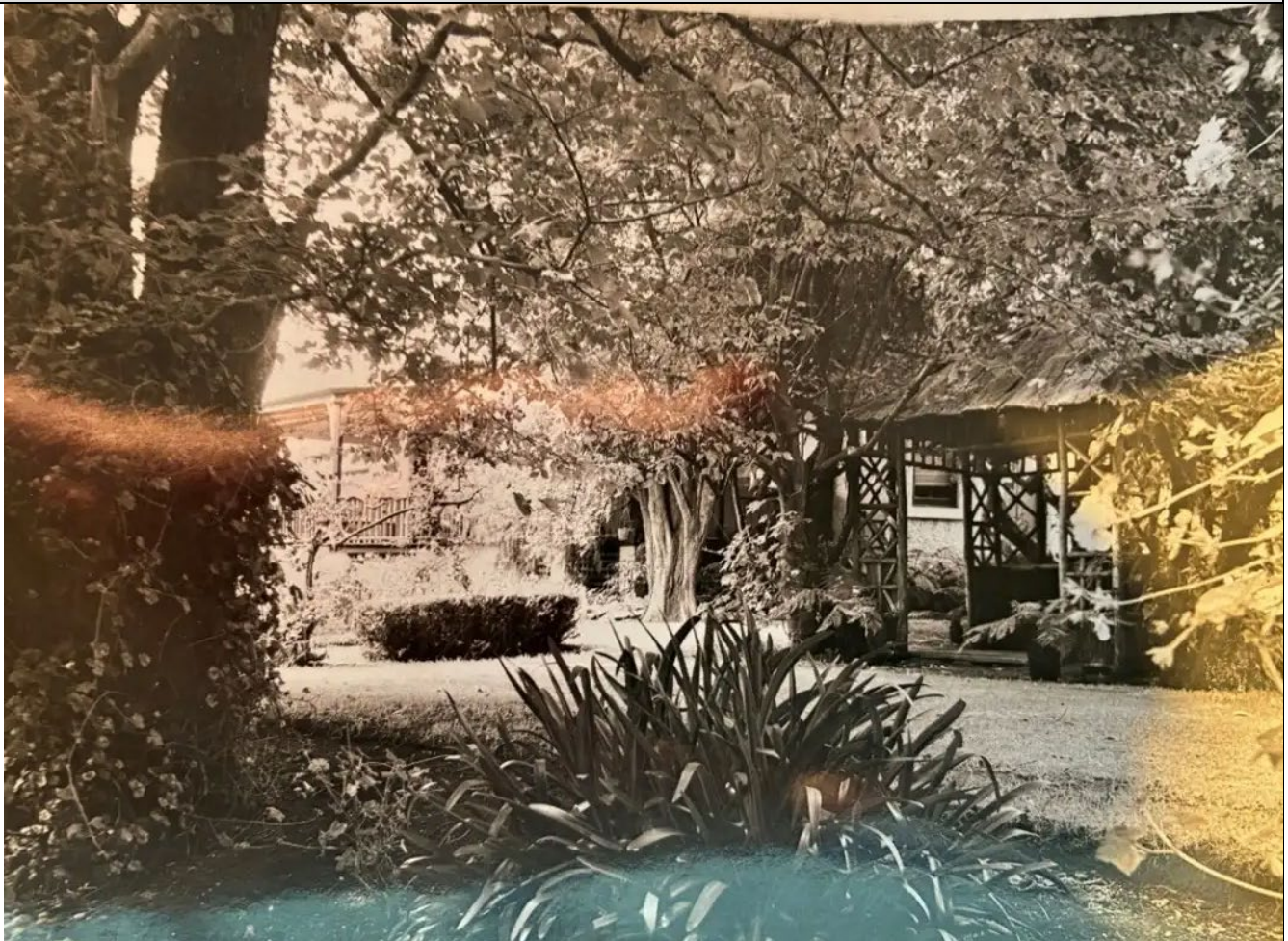
This shows the building as more visible from Sandy Bay Road than it currently is, but with establishes plantings, some of which remain in the gardens.

**Figure 4.13 – The western elevation of the residence (not dated, probably mid c20th). Provided by Room11 Architects.**



This shows the eastern elevation of the building – note that the lean-to in the centre of the image is clad in weatherboard. It has since been rendered to resemble the 1920s render, which probably indicates that it is of later date than the 1920s (post-fire) works (but pre-1946 as per Figure 4.11).

**Figure 4.14 – The northern elevation of the residence (not dated, probably mid c20th). Provided by Room11 Architects.**

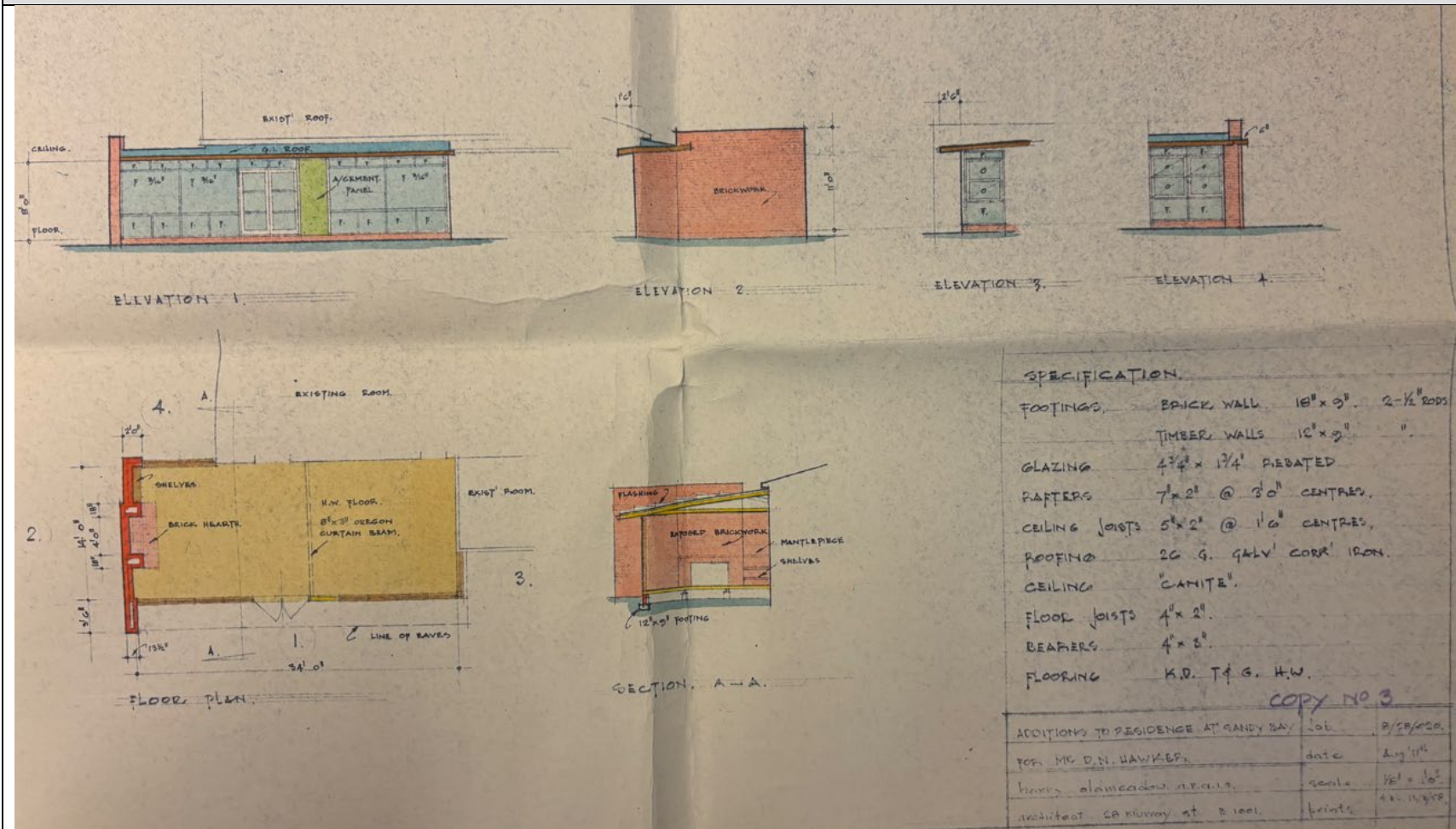


Note the rustic garden structure on the north-western corner of the residence, probably the same structure as depicted by Curzona Allport in the 1920s (see Figure 4.10).

Figure 4.15 – 1959 aerial photograph. NRE Tasmania 0331-029.



Figure 4.16 – 1959 extension plans. TAHO AE417-3-497.

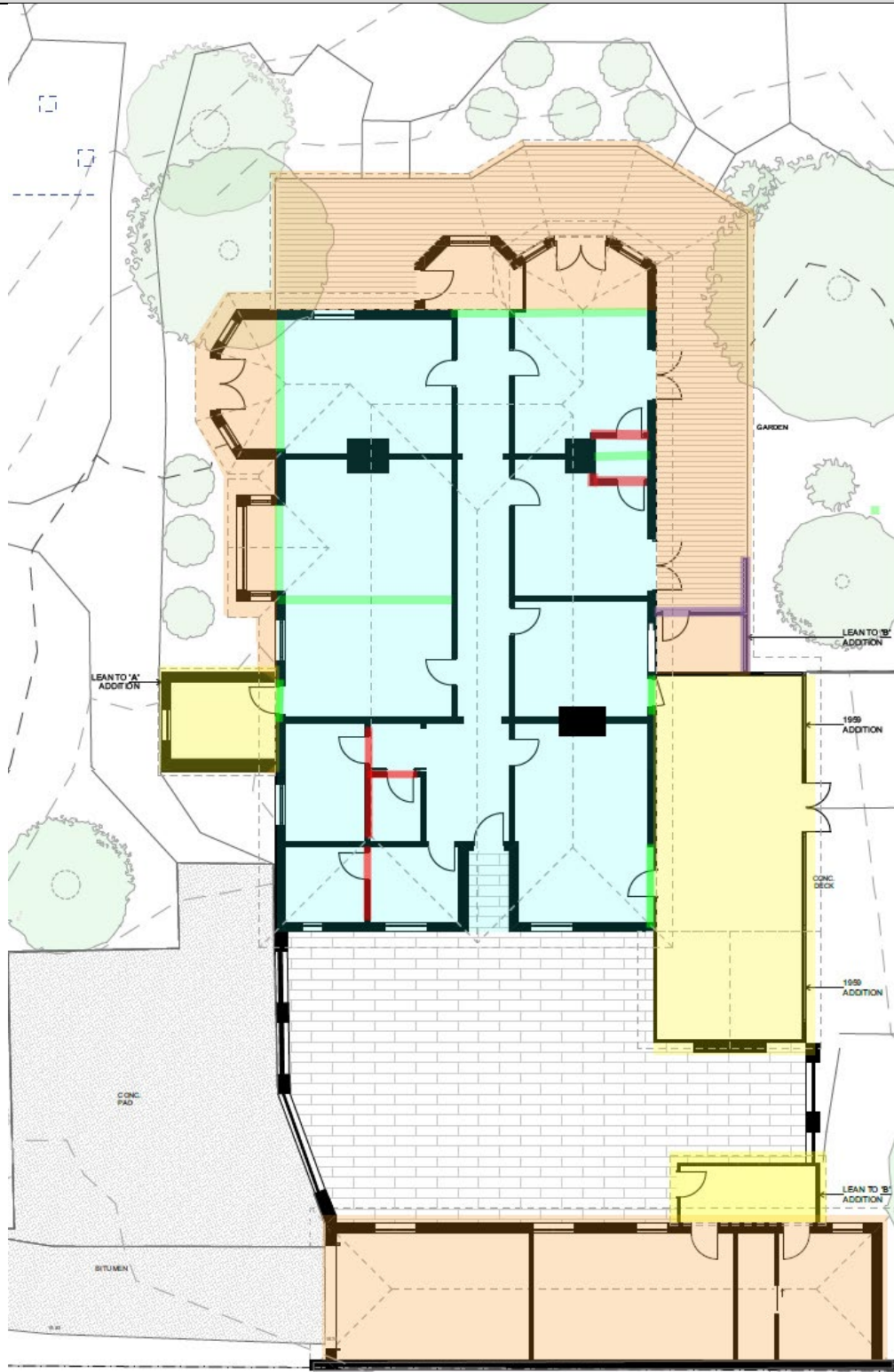


This shows the addition which remains on the south-eastern corner of the house, constructed c1960

Figure 4.17 – 1967 aerial photograph. NRE Tasmania 0475-018.



Figure 4.18 – Phase diagram of the building. Baseplan adapted from Room11 Architects.




Colour	Phase
Blue	Likely footprint of the c1860s house. Note that the rear rooms (existing bathroom, laundry etc) appear to have substantially modified and subdivided in (or after) the 1920s – the extent of modification may not readily be apparent without stripping lining.
Orange	1920s additions (i.e. post-fire). Note the the outbuilding was built in 2 stages, the first probably c1924 and the second c1926.
Yellow	Later c20th additions.
Purple lines	Post 1920s sunroom enclosure (probably soon after the 1920s).
Green lines	Walls removed (likely as part of the 1920s fire repair).
Red lines	Later added walls (i.e. likely 1960s or later).

## 5. DESCRIPTION OF THE PLACE

### 5.1. The Exterior of the building


#### Exterior of the building

General description: The building generally reads as a large Inter-War residence, with the wraparound veranda, bay windows and French Doors obviously intended to provide an interface between the residence and garden and to take advantage of the (now filtered) views to the Derwent River. Whilst the form of the c1860s roof is evident, and the chimneys remain, the overall roof form is subservient to the embellishment arising from the 1920s development (i.e. post-fire repairs). The northern and eastern elevations are predominantly Inter-War in style, with the eastern elevation obscured by the 1960 addition. The western elevation is partially legible as an earlier building, however the bay windows from the 1920s works and the contemporary but simple lean-to addition dominate that elevation. The southern (rear) elevation reads as a simple 1860s building, however that has also been subject to modification.

Item/component	Description/Notes	Image
Northern elevation	<p>The northern (principal) elevation predominantly exhibits an Inter-War character, with only a portion of the earlier (c1860s) building visible, which has been rendered to match the newer work. This elevation comprises of a bay window with a semi-pyramidal roof and a wide wraparound veranda with timber detailing and a partially enclosed sunroom. The main entrance is an angular bay contained under the veranda roof. The original 1860s window aperture of the remaining wall has been filled with a newer window added (this may have recycled the sill?).</p>	 <p>The photograph shows the northern elevation of a white house with a blue corrugated metal roof. A prominent feature is a wide wraparound veranda with white timber detailing. In the foreground, a large, thick tree trunk curves across the frame, partially obscuring the view of the house. The house is surrounded by a well-maintained garden with green hedges and a gravel path. Two people are visible on the veranda, providing a sense of scale.</p>

<p>Eastern elevation</p>	<p>The eastern elevation retains the roofline of the c1860s building but with a break in the ridge and a lower hip on the added front bay. French doors presumably added after the 1920s fire replace the earlier fenestrative pattern, however the c1860s window between the rear room and sunroom remains. The wraparound veranda continues along this elevation, which has been partially infilled and partially removed at the time of the 1960 extension. This elevation has stucco render added after the 1920s fire.</p>	
<p>Southern elevation</p>	<p>The southern elevation comprises of the two rear 'wings' each with a hipped roof and a central valley gutter. These appear to be part of the earlier c1860s building and have been rendered later. The eastern wing retains an original twelve pane window. Part of the 1960 extension partially wraps around this earlier rear elevation.</p>	

<p>Western elevation</p>	<p>The western elevation retains some legibility of the original c1860s building, however has 1920s additions – a bay window on the northern end and centre, and a simple lean-to towards the southern end, likely added after the 1920s works, but prior to 1946. The walls are a mix of painted brick associated with the earlier building and stucco associated with the later extensions.</p>	
<p>Roof form</p>	<p>Whilst the main roof form still retains some legibility of the original c1860s form, it has been altered and extended by the 1920s additions. Noting that the 1924 fire extensively damaged the roof, it is not clear whether this precisely follows that line, although glimpses in early photographs suggest a simple roof form probably similar to the basic roof form that remains. The 1920s additions have a variety of added roof forms, including the pyramidal forms of the bay windows, a projecting gable with pressed tin infill to the western elevation and simple skillion of the western lean-to. The 1960s extension is near-flat roofed.</p>	

Roof cladding & rainwater goods.	The roof cladding, rainwater goods etc. have recently been replaced to a high standard with short-sheet galvanised iron and appropriate gutters, ridges etc. (via a Minor Works Approval from the Tasmanian Heritage Council).	
Eaves, fascias etc.	The timber eaves and fascias are a mix of probably original (although fire damage extent is not known) and predominantly 1920s repair work.	
Chimneys	The building retains several brick chimneys with simple corbelling which are probably original.	
Veranda	The veranda dates from the 1920s works. It is probable that the original building had a simple front veranda, but the later works introduced a more ornate wraparound form. This has been partially infilled on the eastern side (probably c1940s) however the sunroom on the north-western corner is likely to be contemporary with the 1920s work.	



Masonry

The western elevation retains some painted face brick, however the rear portion is rendered. The southern elevation is rendered, and the northern and eastern elevations are stucco rendered from the 1920s post-fire works. This stucco is probably rendered over timber lathe and the 1920s additions are on rusticated sandstone foundations.

Note that the southern lean-to on the western elevation has stucco similar to the 1920s work, however an early photograph of that addition shows it as weatherboard clad, which has later been stuccoed to imitate the 1920s work.



Example of textured stucco on the 1920s addition. Note the rusticated sandstone foundations.



Contrasting wall treatments on the western elevation – face brick, textured stucco and render.

Windows.

The western elevation retains two 12-pane timber-framed sash windows which are probably original, as does the southern elevation (current kitchen). All other windows date to the 1920s post-fire works.



French doors deriving from the 1920s works (eastern elevation).


Doors

All exterior doors derive from the 1920s post-fire works, including French doors to the eastern elevation, the doors associated with bay windows and the front door itself.



1920s front and back doors.

## 5.2. Exterior, Landscape and Setting Elements

Item/component	Description/Notes	Image
Fencing	<p>The front fence/retaining wall derives from the mid-1920s widening of Sandy Bay Road. This may be a reconstructed replica of what would have originally been further forward. The gate is a later replacement/addition. The now-removed vehicular gates matched this style.</p>	

Garden layout and plantings

The garden is s distinctive feature of The Elms, representing an appropriate late-c19th/early c20th domestic garden. A detailed garden/landscape study is beyond the scope of the current document, however is recommended ahead of any major interventions to established plantings and the garden structure.



Outbuilding/garage

At the rear of the residence is a brick outbuilding with a hipped roof. This is likely to have been part of the 1920s post-fire works, however was certainly in existence before 1926, when it was extended to the west for a garage. If it is earlier than the 1924 fire, it would not be my much, as stylistically it resembles an Inter-War period building. Figure 4.9 depicts the use as a bedroom, store room and wood store, with an internal wall being removed as part of the garage extension. Internally the building retains one intact room on the eastern end, with the remainder substantially modified.



Garage

A brick garage, probably dating from the 1930s is on the south-western corner of the site. This is a simple structure with a hipped roof of no notable merit.



### 5.3. The Interior of the Building

The scope of the current project does not include a detailed assessment of the interior of the building, however some understanding of the evolution of the building and general significance of fabric is required in order to apply the heritage management policies in Section 8. The current aspirations for the site do not include any major works to the interior of the building (with the exception of the kitchen, bathroom and laundry areas – which have been modified previously and are clearly of no significance apart from their general form), however if future major works are planned, then further analysis of the interior may be required. Inspection of the roofspace to give an indication of the extent of 1924 fire damage (noting that the contemporary account noted damage to three rooms) may assist in understanding the evolution of the interior and its detailing.

#### General comments:

Form: The form of the interior retains some legibility of an eight-roomed mid-Victorian building with central hallway and rear foyer. The current living room has had a central wall removed to provide for that large space, and the two front bedrooms have been enlarged by the 1920s bay windows as has the living room. The hallway has been extended forward with an added vestibule and side-entry door. Various modifications have been made to accommodate bathroom and laundry spaces. The rear room now accommodating the laundry and bathrooms has been substantially modified as part of the post 1920s fire works, as had the rear entrance arrangements.

Walls: The walls are solid render over masonry (likely brick). It is unclear how much of this is original and how much derives from the 1920s works.

Floors: Floors (where not carpeted) appear to be generally original to the c1860s and 1920s portions of the building respectively.

Ceilings: Some ceilings are lathe and plaster, and it is again unclear whether these are original or part of the fire repair works. The living room has an ornate pressed metal ceiling likely dating from the 1920s works. Later decorative cornices have been added in some rooms.

Joinery and hardware: The joinery probably derives mostly from the 1920s post-fire works, however it is likely that some original c1860s joinery remains, particularly skirting boards and architraves associated with original windows.

Fireplaces: Most (if not all) original fireplaces remain, however some have been blocked, some have had later brickwork added and those in the front bedrooms have had Victorian-style mantelpieces added.

## 6. STATEMENT OF HISTORIC HERITAGE SIGNIFICANCE

### 6.1. Existing Statements of Historic Heritage Significance

The Tasmanian Heritage Register datasheet entry for both titles includes the following statements of significance:

***d) The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.***

*The Elms is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey brick Victorian domestic building.*

***f) The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.***

*This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.*

Note that the Tasmanian Heritage Register datasheet includes the statement:

*This data sheet is intended to provide sufficient information and justification for listing the place on the Heritage Register. Under the legislation, only one of the criteria needs to be met. The data sheet is not intended to be a comprehensive inventory of the heritage values of the place, there may be other heritage values of interest to the Heritage Council not currently acknowledged.*

### 6.2. Revised/Expanded Statements of Historic Heritage Significance

The following statements of significance are based on the national HERCON standard for statements of significance, based on the amount of information currently at-hand. Note that natural history values have not been assessed here, as these are beyond the scope of this assessment. This statement of significance has been based upon the history of the place as outlined above, however could be further refined with more detailed investigations into the site history.

The assessment methodology for each criterion follows the methodology details in the Tasmanian Government's Assessing Historic Heritage Significance for Application with the Historic Cultural Heritage Act 1995 (Version 7,

February 2025). That document provides a ‘tiered’ approach to assessing significance at both a state and local level and is considered to represent a sound approach to assessing values.

<b>A. Importance to the course, or pattern of our cultural or natural history.</b>
A place is of importance to the course or pattern of Tasmania’s history if that place is the product of, or is an example of, or was influenced by, or has influenced, or is associated with, or has a symbolic association with, or is the site of – an event, phase, period, process, function, movement, custom or way of life (including values, aspirations, tastes and fashions) which has made a strong, noticeable or influential contribution to the evolution or pattern of the settlement and development of Tasmania.
The Elms is of historic heritage significance as it demonstrates the mid-c19th subdivision of the Sandy Bay area as it transitioned from rural holdings to large city-fringe residences in a suburb of its own right. The evolution of the building as a large residence on a large allotment represents the status of Sandy Bay as a suburb associated with prominent local persons.

<b>B. Possession of uncommon, rare or endangered aspects of our cultural or natural history.</b>
A place demonstrates rare or uncommon aspects of Tasmania’s heritage if that place illustrates in its fabric an event, phase, period, process, function, movement, custom or way of life (including values, aspirations, tastes and fashions) which, or an aspect of which: (i) was considered uncommon or unusual at the time of its origin; (ii) is no longer practised AND is of special interest; or (iii) was once commonplace but for which there is little surviving evidence in Tasmania.
The Elms is not considered to represent any uncommon, rare nor endangered aspects of our cultural or natural history.

**C. Potential to yield information that will contribute to an understanding of our cultural or natural history.**

A place has the potential to yield information that will contribute to an understanding of Tasmania's history if, through analysis and further examination or research of the place and its fabric (including artefacts), it can provide information that could not be derived from any other source. While this criterion in Tasmania is most often used to define archaeological research potential, it may also be used for the research potential of architectural design, construction techniques, historical gardens, etc.

Consideration of archaeological potential is beyond the scope of the current assessment. Noting that the site was once part of a larger rural holding, and where early imagery depicts now lost buildings in the area (albeit spatial location is difficult to ascertain), the site may have the potential to yield information on past land use.

**D. Important in demonstrating the principal characteristics of a class of cultural or natural places or environments.**

This criterion is concerned with representativeness. A place included under this criterion should demonstrate the principal characteristics of a particular class of cultural place if that place displays the defining features, qualities or attributes of its type, where type or class of place illustrates a range of human activities including a way of life, a custom, an ideology or philosophy, a process, a land use, a function, a form, a design, a style, a technique or some other activity or achievement. To be considered a good representative example, the place should have a high level of intactness.

The Elms is of historic heritage significance in its ability to demonstrate a large outwardly Inter-War period residence on a large and well landscaped/established allotment. The building has evolved in at least three periods, therefore it is not considered a fine or pivotal example of any single architectural period and its evolution is linked to its historical significance of the development of a large residence.

**E. Importance in exhibiting particular aesthetic characteristics**

This criterion may be interpreted as a place being important because of its aesthetic significance if that place exhibits sensual qualities that can be judged against various ideals including beauty, picturesqueness, evocativeness, expressiveness, landmark presence, symbolism or some other quality of nature or human endeavour.

Whilst a detailed garden study is beyond the scope of the current assessment, it is likely that The Elms is of historic heritage significance due to the age, scale and formal landscaping of the gardens which provide a pleasant aesthetic contributing to the wider area. Consideration however needs to be given to the fact that a 'pleasant aesthetic' may not necessarily equate to historic heritage significance – further analysis is warranted to adequately address this criterion.

**F. Importance in demonstrating a high degree of creative or technical achievement at a particular period.**

A place is important in demonstrating a high degree of creative or technical achievement if that place illustrates artistic or technical excellence, innovation, accomplishment, extension or creative adaptation in a variety of fields of human endeavour including but not exclusive to art, engineering, architecture, industrial or scientific design, landscape design, evolved design, construction, fabrication, manufacture, or craftsmanship.

The Elms is not considered to demonstrate any important creative nor technical achievements at any particular period.

**G. Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.**

A place has a special associational value if it is associated with a person, organisation or group of people who or which is of importance to the history of Tasmania. In this context, importance may relate not only to the great and well-known, but also to the influential, the exemplary, and the innovative.

The Elms is not likely to have any particular historic heritage significance to any particular community or cultural group for social, cultural or spiritual reasons.

**H. Special association with the life or works of a person, or group of persons, of importance in our history.**

A place has a special associational value if it is associated with a person, organisation or group of people who or which is of importance to the history of Tasmania. In this context, importance may relate not only to the great and well-known, but also to the influential, the exemplary, and the innovative.

Whilst The Elms have been associated with some prominent early Tasmanian business people and identities, this is likely to be more of historical interest than historic heritage significance.

## 7. SIGNIFICANCE OF INDIVIDUAL ELEMENTS AND ABILITY FOR CHANGE

Based on the overall statements of significance outlined in Section 6, and the broad description and analysis of the evolution of the place as detailed in Section 4, individual and collective elements, and other possible heritage values (e.g. intangible values) of the place will be assessed here, in order to assign or rank specific levels of significance, upon which heritage management policies will be formulated in Section 10. For the purposes of this section the following scale will be used to assign degrees of significance to individual elements of the fabric and form of the place:

<b>High</b>	Elements, forms or spaces which readily demonstrate important aspects of the significance of the place or related important historic theme.
<b>Medium</b>	Elements, forms or spaces which less-readily demonstrate important aspects of the history of the place or readily demonstrate aspects of lower significance (or related important historic theme).
<b>Low/no</b>	Elements, forms or spaces which less demonstrate less important aspects of the history of the place.
<b>Neutral</b>	Elements, forms or spaces which neither contribute to, nor detract from, the significance of the place.
<b>Intrusive</b>	Elements, forms or spaces which obscure the significance or are likely to threaten the longevity/integrity of significant elements, forms or spaces.

Whilst it is noted that the significance of any place need not necessarily be solely embodied in original fabric (i.e. later modifications can contribute to significance through demonstrating the evolution of the place), it is relevant to consider the impact that later modifications may have had on the integrity of more significant elements and whether that has diminished the significance of such. Similarly, decay of significant elements may also have an

impact on their ability to demonstrate significance. Accordingly, following scale will be used to rank **levels of integrity** of elements, forms or spaces within the context of the overall significance of the place:

<b>High</b>	Elements which are highly intact and readily demonstrate their respective significance.
<b>Medium</b>	Elements which subsequent modification or degradation have obscured or reduced their ability to readily demonstrate their respective significance; however this may be retrievable through restoration without the need for introduction of substantial new fabric which may reduce or obscure significance.
<b>Low</b>	Elements which have lost the ability to demonstrate any significance and could not feasibly be restored without conjecture or substantial addition of new fabric.

The following matrix represents the interplay of integrity and significance and introduces colour coding as used in the following tables:

	Integrity		
Significance	High	Medium	Low
High			
Medium			
Low			
Neutral			
Intrusive			

Accordingly, the following colour code has been adopted to consider significance in-light of the integrity of that particular element:

<b>High</b>	
<b>Medium</b>	
<b>Low/no</b>	
<b>Neutral</b>	
<b>Intrusive</b>	

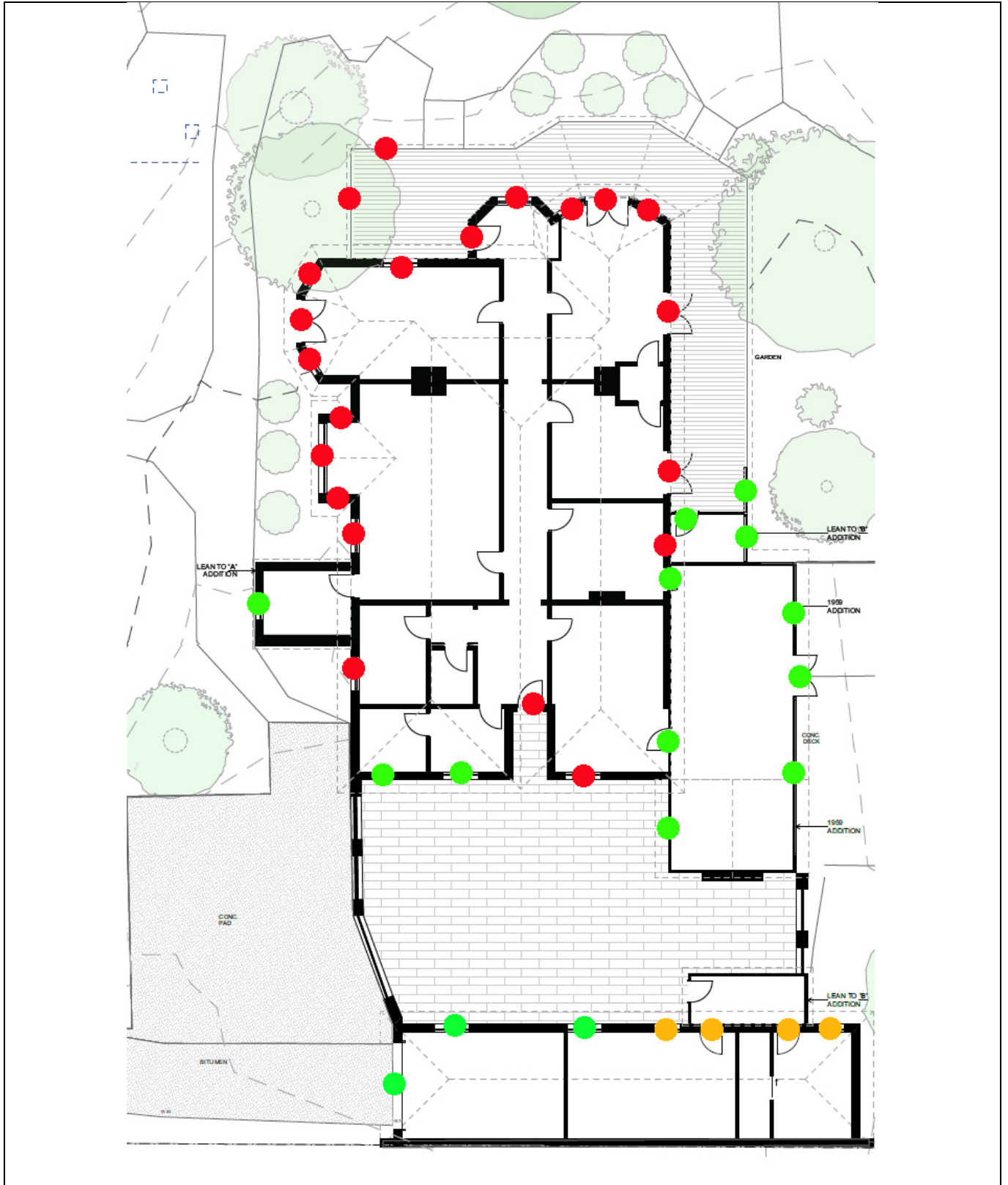
The above is also correlated with the ability to sustain further change, i.e. elements of high significance have a low ability to sustain further change, elements of low significance and neutral elements have a greater ability to sustain change, and intrusive element ought be changed. The following Tables provide an overview of the significance of the elements of the building and brief commentary on their ability to sustain further change. These are further articulated in the heritage management policies in Section 9.

The following colour coding will be used to express the ability of particular elements to sustain change/modification:

<b>Do not change unless absolutely necessary</b>	
<b>Some changes may be possible</b>	
<b>Change may be readily acceptable.</b>	
<b>Change is encouraged</b>	

Exterior				
Element		Significance	Ability for change	Recommendations and ability for modification
Overall form	Remaining 1860s form and detailing			Ideally retain all 1860s and 1920s elements, however items which have already been altered and those which are not prominent may have some scope for change.
	Predominant 1920s form and detailing			
	Western extension (1920s)			Although part of the 1920s works, this element is architecturally awkward and of no particular merit.
	Eastern extension (1960s)			Retain, remove or modify within existing envelope with no further heritage input required.
Elevations	Northern			This elevation presents as a reasonably cohesive 1920s addition.
	Eastern			These elevations represent the evolution of the building and minor change to provide amenity and continuity of use as a large residence are likely to be acceptable.
	Southern			
	Western			
Roofing	Form			Whilst the roof form represents an evolved building it does have an overall cohesive tenor and ideally should not be further altered.
	Cladding			These elements have recently been replaced/restored to a high quality. Future like-for-like maintenance/repairs are acceptable.
	Rainwater goods			
	Eaves, fascias etc.			

Chimneys				Retain and maintain as necessary.
Masonry/render				Retain and maintain as necessary.
Veranda	Structure			Retain and maintain as necessary. Undertake structural repairs like-for-like as necessary.
	North-western sunroom			
	Eastern infill			
	Floor			Recently replaced in a sympathetic manner.
Windows and doors	Refer to Figure below.			High significance windows, doors and apertures, do not modify.
				Medium significance windows, doors and apertures. Only modify if necessary.
				Low/no significance windows, doors and apertures. Retain or modify as desired.



Exterior, landscape and setting elements				
Element		Significance	Ability for change	Recommendations and ability for modification
Garden	Structure			It is recommended that a garden/landscape study be undertaken (incorporating existing arboricultural advice from Tree Pioneers) if any major interventions to the garden are proposed (noting that this is beyond the scope of the current document).
	Plantings			
Viewlines				It recommended that a viewscape analysis be undertaken for any proposed development which may be prominent from Sandy Bay Road (e.g. any major development forward of the front building line of the existing residence). This is beyond the scope of the current document.
Outbuilding	Original portion			
	1926 extension			
	Porch			
Garage				
Front fence/ retaining walls				Noting that this has probably been relocated, it is a prominent streetscape element.
Paving, decks etc.				
Internal and boundary fencing				

## 8. HERITAGE MANAGEMENT POLICIES

### 8.1. Heritage Management Objectives

The following objectives drive the conservation management process for the subject site:

- To encourage the ongoing use of the building as a large single residence.
- To acknowledge that the building has evolved in at least three phases and does not represent any single architectural period.
- To acknowledge however that the overall character of the building and site represents a substantial Inter-War residence on a large and well landscaped allotment.
- To maintain the amenity of the building for its ongoing significant use.
- To seek that any proposals are consistent with outcomes required by statutory heritage provisions.

### 8.2. Purpose of Policy and Definitions and Role of Statement of Significance

It is expected that any administrators and professionals planning and undertaking physical works on site will first familiarise themselves with all general conservation policies, then the specific implementation recommendation (based on these policies) relating to the particular element on which works are being planned.

Any conservation policy strongly favours the conservation of elements of primary significance, and the removal of elements which may be of detriment to the conservation or interpretation of elements of a higher significance. A thorough understanding of the statement of significance, and the specific significance of individual items, is therefore essential in appreciating how specific policies have been developed, and how these should be applied to the physical attributes of the place.

The statement of significance has defined and ranked the eras, themes and associations which the place represents, and the analysis of the physical attributes has detailed what represents such. Each element of the physical fabric has been assigned its own significance level, based on its ability to demonstrate the significance of the place, and thresholds for assignment of this significance have been kept consistent in the assessment of all elements.

The policies below, therefore, broadly guide how this fabric should be treated (within the context of form, associations, setting etc.) in order to allow it to better conserve and demonstrate the statement of significance.

### **8.3. Development of policy**

Having ascertained the ability for fabric to demonstrate the statement of significance, constraints, opportunities and requirements are considered, alongside stakeholder requirements, to develop the broad conservation policies below. Whilst conservation policies may be contrary to the constraints, opportunities or requirements, the policies aim to best address these whilst still maintaining appropriate conservation practice. Any unresolved conflict is then to be specifically debated in the implementation strategy for any particular proposal.

### **8.4. Policies**

As per the methodology in Section 3, the underlying principle by which all conservation practices should be guided is the ICOMOS Australia *Burra Charter*. The statement of significance has defined the attributes of the site of which greatest significance is assigned, thereby the priority of conserving attributes associated with such should be considered paramount compared to those of lesser significance. This, however, must be balanced with retention of elements of lesser significance where guided by the conservation policies. With the statement of significance in mind and with the adoption of Burra Charter principles this section will introduce the conservation policies developed specifically for the subject site.

1	General Policies		Objective of Policy
1.1	Approach to works	The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> . <sup>9</sup>	To ensure that all works are undertaken in a manner which seeks to enhance and not diminish the heritage values of the place and that adequate heritage input is included in any future development of the place.
1.2	Use/development	Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place and wider environs.	
1.3	Supervision	All works to the significant elements of the place, and planning for such works, must be guided by a conservation architect, heritage consultant or other person(s) qualified and experienced in the conservation of historic heritage places.	
1.4	Ongoing use	The use of the place as a large family residence is the ideal means to perpetuate its historical values. Ideally that use should remain, however use as a small hotel/ short-stay accommodation may also be a compatible use.	

<sup>9</sup> <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

1.5	Balance of heritage impact	It is acknowledged that some heritage impact may arise from the desire for the place to provide amenity associated with its significant ongoing use (e.g. addition of kitchens/bathrooms etc.). Any such impacts must be balanced with whether that heritage impact is necessary, under the overarching necessity of a compatible use.	To allow maximum amenity and compliance of the building in facilitating its significant ongoing use.
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2	Significant Fabric & forms (to be read in conjunction with Section 6)		Objective of Policy
2.1	Significant fabric and forms	Fabric, forms and spaces deemed to be of high significance must be conserved and a careful balance to achieve Policy 1.5 must be considered.	To retain the integrity of the building but to ensure that it remains fit-for-purpose.
2.2	Non-significant fabric and forms	Elements of the building which are of low or no significance may be retained, modified or demolished as desired. Removal of lesser-significant fabric to reveal fabric/forms of higher significance is encouraged.	To recognise that there are portions of the building which are not considered to be of heritage value and in some cases may be inhibiting the appreciation of heritage value.

3	Exterior Building Envelope(s)		Objective of Policy
3.1	Pre-1930 building form (including roof and detailing (including windows, doors, render finishes and veranda).	The general form of the pre-1930 portions of the building should be retained, however minor modifications may be acceptable if these are required for the amenity of continuing the significant use of the building. Significant exterior detailing should be retained, unless replacement is necessary for repair, weatherproofing or security purposes, in which case compatible styling and materials must be used. New work should be sympathetic to the original form, detailing and materials.	To acknowledge the predominant architectural character of the building but also to allow for the continued evolution of the stages of the building.
3.2	C1860s building form and detailing (including face-brick walls, windows and doors).	The remnant form and detailing of the original (c1860s) building should be retained. Significant exterior detailing should be retained, unless replacement is necessary for repair, weatherproofing or security purposes, in which case compatible styling and materials must be used. New work should be sympathetic to the original form, detailing and materials.	To conserve this earlier and rarer fabric and detailing as part of the earlier history of the building.
3.3	Post 1930 extensions.	These may be retained, removed or modified within their existing building envelopes as desired.	To recognise that these are not of heritage value.

3.4	Outbuilding.	Retain this building, however modifications within the existing building envelope for adaptive reuse are likely to be acceptable.	To acknowledge the lower heritage significance of this building, but to ideally retain its general tenor as part of the evolving history of the site.
3.5	Garage.	Retain this building, however modifications within the existing building envelope for adaptive reuse are likely to be acceptable.	To acknowledge the lower heritage significance of this building, but to ideally retain its general tenor as part of the evolving history of the site.

4	Interior		Objective of Policy
4.1	General layout	The general layout of the interior should remain unchanged with the exception of removing later insertions and reinstatement of missing elements if desired.	To retain the legibility of the interior, although noting that this has evolved.
4.2	Linings	Original linings should be retained and where defective be reinstated in a compatible material.	To retain and restore original lining detail.
4.3	Flooring	The timber floors should be retained. These may be covered with floorcoverings if desired. Any tiling (etc) for wet areas should be laid on appropriate underlay which can be removed if desired in future.	To retain original flooring detail.

4.4	Significant joinery	Significant joinery (e.g. steps, doors, skirtings, architraves etc. that are original to each major period pre-1930) should remain unchanged, particularly in rooms/areas of the highest significance.	To retain significant joinery.
4.5	Kitchens/bathrooms	Kitchens/bathrooms may be installed in non-principal rooms if desired. Their installation must be as reversible as practicable and not impact upon significant fabric and retain the legibility of spaces. This policy is to act in association with Policies 1.5 and 4.6.	To recognise that these facilities are required to facilitate the ongoing significant use as a residence and to manage the impact arising from such.
4.6	Service installation	<p>The installation of plumbing, electrical, heating, fire detection/protection, security, acoustics and environmental (etc.) services are likely to be acceptable however these should be installed in an unobtrusive manner as possible and in as reversible manner as possible. This policy is to act in association with Policy 7.2.</p> <p>New fixtures and fittings need not attempt to emulate a 'heritage style' but should be sympathetic.</p>	To recognise that these facilities are required to facilitate the ongoing significant use as a residence and to manage the impact arising from such.

5	Extensions and further development		Objective of Policy
5.1	New extensions	<p>The western elevation has the capacity for new extensions provided that these are clearly delineated from the existing building (e.g. via a lightweight link). Any attachment must be rear of the front bay of the building and ideally utilise existing apertures.</p> <p>The eastern elevation has the capacity for new extensions in-place of the 1960s extension if this is removed. Any such extension should ideally utilise existing apertures.</p>	To allow for possible extension of the building, but to retain the integrity of the significant elevations/portions of elevations.
5.2	New buildings	New buildings must be sympathetic and subservient to the existing building and act to support the ongoing significant use of the building as a large residence (see also Policies 5.4-5.6).	Noting that the site has evolved as a large residence in multiple periods and to encourage that evolution and to avoid development that is inconsistent with that use.
5.4	Siting of new buildings	No new buildings are to be constructed forward of the front building line unless these are legible as sympathetic and ephemeral 'garden pavilion' in style, which may be acceptable.	To retain the existing residence as the dominant site feature.
5.5	Bulk and footprint of new buildings.	New buildings should be subservient in scale and in particular not exceed the height of the peak roof height of the existing building.	

5.6	Form and style of any new buildings.	The form and style of any new buildings need not emulate the character of the existing building and should be clearly legible as new (i.e. not attempt to imitate any particular period of the existing building).	Noting that the building has evolved in several periods and to avoid emulation/emphasis of any particular period that may confuse the legibility of that evolution.
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6	Setting, landscaping and wider site relationships		Objective of Policy
6.1	Retention of large garden form.	In conjunction with Policies 5.4 and 5.5, the tenor of the large garden form must be maintained.	To maintain the tenor of the site in the wider townscape and the notion of a large residence set in large gardens.
6.2	Significant plantings.	A landscape/arboricultural assessment must be undertaken to guide the management of any significant plantings in the environs of the building.	To ensure that significant plantings are identified and managed appropriately.
6.3	Landscaping tenor.	The tenor of the landscape surrounding the building should ideally be that of a large Inter-War residential theme informed by historical landscape depictions. This should be informed by a landscape assessment undertaken by persons with experience in heritage landscapes.	To provide a landscape setting appropriate to the significant use of the building and its place in the wider townscape.

6.4	Parking/garaging.	All parking and/or garaging should be rear of the forward building line.	To retain the existing residence as the dominant site feature and to avoid visual clutter in the garden landscape.
6.5	Fencing	The front fence/wall on Sandy Bay Road must be retained. Any proposed internal fencing must be sympathetic to the building, particularly where visible from the front of the building. Modern fencing should be as subservient as practicable.	To retain the dominant streetscape element of the front fence/wall, but to allow for appropriate internal fencing in response to practical needs.
6.6	Subdivision/strata titling.	The site should not be subdivided or strata titled.	To maintain the significant title configuration in the context of townscape evolution and to discourage further development that may be inconsistent with the tenor of a large residence on a large lot.

7	Access and National Construction Code compliance		Objective of Policy
7.1	Building surveyor and compliance	Where substantial adverse heritage impact would arise from meeting NCC compliance, detailed dialogue must occur between the building surveyor, heritage consultant, client and permit authorities to balance heritage impact and compliance and to consider feasible alternatives,	To acknowledge that NCC compliance may be more difficult within a heritage building and that the NCC has provisions for a relaxation of requirements based on a satisfactory performance solution where adverse heritage impact may arise.

		performance-based solutions and a pragmatic balanced outcome.	
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## 9. HERITAGE IMPACT ASSESSMENT

### 9.1. The Proposed Development

The proposed development is detailed on Room 11 plans for project 521 Sandy Bay Road, Development Application, by Room 11 Architects.

The following document package has been relied upon for this heritage impact assessment:

#### DRAWING INDEX

ID	NAME	ISSUE	DATE
	COVER		
A0.01	LOCATION PLAN	B	30/10/2025
A0.02	EXISTING SITE PLAN	B	30/10/2025
A0.03	EXISTING SITE PLAN CONT.	B	30/10/2025
A0.04	DEMOLITION SITE PLAN	B	30/10/2025
A0.05	PROPOSED SITE PLAN	B	30/10/2025
A0.06	PROPOSED SITE PLAN CONT.	B	30/10/2025
A0.07	TREE PROTECTION PLAN	B	30/10/2025
A1.01	EXISTING FLOOR PLAN	B	30/10/2025
A1.02	EXISTING FLOOR PLAN C CONT.	B	30/10/2025
A1.03	DEMOLITION PLAN	B	30/10/2025
A1.04	DEMOLITION PLAN CONT.	B	30/10/2025
A1.05	PROPOSED FLOOR PLAN	B	30/10/2025
A1.06	PROPOSED FLOOR PLAN CONT.	B	30/10/2025
A1.07	PROPOSED BASEMENT PLAN	B	30/10/2025
A1.08	PROPOSED ROOF PLAN	B	30/10/2025
A2.01	EXISTING ELEVATIONS	B	30/10/2025
A2.02	EXISTING ELEVATIONS	B	30/10/2025
A2.03	PROPOSED ELEVATIONS	B	30/10/2025
A2.04	PROPOSED ELEVATIONS	B	30/10/2025
A2.05	PROPOSED ELEVATIONS	B	30/10/2025
A2.06	PROPOSED ELEVATIONS (OUTBUILDING)	B	30/10/2025
A3.01	PROPOSED GARAGE FLOOR & ROOF PL...	B	30/10/2025
A3.02	PROPOSED GARAGE ELEVATIONS	B	30/10/2025
A4.01	ARTISTS IMPRESSION 01	B	30/10/2025
A4.02	ARTISTS IMPRESSION 02	B	30/10/2025
A4.03	ARTISTS IMPRESSION 03	B	30/10/2025
A4.04	STREETSCAPE STUDY	B	30/10/2025

Further, the following documents have also been consulted:

*Arboricultural Tree Audit, for Wade Fromberg, 521 Sandy Bay Road, Sandy Bay Tas 2005. Tree Pioneers. July 2025.*

*The Elms, 521 Sandy Bay Road, Scope of Garden Works. O'Reilly's Garden Concepts (not dated).*

## 9.2. General Commentary on Heritage Impact

This section will consider the proposal against the recommendations of Section 7 of the current document in terms of the individual elements of the building. Firstly an annotated commentary on the plans will be provided, which will then be considered against the table of recommendations from Section 7 and the heritage management policies of Section 8 will be considered.

The following colour coding has been used to identify where impact is likely/possible:

	No impact and accords with recommendations and/or conservation policy. The project architect is invited to provide any points of clarification on such items, however this is not considered necessary or mandatory.
	Minor impact, but readily justifiable as a means of promoting a feasible use/ adaptive reuse and generally accord with recommendations and/or conservation policy. The project architect is to provide brief comment on other factors which need to be considered in justifying heritage impact on these items – which are considered as acceptable.
	Major impact and does not accord with recommendations and conservation policy. Refer to the architect's statement and/or comments against these items for a more balanced consideration against non-heritage factors affecting the development proposal and considerations against 'prudent and feasible' alternatives which may justify the impact.

## Demolition

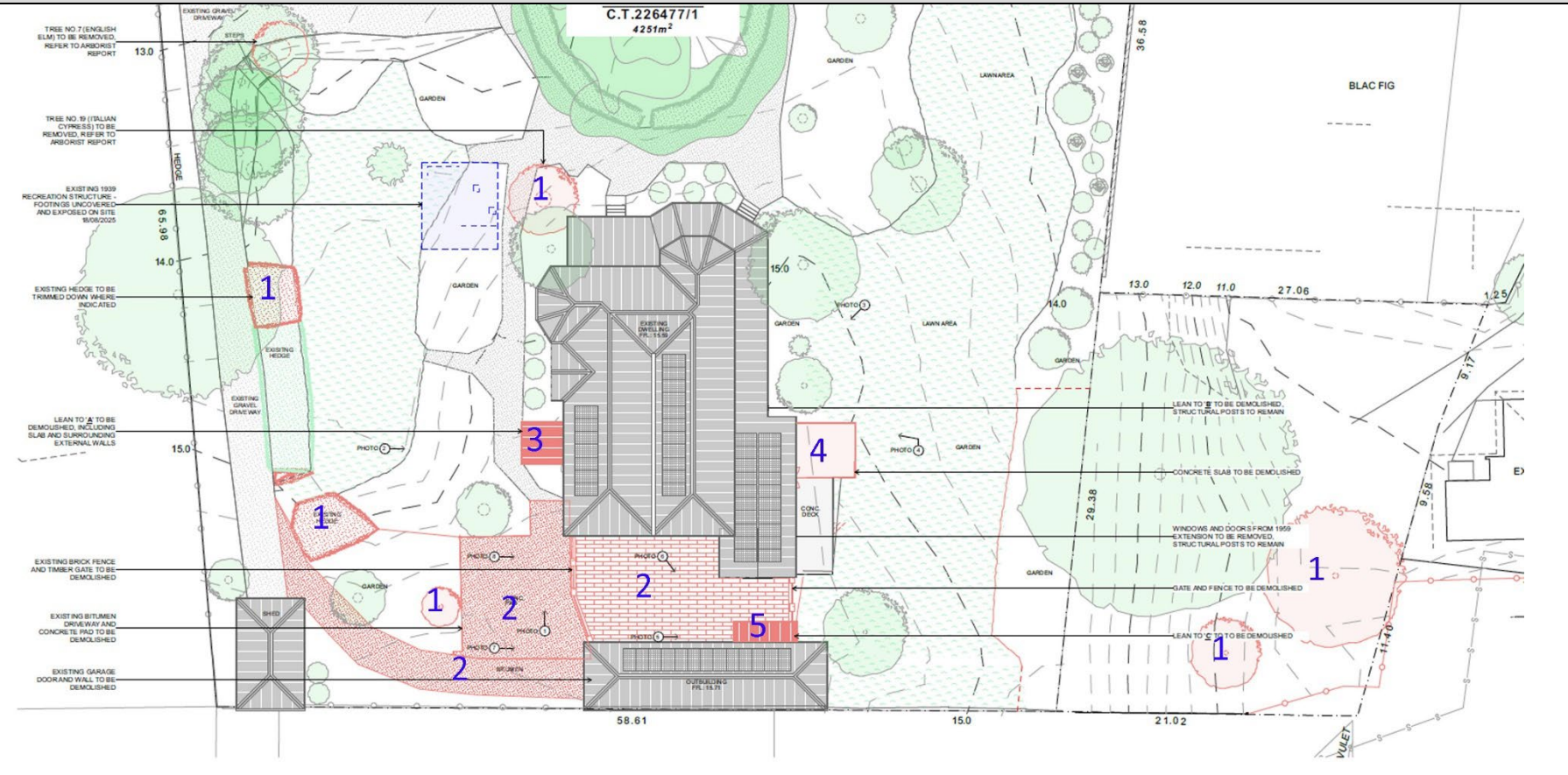
The proposed development involves minimal demolition which is overall considered to have little or no heritage impact, and any such impact is considered justifiable in the facilitation of facilitating the amenity of the residence for the continuation of its significant original use – that of a large family residence. As per the history in Section 4, the residence has evolved in at least three major stages – its architectural integrity representing any particular stage is limited, however as a whole the evolution of the building depicts the manifestation of that history. Demolition is limited to:

- Partial demolition of the 1960s eastern extension.
- Demolition of a 1920s skillion of no notable merit.
- Removal of later porch infill on the eastern side of the residence.
- Partial demolition of later elements of the outbuildings.
- Minor demolition to widen added doorways of the 1860s portion of the residence to facilitate discrete connections.
- Removal of modern paving, fencing etc.
- Removal of one large tree (tree 19 as per the Tree Pioneers report) and some non—notable trees from the far eastern portion of the site (on the secondary title), as well as removal of some minor plantings.

**There is some concern at the removal of the large tree (Tree 19) and the lack of information on how tree protection zones will be impacted/managed.**

This heritage impact assessment expresses no concern at the extent of demolition, which is detailed in the following tables with specific commentary on each element.

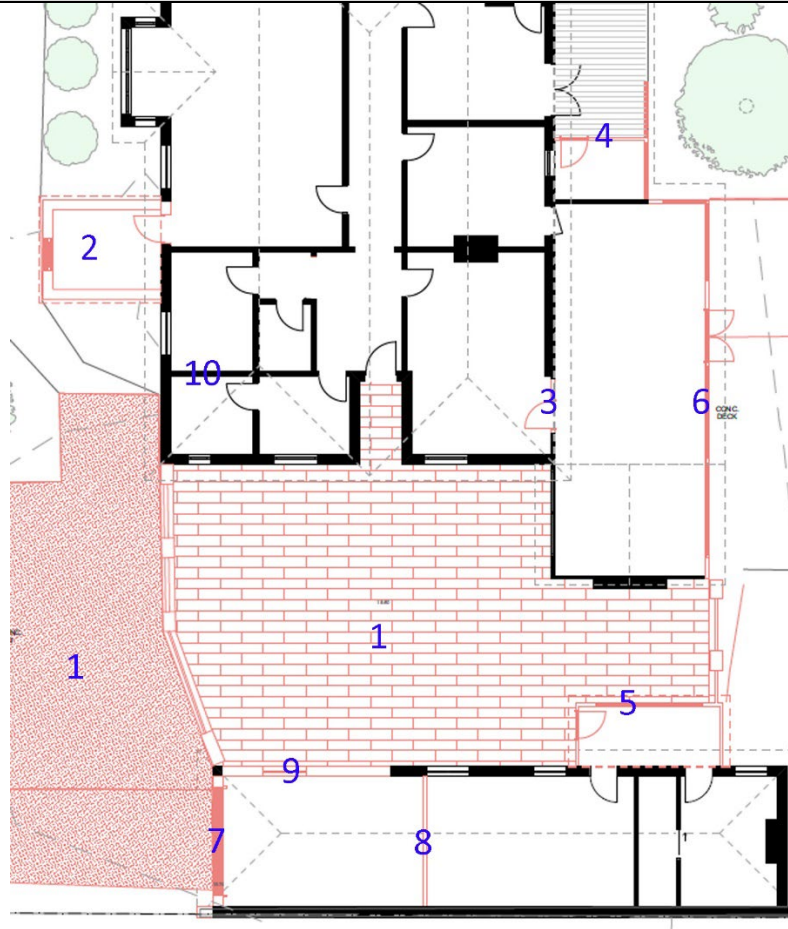
**Demolition plan – site. Room 11 Drawing A0.04.**



Item	Proposal	Comment on possible heritage impact
1	Vegetation removal	Some advanced trees and portions of the hedge are proposed to be removed, to facilitate development and allow more practical vehicular access.  Two trees on the eastern side of the site (on the smaller title) are proposed for removal. These have not been assessed by the Tree Pioneers report and are not evident on the 1967 aerial photograph (See Figure 4.14) therefore these are unlikely to be of significance.

		<p>It is proposed to remove 'Tree 19' as described by the Tree Pioneers report as <i>Cypressus sempervirens</i>. This is an advanced tree which appears to be the tree depicted in the 1920s artwork (and may be the tree seen in the c1900 photograph at Figure 4.7) and is certainly evident on the 1946 aerial photograph (see Figures 4.10 and 4.11), it is likely that the tree has some significance. However, the Tree Pioneers Report (p7) recommends the removal of this tree (for the reasons detailed in that report). Whilst this is an unfortunate loss of a heritage item, it is acknowledged that the life of such trees is finite, and that the view of the arborist must take precedent over heritage value. As a mitigation strategy it is recommended that a replacement tree of the same species (potentially propagated from the existing) be planted in a nearby location to perpetuate the heritage value of this tree.</p>
2	Removal of modern paving, driveway etc.	This is of no significance.
3	Demolition of c1930s skillion.	This skillion resembles the 1920s work, however as per Figure 4.13 this was originally weatherboard clad, suggesting that it was later than the 1920s, but it is evident on the 1946 aerial photograph (Figure 4.11). Its removal is considered to have no adverse heritage impact.
4	Demolition of later c20th deck.	This is of no significance.
5	Demolition of later c20th porch on outbuilding.	This is of no significance and its removal better reveals the form of the 1920s outbuilding.

Existing buildings demolition plan. Room 11 Drawing A1.04.

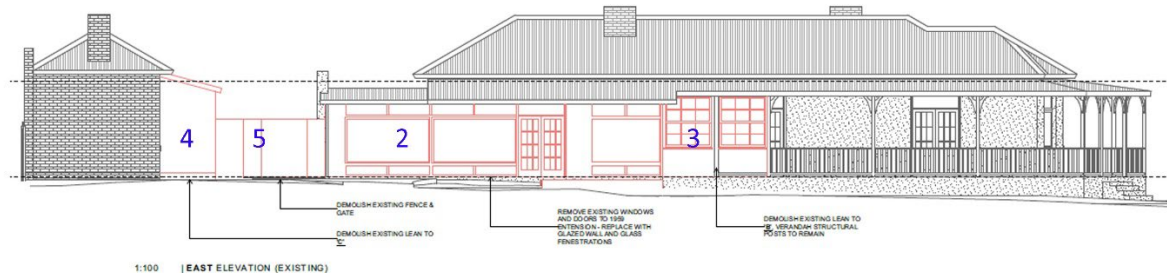


Item	Proposal	Comment on possible heritage impact
1	Removal of modern paving, driveway etc.	This is of no significance.

2	Demolition of c1930s skillion.	This skillion resembles the 1920s work, however as per Figure 4.13 this was originally weatherboard clad, suggesting that it was later than the 1920s, but it is evident on the 1946 aerial photograph (Figure 4.11). Its removal is considered to have no adverse heritage impact.
3	Removal of 1960s added doorway and small section of wall.	This removes non-significant fabric in terms of the door but also involves the removal a small section of c1860s wall. This is considered acceptable for the provision of connection to better resolved extension to replace the 1960s extension (as discussed below).
4	Removal of mid-c20th veranda infill.	This is of no significance.
5	Demolition of later c20th porch on outbuilding.	This is of no significance and its removal better reveals the form of the 1920s outbuilding.
6	Removal of part of c1960 addition.	This is of no significance.
7	Removal of roller door.	This is of no significance.
8	Removal of later partition wall	This is of no significance.

9	Removal of wall in 1926 addition to earlier outbuilding.	Whilst this section of wall demonstrates the evolution of the outbuilding, it is of low significance and its removal to provide amenity for the ongoing use of the outbuilding is considered acceptable.
10	Removal of part wall and joinery from existing bathroom area.	[Not depicted on demolition plans]. Whilst some of this fabric is likely to be from the 1920s work, it has infilled an original 1860s room and is not considered significant. The modification of these walls to provide amenity for the ongoing use of the service areas of the house is considered acceptable.

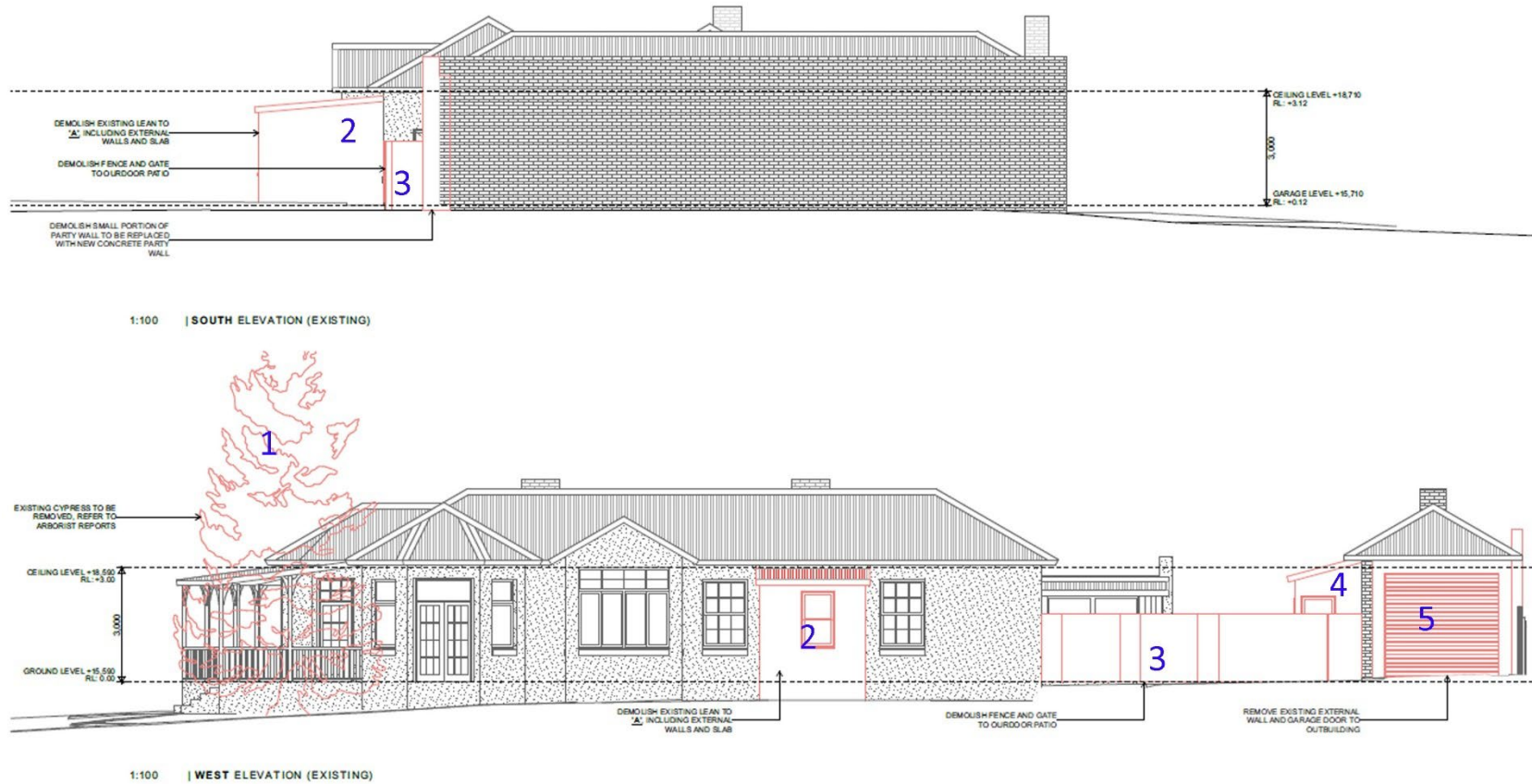
Northern and eastern elevations – demolition. Room 11 Drawing A2.01.



Item	Proposal	Comment on possible heritage impact
1	Vegetation removal	<p>Some advanced trees and portions of the hedge are proposed to be removed, to facilitate development and allow more practical vehicular access.</p> <p>Two trees on the eastern side of the site (on the smaller title) are proposed for removal. These have not been assessed by the Tree Pioneers report and are not evident on the 1967 aerial photograph (See Figure 4.14) therefore these are unlikely to be of significance.</p> <p>It is proposed to remove 'Tree 19' as described by the Tree Pioneers report as <i>Cyprinus sempervirens</i>. This is an advanced tree which appears to be the tree depicted in the 1920s</p>

		<p>artwork (and may be the tree seen in the c1900 photograph at Figure 4.7) and is certainly evident on the 1946 aerial photograph (see Figures 4.10 and 4.11), it is likely that the tree has some significance. However, the Tree Pioneers Report (p7) recommends the removal of this tree (for the reasons detailed in that report). Whilst this is an unfortunate loss of a heritage item, it is acknowledged that the life of such trees is finite, and that the view of the arborist must take precedent over heritage value. As a mitigation strategy it is recommended that a replacement tree of the same species (potentially propagated from the existing) be planted in a nearby location to perpetuate the heritage value of this tree.</p>
2	Removal of part of c1960 addition.	This is of no significance.
3	Removal of mid-c20th veranda infill.	This is of no significance.
4	Demolition of later c20th porch on outbuilding.	This is of no significance and its removal better reveals the form of the 1920s outbuilding.
5	Removal of later c20th courtyard wall.	This is of no significance.

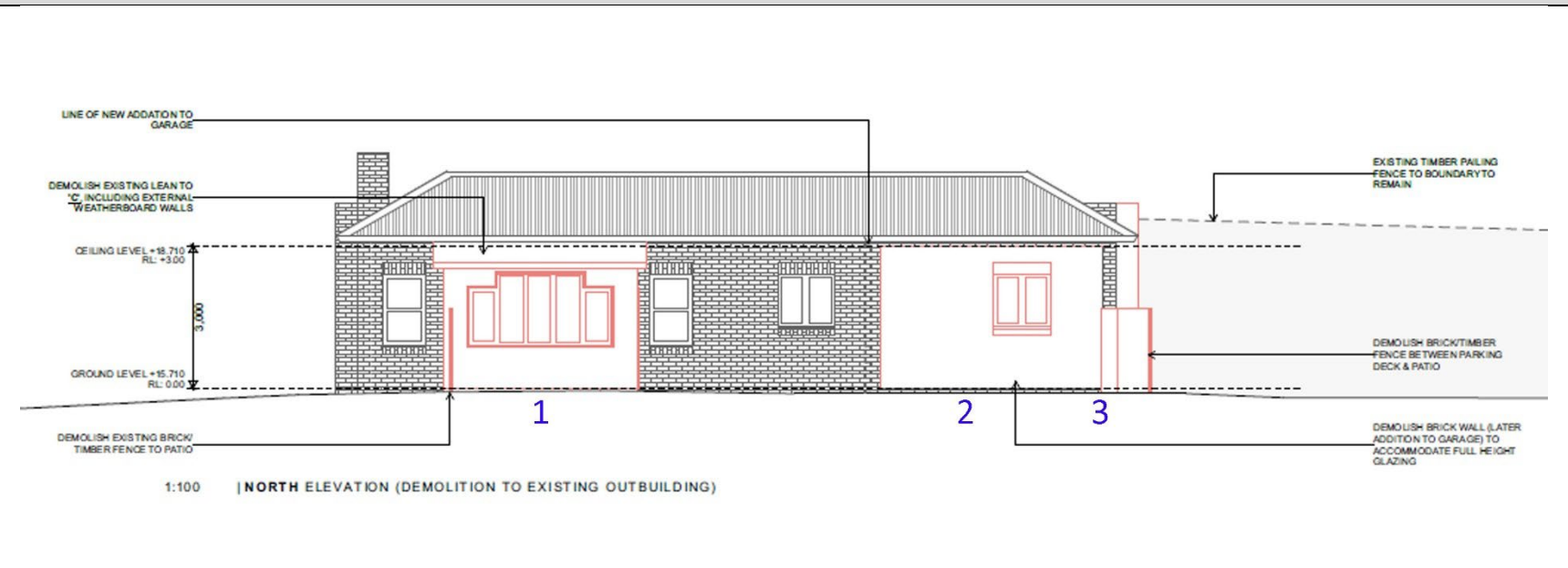
**Southern and western elevations – demolition. Room 11 Drawing A2.02.**



Item	Proposal	Comment on possible heritage impact
1	Vegetation removal	<p>Some advanced trees and portions of the hedge are proposed to be removed, to facilitate development and allow more practical vehicular access.</p> <p>Two trees on the eastern side of the site (on the smaller title) are proposed for removal. These have not been assessed by the Tree Pioneers report and are not evident on the 1967 aerial photograph (See Figure 4.14) therefore these are unlikely to be of significance.</p>

		<p>It is proposed to remove 'Tree 19' as described by the Tree Pioneers report as <i>Cypresssus sempervirens</i>. This is an advanced tree which appears to be the tree depicted in the 1920s artwork (and may be the tree seen in the c1900 photograph at Figure 4.7) and is certainly evident on the 1946 aerial photograph (see Figures 4.10 and 4.11), it is likely that the tree has some significance. However, the Tree Pioneers Report (p7) recommends the removal of this tree (for the reasons detailed in that report). Whilst this is an unfortunate loss of a heritage item, it is acknowledged that the life of such trees is finite, and that the view of the arborist must take precedent over heritage value. As a mitigation strategy it is recommended that a replacement tree of the same species (potentially propagated from the existing) be planted in a nearby location to perpetuate the heritage value of this tree.</p>
2	Demolition of c1930s skillion.	This skillion resembles the 1920s work, however as per Figure 4.13 this was originally weatherboard clad, suggesting that it was later than the 1920s, but it is evident on the 1946 aerial photograph (Figure 4.11). Its removal is considered to have no adverse heritage impact.
3	Removal of later c20th courtyard wall.	This is of no significance.
4	Demolition of later c20th porch on outbuilding.	This is of no significance and its removal better reveals the form of the 1920s outbuilding.
4	Removal of roller door.	This is of no significance.

**Northern elevation, outbuilding – demolition. Room 11 Drawing A2.006**



Item	Proposal	Comment on possible heritage impact
1	Demolition of later c20th porch on outbuilding.	This is of no significance and its removal better reveals the form of the 1920s outbuilding.
2	Removal of wall in 1926 addition to earlier outbuilding.	Whilst this section of wall demonstrates the evolution of the outbuilding, it is of low significance and its removal to provide amenity for the ongoing use of the outbuilding is considered acceptable.
3	Removal of later c20th courtyard wall.	This is of no significance.

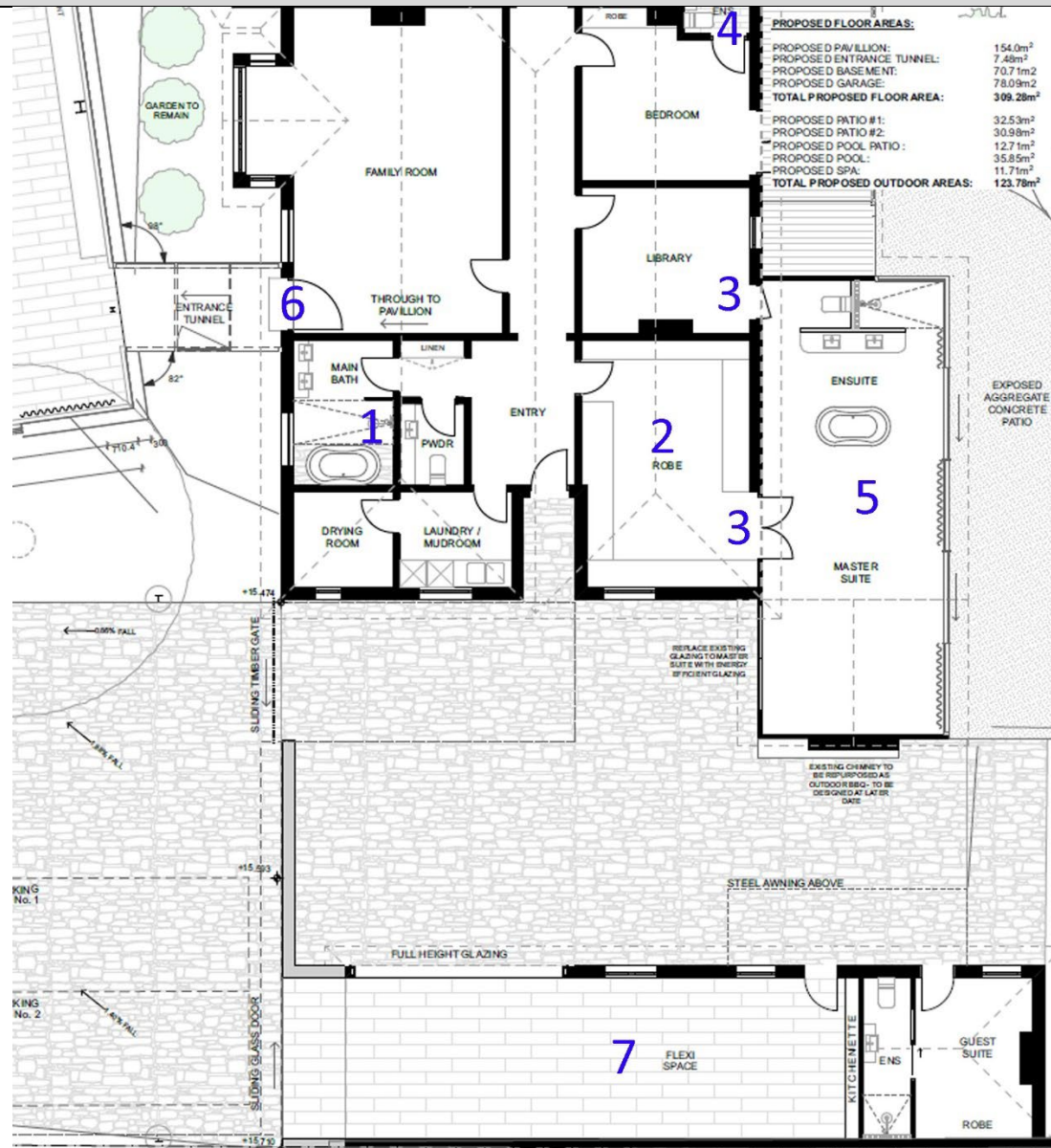


Item	Proposal	Comment on possible heritage impact
1	New living/kitchen area in 'garden pavilion' styled building.	<p>The siting of this extension detached from the existing residence and on a slight angle, as a highly glazed element somewhat 'floating' with a cantilever over the more solid materiality of the basement responds to the notion of it reading as an independent 'garden pavilion' separate from the residence. It is set back from the front building line of the existing residence and utilises existing advanced plantings to soften and screen it from the wider site and will not be a prominent element when viewed from public spaces (if visible at all). Whilst such a large extension does have some impact, it does represent the continued evolution of the site as a large residence and the architecture of the building responds to the garden setting without undue emulation of any of the (various) architectural styles of the site. This extension contains higher-impact amenities (e.g. kitchen) which are more suited to an extension than in the more sensitive earlier building. This is considered to be a suitable design approach and the heritage impact is considered acceptable.</p> <p>Refer to the Tree Pioneers report for the management of tree protection zones in this area, as the development encroaches into these.</p>
2	Paved patio.	<p>The patio will be set low in the landscape and paved to avoid any expanses of bare concrete. Whilst this will be forward of the front building line of the existing residence, it will not be a prominent element and therefore is considered to have no impact. This is designed to protect archaeological remains of former garden pavilion (see frontispiece). This is considered to have acceptable heritage impact given the low visual impact and it assists in perpetuating the connection of built forms with the gardens.</p>

3	Pool and spa with paved apron.	<p>The pool and spa are set low in the landscape with a minimal tiled apron and screen planting to avoid the (minimal, if any) views from the street. Whilst detail of the fencing is not provided, this should be as simple/minimal as practicable (for compliance) however the reality is that any fencing is unlikely to have any notable impact.</p> <p>Refer to the Tree Pioneers report for the management of tree protection zones in this area, as the development encroaches into these.</p>
4	Refit 1960 extension for master suite.	<p>This is contained within the envelope of the existing 1960 extension and provides a better resolved solution for the desired amenity. This is considered to have no heritage impact.</p>
5	Paved area and parking with polycarbonate carport structure.	<p>The main parking and covered outdoor area will be positioned to the rear of the property, and although occupies a large footprint this has been designed to be lightweight and ephemeral in appearance to retain the dominance of the existing built elements on the site. Existing planting provides some screening at the junction of the existing residence and the extension and the structure serves a practical need with as minimal visual presence as practicable. The 'cobblestone' style paving will avoid large expanses of concrete and provide a more compatible approach to the traditional landscape.</p> <p>Refer to the Tree Pioneers report for the management of tree protection zones in this area, as the development encroaches into these.</p>
6	New paved courtyard.	<p>This will replace the existing courtyard paving with a more consistent and appropriate finish which flow to other areas for visual unity. The 'cobblestone' style paving will avoid large expanses of</p>

		concrete and provide a more compatible approach to the traditional landscape. This is considered to have no heritage impact.
7	Works to outbuilding	The outbuilding will be subject to works to provide for a larger more unified space and allow greater solar access and amenity. See specific comments below. This is considered to have acceptable heritage impact given the lower significance of this building.
8	New garage	The proposed garage is situated distant from the existing residence, low in the landscape and has been designed in with minimal bulk with timber cladding providing a subservience of materiality. This is considered to have no heritage impact.

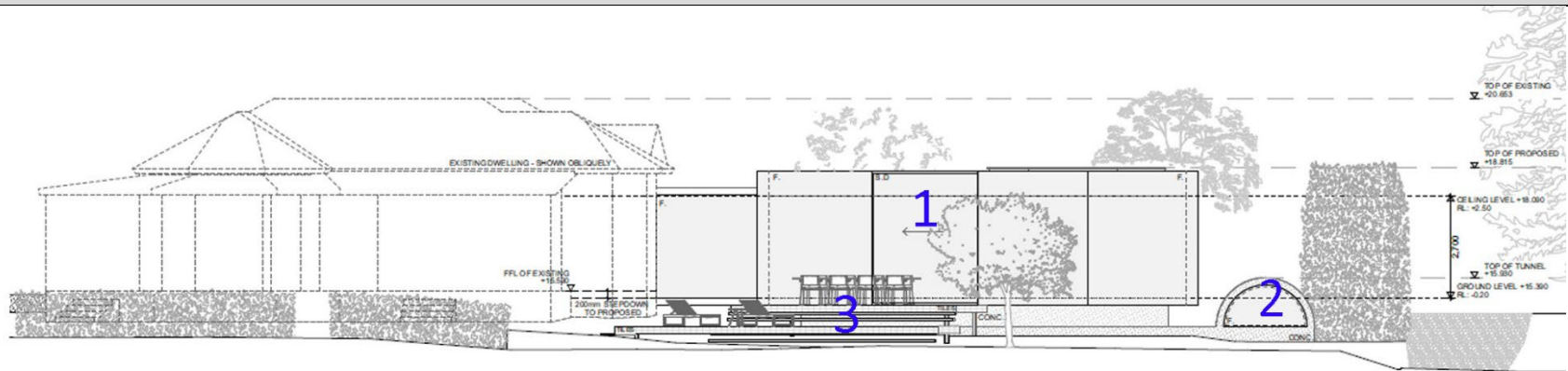
Existing residence development plan. Room 11 Drawing A1.06.



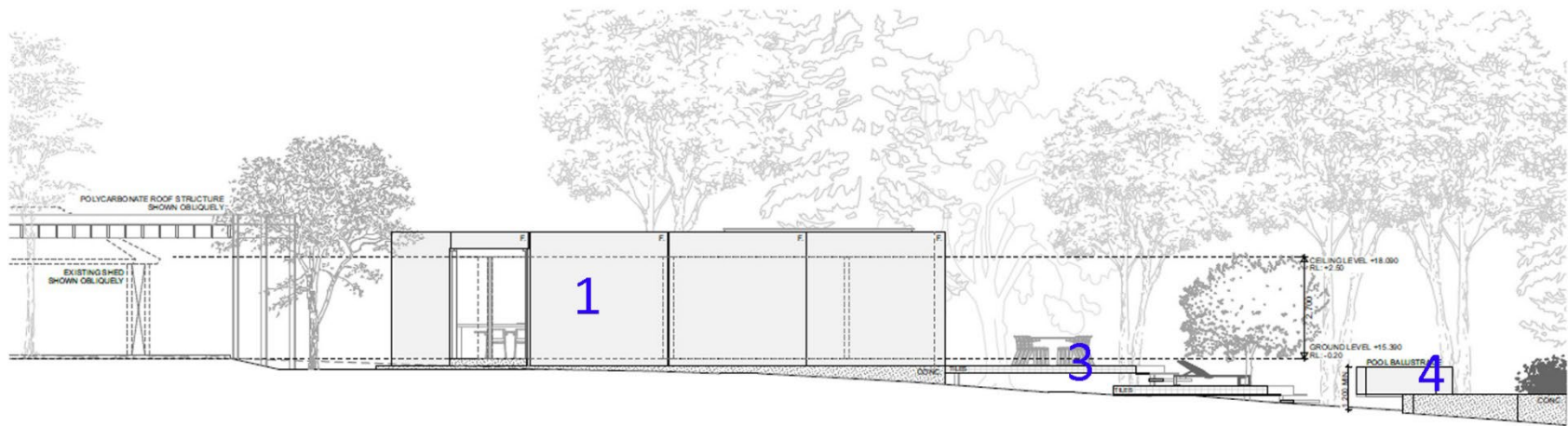
Item	Proposal	Comment on possible heritage impact
1	Refurbishment of bathroom and laundry area.	This is an area which has been subject to previous modification both in detailing and form, and is preceded for such use. This is considered to have no heritage impact.
2	Refit existing kitchen as walk-through robe.	This will result in a more passive use of this space within a comparatively intact portion of the 1860s building. Note that the fireplace is to be retained (not marked on the drawings). This is considered to have no heritage impact.
3	New doors in later c20th insertions.	There are existing modern doors in each of these locations. Whilst there will be some minor loss of fabric to widen these, this is considered acceptable to provide for amenity. This is considered to have no heritage impact given the precedence of doors in these locations.
4	Refit existing bathroom.	This area has been previously modified for a bathroom, therefore no further impact arises.
5	New master suite in 1960 extension.	This is contained within the envelope of the existing 1960 extension and provides a better resolved solution for the desired amenity. This is considered to have no heritage impact.
6	New door to connect linkway to new extension.	There is an existing door in this location deriving from the 1920s works. Whilst there will be some minor loss of fabric to widen the opening, this is considered acceptable to provide for amenity. This is considered to have no heritage impact given the precedence of a door in this location.
7	Refit outbuilding to form a guest suite and playspace.	As per the commentary above, the demolition of elements of the outbuilding are considered acceptable, given its lower significance. The insertion of large windows, although not a

		traditional approach, allows solar access and amenity and these are limited to the later extension of the building to provide an interpretation of the evolution of that building. This is considered to have no heritage impact.
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Northern and eastern (west side of existing building) elevation development. Room 11 Architects Drawing A2.03.



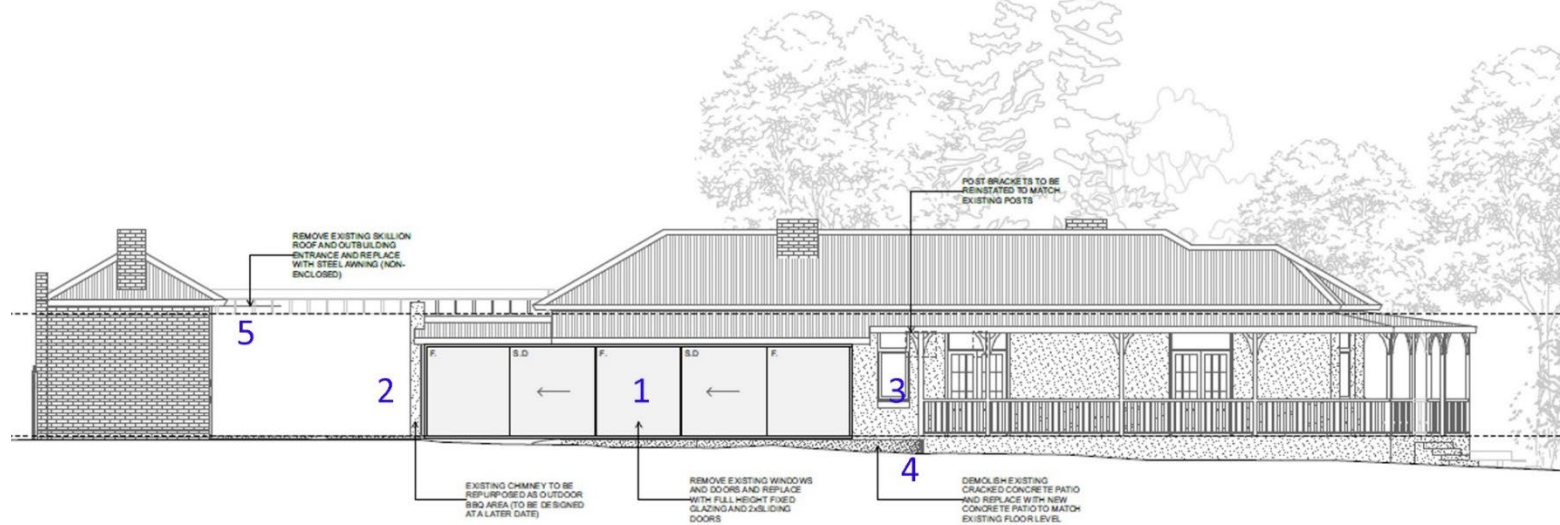
1:100 | NORTH ELEVATION (PROPOSED)



Item	Proposal	Comment on possible heritage impact
1	New living room /kitchen pavilion extension.	As per comments above, although a comparatively large footprint, the building will be heavily glazed to minimise apparent bulk and the near-flat roof provides a subservience to these elevations, with the peak height being level with the eaves of the existing building to provide an axial harmony between the building. The cantilevering over the foundations will give a somewhat 'floating' appearance further reducing

		<p>apparent bulk. Existing and proposed planting will soften the squareness of the building and the semi-detachment from the existing residence will give the impression of a 'garden pavilion' rather than an extension to the residence per-se. The semi-detachment from the existing residence provides for total reversibility in future if ever desired. It is concluded that this extension is a well-resolved and subservient solution to providing for the desired floorspace and amenity with an acceptable degree of heritage impact.</p>
2	Lightwell to subterranean level.	This is a minor element that is considered to have no heritage impact.
3	Paved patio.	The patio will be set low in the landscape and paved to avoid any expanses of bare concrete. Whilst this will be forward of the front building line of the existing residence, it will not be a prominent element and therefore is considered to have no impact. This is designed to protect archaeological remains of former garden pavilion (see frontispiece). This is considered to have acceptable heritage impact given the low visual impact and it assists in perpetuating the connection of built forms with the gardens.
4	Pool and spa with paved apron.	The pool and spa are set low in the landscape with a minimal tiled apron and screen planting to avoid the (minimal, if any) views from the street. Whilst detail of the fencing is not provided, this should be as simple/minimal as practicable (for compliance) however the reality is that any fencing is unlikely to have any notable impact.

**Eastern (east side of existing building) elevation development. Room 11 Architects Drawing A2.03.**

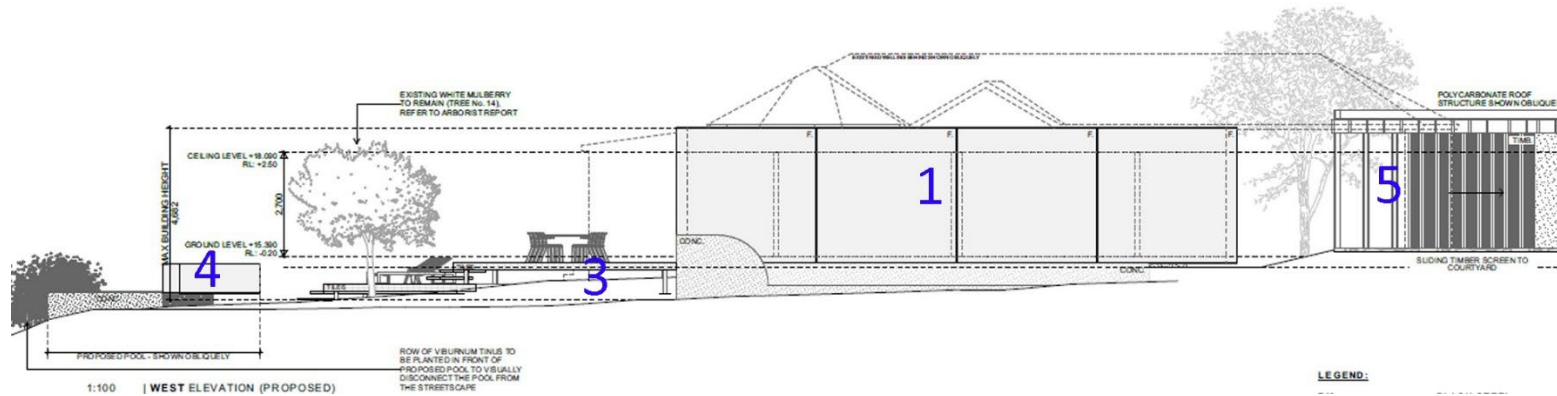
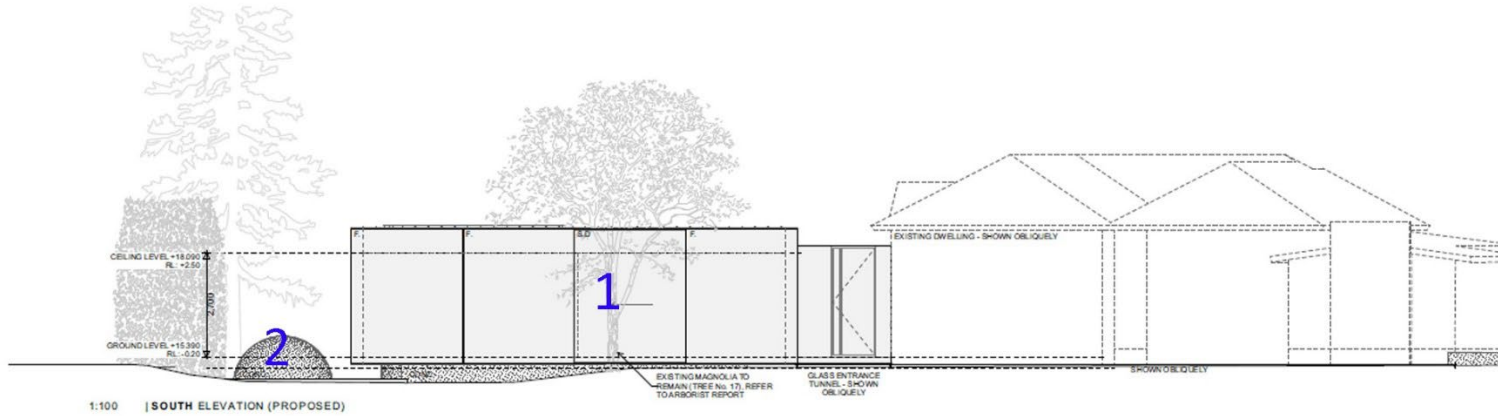


1:100 | EAST ELEVATION (PROPOSED TO EXISTING DWELLING)

Item	Proposal	Comment on possible heritage impact
1	Glazed enclosure of 1960s addition.	No impact. This provides a modernisation and better-resolved approach to the 1960s addition with added amenity.
2	Reuse of 1960s chimney for outdoor entertainment area.	No impact. This is of no significance and repurposes this element to demonstrate evolution of the building.
3	Restoration of veranda detailing.	No impact – this restores an earlier detailing element.

4	Replaced concrete deck.	No impact. This provides an upgrade of an existing non-significant element.
5	Awning over door to outbuilding.	No impact. This is a more discrete element that provides amenity with less visual impact than the existing arrangement.

Southern and western elevation development. Room 11 Architects Drawing A2.04.

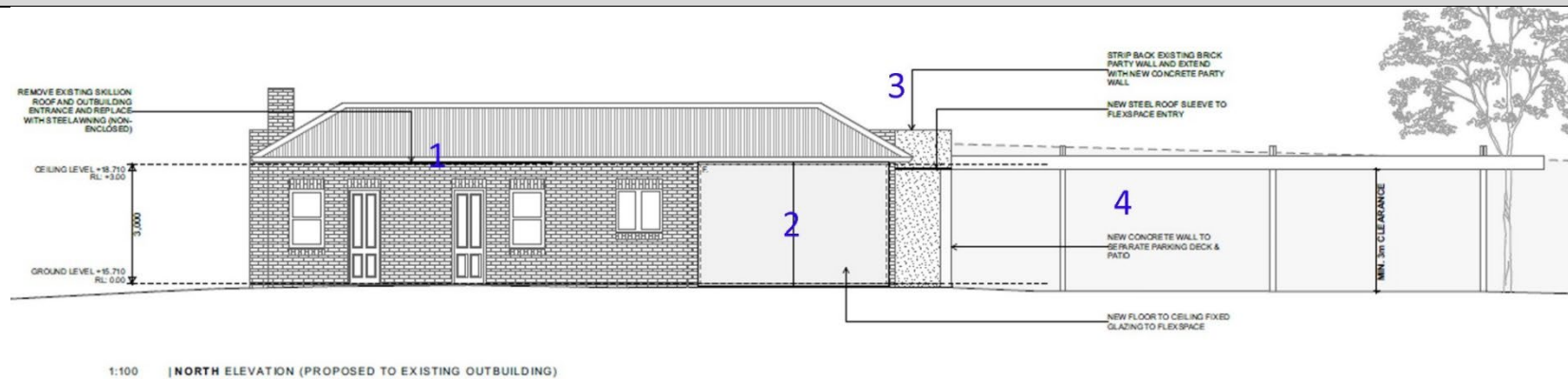


Item	Proposal	Comment on possible heritage impact
1	New living room /kitchen pavilion extension.	As per comments above, although a comparatively large footprint, the building will be heavily glazed to minimise apparent bulk and the near-flat roof provides a subservience to these elevations, with the peak height being level with the eaves of the existing building to provide an axial harmony between the building. The cantilevering over the foundations will give a

		<p>somewhat 'floating' appearance further reducing apparat bulk. Existing and proposed planting will soften the squareness of the building and the semi-detachment from the existing residence will give the impression of a 'garden pavilion' rather than an extension to the residence per-se. The semi-detachment from the existing residence provides for total reversibility in future if ever desired. It is concluded that this extension is a well-resolved and subservient solution to providing for the desired floorspace and amenity with an acceptable degree of heritage impact.</p>
2	Dome to subterranean level.	This is a minor element that is considered to have no heritage impact.
3	Paved patio.	The patio will be set low in the landscape and paved to avoid any expanses of bare concrete. Whilst this will be forward of the front building line of the existing residence, it will not be a prominent element and therefore is considered to have no impact. This is considered to have acceptable heritage impact given the low visual impact and it assists in perpetuating the connection of built forms with the gardens.
4	Pool balustrade and retaining wall.	The pool and spa are set low in the landscape with a minimal tiled apron and screen planting to avoid the (minimal, if any) views from the street. Whilst detail of the fencing is not provided, this should be as simple/minimal as practicable (for compliance) however the reality is that any fencing is unlikely to have any notable impact.
5	Roofed parking and paved area.	The main parking and covered outdoor area will be positioned to the rear of the property, and although occupies a large footprint this has been designed to be lightweight and ephemeral in appearance to retain the dominance of the existing built elements on the site. Existing planting provides some screening between this and the existing residence and the peak roof height is

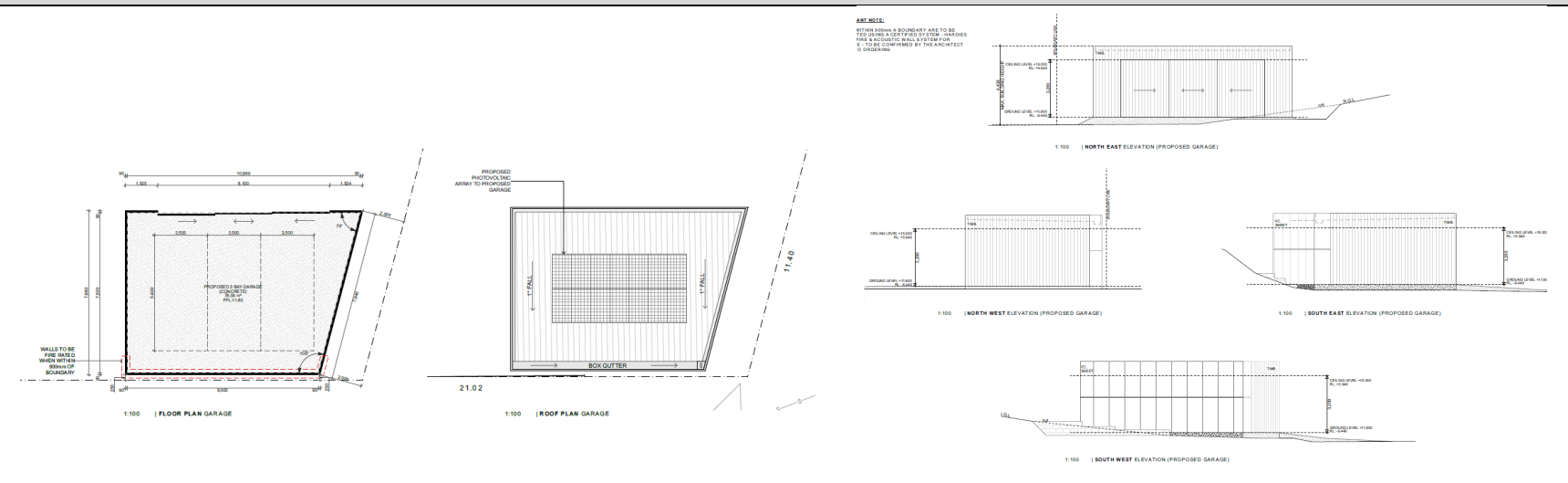
		only slightly higher than that of the residence (noting the rise in natural topography. The structure serves a practical need with as minimal visual presence as practicable.
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**Outbuilding northern elevation development plan. Room 11 Architects Drawing A2.06.**



Item	Proposal	Comment on possible heritage impact
1	Awning over door to outbuilding.	No impact. This is a more discrete element that provides amenity with less visual impact than the existing arrangement.
2	Glass infill wall.	This replaces a wall of the later addition to the outbuilding and provides solar access and amenity for the adaptive reuse of that building, clearly delineating new from old.
3	Extension of party wall with concrete.	It is assumed that an extension to the party wall is necessary as a consequence of the replacement of the garage door with glazing. Whilst brick may have been a more sympathetic solution, given the low significance of this element the proposal is considered acceptable.
4	New concrete courtyard wall	This will not be a visually prominent element and is considered to have no heritage impact.

**Garage. Room 11 Architects Drawings A3.01 and A3.02.**



Item	Proposal	Comment on possible heritage impact
1	New garage on adjacent title.	No impact. The location of the proposed garage is distant from the residence and set lower in the topography. The form of the building is simple and minimalist with a low-pitched roof to allow it to be read as a clearly modern element which also reduces its bulk. Timber cladding and sliding doors utilise a traditional material palette which will weather to provide a subservient finish. Existing and proposed plantings will also screen the building from the wider environs.

### 9.3. Assessment Against Conservation Policies

1	General Policies		Commentary on proposal
1.1	Approach to works	The approach to managing any works on the place must be guided by the principles of the ICOMOS Australia <i>Burra Charter</i> . <sup>10</sup>	The proposal has been informed by the current document which (as per Section 3) has been developed in accordance with the ICOMOS Australia <i>Burra Charter</i> .
1.2	Use/development	Any use or development of the place must not have any unreasonable adverse heritage impact upon identified values of the place and wider environs.	Section 9.2 has concluded that the proposed development does not have any unreasonable adverse heritage impact upon the identified values of the place and wider environs.
1.3	Supervision	All works to the significant elements of the place, and planning for such works, must be guided by a conservation architect, heritage consultant or other person(s) qualified and experienced in the conservation of historic heritage places.	Where necessary, further heritage input will be sought in the current (or any future) development process.

<sup>10</sup> <http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

1.4	Ongoing use	The use of the place as a large family residence is the ideal means to perpetuate its historical values. Ideally that use should remain, however use as a small hotel/ short-stay accommodation may also be a compatible use.	The proposal provides for better amenity to continue the use of the place as a large family residence consistent with this policy.
1.5	Balance of heritage impact	It is acknowledged that some heritage impact may arise from the desire for the place to provide amenity associated with its significant ongoing use (e.g. addition of kitchens/bathrooms etc.). Any such impacts must be balanced with whether that heritage impact is necessary, under the overarching necessity of a compatible use.	Section 9.2 recognises some heritage impact arising from the proposal however in all cases this is considered acceptable and justifiable in continuing and improving the amenity of the significant use of the place as a large residence.

2	Significant Fabric & forms (to be read in conjunction with Section 6)		Commentary on proposal
2.1	Significant fabric and forms	Fabric, forms and spaces deemed to be of high significance must be conserved and a careful balance to achieve Policy 1.5 must be considered.	The proposal retains all significant fabric and forms.
2.2	Non-significant fabric and forms	Elements of the building which are of low or no significance may be retained, modified or demolished as desired. Removal of lesser-significant fabric to reveal fabric/forms of higher significance is encouraged.	The proposal removes some non-significant fabric and forms and modifies some, which is in accordance with this policy.

3	Exterior Building Envelope(s)		Commentary on proposal
3.1	Pre-1930 building form (including roof and detailing (including windows, doors, render finishes and veranda).	<p>The general form of the pre-1930 portions of the building should be retained, however minor modifications may be acceptable if these are required for the amenity of continuing the significant use of the building.</p> <p>Significant exterior detailing should be retained, unless replacement is necessary for repair, weatherproofing or security purposes, in which case compatible styling and materials must be used. New work should be sympathetic to the original form, detailing and materials.</p>	The proposal does not impact the pre-1930 building form and detailing.
3.2	C1860s building form and detailing (including face-brick walls, windows and doors).	<p>The remnant form and detailing of the original (c1860s) building should be retained.</p> <p>Significant exterior detailing should be retained, unless replacement is necessary for repair, weatherproofing or security purposes, in which case compatible styling and materials must be used. New work should be sympathetic to the original form, detailing and materials.</p>	The proposal does not impact the c1860s form and detailing of the building.

3.3	Post 1930 extensions.	These may be retained, removed or modified within their existing building envelopes as desired.	The proposal utilises the footprint and structure of the 1960s addition to provide for the desired amenity.
3.4	Outbuilding.	Retain this building, however modifications within the existing building envelope for adaptive reuse are likely to be acceptable.	The building will be retained with some modifications. The porch will be removed which will allow the original form of the building to be better discerned.
3.5	Garage.	Retain this building, however modifications within the existing building envelope for adaptive reuse are likely to be acceptable.	This building will be retained.

<b>4</b>	<b>Interior</b>		<b>Commentary on proposal</b>
4.1	General layout	The general layout of the interior should remain unchanged with the exception of removing later insertions and reinstatement of missing elements if desired.	The proposal has minimal impact upon the layout of the interior – limited to areas which have previously been modified.
4.2	Linings	Original linings should be retained and where defective be reinstated in a compatible material.	Only minor removal of original linings is involved with widening of (later-added) doors for connection to the new development.

4.3	Flooring	The timber floors should be retained. These may be covered with floorcoverings if desired. Any tiling (etc) for wet areas should be laid on appropriate underlay which can be removed if desired in future.	The timber floors will be wholly retained.
4.4	Significant joinery	Significant joinery (e.g. steps, doors, skirtings, architraves etc. that are original to each major period pre-1930) should remain unchanged, particularly in rooms/areas of the highest significance.	No significant joinery will be impacted.
4.5	Kitchens/bathrooms	Kitchens/bathrooms may be installed in non-principal rooms if desired. Their installation must be as reversible as practicable and not impact upon significant fabric and retain the legibility of spaces. This policy is to act in association with Policies 1.5 and 4.6.	The proposed bathrooms will be installed in areas already used as such, and the existing kitchen will be moved to the new extension which provides for a positive outcome for the earlier space.
4.6	Service installation	The installation of plumbing, electrical, heating, fire detection/protection, security, acoustics and environmental (etc.) services are likely to be acceptable however these should be installed in an unobtrusive manner as possible and in as reversible manner as possible. This policy is to act in association with Policy 7.2.	

		New fixtures and fittings need not attempt to emulate a 'heritage style' but should be sympathetic.	
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5	Extensions and further development		Commentary on proposal
5.1	New extensions	<p>The western elevation has the capacity for new extensions provided that these are clearly delineated from the existing building (e.g. via a lightweight link). Any attachment must be rear of the front bay of the building and ideally utilise existing apertures.</p> <p>The eastern elevation has the capacity for new extensions in-place of the 1960s extension if this is removed. Any such extension should ideally utilise existing apertures.</p>	<p>The proposed extension is to the west of the existing building, with a lightweight attachment which allows the extension to read as a separate building, utilising an existing (slightly widened) aperture consistent with this policy.</p> <p>The 1960s extension will be modified within its existing footprint and utilise existing (slightly widened) aperture consistent with this policy.</p>
5.2	New buildings	New buildings must be sympathetic and subservient to the existing building and act to support the ongoing significant use of the building as a large residence (see also Policies 5.4-5.6).	Although the proposed kitchen/living room areas are technically an extension, the lightweight attachment allows that building to be read as a new building which supports the ongoing use of the place as a residence and allows amenity without impact upon significant fabric.

			<p>The proposed garage is distant and subservient to the existing building and serves to support the place as a residence.</p> <p>The proposed carport and covered area has a distinct separation from the existing building and is a lightweight/ephemeral structure which is subservient to the existing buildings.</p>
5.4	Siting of new buildings	No new buildings are to be constructed forward of the front building line unless these are legible as sympathetic and ephemeral 'garden pavilion' in style, which may be acceptable.	No new buildings are proposed forward of the front building line, consistent with this policy.
5.5	Bulk and footprint of new buildings.	New buildings should be subservient in scale and in particular not exceed the height of the peak roof height of the existing building.	The new buildings (and extension) are subservient to the existing building in their semi-detachment, separation and low overall height consistent with this policy.
5.6	Form and style of any new buildings.	The form and style of any new buildings need not emulate the character of the existing building and should be clearly legible as new (i.e. not attempt to imitate any particular period of the existing building).	In particular the new kitchen/living room extension will read as a 'garden pavilion' – clearly modern but with a materials palette and form which is subservient to the existing residence and does not attempt to emulate any precedented architectural

			style of the residence. It will achieve a sympathetic approach by its subservience and location consistent with this policy.
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6 Setting, landscaping and wider site relationships			Commentary on proposal
6.1	Retention of large garden form.	In conjunction with Policies 5.4 and 5.5, the tenor of the large garden form must be maintained.	The tenor of the large gardens will be maintained.
6.2	Significant plantings.	A landscape/arboricultural assessment must be undertaken to guide the management of any significant plantings in the environs of the building.	Tree protection zones have been nominated for major plantings on the site (see Room 11 Drawing A0.07). This has identified the encroachment of aspects of the development upon tree protection zones and has proposed mitigation strategies to minimise/avoid impact.  Refer to the discussion above relating to Tree 19 and the unavoidable heritage impact of its removal and mitigation recommendation.
6.3	Landscaping tenor.	The tenor of the landscape surrounding the building should ideally be that of a large Inter-War residential theme informed by historical landscape depictions. This should be informed by a landscape assessment	The Tree Pioneers report has identified the major trees, their condition and comments on retention or removal. Further there is a brief letter from O'Reilly's Garden Concepts which proposes some concepts for plant

		undertaken by persons with experience in heritage landscapes.	removals and replacements. These documents do not constitute a garden/landscape study based upon any strong heritage precedent or background, however are considered sufficient to understand potential impacts of the current proposal.
6.4	Parking/garaging.	All parking and/or garaging should be rear of the forward building line.	The proposal complies with this policy.
6.5	Fencing	The front fence/wall on Sandy Bay Road must be retained. Any proposed internal fencing must be sympathetic to the building, particularly where visible from the front of the building. Modern fencing should be as subservient as practicable.	The proposal retains the front fence/wall. Proposed internal fencing is minimal.
6.6	Subdivision/strata titling.	The site should not be subdivided or strata titled.	The proposal does not involve subdivision/strata titling.

<b>7</b>	<b>Access and National Construction Code compliance</b>	<b>Commentary on proposal</b>
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7.1	Building surveyor and compliance	Where substantial adverse heritage impact would arise from meeting NCC compliance, detailed dialogue must occur between the building surveyor, heritage consultant, client and permit authorities to balance heritage impact and compliance and to consider feasible alternatives, performance-based solutions and a pragmatic balanced outcome.	This is to be considered at the building approvals documentation stage.
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## 9.4. Assessment Against the Tasmanian Heritage Council Works Guidelines

The following table considers the proposal against the *Appropriate Outcomes* of the Tasmanian Heritage Council's Works Guidelines, Version 2, October 2025. Those which are not applicable to the proposed development have been omitted.

Types of works (as per guidelines)	Commentary on proposal
<b>3. Restoration and Reconstruction.</b>	
3.1. Restoration	Restoration of significant elements of the building have recently been undertaken under Minor Works Approvals which have been undertaken to a high quality and provide an overall heritage benefit.
<b>6. Demolition, Relocation and Moveable Heritage.</b>	
6.3. Partial demolition.	The proposal does not involve demolition of any heritage fabric of high significance. The remainder of the demolition is to non-significant elements or to elements which have previously been modified.
<b>8. New Buildings.</b>	
8.1. New buildings (generally).	As per the assessment in Section 9.2, and the alignment with the conservation policies in Section 9.3, it is concluded that the proposed new buildings result in no, or acceptable heritage impact.
8.3. New structures (e.g.: garages, carports, sheds, outbuildings)	
<b>9. Alterations, Additions and Extensions.</b>	
9.1. Internal alterations generally.	The internal alterations to the existing building are minimal and generally limited to areas of the building which have previously been modified, therefore it is concluded that no or acceptable heritage impact will arise from the proposed development.

9.5. Additions.	As per the assessment in Section 9.2, and the alignment with the conservation policies in Section 9.3, it is concluded that the proposed extension (as a semi-detached building) will result in minimal and acceptable heritage impact.
<b>10. Access to Heritage Places.</b>	
10.6. Parking and external circulation.	The proposed parking and driveway areas on the title of the main residence generally follow the existing arrangement. The new driveway and parking arrangements on the smaller title (and the pathway link to the residence) are considered subservient and acceptable.
<b>14. Historic Plantings and Landscaping.</b>	
14.5. Removing plantings.	Refer to the discussion above relating to Tree 19 and the unavoidable heritage impact of its removal and mitigation recommendation.
14.7. Hard landscaping.	Hard landscaping (namely driveways, paths and parking areas) is proposed to include surface treatments that avoid expanses of bare concrete.
14.11. Buildings or works near significant trees.	Tree protection zones have been nominated for major plantings on the site (see Room 11 Drawing A0.07). This has identified the encroachment of aspects of the development upon tree protection zones and has proposed mitigation strategies to minimise/avoid impact.
14.12. Car parking.	The proposed parking and driveway areas on the title of the main residence generally follow the existing arrangement. The new driveway and parking arrangements on the smaller title (and the pathway link to the residence) are considered subservient and acceptable.

Kate Phillips  
Room 11 Architects  
358B Macquarie Street  
HOBART TAS 7000

21/11/2025

Dear Kate

**Re – Statement of Historical Archaeological Potential, 521 Sandy Bay Road.**

Further to the request for further information from the Tasmanian Heritage Council dated 19<sup>th</sup> November seeking a Statement of Historical Archaeological Potential for 521 Sandy Bay Road (in association with application PLN-HOB-2025-0595) I make the following comments:

- The document *The Elms, 521 Sandy Bay Road, Sandy Bay – Conservation Policy and Heritage Impact Assessment* (Praxis Environment, November 2025) has provided a history of the place (Section 4). There is a not-unusual lack of historical data available on this site, and what is provided in that document is the best I have been able to uncover. Whilst this is sufficient for conservation planning purposes (together with the site analysis in Section 5 of that document), it does not provide sufficient detail for the formulation of any meaningful statement of archaeological potential/archaeological zoning plan.
- I expect that a lot of time could be wasted searching for additional information on the site, which I doubt is a) even available and b) not spatially meaningful enough to detail an archaeological zoning plan.
- That said, I agree with Heritage Tasmania that as part of an early farm complex, there is the possibility of archaeological remains on the site which are not documented (which does make them potentially more important). I have flagged this on p.19.
- Overall I would consider the site to have a low level of archaeological potential, but with the information at-hand I could not conclude that it has no potential.

- I note that the Room 11 Drawing no. A0.02 recognises the area of the former garden structure which I expect is that seen on Figures 4.10 and 4.14 of the Praxis document. It is my understanding that these will not be disturbed (but be covered) by the proposed development. I suggest that these be archaeologically recorded prior to that occurring.
- I believe that a more pragmatic means of managing archaeological values in the current development would be to have all excavations monitored by an historical archaeologist, and in the event that any significant remains were encountered, to notify Heritage Tasmania and provide the up-front undertaking that any such remains would be managed in accordance with the Tasmanian Heritage Council's Practice Note 2 – *Managing Historical Archaeological Significance in the Works Process*. I expect that the reality would be that the time utilised to monitor excavations would be less than the attempt at additional research that is likely to be fruitless.
- I expect that Heritage Tasmania could condition any permit issued to ensure that this is undertaken.

Please submit this letter to Heritage Tasmania as part of the RFI response, and I am happy to discuss this further with a heritage advisor to clarify any points.

Please contact me if you have any questions or require further information.

Regards



Brad Williams - Principal Consultant

**praxisenvironment**

heritage | conservation planning | archaeology

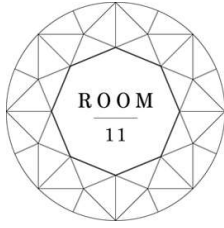
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### **521 Sandy Bay Road**

**Date: 03/09/2025**

**Client:**

**Project: Alterations and Additions to Existing Dwelling**

**Address: 521 Sandy Bay Road Title Ref 84017/1**

## **HERITAGE REPORT**

This assessment is written in support of the Development Application for Alterations and Additions to the existing Dwelling, new garage structure, and alterations to landscaping associated with the project at 521 Sandy Bay Road, known as 'The Elms'.

The property known as 521 Sandy Bay Road comprises two titles CT 226477/1 and CT 84017/1.

The site has an existing Heritage Listed Dwelling on the Tasmanian Heritage Register, and the dwelling is known as 'The Elms'.

The site is within Zone 8 of the Tasmanian Planning Scheme, General Residential. It is also within the Heritage Precinct overlay, and listed as a Heritage Place within the HIPS.

This heritage report will address the Tasmanian Heritage Council Works Guidelines.

# 1. INTRODUCTION

This Heritage Report is in support of the development application for Alterations and Additions to 'The Elms' 521 Sandy Bay Road.

The proposal is for an addition to the existing house, a garden 'pavilion'. This has been designed and sited carefully respecting the Heritage Values of the existing dwelling and garden setting. There is minor modification to the landscaping and the addition of a garden terrace, and a pool to enhance the amenity for the owners. The existing detached rear building is proposed to have minor modifications to enhance the use of the building. The proposed works will ensure the existing house and garden are maintained and are suitable for use.

## 1.1 SITE DESCRIPTION

The subject site comprises CT 226477/1, and CT 84017/1. which together are identified as 521 Sandy Bay Road and has a combined site area of approximately 4,940m<sup>2</sup>.

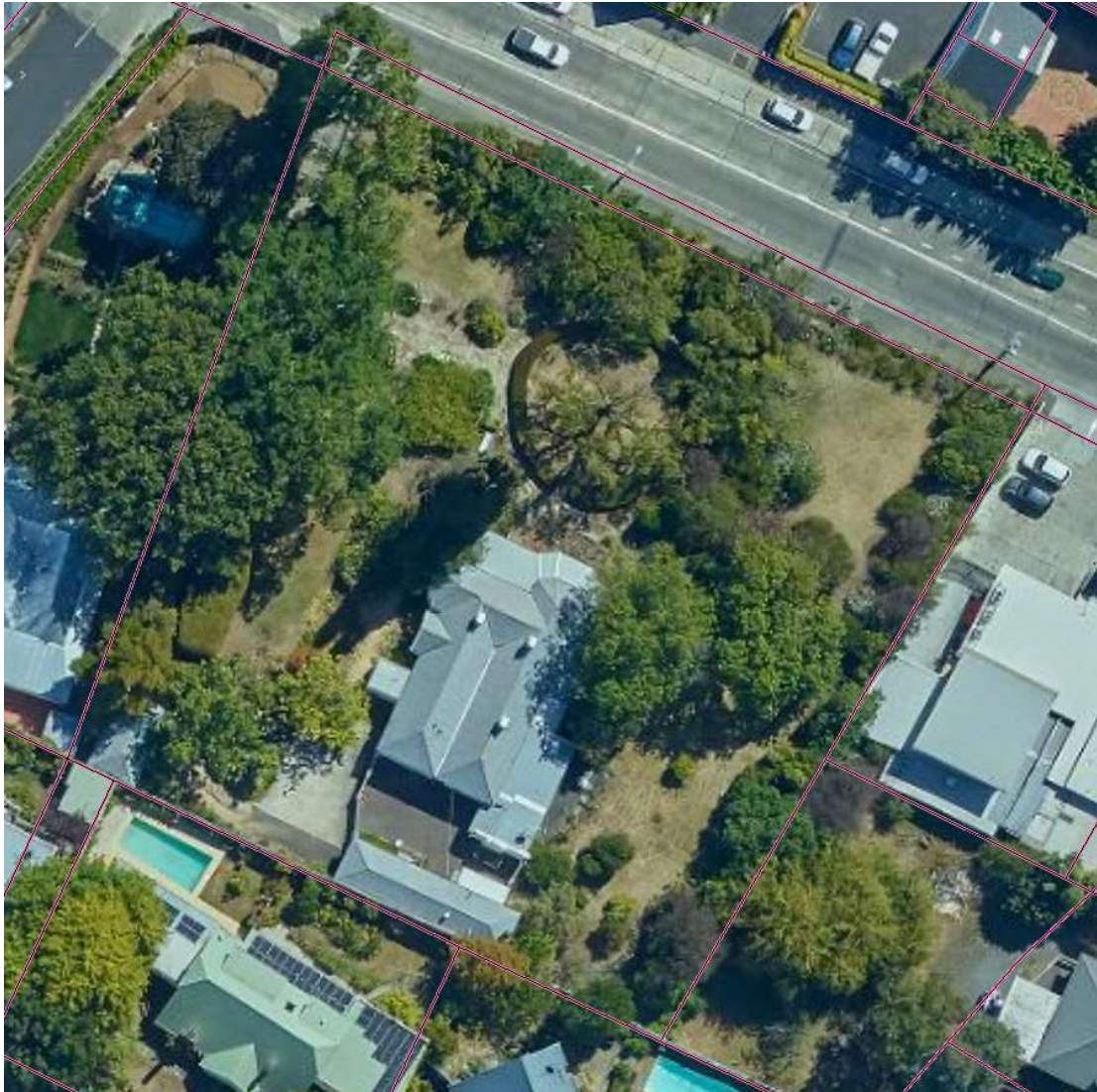
The site is located on Sandy Bay Road, and has street frontage and independent access from Sandy Bay Road. There is a current application for an agreement with the owners of no. 1 Lipscombe Avenue for an additional right of way access to the property from Lipscombe Avenue. This is currently with the land titles office. Please see annexed to this report survey by Rogerson and Birch.

The site is known as 'The Elms' and has a heritage listed building along with a partially over grown garden including some mature elm trees, giving the home it's name. The garden has been neglected and requires maintenance and limited replanting to return the grounds to their original state.

The site is listed on the Tasmanian Heritage Register. The Tasmanian Heritage Register data sheet is attached to this report, Annex 1. From the data sheet: *The Elms is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey brick Victorian domestic building. And; This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.*

The current owners of the property have commissioned a Arboricultural Tree Audit and condition review from qualified arborists – Tree Pioneers, in recognition of the significance of the grounds of the house, Annex 2 to this report. The report has identified that the garden requires significant maintenance to re-establish the grounds to their former glory, removal of some growth, and replanting. Annex 3 to this report is a Heritage Garden Letter from O'Reilly's Garden Concepts, whom the owners have engaged to undertake the works to the garden. These works required have an exemption permit from the Tasmanian Heritage Council, #6564 Annex 4, which includes the supporting documentation submitted to the Tasmanian Heritage Council. This exemption also includes the construction of a new frontage gate, set back from Sandy Bay Road, which is a reproduction of an original gate from a photographic record from over 100 years hence. The Tasmanian Heritage Council have also issued an exemption permit for minor maintenance works to the House, Annex 5 to this report which includes supporting documentation submitted to the Tasmanian Heritage Council.

Annex 6 is a demolition plan by Room 11 Architects, clearly showing what fabric is to be removed from the original dwelling.



Source [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au) 07/04/2025

## 1.2 SURROUNDING USE AND DEVELOPMENT

The site forms part of the SB12 Sandy Bay Road Heritage Precinct as listed in the Hobart City Council Local Provisions Schedule of the Tasmanian Planning Scheme. From the Heritage Precinct description; *These precincts are significant for reasons including:*

- 1. The key historical role of the road in the development of the precinct and the buildings and features that demonstrate that history.*
- 2. The large number of exceptionally fine residences dating from 1830 through to the present day.*
- 3. The small number of commercial buildings creating a village character including some which are of individual heritage significance.*

Sharing the North Western boundary of 521 Sandy Bay Road is another Heritage listed Residence at 2 Red Chapel Avenue. This dwelling has a modern addition to the Red Chapel street frontage of the house. From the Tasmanian Heritage Register data sheet: *2 Red Chapel Avenue is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey brick Old Colonial Georgian domestic building.*

To the North East of the site, directly across Sandy Bay Road is another building listed on the Tasmanian Heritage Register at 520 Sandy Bay Road is St Stephen's Anglican Church and Hall. From the Tasmanian Heritage Register data sheet:

*Erected in the 19th century but heavily adapted in the 1890s, St Stephen's Anglican Church reflects the characteristics of a Federation-era church with Gothic elements, through the use of free form roofline, Arts and Crafts belfry and use of contrasting materials, textures and shades of colour. The adjacent St Stephen's Hall is an example of a modernist meeting hall, where uncomplicated design, natural light and substantial meeting space were valued for a growing congregation within a central Hobart suburb.*

Sharing one of the South Eastern boundaries of the site is the Cafe known as Blac Fig. This faces Sandy Bay Road, and has off street parking fronting Sandy Bay Road. This site is a former service station. It is not listed on the Tasmanian Heritage Register, nor the Hobart Provisions of the Tasmanian Planning Scheme.



Source [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au) 30/04/2025

## 2. HERITAGE TASMANIA WORKS GUIDELINES 2015

*The Guiding Principles that apply to this application are found in the Heritage Tasmania Works Guidelines 2015 ('works guidelines') will be addressed below.*

### 6. DEMOLITION

#### 6.2 Partial demolition

*What is eligible for an exemption?*

*Demolishing or removing non-significant additions to heritage structures, where the work involved will not result in damage to historic fabric or will not markedly impact on the ability to understand the historical evolution of the place.  
Removing non-significant building fabric, applied finishes, fixtures or fittings.*

The proposal includes minor demolition works to the existing buildings. Please refer to Annex 6 to this report for the demolition plan, and location guide to the following images. Demolition work includes the removal of two storage areas that were constructed at a later date than the heritage homestead. These are 'lean to' type structures. Removal of these will restore the facade of the original dwelling. There is a circa 1959 sunroom addition to the existing dwelling. This addition is not considered to have historical heritage significance, and is of a different form and structure to the original dwelling. The original 1959 construction documentation and building approval for this addition is attached to this document as Annex 7. The proposal involves removing the existing glazing, and replacing it with more energy efficient glazing. This demolition will not affect the historic cultural heritage of the site. There is a class 10 structure to the rear of the site, behind the heritage listed dwelling. This building has had a number of additions from its original construction. A third 'lean-to' structure at the access door is proposed to be removed. To improve amenity there is a requirement to increase the natural light to the class 10 structure. This requires some careful demolition of the existing external brick wall, that forms part of a later addition to the original building. This building has an existing garage roller door which is in the later addition portion of the building. This garage door will be removed. A brick fence that is internal to the site is proposed to be removed. It is of a different structural typology to the residential building on the site, and is not considered to have historical heritage significance.

All demolition works are documented within the Architectural Documentation forming part of this application.

The demolition of lean to A is in order to create a new connection to the proposed addition to the house. This is the only feasible location for the connection, in order to not disturb the original facade of the original dwelling. No important structural or facade elements will be removed as part of this work. From site photographs it is evident that lean to A is constructed using different materials and finishes. The original dwelling sits on sandstone foundations, and is painted brick. Lean to A has a brick foundation, and is stucco finish. See image 1 and 2.



Image 1: Lean to A viewed from the rear of the building. Refer to Demolition plan for the location of image 1



Image 2. Lean to A viewed from the western garden. Refer to the demolition plan for the location of image 2.

Lean to B has been constructed on the original verandah, and is an infilling of the original verandah. The demolition of lean to B is in order to restore the nature of the original wrap around verandah. The decking within this lean to will be assessed prior to demolition, and if required will be replaced on a like-for-like basis. The centre and corner posts that formed the original fabric of the verandah will be retained, and the missing timber decorative knee brace brackets will be made to match the original, still in situ timber brackets on the existing timber posts. See image 3 and 4.



Image 3. Lean to B viewed from the North East garden. Note the timber brackets on the existing verandah posts to be replicated. Refer to the demolition plan for the location of image 3.



Image 4. Lean to B viewed from the South East Garden. Note the existing, original verandah post that will be retained, made good, and restored to match the original verandah posts. Refer to the demolition plan for the location of image 4.

Lean to C is to be demolished from the class 10 building to the rear of the existing house. Again, this was a later weatherboard addition to the original brick building, and is not considered to form part of the heritage values of the property. The proposal includes replacing this lean to with a clearly modern steel awning to protect the access door of the building from inclement weather. This will create a clear delineation new and old in alignment with Article 22 of the *Burra Charter The Australia ICOMOS Charter for Places of Cultural Significance 2013* which states that; 22.1 *New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.* And, 22.2 *New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place.*



Image 5. Lean to C viewed from the existing driveway parking area. Refer to demolition plan for the location of image 5.



Image 6. Lean to C viewed from the back door of the existing dwelling. Refer to demolition plan for the location of image6.

As can be seen in image 6 above by the brick 'knit' on the external facade, and the difference in brick texture the building has had an addition. It is assumed that the original building is the portion that includes the original glazing towards the left of image 6. The proposal is to remove the clothes line seen in the above image and carefully demolish a portion of the existing addition brick wall to install glazing. The form of this glazing will not mimic the original glazing for the buildings, but will be clearly a modern intervention.

Please refer to image 7. The existing roller garage door in this building is clearly a later addition. The proposal is to remove the existing roller door. The south western end of the class 10 building will be extended with a new steel 'sleeve'. The proposal is to then install a glazed sliding door to access the garage portion of the building.

There are some minor maintenance works proposed to the interior of both buildings. This is in order to improve the functionality of these buildings for the occupants. This will not affect the facade and will not be seen externally.



Image 7. The class 10 building south western facade showing the garage roller door and brick courtyard fence. Refer to demolition plan for the location of image 7.

The brick garden wall that forms a courtyard to the rear of the existing dwelling is proposed to be demolished and removed. It will be replaced with a new white painted timber screen, and sliding timber batten access screen. As seen in image 8 the existing brick wall is of a different construction typology to the original dwelling and the original class 10 building. It is considered to be a later addition and is not considered to have any historic cultural heritage significance.



Image 8. The brick courtyard fence where it meets the existing dwelling. Refer to demolition plan for the location of image 8.

It is considered that the proposal meets the Eligibility for Exemption in the guiding principals 6.2 of the Works Guidelines

## **9 ALTERATIONS, ADDITIONS, AND EXTENSIONS**

### **9.5 Additions or extensions**

*When is a discretionary permit application required by the Tasmanian Heritage Council and what are appropriate outcomes?*

*Additions or extensions to structures or parts of structures that are significant, or to other structures where the work will result in a physical or a visual impact on the significant elements or spaces of the place.*

*Appropriate outcomes: Additions or extensions should be subservient to the main historic building. That is, an addition should not visually dominate the historic structure. Significant public views of a place should be retained when additions or extensions are planned and implemented. Where such works will be publicly visible, care should be taken in the configuration and choice of materials to minimise visual impacts. This may be particularly relevant when considering the height of additions; roof forms, materials and colours; wall materials, textures and colours; and window proportions and arrangements. The design used for new additions or extensions should be sympathetic to the significance of the place. Where minor or small scale additions or extensions are proposed, a higher level of conformity with the heritage place is desirable. The new fabric can be distinguished from historic fabric by subtle means. For example, by distinguishing minor differences in construction, stylistic details, colour, material, and the junction between old and new. New fabric can also be distinguished by incorporating date or marking devices and by keeping records to document the feature as new works. Where the additions or extensions are substantial, it is appropriate that the new work is more easily distinguished from the historic part. This can be achieved through a variety of approaches from traditional (ie: design that is in-keeping with the original, but subtly different) to highly contemporary (ie: design that is a contrast with the original). Poor quality imitation or mimicry of historic building forms and styles should be avoided. Designs that provide a visual contrast between old and new should be visually compatible and sympathetic to the historic elements, and should not diminish the place's significance. Take care to avoid ongoing conservation problems at the interface between the historic place and the addition or extension. For example, construction details in new works should avoid breaching damp proof courses or preventing the ventilation of historic fabric which may lead to damp issues that are difficult and costly to resolve post-construction. Position additions or extensions so that significant trees, gardens or garden features are retained.*

The proposed addition is subservient to the existing dwelling. It is designed so that it is lower in height than the existing dwelling, and will recede into the informal garden in a similar way to the original recreation structure of 1937, shown below in image 9 towards the right of the image. It will also recede in significance due to the addition having a smaller volume than the original dwelling. The addition is off set from the alignment of the existing dwelling, creating a separate architectural intervention in the site. The extensive use of glazing on all facades will offer a transparency that will allow views of the original garden and dwelling, and any reflections visible on the glazing will be of the original house and garden. The proposed addition will not be visible from Sandy Bay Road. See image 10, and renders produced by Room 11 Architects Annex XXXX to this document. This will create a clear delineation new and old in alignment with Article 22 of the *Burra Charter The Australia ICOMOS Charter for Places of Cultural Significance 2013* which states that; *22.1 New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation. And, 22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place.*

The link proposed between the old and new structures is a light transparent sleeve. The connection to the original building fabric has been detailed to have as small an impact as possible on the original building fabric.

Selective vegetation removal of weed species and plants that are in poor condition is proposed for the garden beds fronting Sandy Bay. This will be replaced with selected plants sympathetic to the style of the original garden. Please see Annex 2 Tree Pioneers Arboricultural Tree Audit. The addition has been carefully sited so that it sits behind the facade of the existing house, and enables significant planting to remain. The proposed carport is sited wholly behind the proposed addition to the house, and will not have an impact on the heritage values of the facade of the building. Extensive planting of *Verbinium Tinus* is planned in front of the new pool, so the new pool will not be visible from Sandy Bay Road and it will not detract from the approach to the dwelling.



Image 9 circa 1937. Original recreation structure in garden setting.



Image 10. Site photo taken from Sandy Bay Road 30/04/2025. None of the existing structures on site are visible.

### ***13 HISTORIC PLANTS AND LANDSCAPING***

Minor landscaping elements that are proposed for removal are either in poor condition, weed species, or are having a detrimental affect on the original dwelling and garden setting. Please see Arboricultural report annex 2 to this report.

Selected removal of landscaping areas is proposed between the dwelling and the street frontage, please see Tree Pioneers Arboricultural Tree Audit annex 2 to this report and O'Reilly's Garden Concepts Heritage Garden Letter annex 3 to this report. The landscaping elements that are proposed to be removed include weed species and specimens that are not in good health. They are proposed to be replaced with species sympathetic to the style of the original garden. The proposal involves the removal of one *Cypressus sempervirens* that is identified in the Arboricultural Tree Report as tree 19. The specimen condition has been assessed as fair, but it has been identified that it has a large creeping vine compromising the condition of the tree. Careful removal of this tree will serve to protect the sandstone foundation wall of the original dwelling from root movement and differential moisture issues effecting the founding of the original heritage dwelling. Removal of the tree will protect the integrity of the roof of the existing heritage dwelling.

### 3. EXECUTIVE SUMMARY

This development application seeks approval for alterations and additions to the heritage-listed dwelling known as ‘The Elms’, located at 521 Sandy Bay Road. The proposed works include modifications to the existing residence, construction of new elements, and landscape improvements. The property, situated within the General Residential Zone and the SB12 Sandy Bay Road Heritage Precinct under the Hobart Interim Planning Scheme 2015 (HIPS), is also registered as a Heritage Place.

The proposal has been carefully designed to respect the historic and architectural significance of the site and its broader precinct context. Demolition is limited to non-original and unsympathetic structures that do not contribute to the heritage value of the place. All new work is subservient in scale, clearly distinguishable from the original building, and employs materials and forms that complement the historic character.

The proposed landscaping changes aim to restore and enhance the garden in keeping with its historic identity, based on arborist and heritage garden specialist input. Heritage exemptions have been granted for minor works, including tree removals, maintenance, and new access gate.

Overall, the proposal complies with the applicable development and heritage provisions of the Heritage Tasmania Works Guidelines and is a considered response to the cultural heritage values of the site and its context.



Yours sincerely,

Room 11 Architects

Written by Kate Phillips Associate Director Room 11 Architects

Approved by Thomas Bailey Director Room 11 Architects

A handwritten signature in black ink, appearing to be the name "Thomas Bailey", written in a cursive style.



**Arboricultural Impact Assessment  
Report**

For

**Wade Fromberg**

Site

**The Elms**

**521 Sandy Bay Road, Sandy Bay,  
7005, TAS**

Prepared By

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## 1. Executive Summary

Commissioned by Wade Fromberg of 521 Sandy Bay Road, Tree Pioneers Pty Ltd was engaged to provide an Arboricultural Impact Assessment Report for the proposed development. There are 27 established trees and 2 hedges on site.

Of these, there are 2 trees proposed for removal and 1 that has already been removed. There are varying levels of encroachment across the site.

No encroachment	14 trees (1, 2, 3, 4, 12, 21, 22, 23, 24, 25, 26, 27, 28, 29)
Minor encroachment	7 trees (6, 9, 10, 11, 15, 18 and 20)
Moderate encroachment	3 trees (5, 13 and 17)
Major encroachment	5 trees (8, 14 and 16) Tree 8 is classed as major due to the encroachment into the Structural Root Zone (SRZ)
Removals	Trees 7 and 19. Tree 28 has already been removed.

The encroachments into the TPZ can be managed by the site arborist. These trees will remain viable in the future landscape with the implementations of tree protection methods.

The site can be developed and effectively retain the landscape with the implementation of the following:

- Installation of TPZ fences during development
- Tree protection zone signs to be erected along TPZ fences as well as Trunk protection to ensure no access to area.
- Appoint a site arborist to confirm the installation of tree protection measures.
- Any work to be undertaken inside the TPZ requires supervision by a qualified arborist.
- Roots to be pruned square.
- Pruning to be undertaken by a suitably qualified person.
- No storage of machinery or materials inside TPZ.

Additional tree health measures can be implemented to assist the tree deal with the encroachment.

Tree data can be found on page 13 of this document.

## 2. Overview

Commissioned by Wade Fromberg of 521 Sandy Bay Road, Tree Pioneers Pty Ltd was engaged to provide an Arboricultural Impact Assessment Report for the proposed development. The development includes an upgrade to the dwelling, driveway and installation of a pool. A tree survey has been previously undertaken by Tree Pioneers Pty Ltd and plans have been provided by Room 11 Architects.

## 3. Key Objectives

- Provide a tree assessment and record tree data.
- Discuss and provide recommendations for the management of trees on development sites.

## 4. Method

The site was initially inspected from the ground on the 12<sup>th</sup> of October 2024 by Joe Loorham. The site has been visited numerous times since to discuss plans and provide recommendations. The trees were assessed using the Visual Tree Assessment (VTA) methods and hazard identification methods described by Harris, Clark & Matheny (2004), Lonsdale (1999), Matheny & Clark (1998), Mattheck & Breloer (1994), and Matheny & Clark (1994). Tree data and detailed site map was supplied by North Barker Ecosystems Services. The data provided the following.

- Species identification and origin
- Approximate age of the tree
- Stem diameter at 1.4 meters above ground level with DBH tape or at ground if not possible
- An estimation of the height and width of the tree canopy with Nikon Forestry Pro 2
- The structure of the tree
- The health of the tree

The visual tree inspection was undertaken from the ground and recorded. No aerial assessment has taken place. An aerial inspection of the tree will be recommended if further assessment is required. Anything not visible from the ground cannot be accounted for. No underground investigation took place. The tree assessment relates to the data taken on the day of the assessment and does not include any changes thereafter. Any changes to site environment will render the risk assessment void.

## 5. Site

The site is 'The Elms' at 521 Sandy Bay Road, Sandy Bay. The site has multiple significant trees present, giving the site overall heritage significance. Majority of the specimens on site are exotic. The trees have had regular maintenance. The site appears to have been unmanaged for some time with a majority of the smaller shrubs dominating the site. There is an extensive assortment of weed species on site which were not assessed. The entrance is to the North via a gravel driveway. The site is relatively flat. Trees 4 and 5 are not shown on the map as they are in reference to the long hedges; Tree 4 refers to the hedge on the western boundary and Tree 5, the hedge closest to the house. Since the initial inspection, Tree 28 has been removed and so has a majority of the uncategorised weed species growing along the Eastern boundary. Soil amelioration works have been undertaken to Tree 20 to address health issues.

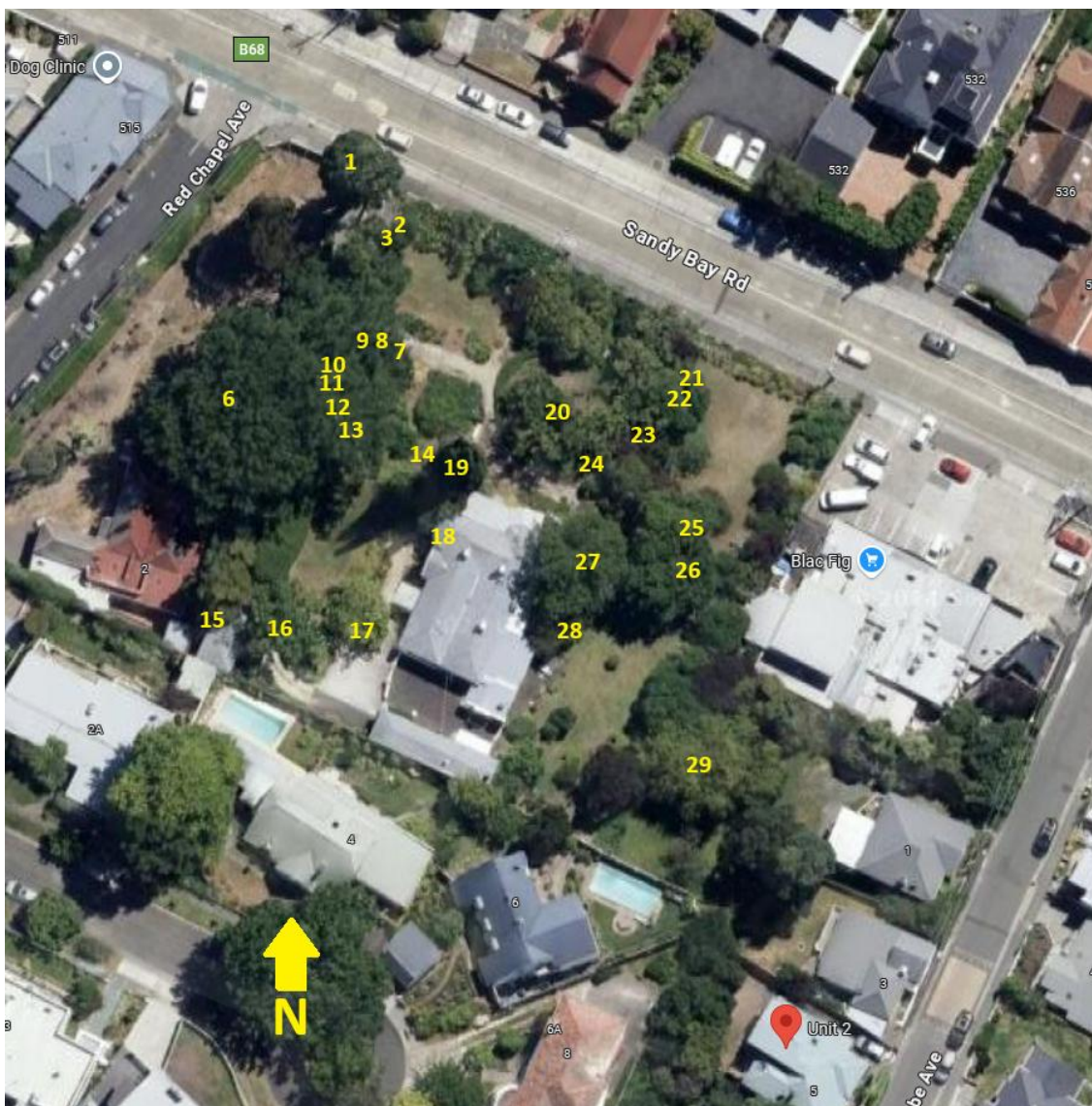
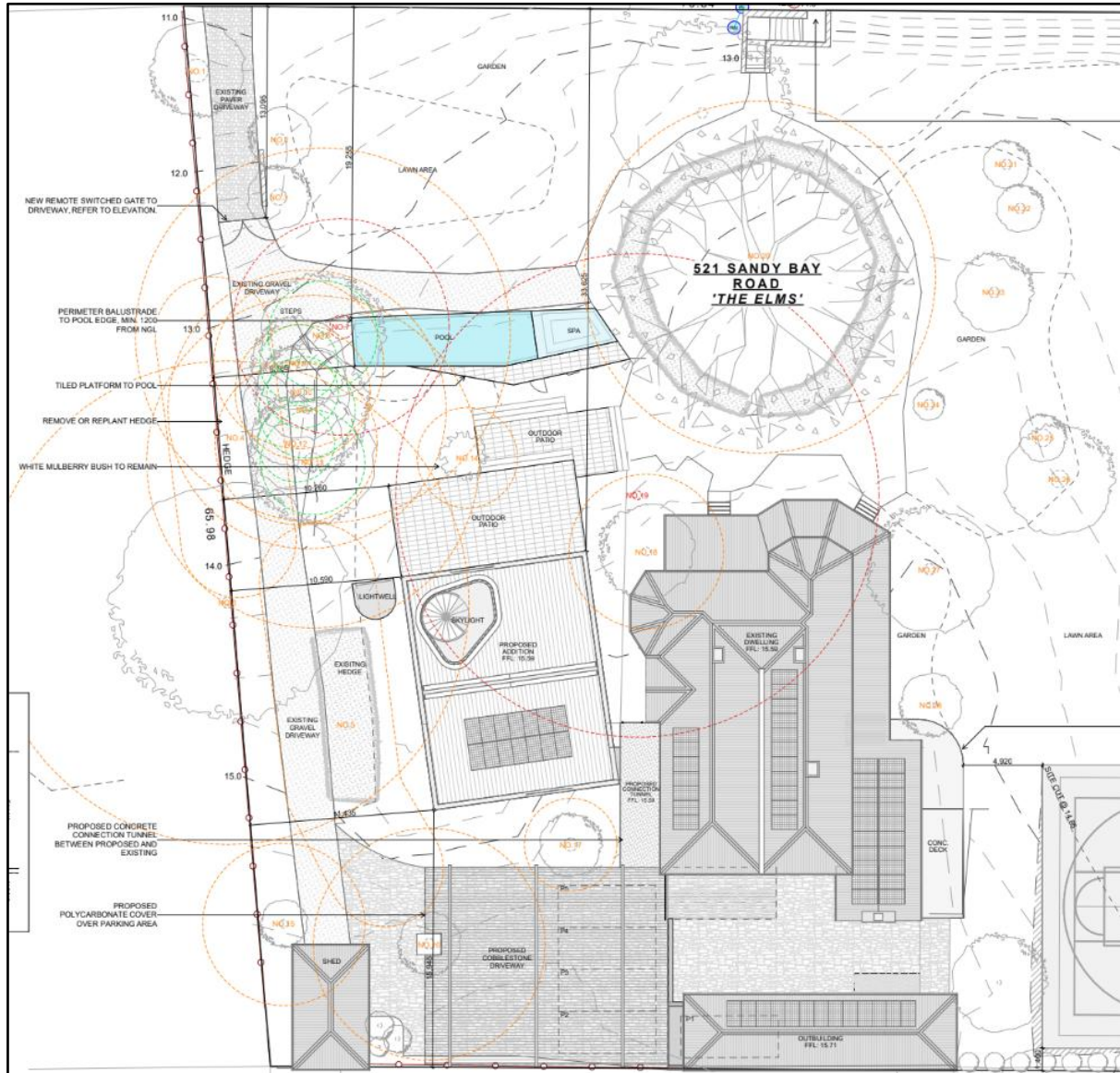


Figure 1. Map showing tree locations (Source, Google Maps).

## 6. Site Plan

Site plans for the proposed development have been provided by Room 11 Architects. The plan below shows the Tree protection Zone (TPZ) and Structural Root Zones (SRZ) of trees on site. Trees planned for removal are represented with a Red TPZ. Tree 28 has already been removed. Tree 29 is no shown on the plans as it is more than 15m away from the development.



**Figure 2.** Site plans for 521 Sandy Bay Road, Sandy Bay. Plans provided by Room 11 Architects.

## 7. Observations

The site is 521 Sandy Bay Road, Sandy Bay. There is a proposed development to the site. There are 27 established trees and 2 hedges on site.

Tree 28 has been removed. Tree 28 was a small Portuguese Laurel (*Prunus lusitanica*). Tree 7 (*Ulmus procera*) and Tree 19 (*Cupressus sempervirens*) are to be removed to make way for the development.

Tree 7 is an Elm tree that has been heavily pruned. The tree is effectively a stump. It has a steel cable, which is not providing any support. This appears to have been installed to address a structural issue. The tree has subsequently been heavily reduced. This tree offers no amenity value (Figure 3). This tree has no viable future with the site.

Tree 19 is a large Italian Cypress close to the dwelling. This tree has outgrown its initial growing environment. The tree has an invasive climbing plant attached, which grows approximately halfway up the tree. This plants growth has suppressed the canopy of the tree. The tree appears to have had no maintenance undertaken is sometime. In its' current condition, it would not be possible to prune to the Australian Standard AS4373-2007 Pruning of amenity trees. Any attempted pruning would create further issues. The removal of the climbing plant would leave a huge void in the canopy and open the tree to branch failure. Mature trees of this age cannot easily put on reactive growth to adapt to change in environment, making it more susceptible to wind damage. It is most likely that the void in the canopy will never close. The void in the canopy would also be very aesthetically displeasing. The tree has outgrown its current environment and does not fit with the proposed development. There is also a tree support system visible from the ground. The system appears to be a modified system with synthetic attachments and steel bracing. The integrity of the cable system and the crown is unknown. It is recommended that removal of Tree 19 be undertaken before any development takes place.

The hedge, numbered Tree 5, is in close proximity to the proposed extension. The Tree Protection Zone (TPZ) has been calculated with a 300 mm Diameter at Standard Height (DSH) measurement. 300 mm is an average size for the 14 trees that make up the hedge. The TPZ for the hedge is offset to the West as the trunks of the trees are growing right along the driveway and have the majority/all of their canopy to the East of the trunk. The hedge appears to have no encroachment from the development and will remain viable with the development.

Pruning and the partial removal of Tree 5 (hedge) are to make way for the driveway extension which will give more access to the site. Pruning work to be undertaken by a suitable qualified person. Replanting at the end of the hedge is recommended to eventually conceal the internal parts of the hedge.

The site has multiple encroachments that require management for the future development. There are 15 trees with varying encroachments.

No encroachment	14 trees (1, 2, 3, 4, 12, 21, 22, 23, 24, 25, 26, 27, 28, 29)
Minor encroachment	7 trees (6, 9, 10, 11, 15, 18 and 20)
Moderate encroachment	3 trees (5, 13 and 17)
Major encroachment	5 trees (7, 8, 14, 16 and 19) (7 and 19 are to be removed.) Tree 8 is classed as major due to the encroachment into the Structural Root Zone (SRZ)

Two of the major encroachments are to be removed. Trees 7 and 19 are not viable with the proposed development.

Trees grow in a delicate balance with their surrounding environment and the effects of disturbance or site changes are often, not immediately obvious. Additional impacts to already stressed trees, such as construction activities, can add further stress and cause advanced decline. This damage cannot be reversed.

Machinery and tools can also wound or cause mechanical damage to the above-ground parts of a tree. Mechanical damage to wood or bark; the tree's outer protective tissue, creates an entry point for pathogens. Although a tree may seal a wound, the initial damage is permanent.

Works such as trenching, excavation, and site cuts can directly damage trees by removing roots that absorb water and nutrients critical for tree health, or by severing structural roots that keep the tree upright. Various activities, including soil compaction in the root zone, sealing the surface, and adding fill over roots, can inhibit root growth and function by limiting oxygen and moisture availability in the soil. Such damage to trees may take several years to become apparent in the crown but can also be sudden and irreversible. It is therefore important that roots are protected throughout all stages of a development.

Minor encroachment is less than or equal to 10%. Generally, it is unlikely that there will be any significant impact to tree health, longevity or structure. Tree Protection Zones (TPZ) are to be implemented during site works. The site is relatively small, and the development stages of the project will be the most challenging to protect trees. It is required that Tree Protection Fencing be erected around significant trees to protect them and their growing environment. Fences are to be erected at

the edge of the TPZ or the edge of the proposed encroachment of trees 1 – 20. Trees 21-29 are on the opposite side of the house where no encroachment is planned.

Moderate encroachment is greater than 10% and less than or equal to 20% of the TPZ and doesn't enter the Structural Root Zone (SRZ). The project arborist shall be engaged to review the proposed impact and undertake any necessary investigation to demonstrate how the tree will remain viable. This may be through implementation of suitable design measures and construction control measures to mitigate impact during process. Trees 5, 13 and 17 have moderate encroachment.

Tree 5 is the hedge which consists of 14 Cypress trees. It has encroachment from the parking deck, roof structure and lightwell. This encroachment will not be an issue as it has been calculated before pruning and partial removal of sections of the hedge. That encroachment will be minor and can be supervised by the project arborist.

Tree 13 has the majority of its encroachment from the proposed deck which is to be built on stumps which drastically reduce the encroachment to a few 300 x 300 mm holes which support the structure above ground. This encroachment is acceptable and can be supervised by the site arborist.

Tree 17, along with Trees 14 and 16 have varying encroachments from proposed cobble paving. This is a semi permeable surface that is to be installed above grade. This method will not disrupt the trees processes after it is installed. Installation needs to be done with hand tools inside the TPZ under the supervision of the arborist. It is recommended that this is installed first as it provides a surface for building material to be stored that will not affect the soil and growing conditions on site. After installation of the cobble driveway, no Tree Protection Fences will be required around the tree. Trunk protection will be required until the development is finished.

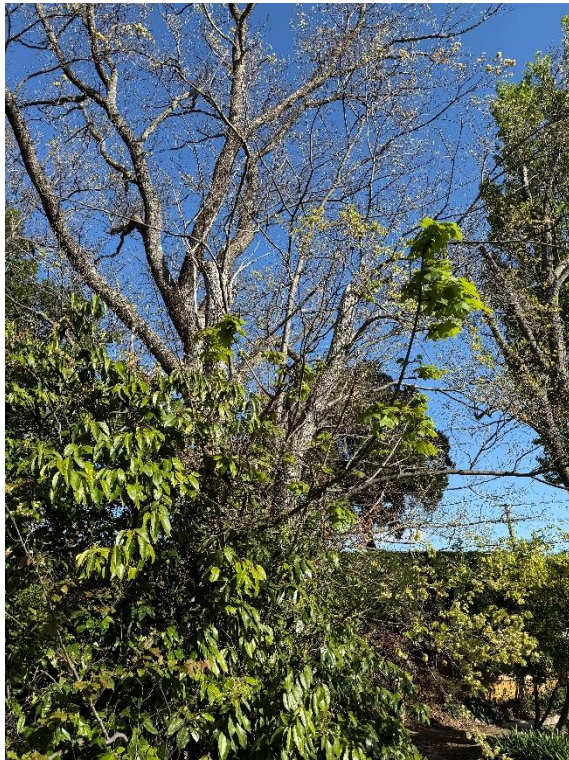
Major encroachment is greater than 20% of the TPZ and into the SRZ. The project arborist shall be engaged to review the proposed impact and undertake any necessary investigation to demonstrate how the tree will remain viable. This can include research such as root investigation, soil analysis, historical records of the tree or site relevant literature and examples of similar encroachment. These encroachments must be supervised by the project arborist. Trees 7, 8, 14, 16 and 19 have major encroachment. Trees 7 and 19 are to be removed.

Tree 8 has encroachment into its Structural Root Zone. This works requires root excavation to determine if there are any significant roots present. The presence of Tree 7 (proposed removal) next to Tree 8, between the development would indicate that there wouldn't be significant roots due to competition. There is also a large stump approximately 1m in diameter next to Tree 7 where the pool is proposed. There are/were 2 significant trees between the pool and Tree 8 making it unlikely to find

roots in the area. Although site conditions make it unlikely to find significant roots, it is recommended that root excavation take place. Non-invasive tools such as Airspade, hydrovac or an alternative the site arborist specifies.

Tree 14, like Tree 13 has the majority of its encroachment from the proposed deck which is to be built on stumps which drastically reduce the encroachment to a few 300 x 300 mm holes which support the structure above ground. This encroachment is acceptable and can be supervised by the site arborist.

Tree 16, like Trees 14 and 17, is to be developed with a semi permeable surface that is to be installed above grade. This encroachment is acceptable and can be supervised by the site arborist.



**Figure 3.** Tree 7 between tree 8 and a small shrub. Cable visible with significant slack.



**Figure 4.** Tree 19, to be removed in the background. Creeping plant growing up over halfway. Tree 14 in foreground.



**Figure 5.** Tree 19, to be removed with creeper present in tree.



**Figure 6.** Tree 16 has major encroachment but can be offset with above grade semi permeable surface construction.

## 8. Conclusion/Recommendations

The proposed development at 521 Sandy Bay Road, Sandy Bay impacts multiple trees with encroachment. All encroachment on site can be managed by the site arborist.

No encroachment	14 trees (1, 2, 3, 4, 12, 21, 22, 23, 24, 25, 26, 27, 28, 29)
Minor encroachment	7 trees (6, 9, 10, 11, 15, 18 and 20)
Moderate encroachment	3 trees (5, 13 and 17)
Major encroachment	5 trees (7, 8, 14, 16 and 19) (7 and 19 are to be removed.) Tree 8 is classed as major due to the encroachment into the Structural Root Zone (SRZ)

## Temporary Tree Protection Measures

Listed below are protection measures to be implemented, prior, during and can be removed after all works are complete.

- Installation of TPZ fences. Figure 9. shows a typical TPZ fence. Tree Protection fences to be erected at the edge of the Tree Protection Zone or at the edge of encroachment.
- A sign installed on the Tree protection zone and along TPZ fences to ensure no access to area.
- Appoint a site arborist.
- Inspection by site arborist to 'sign off' Tree Protection measures implementation.
- No storage of machinery or materials inside TPZ.

## Tree Health

Listed below are measures to be implemented to ensure the health of the tree during the development stages.

- No scaping or altering of soil level or debris inside TPZ.
- Organic matter such as mulch to be added to the TPZ when possible.
- Tree health measures to updated throughout development.
- Inspection of the trees post development to determine any changes in health. Any recommendations to be implemented to ensure the trees remain viable in the future.

## Construction

Listed below are the procedures for building onsite for the protection of the trees.

- Any work to be undertaken inside the TPZ require supervision by a qualified arborist.
- Works inside the TPZ of Trees 5, 8, 13, 14, 16 and 17 require supervision.
- Tree 8 to have root excavation undertaken by the site arborist with non-destructive digging method. Digging to be documented.
- Any roots discovered inside development area are to be pruned square.
- Exploratory digging at proposed stump hole's locations. Stump hole for deck to be dug by hand. If significant roots are found, stump hole to be move accordingly. Small roots to be pruned square.
- No scaping or altering of soil level inside trees 14 16 and 17. Site to be prepared by hand. Cobble stone drive to be installed above grade.
- Pruning/removal of trees to be undertaken by suitably qualified person.
- No storage of machinery or materials inside TPZ.

## 9. Tree Data

Tree ID	Scientific Name	Common Name	Age	Origin	DBH (m)	Calculated DBH	TPZ (m)	Area of TPZ (SQM)	Area Encroached (SQM)	TPZ Encroachment (%)	TPZ Encroachment Zone	SRZ (m)
1	Populus nigra	Lombardy poplar	Mature	Exotic	>1.5		15	706.86	N/A	N/A	-	4.08
2	Fraxinus sp.	Ash	Mature	Exotic	0.7		8.4	21.67	N/A	N/A	-	2.97
3	Fraxinus sp.	Ash	Mature	Exotic	0.95		11.4	408.28	N/A	N/A	-	3.38
4	Cypress is macrocarpa x20	Monterey cypress	Mature	Exotic	0.3		3.6	132.56	N/A	N/A	-	2.08
5	Cypress is macrocarpa x14	Monterey cypress	Mature	Exotic	0.3		3.6	173.45	26.9	15.5	Parking Deck, Roof Structure & Lightwell	2.08
6	Quercus robur	English oak	Mature	Exotic	>1.5		15	706.86	55.5	7.85	Proposed Extension	4.08
7	Ulmus procera	English elm	Mature	Exotic	0.41 and 0.38 multi stem	0.56	6.72	141.87	34.23	24.12	Proposed Pool	2.71
8	Ulmus procera	English elm	Mature	Exotic	0.97		11.64	425.65	38.45	9.03	Proposed Pool	3.4
9	Ulmus procera	English elm	Young	Exotic	0.41 and 0.15 multi stem	0.44	5.28	87.58	4.89	1.1	Proposed Pool	2.43
10	Ulmus procera	English elm	Young	Exotic	0.35		4.2	55.42	0.37	0.66	Proposed Pool	2.23
11	Ulmus procera	English elm	Mature	Exotic	0.39 and 0.61 multi stem	0.72	8.64	234.52	18.09	7.71	Proposed Pool	3
12	Ulmus procera	English elm	Young	Exotic	0.42		5.04	79.8	N/A	N/A	-	2.39
13	Ulmus procera	English elm	Mature	Exotic	0.86		10.32	335.89	45.41	12.75	Proposed Deck	3.24
14	Morus alba	White Mulberry	Mature	Exotic	0.26		3.12	30.58	16.67	54.51	Proposed Deck	1.97
15	Podocarpus elatus	Plume pine	Mature	?	0.42		5.04	79.8	3.92	4.91	Proposed Parking Deck	2.39
16	Fraxinus sp.	Ash	Mature	Exotic	0.6		7.2	162.86	120.22	73.81	Proposed Parking Deck & Roof Structure	2.78
17	Magnolia grandiflora	Magnolia	Mature	Exotic	0.24		2.88	26.06	4.8	18.42	Proposed Parking Deck & Roof Structure	1.88
18	Schinus molle	Peppercorn	Young	?	0.4		4.8	72.38	27.25	7.21	Proposed Extension	2.34
19	Cypressus sempervirens	Italian cypress	Mature	Exotic	1.42		15	706.86	593.18	42.8	Proposed Extension	4
20	Fraxinus sp.	Ash	Mature	Exotic	0.91		10.92	374.62	6.33	1.69	Proposed Pool	3.31
21	Fraxinus sp.	Ash	Young	Exotic	0.15, 0.10, 0.10 multi stem	0.21	2.52	19.95	N/A	N/A	-	1.79
22	Fraxinus sp.	Ash	Young	Exotic	0.17, 0.23, 0.19 multi stem	0.34	4.08	52.3	N/A	N/A	-	2.18
23	Arbutus unedo	Irish strawberry	Mature	Exotic	0.16, 0.22, 0.19, 0.15 multi stem	0.36	4.32	20.75	N/A	N/A	-	2.25
24	Crataegus sp.	Hawthorn	Mature	Exotic	0.15, 0.15 multi stem	0.21	2.52	19.95	N/A	N/A	-	1.79
25	Fraxinus sp.	Ash	Young	Exotic	0.22, 0.19 multi stem	0.29	3.48	38.05	N/A	N/A	-	2.05
26	Fraxinus sp.	Ash	Young	Exotic	0.31, 0.22, 0.29, 0.26 multi stem	0.54	6.48	131.92	N/A	N/A	-	2.65
27	Fraxinus sp.	Ash	Mature	Exotic	0.56, 0.66 multi stem	0.87	10.44	342.41	N/A	N/A	-	3.25
28	Prunus lusitanica	Portuguese Laurel	Young	Exotic	0.41		4.92	76.05	N/A	N/A	-	2.37
29	Salix babylonica	Weeping willow	Mature	Exotic	0.89		10.68	N/A	N/A	N/A	-	3.28

## 10. Tree Protection

### **Notional Root Zone (NRZ)**

Zone enclosed by a radius 12 times the Diameter at Standard Height (DSH) that is a primary trigger for arboricultural input on a development site.

### **Tree Protection Zones (TPZ)**

The specific area set aside above ground at a given distance from the trunk set aside for the protection of the tree's roots and crown to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.

### **Structural Root Zones (SRZ)**

The area around the base of a tree is of value for the tree's stability in the ground. The woody root growth and soil cohesion in this area are necessary to hold the tree upright. The SRZ is nominally circular with the trunk at its centre and is expressed by its radius in meters. This zone considers the trees structural stability only, not the root zone required for a tree's vigour and long-term viability, which will usually be much larger area.

### **Encroachment**

In some case, encroachment into the TPZ is necessary. There are provisions for encroachment, within the Australian standards framework. Encroachment is categories as minor or major.

### **Minor Encroachment AS 4970-2025**

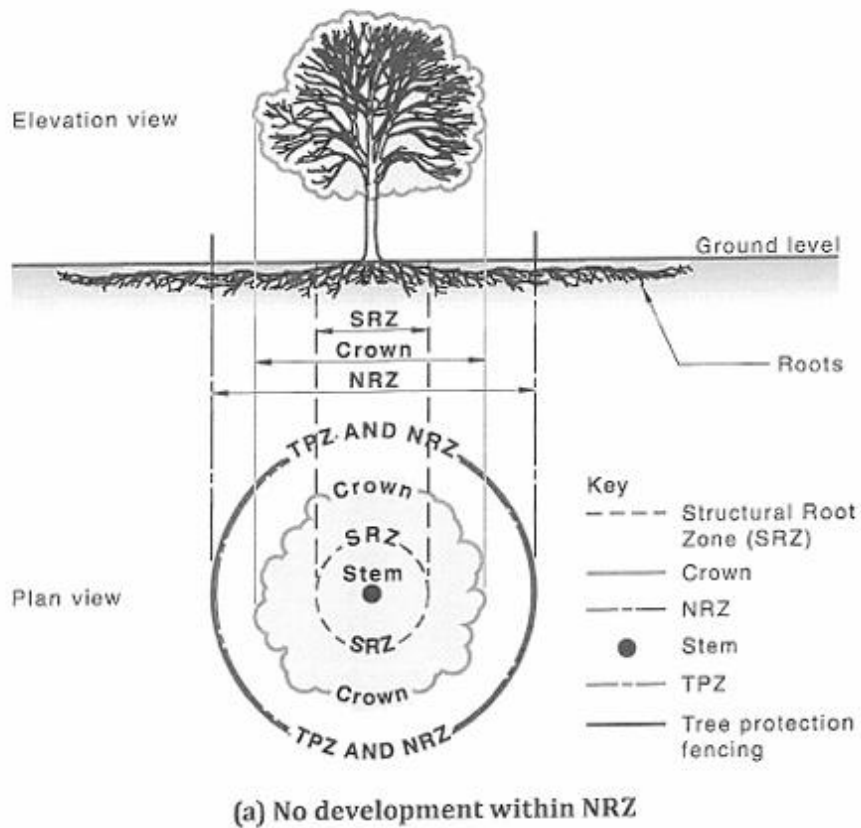
Minor encroachment is less than or equal to 10% of the TPZ and doesn't enter the SRZ (Structural Root Zone). Generally, it is unlikely that there will be any significant impact to tree health, longevity or structure. Tree protection should be implemented during site works. An equivalent area to the encroachment shall be incorporated into the TPZ, unless the project arborist can otherwise demonstrate the tree will remain viable.

### **Moderate Encroachment AS 4970-2025**

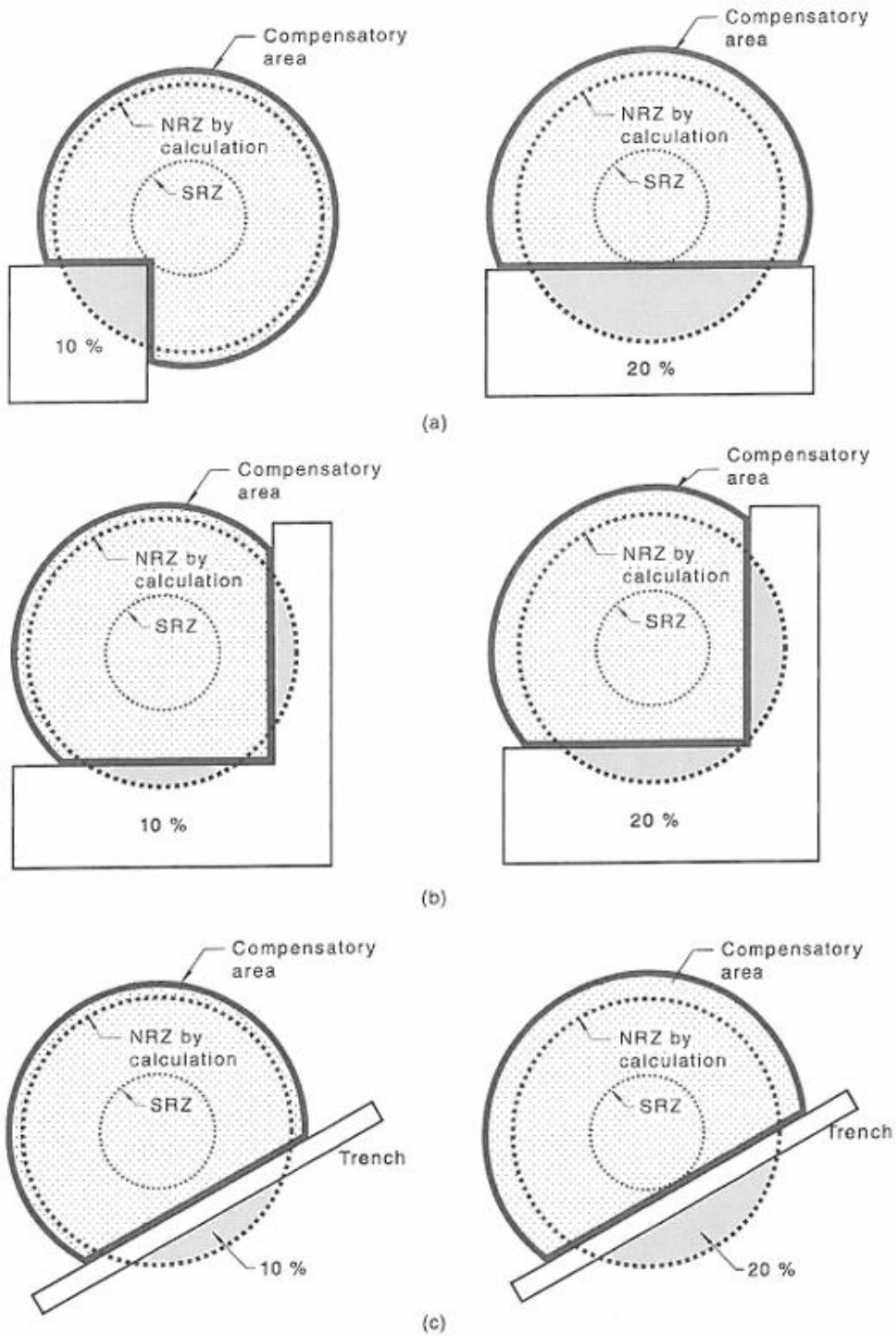
Moderate encroachment is greater than 10% and less than or equal to 20% of the TPZ and doesn't enter the SRZ. The project arborist shall be engaged to review the proposed impact and undertake any necessary investigation to demonstrate how the tree will remain viable. This may be through implementation of suitable design measures and construction control measures to mitigate impact during process. An equivalent area to the encroachment shall be incorporated into the TPZ, unless the project arborist can otherwise demonstrate the tree will remain viable.

### Major Encroachments AS 4970-2025

Major encroachment is greater than 20% of the TPZ and into the SRZ. The project arborist shall be engaged to review the proposed impact and undertake any necessary investigation to demonstrate how the tree will remain viable. This can include research such as root investigation, soil analysis, historical records of the tree or site relevant literature and examples of similar encroachment. These encroachments must be supervised by the project arborist. An equivalent area to the encroachment shall be incorporated into the TPZ, unless the project arborist can otherwise demonstrate the tree will remain viable.



**Figure 7.** Image of a tree with no encroachment showing all the requirements. Image source from Australian Standard 4970-2025.



NOTE These examples are not to scale and are for illustrative purposes. The proposed encroachment is considered minor if it is less than or equal to 10 % of the area of the NRZ, has not had recent TPZ encroachments and is outside of the SRZ (see [Clause 3.4](#)). The proposed encroachment is considered moderate if it is greater than 10 % and less than or equal to 20 % of the area of the NRZ and is outside of the SRZ (see [Clause 3.4](#)).

**Figure 8.** Examples of various encroachments. Sources Australia Standard 4970-2025.

## Development sites

Development sites incorporating trees need to implement protection measures to ensure the tree remains viable in the future landscape. Damage to trees during development can occur directly to the tree and indirectly to it through its environment.

- Direct damage includes mechanical injury to the trunk, severing roots, or alterations to the soil environment in the immediate vicinity of the roots. This included compaction or loss of organic matter.
- Indirect damage includes soil moisture alterations, changes in water tables and drainage patterns.

On development site, the protection of trees is achieved with a TPZ (Tree Protection Zone). TPZ are calculated according to *AS 4970-2025 Protections of amenity trees on development sites*. TPZ are 12 times the trunk diameter at 1.4 m above ground level. Once the TPZ has been calculated, a TPZ fence is erected to protect the tree and its environment. These fences must be erected before any work takes place.

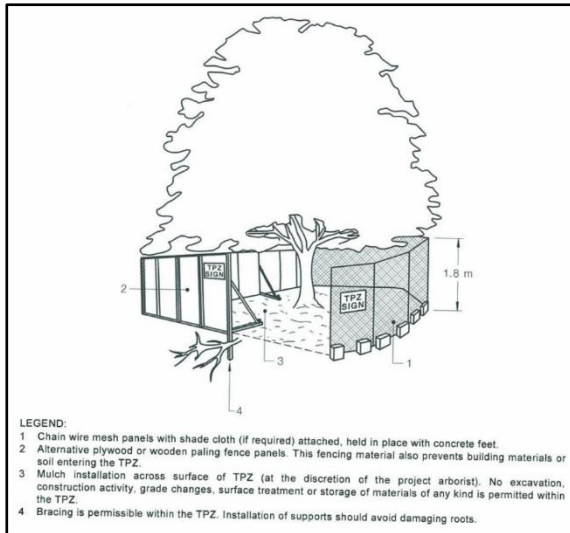
### Guidelines for TPZ's (Tree Protection Zones):

- No building structures or hard landscape features.
- No building material storage.
- No excavation or soil disturbance work
- No placing or storing of fill.
- No lighting of fire or preparing of chemicals.
- No vehicles or pedestrian access.

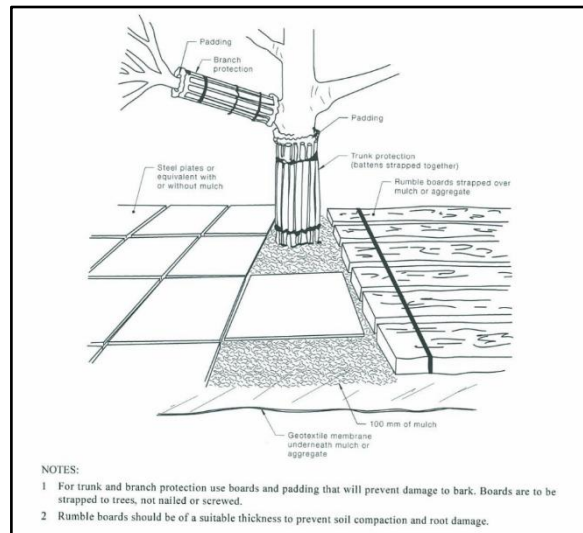
### TPZ requirements:

- Erect signs along the entire length of the protective fence.
- Construct TPZ to prevent pedestrian and vehicle access.
- Mulch TPZ area to a depth of 150mm with wood chips.
- Irrigate the TPZ periodically, as determined by the arborist.

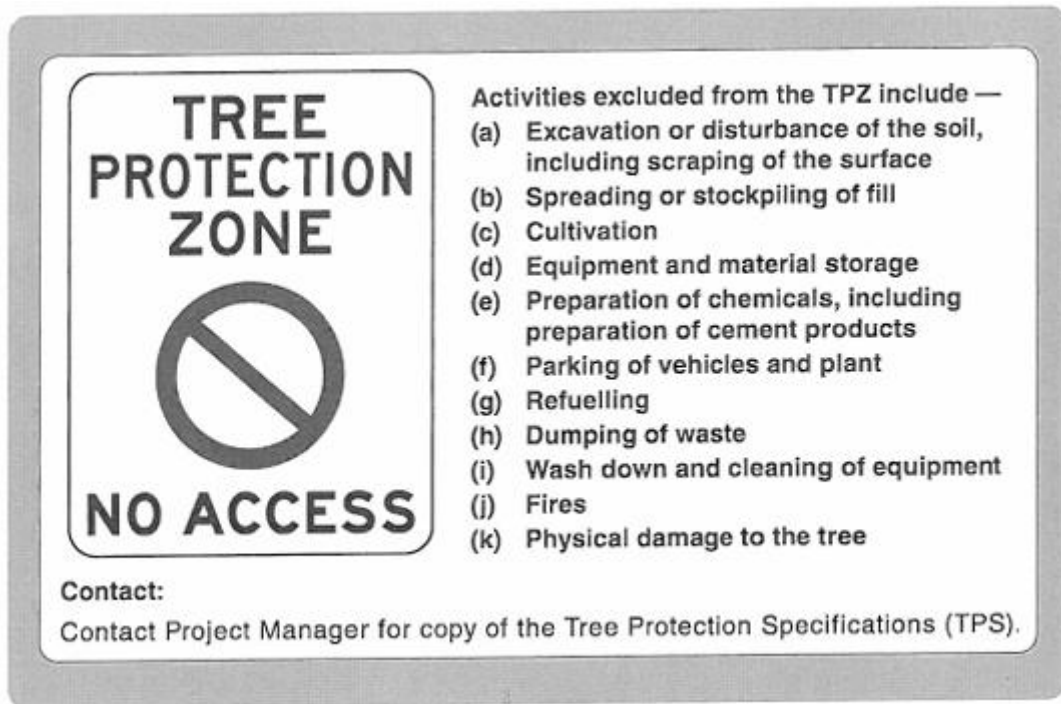
TPZ Guidelines and requirements need to be adhered to at all stages of the design and development process.



**Figure 9.** Tree Protection Fence and signs. Imaged sourced from the Australian Standard 4970-2025.



**Figure 10.** Trunk Protection and ground protection. Imaged sourced from the Australian Standard 4970-2025.



**Figure 11.** An example of a Tree Protection Zone Sign. Imaged sourced from the Australian Standard 4970-2025.

## 11. References

Australian Standards – AS 4970-2025 Protection of trees on development site.

Australian Standards – AS 4373-2007 Pruning of Amenity trees.

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## 12. Tree Descriptors

### AGE

The notation of age is based on the following categories.

Category	Description
Young	Less than 20% of the life expectancy of the tree.
Mature	20 – 80% of the life expectancy of the tree.
Over Mature	>80% of the life expectancy for the tree.
Dead	Tree is no longer alive.

### HEALTH

Pertains to the health and growth potential of the tree. The notation of 'health' is based on the following categories.

Category	Description
Good	Full canopy, good foliage density, average leaf colour for species. Average growth indicators such as good extension of growth per growing season, typical leaf size. Little to no dieback in the canopy, minimal deadwood. Good wound wood development. <b>Tree exhibits above average health and minimal to no work is required.</b>
Fair	Tree has <25% deadwood and may have minor canopy dieback. Foliage density and colour may be slightly below average for species. Imperfections in canopy present, pathogen signs present. Average growth indicators such as good extension of growth per growing season, typical leaf size and canopy density. Moderate wound wood development. <b>Tree exhibits below average health, and remedial works may be employed to improve tree health.</b>
Poor	Tree has >25% deadwood and has canopy die back. Foliage density and colour is below average for species. Leaf size distorted and discoloured. Epicormic growth is present throughout the canopy. Canopy is incomplete and has pathogen damage present. Poor wound wood development. <b>Tree exhibits low health and remedial work or removal <u>may</u> be required.</b>
Very Poor	Tree has more than 50% deadwood and extensive canopy dieback. Foliage density is sparse and leaf and colour is atypical for species. Epicormic shoots can make up large sections of canopy. Pathogen and stress agent is present are leading to decline. Very poor wound wood development. <b>Tree exhibits low health and remedial work or removal <u>are</u> required.</b>
Dead	<b>Tree is no longer living.</b>

### RETENTION VALUE

Retention Value is rated into three levels: LOW, MEDIUM and HIGH.

Category	Description
Low	Trees that offer little in terms of contributing to the future landscape. Should be considered for removal.
Medium	Trees with some beneficial attributes that may benefit the site. Could be considered for retention if possible.
High	Trees with the potential to positively contribute to the site. Should be considered for retention if possible.

## STRUCTURE

Pertains to the physical structure of the tree including main scaffold branches and roots. Structure includes those attributes that may influence the probability of major, trunk, root or limb failure.

Category	Description
Good	<p>Tree has well-defined and balance canopy. Branch unions appear strong and without defects evident. Trunk and branches have nice taper. Tree is unlikely to suffer trunk or branch failure under normal conditions. <b>The tree is considered a good example of the species with well-developed form.</b></p>
Fair	<p>Tree has some minor problems in the structure of the crown. The crown may slightly out on balance and some branch unions may exhibit structural faults. Tree may have a slight lean. Tree may have slight root damage. <b>These defects are not likely to result in catastrophic trunk or branch failure, although some branch failure may occur under normal conditions.</b></p>
Poor	<p>Tree may have significant problems in structural scaffold limbs and trunk. Canopy may be lopped sided and have gaps. Limbs crossing in canopy. Branch unions may be poor with faults present. Tree may have substantial lean. Tree may have suffered significant root damage. Tree may have basal or trunk damage. Tree may have co-dominate stems. Tree may have bifurcated unions. <b>These defects <u>may</u> predispose the tree to major truck and branch failure.</b></p>
Hazardous	<p>Tree has very significant problems in structural scaffold limbs and trunk. Canopy is lopped sided and has gaps. Limbs crossing in canopy causing rubbing and damage. Branch unions are poor with faults at the point of attachment. Tree has substantial lean. Tree has suffered significant root damage. Tree has basal or trunk damage. Tree has co-dominate stems. Tree has bifurcated unions. <b>These defects <u>are</u> likely to predispose the tree to trunk and scaffold limb failure</b></p>

## USEFUL LIFE EXPECTANCY (ULE)

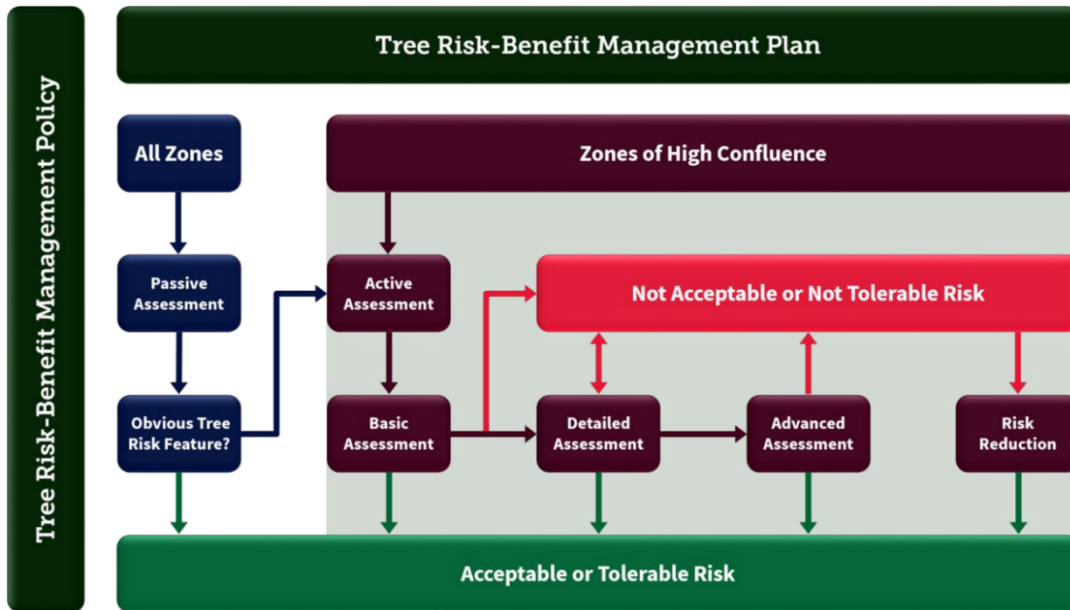
U.L.E. pertains to the span of time that the tree might reasonably be expected to provide useful amenity value with an acceptable level of safety at an acceptable cost. Trees with have varying U.L.E. according to the environment, economical and other factors. **(Note: Useful life expectancy is relevant to the tree if it is maintained and nothing significantly in the environment changes)**

The notation of U.L.E. is based on the following categories.

Category	Description
Short	The tree appears to be retainable with an acceptable level of risk for 5 to 15 years.
Medium	The tree appears to be retainable with an acceptable level of risk for 15 to 40 years.
Long	The tree appears to be retainable with an acceptable level of risk for more than 40 years.
Remove	The tree presents with a high level of risk that would need removal within the next 5 years

**RISK**

Risk is calculated using the following chart.



**Passive Assessment** - is simply picking up on Obvious Tree Risk Features you can't help but notice as you got about your daily routine. We carry it out in all zones of use. Passive Assessment is our most valuable risk management asset because it can be done by anyone and it's going on day in day out.

**Active Assessment** - is where we have trained assessors looking for risks that might not be Acceptable or Tolerable. Or where Passive Assessment has picked up an Obvious Tree Risk Feature that needs a closer look. Active Assessment has three levels to it that increase in depth of investigation from Basic, to Detailed, up to Advanced. We'll carry out Active Assessment in zones of high confluence every 5 years.

**Risk Ratings** - VALID has applied ISO 31000: Risk Management and the Tolerability of Risk Framework to tree risk-benefit assessment and management, which we've adopted. We're going to manage the risk from our trees and branches falling using four easy-to-understand traffic light signal coloured risk ratings. Red Not Acceptable risks will be reduced to an Acceptable level Amber Not Tolerable risks will be reduced to an Acceptable level, but with a lower priority than red Not Acceptable risks Amber Tolerable risks will not be reduced but may require an increased frequency of assessment than green Acceptable risks Green Acceptable risks will not be reduced.

More documentation is attached.

**TREE PROTECTION ZONES**

The T.P.Z. applied is AS 4970-2025 'Protection of trees on development site'. AS 4970-2009 uses a multiplication method to determine the T.P.Z. based on T.P.Z. radius being 12 times stem diameter measured 1.4 metres above ground.

$$T.P.Z. \text{ radius} = DBH \times 12$$

**STRUCTURAL ROOT ZONE**

The S.R.Z. applied is AS 4970-2025 'Protection of trees on development site'. The SRZ is the area required for tree stability. A larger area is required to maintain a viable tree.

$$SRZ \text{ radius} = ( D \times 50 )^{0.42} \times 0.64$$

## 13. Assumptions and limitations

1. Any legal description provided to Tree Pioneers Pty Ltd is assumed to be correct. Any titles and ownerships to any property are assumed to be correct. No responsibility is assumed for matters outside the consultant's control.
2. Tree Pioneers Pty Ltd assumes that any property or project is not in violation of any applicable codes, ordinances, statutes or other local, state or federal government regulations.
3. Tree Pioneers Pty Ltd has taken care to obtain all information from reliable sources. All data has been verified insofar as possible; however, Tree Pioneers Pty Ltd can neither guarantee nor be responsible for the accuracy of the information provided by others not directly under Tree Pioneers Pty Ltd control.
4. No Tree Pioneers Pty Ltd employee shall be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.
5. Loss of this report or alteration of any part of this report not undertaken by Tree Pioneers Pty Ltd invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone but the client or their directed representatives, without the prior consent of the Tree Pioneers Pty Ltd.
7. This report and any values expressed herein represent the opinion of the Tree Pioneers Pty Ltd consultant and the Tree Pioneers Pty Ltd fee is in no way conditional upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
8. Sketches, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural drawings, reports or surveys.
9. Unless expressed otherwise: 1) Information contained in this report covers only those items that were covered in the project brief or that were examined during the assessment and reflect the condition of those items at the time of inspection; and 2) The inspection is limited to visual examination of accessible components without dissection, excavation or probing unless otherwise stipulated.
10. There is no warranty or guarantee, expressed or implied by Tree Pioneers Pty Ltd, that the problems or deficiencies of the plants or site in question may not arise in the future.
11. All instructions (verbal or written) that define the scope of the report have been included in the report and all documents and other materials that the Tree Pioneers Pty Ltd consultant has been instructed to consider or to take into account in preparing this report have been included or listed within the report.
12. To the writer's knowledge all facts, matter and all assumptions upon which the report proceeds have been stated within the body of the report and all opinion contained within the report have been fully researched and referenced and any such opinion not duly researched is based upon the writers' experience and observation.



## **Room11**

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### **521 Sandy Bay Road**

**Date:** 16/09/2025

**Client:**

**Project:** Alterations and Additions to Existing Dwelling

**Address:** 521 Sandy Bay Road Title Ref 84017/1

## **PLANNING REPORT**

This assessment is based on the Tasmanian Planning Scheme (TPS) and is written in support of the Development Application for Alterations and Additions to the existing Dwelling and alterations to landscaping associated with the project at 521 Sandy Bay Road, known as 'The Elms', title ref 226477/1.

The property known as 521 Sandy Bay Road comprises two titles CT 226477/1 and CT 84017/1.

The site has an existing Heritage Listed Dwelling on the Tasmanian Heritage Register.

The site is within Zone 8 of the TPS, General Residential. It is also within the Heritage Precinct overlay and listed as a Heritage Place within the Hobart Local Provisions Schedule.

This planning report will examine the relevant clauses within the TPS for the proposed development of the site.

# 1. INTRODUCTION

This Planning Report is in support of the development application for Alterations and Additions to 'The Elms' 521 Sandy Bay Road Bay Road.

The proposal is for an addition to the existing house, a garden 'pavilion'. This has been designed and sited carefully respecting the Heritage Values of the existing dwelling and garden setting. There is minor modification to the landscaping and the addition of a garden terrace, and a pool to enhance the amenity for the owners. The existing detached rear building is proposed to have minor modifications in order to enhance the use of the building. The proposal also includes a new garage which is to be accessed via Lipscombe Avenue. This access is a right of way over 1 Lipscombe Avenue and is with the Lands Titles office. The proposed works will ensure the existing house and garden are maintained and are suitable for use.

## 1.1 SITE DESCRIPTION

The subject site comprises CT 226477/1, and CT 84017/1, which together are identified as 521 Sandy Bay Road and has a combined site area of approximately 4,683.51m<sup>2</sup>

The site is located on Sandy Bay Road and has street frontage and independent access from Sandy Bay Road. There is a proposed Right of Way over no. 1 Lipscombe Avenue to create a secondary site access from Lipscombe Avenue.

The site is known as 'The Elms' and has a heritage listed building along with a partially over grown garden including some mature elm trees, giving the home its name. The garden requires maintenance and limited replanting.

The site is listed on the Tasmanian Heritage Register. The Tasmanian Heritage Register data sheet is attached to this report, Annex 1. From the data sheet: *The Elms is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey brick Victorian domestic building. And; This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.*

The current owners of the property commissioned a Arboricultural Tree Audit from a qualified arborists -Tree Pioneers, in recognition of the significance of the grounds of the house, Annex 2 to this report. The report identifies that garden requires significant maintenance to re-establish the grounds to their former glory, removal of some growth, and replanting. Annex 3 to this report is a Heritage Garden Letter from the O'Reilly's Garden Concepts, whom the owners have engaged to undertake the work to the garden. These works required have an exemption permit from the Tasmanian Heritage Council, #6564 Annex 4, which includes the supporting documentation submitted to the Tasmanian Heritage Council. This exemption also includes the construction of a new frontage gate, set back from Sandy Bay Road, which is a reproduction of an original gate from a photographic record circa 100 years ago. The Tasmanian Heritage Council have also issued an exemption permit for minor maintenance works to the House, Annex 5 to this report which includes supporting documentation submitted to the Tasmanian Heritage Council.

Annex 6 is a demolition plan by Room 11 Architects, clearly showing what fabric is to be removed from the original dwelling.



Source [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au) 07/04/2025

## 1.2 SURROUNDING USE AND DEVELOPMENT

The site forms part of the SB12 Sandy Bay Road Heritage Precinct as listed in the HIPS. From the HIPS description; *These precincts are significant for reasons including:*

- 1. The key historical role of the road in the development of the precinct and the buildings and features that demonstrate that history.*
- 2. The large number of exceptionally fine residences dating from 1830 through to the present day.*
- 3. The small number of commercial buildings creating a village character including some which are of individual heritage significance.*

Sharing the North Western boundary of 521 Sandy Bay Road is another Heritage listed Residence at 2 Red Chapel Avenue. From the Tasmanian Heritage Register data sheet: *2 Red Chapel Avenue is of historic heritage significance because of its ability to demonstrate the principal characteristics of a single storey brick Old Colonial Georgian domestic building.*

To the North East of the site, directly across Sandy Bay Road is another building listed on the Tasmanian Heritage Register at 520 Sandy Bay Road is St Stephen's Anglican Church and Hall. From the Tasmanian Heritage Register data sheet: *Erected in the 19th century but heavily adapted in the 1890s, St Stephen's Anglican Church reflects the characteristics of a Federation-era church with Gothic elements, through the use of freeform roofline, Arts and Crafts belfry and use of*

contrasting materials, textures and shades of colour. The adjacent St Stephen's Hall is an example of a modernist meeting hall, where uncomplicated design, natural light and substantial meeting space were valued for a growing congregation within a central Hobart suburb.

Sharing one of the South Eastern boundaries of the site is the Cafe known as Blac Fig. This faces Sandy Bay Road, and has off street parking fronting Sandy Bay Road.



Source [www.thelist.tas.gov.au](http://www.thelist.tas.gov.au) 30/04/2025

## 2. PLANNING SCHEME PROVISIONS

The following is an assessment of the proposed development in response to the relevant provisions of the Tasmanian Planning Scheme, the Hobart Local Provisions Schedule. Only those clauses relating to the proposed development will be discussed herein.

### 2.1 ZONING

#### 8.0 General Residential Zone

#### 8.0 Zone Purpose Statements

8.1.1 To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.

8.1.2 To provide for the efficient utilisation of available social, transport and other service infrastructure.

8.1.3 To provide for non-residential use that:  
(a) primarily serves the local community; and  
(b) does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.

8.1.4 To provide for Visitor Accommodation that is compatible with residential character

The proposal is for Alterations and Additions to the existing dwelling, and a new garage and carport, and is in alignment with the Zone purpose statements.

### 2.2 USE CLASSIFICATION

The proposal is for alterations and additions to the existing residence and will not change the use classification from Residential. The proposal is classified *No Permit Required* under the Use Table of the Zone.

### 2.3 USE STANDARDS

#### 8.4 Development Standards for Dwellings

##### 8.4.1 Residential density for multiple dwellings

N/A the application is not for multiple dwellings

##### 8.4.2 Setbacks and building envelope for all

###### **dwellings Objective:**

*The siting and scale of dwellings:*

(a) provides reasonably consistent separation between dwellings and their frontage within a street;

(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;

(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and

(d) provides reasonable access to sunlight for existing solar energy installations.

###### **Acceptable Solutions**

Al

Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

(a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;

The existing dwelling is set back from the frontage approximately 31.62m. The proposed addition is set back from the frontage 34.62m.

(b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;

N/A the frontage for the addition is a primary frontage. The garage is located internally and does not have setback from a frontage that is not a primary frontage.

(c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or

N/A the site is not a vacant site.

(d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level; or

N/A the proposal does not involve non-residential use.

The proposal is in compliance with Clause 8.4.2 Acceptable Solutions A1.

A2

A garage or carport for a dwelling must have a setback from a primary frontage of not less than:

(a) 5.5m, or alternatively 1.0m behind the building line;

The proposed carport and parking area is located wholly behind the existing dwelling and the new addition. The proposed garage is located internally and does not have a setback to a primary frontage.

(b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or

N/A none of the dwelling gross floor area is located above the garage or carport.

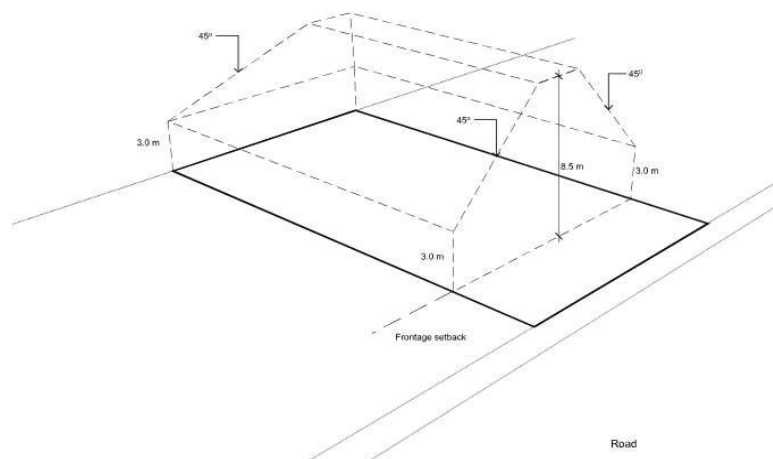
(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.

N/A

The proposed carport structure is located wholly behind the building line of both the existing building and the proposed addition. The proposed garage is located internally to the lot. Therefore it is considered that the proposal is compliant with the Acceptable Solutions A2 of Clause 8.4.2.

A3

As the site has street frontage to Sandy Bay Road, the building envelope building envelope shown in figure 8.1 applies.



Source: Tasmanian Planning Scheme Accessed 16/09/2025

The proposed addition is setback from the North Western Boundary by 10.59m. The maximum height of the proposed addition is 4.68m. It is located wholly within the building envelope.

Therefore, the proposal is within the building envelope and is in compliance with Clause 8.4.2 Acceptable Solution A3

#### **8.4.3 Site coverage and private open space for all dwellings**

*Objective:*

*That dwellings are compatible with the amenity and character of the area and provide:*

- (a) for outdoor recreation and the operational needs of the residents;*
- (b) opportunities for the planting of gardens and landscaping; and*
- (c) private open space that is conveniently located and has access to sunlight.*

*Acceptable Solutions*

*A1*

*Dwellings must have;*

- (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and*

The total proposed site coverage is 17.24%. It is not more than 50%.

*(b) for multiple dwellings, a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling, unless the dwelling has a finished floor level that is entirely 1.8m above the finished ground level (excluding a garage, carport or entry foyer).*

N/A the proposal is not for multiple dwellings.

The proposal is in compliance with Clause 8.4.2 Acceptable Solutions A1.

*A2*

*A dwelling must have private open space that:*

- (a) is in one location and is not less than:
  - (i) 24m<sup>2</sup>; or*
  - (ii) 12m<sup>2</sup>, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);**

The proposed site coverage is a total of 767.97%. The site area is 4,251m<sup>2</sup>. This leaves the site area for private open space of 3,483.03m<sup>2</sup>.

- (b) has a minimum horizontal dimension of not less than:
  - (i) 4m; or*
  - (ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);**

*(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north;*

*(d) has a gradient not steeper than 1 in 10; and*

*(e) is not used for vehicle access or parking.*

The proposed site coverage is a total of 846.06m<sup>2</sup>. The site area is 4,906.7m<sup>2</sup>. This leaves the site area for private open space of 4,060m<sup>2</sup>.

Therefore, the acceptable solutions of clause 10.4.3 A2 have been met, and the performance criteria do not need to be addressed.

#### **8.4.4 Sunlight to private open space of multiple dwellings**

N/A the proposal does not include multiple dwellings.

#### **8.4.5 Width of openings for garages and carports for all dwellings**

*Objective:*

*To reduce the potential for garage or carport openings to dominate the primary frontage.*

*Acceptable Solutions*

*A1*

*A garage or carport for a dwelling within 12m of a primary frontage, whether the garage or carport is free-standing or part of the dwelling, must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).*

The proposed carport is not within 12m of the primary frontage to Sandy Bay Road. The proposed garage is not within 12m of Sandy Bay Road. Therefore the proposal complies with the Acceptable Solutions of Clause 8.4.5 and the project does not need to be assessed against the performance criteria.

#### **8.4.6 Privacy for all dwellings**

*Objective:*

*To provide a reasonable opportunity for privacy for dwellings.*

*Acceptable Solutions*

*A1*

*A balcony, deck, roof terrace, parking space, or carport for a dwelling (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1.0m above existing ground level must have a permanently fixed screen to a height of not less than 1.7m above the finished surface or floor level, with a uniform transparency of not more than 25%, along the sides facing a:*

*(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 3m from the side boundary;*

The proposal involves an external terrace space. The proposed terrace is not more than 1.0m above ground level. The terrace is setback more than 3m from side boundaries.

*(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of not less than 4m from the rear boundary; and*

The proposal involves a carport that abuts the rear boundary. The rear boundary has an existing timber fence that is more 1.8m high. This fence will be maintained in this proposal. The finished surface level of the carport is at natural ground level, and is not more than 1.0m above the natural ground level.

*(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is not less than 6m:*

*(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or*

*(ii) from a balcony, deck, roof terrace or the private open space of the other dwelling on the same site.*

There are no other dwellings on the site, (c) does not apply.

It is considered that the proposal complies with the Acceptable Solutions A1 of clause 8.4.6 of the TPS, therefore the Performance Criteria do not need to be addressed.

*A2*

*A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1.0m above existing ground level, must satisfy (a), unless it satisfies (b):*

*(a) the window or glazed door:*

*(i) is to have a setback of not less than 3m from a side boundary;*

*(ii) is to have a setback of not less than 4m from a rear boundary;*

*(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and*

*(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.*

*(b) the window or glazed door:*

*(i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling;*

*(ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or*

*(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%.*

The floor level of the proposed addition is less than 1.0m from the existing ground level. A2 does not apply.

A3

*A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of not less than:*

*(a) 2.5m; or*

*(b) 1.0m if*

*(i) it is separated by a screen of not less than 1.7m in height; or*

*(ii) the window, or glazed door, to a habitable room has a sill height of not less than 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of not less than 1.7m above the floor level.*

The proposal is not for multiple dwellings and does not have a shared driveway. A3 does not apply.

The proposal is in compliance with the relevant Acceptable Solutions of clause 8.4.

## **C6.0 Local Historic Heritage Code**

### **C6.1 Code Purpose**

*The purpose of the Local Historic Heritage Code is:*

**C6.1.1** *To recognise and protect:*

*(a) the local historic heritage significance of local places, precincts, landscapes and areas of archaeological potential; and*

*(b) significant trees*

**C6.1.2** *This code does not apply to Aboriginal heritage values.*

### **C6.2 Application of this Code**

**C6.2.1** *This code applies to:*

*(a) development on land within any of the following, as defined in this code:*

*(i) a local heritage place;*

*(ii) a local heritage precinct;*

*(iii) a local historic landscape precinct; and*

*(iv) for excavation only, a place or precinct of archaeological potential; and*

*(b) the lopping, pruning, removal or destruction of a significant tree as defined in this code.*

*C6.2.2 If a site is listed as a local heritage place and is also within a local heritage precinct or local historic landscape precinct, it only necessary to demonstrate compliance with the standards for the local heritage place unless demolition, buildings and works are proposed for an area outside of the site outside of the identified specific extent of the local heritage place.*

*C6.2.3 This code does not apply to a registered place entered on the Tasmanian Heritage Register, unless for lopping, pruning, removal or destruction of a significant tree as defined in this code.*

*C6.2.3 This code does not apply to use.*

The existing dwelling on the site is listed on the Tasmanian Heritage Register. There are no trees on the site that are included on the significant tree register of the Hobart Local Provisions Schedule. Therefore C6 does not apply to this application.

### 3. EXECUTIVE SUMMARY

This development application seeks approval for alterations and additions to the heritage-listed dwelling known as 'The Elms', located at 521 Sandy Bay Road. The proposed works include modifications to the existing residence, construction of new elements, and landscape improvements. The property, situated within the General Residential Zone and the Sandy Bay Road Heritage Precinct under the Tasmanian Planning Scheme and the Hobart Local Provisions Schedule, is also registered as a Heritage Place.

The proposal has been carefully designed to respect the historic and architectural significance of the site and its broader precinct context. Demolition is limited to non-original and unsympathetic structures that do not contribute to the heritage value of the place. All new work is subservient in scale, clearly distinguishable from the original building, and employs materials and forms that complement the historic character.

The proposed landscaping changes aim to restore and enhance the garden in keeping with its historic identity, based on arborist and heritage garden specialist input. Heritage exemptions have been granted for minor works, including tree removals, maintenance, and new access gate.

Overall, the proposal complies with the applicable development criteria of the TPS, and is a considered response to the cultural heritage values of the site and its context.



Yours sincerely,  
Room 11 Architects  
Written by Kate Phillips Associate Director Room 11 Architects  
Approved by Thomas Bailey Director Room 11 Architects

A handwritten signature in black ink, appearing to be the name "Thomas Bailey". The signature is fluid and cursive, written over a light blue horizontal line.

**Our Ref:** 55319MW

55319MW\_SW Report\_521 Sandy Bay\_2025.12.16.docx

16 December 2025

The Stormwater Services Environmental Officer  
CITY OF HOBARTEmail: [sarah.zehmeister@hobartcity.com.au](mailto:sarah.zehmeister@hobartcity.com.au)

Attention: Sarah Zehmeister

**PLANNA-HOB-2025-4701**  
**521 SANDY BAY ROAD**  
**STORMWATER ADVICE LETTER****1. BACKGROUND**

Reference is made to the above planning application and the RFI from Council received 09 December 2025.

This letter addresses Items 2 and 3 of the RFI. The Council queries are reproduced in green italics and our responses in black.

**2. RFI RESPONSE**

## 2.1 Item 2 of RFI

*Sw1 - Stormwater**Stormwater*

*To allow the appropriate conditioning of the permit under the Scheme, and assess likely compliance with Council's Stormwater Management Policy for Development and the Urban Drainage Act 2013; please provide:*

- 1. A high-level indicative servicing plan showing how stormwater from the proposed development can be disposed of to Council infrastructure with sufficient receiving capacity, in accordance with Council's Policy.*

The concept stormwater drawings are submitted along with this letter.

- 2. Clearly distinguish between existing and proposed lot connections. Show any existing lot connection and its relative level to the works, able to drain the works by gravity. Any new connection proposed must be at the low point of the lot.*

The title on 521 Sandy Bay Road does not have an existing lot connection, as the runoff from impervious surfaces is currently disposed of on site. The proposed stormwater design is shown on the accompanying drawings – it is intended to drain most of the existing and proposed impervious surfaces to a kerb connection on Sandy Bay Road. A portion of existing roof will be drained to a soakage trench as indicated on the drawings.

The title on 527A Sandy Bay Road will be provided with a stormwater connection to the existing DN1050 main.

- 3. Demonstrate all private drainage and runoff from impervious areas will be contained within the lot boundaries or appropriate easements.*

As indicated on the drawings, the runoff from impervious surfaces will be either contained within the lot boundaries or connected directly to Council infrastructure.

**OFFICES ALSO AT:****BURNIE**  
6 Queen St,  
Burnie, TAS 7320  
(03) 6431 4400**DEVONPORT**  
77 Gunn St,  
Devonport, TAS 7310  
(03) 6423 6875**HUONVILLE**  
11/16 Main Rd,  
Huonville, TAS 7109  
(03) 6264 1277**LAUNCESTON**  
3/23 Brisbane St,  
Launceston, TAS 7250  
(03) 6331 4099**SWANSEA**  
3 Franklin St,  
Swansea, TAS 7190  
(03) 6130 9099

4. State the current and proposed area of directly drained impervious surfaces for each Lot. Justify and claimed runoff coefficient for semi-pervious surfaces (e.g. gravel).

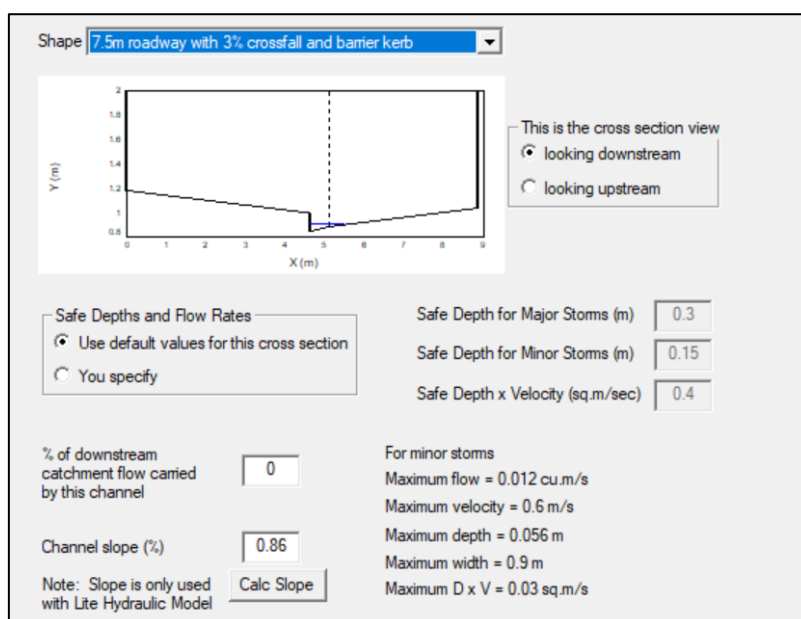
**Table 1.** Directly-drained impervious surfaces

Description	Area (m <sup>2</sup> )
<i>521 Sandy Bay Rd</i>	
Roof	948
Asphalt / paving / concrete	166
Gravel	404
<i>527A Sandy Bay Rd</i>	
Roof	78
Asphalt / paving / concrete	0
Gravel	172

The C<sub>10</sub> runoff coefficient used for gravel surfaces is 0.6. We believe that this is reasonable for lightly compacted driveways on a residential property.

5. Demonstrate any proposed kerb discharge will be contained within the kerb and gutter.

From correspondence with Council, we were informed that a 5% AEP discharge of 12 ℓ/s will be accepted by Council. We have designed detention storage so that the flow rate at the kerb connection is limited to this. The flow width in the kerb is 0.9 m, which means that the flow width is 0.45 m within the roadway. Note that this assessment was made, taking into account the SSP3-7.0 climate change pathway for the year 2090.



**Figure 2.** Flow in kerb and channel

6. Should detention be required to achieve a suitable width gutter flow, indicate a location for detention tanks that can drain to the connection via gravity.

The location of the proposed detention is shown on the accompanying drawings.

7. Should any onsite disposal be proposed, demonstrate no adverse impact on neighbouring property will occur.

The location of the proposed soakage trench is more than 20 m away from the nearest neighbour. We believe this is adequate to prevent adverse impact on neighbouring property.

*8. Should a mains extension be proposed, provide an indicative long-section demonstrating adequate cover, grade and clearances from other services can be achieved.*

No mains extension is proposed.

## 2.2 Item 3 of RFI

### *IND – Flood Prone Hazard Area Code*

*The site has been modelled as subject to flooding. To enable Council to assess the application against the relevant provisions of the Flood Prone Areas Hazard Code of the State Planning Provisions, please provide:*

*1. A Flood Hazard Report as defined in C12.3.1 and associated flood modelling report prepared by a suitably qualified person in accordance with best practise guidelines that details:*

*a. the risk of inundation of the site and proposed buildings (up to a 1% annual exceedance probability flood event for the year 2100 including consideration of climate change); and*

*b. the impact of the proposed development upon the risk of inundation of other land, buildings and infrastructure (including frequency, extent, depth, velocity and hazard band; consideration of land use and floor levels; and afflux maps); and*

*c. any hazard reduction, flood protection or design features proposed to be employed to reduce the risk, and the resultant level of risk.*

*The report must clearly address the provisions of C12.6.1 and P1.2; and detail all assumptions made and model inputs.*

*Advice: Adequate design details of the proposed driveway will be required to determine if the modelling takes all proposed works which may impact or be impacted by the modelled flood extent into consideration.*

At a meeting held with Council engineers on site on 16 December 2025, it was agreed that the position of the proposed building would be moved, so as to be outside of the flood hazard zone. The revised position will be indicated on the architects' drawings.

## **3. DRAINS MODEL (for 521 Sandy Bay only)**

A Drains model was prepared for 521 Sandy Bay Road. This model is issued together with this letter for interrogation by Council. The model was based on the Extended Rational Method. IFD data was obtained from the BOM for the site, and relevant pre-burst rainfall data and temporal patterns were obtained from the ARR and applied to the model. The model of the pre- and post-development is discussed below. Storm durations from 5 minutes to 2 hours were simulated.

### 3.1 Pre-development catchments

The gravel, roof and paving areas of the existing site are shown below. The landscaped and garden areas have been included in the model as a balance.



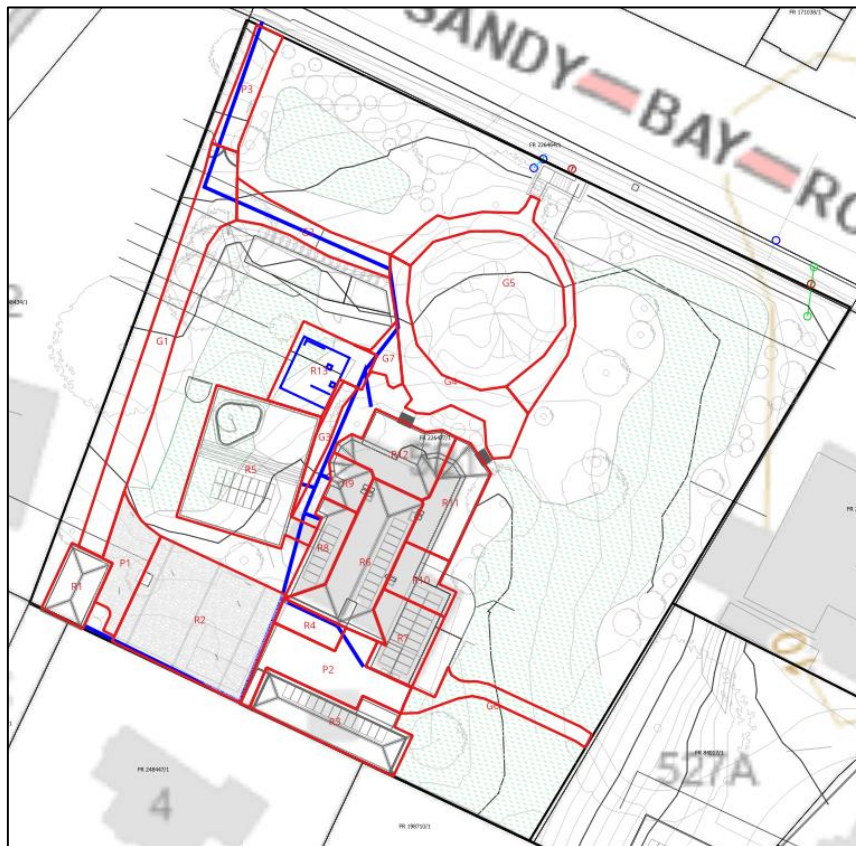
**Figure 3.** Catchment layout for existing site (521 Sandy Bay Rd)

**Table 2.** Pre-development catchment areas (521 Sandy Bay Rd)

PRE DEVELOPMENT						
Name	Comment	Area, m <sup>2</sup>	Roof	Sealed	Gravel	Garden
EB1	Bitumen	20	0	20	0	0
EC1	Concrete	74	0	74	0	0
EC2	Concrete	35	0	35	0	0
EC3	Concrete	2	0	2	0	0
EC4	Concrete	2	0	2	0	0
EG1	Gravel	184	0	0	184	0
EG2	Gravel	70	0	0	70	0
EG3	Gravel	46	0	0	46	0
EG4	Gravel	80	0	0	80	0
EG5	Gravel	72	0	0	72	0
EG6	Gravel	10	0	0	10	0
EP1	Pavers	93	0	93	0	0
EP2	Pavers	38	0	38	0	0
ER1	Roof	37	37	0	0	0
ER2	Roof	87	87	0	0	0
ER3	Roof	372	372	0	0	0
Gar	Garden	3026	0	0	0	3026
		<b>4248</b>	<b>496</b>	<b>264</b>	<b>462</b>	<b>3026</b>

### 3.2 Post development catchments

The gravel, roof and paving areas of the proposed site are shown below. The landscaped and garden areas have been included in the model as a balance.



**Figure 4.** Catchment layout for proposed development (521 Sandy Bay Rd)

**Table 3.** Post-development catchment areas (521 Sandy Bay Rd)

POST DEVELOPMENT						
Name	Comment	Area, m <sup>2</sup>	Roof	Sealed	Gravel	Garden
R1	Roof	37	37	0	0	0
R2	Roof	183	183	0	0	0
R3	Roof	87	87	0	0	0
R4	Roof	20	20	0	0	0
R5	Roof	175	175	0	0	0
R6	Roof	100	100	0	0	0
R7	Roof	49	70	0	0	0
R8	Roof	34	34	0	0	0
R9	Roof	21	21	0	0	0
R10	Roof	34	34	0	0	0
R11	Roof	58	58	0	0	0
R12	Roof	66	66	0	0	0
R13	Roof	63	63	0	0	0
P1	Pavers	47	0	47	0	0
P2	Pavers	82	0	82	0	0
P3	Pavers	37	0	37	0	0
G1	Gravel	138	0	0	138	0
G2	Gravel	46	0	0	46	0
G3	Gravel	17	0	0	17	0
G4	Gravel	80	0	0	80	0
G5	Gravel	72	0	0	72	0
G6	Gravel	37	0	0	37	0
G7	Gravel	14	0	0	14	0
Gar	Garden	2751	0	0	0	2751
		<b>4248</b>	<b>948</b>	<b>166</b>	<b>404</b>	<b>2751</b>

### 3.2 Catchment Characteristics

**Table 5.** Catchment characteristics Drains model (521 Sandy Bay Rd)

Catchment type	C <sub>10</sub>	t <sub>c</sub> (min)	Comment
Roof	1.0	5	
Asphalt / paving / concrete	0.9	5	
Gravel	0.6	5	
Landscaping (entire site)	0.2	30	SW intercepted by vegetation

### 4. DESIGN CRITERIA

Based on communication with Council, the adopted design criteria are as follows:

- Piped stormwater system to convey the 5% AEP storm event with an allowance for climate change to 2090 for the SSP3-7.0 pathway.
- Discharge to kerb outlet on Sandy Bay Road to be limited to 12 l/s

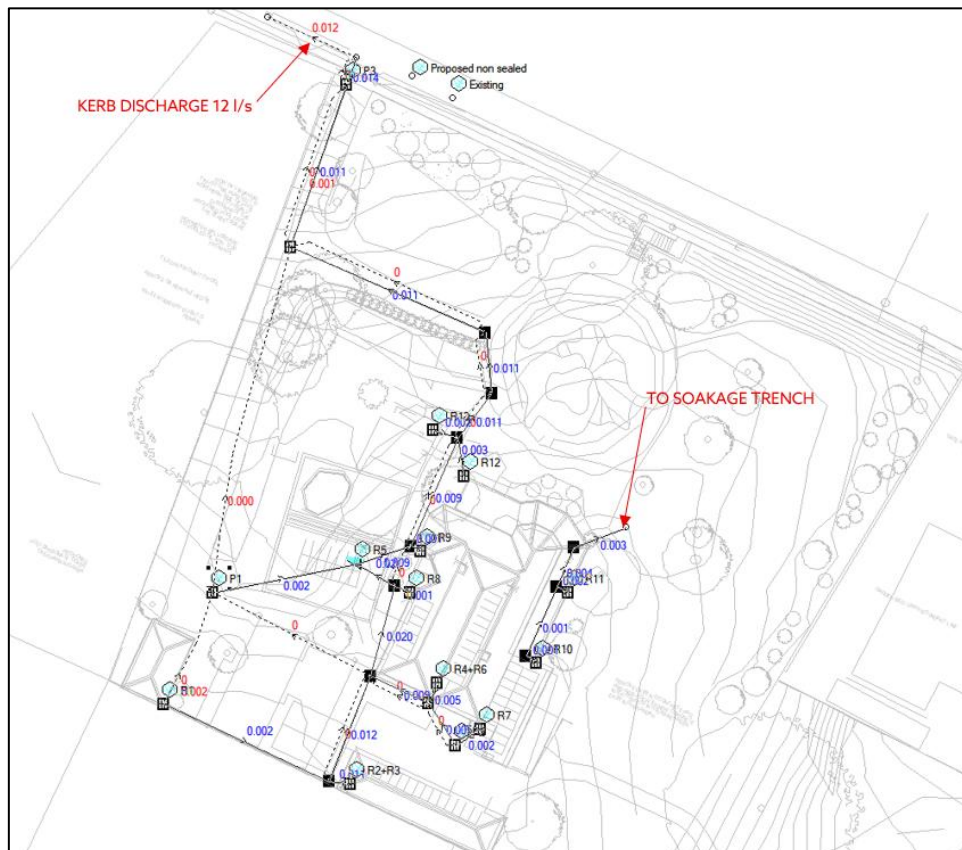
### 5. PROPOSED SOLUTION

The following is proposed.

- 12 m<sup>3</sup> of detention storage (521 Sandy Bay Rd) followed by discharge to kerb outlet.
- Drainage of a portion of the existing roof to a soakage trench (521 Sandy Bay Rd)
- Reticulation of the garage roof to a pit from where a connection is made directly into the DN1050 pipe (527A Sandy Bay Rd)

### 6. MODEL RESULTS

The model results for the 5% AEP event (SSP3-7.0\_2090) are shown below.



**Figure 5.** Model results - 5% AEP (SSP3-7.0 2090)

## 7. SUMMARY

- At #521 the flow at the kerb outlet on Sandy Bay Road can be limited to 12 l/s with the provision of 12 m<sup>3</sup> of detention storage and the drainage of 92 m<sup>2</sup> of the existing roof to a soakage trench
- On #521, the remainder of the existing roofs, all new roofs and all existing impervious surfaces on the ground will be drained to the kerb connection.
- Most of the gravel areas on #521 will be connected to the kerb outlet.
- The gravel driveway in the SE of #521 will be allowed to run as surface flow into the surrounding grass.
- The roof of the garage on #527A will be connected via a pit near the property low point directly to the DN1050 pipe.

Yours faithfully,

**PDA Surveyors, Engineers & Planners**

Per:

A handwritten signature in blue ink, appearing to read 'RR Parsons'.

Roderick Parsons  
CIVIL ENGINEER

## ANNEXURES

[Annexure A – Concept Engineering Drawings](#)

## Annexure A – Concept Engineering Drawings



**GENERAL NOTES:**

1. NO ATTEMPT HAS BEEN MADE TO LOCATE ALL SERVICES. ONLY THOSE SERVICES CONSPICUOUS DURING FIELD SURVEYS ARE SHOWN. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY(S) SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICE AND DETAILED LOCATIONS OF ALL SERVICES.
2. ALL DIMENSIONS AND LOT SIZES SUBJECT TO FINAL SURVEY.
3. REFER IPWEA - LGAT SPECIFICATIONS, TASMANIAN STANDARD DRAWINGS ISSUED - 03 DECEMBER 2020

TSD-G01.v3 - TRENCH REINSTATEMENT FLEXIBLE PAVEMENTS  
 TSD-G02.v3 - URBAN ROADS - TYPICAL SERVICE LOCATIONS  
 TSD-R01.v3 - RURAL ROADS SEALED  
 TSD-R02.v3 - RURAL ROADS SEALED  
 TSD-R03.v3 - RURAL ROADS - TYPICAL DRIVEWAY ACCESS  
 TSD-R04.v3 - RURAL ROADS - TYPICAL DRIVEWAY PROFILE  
 TSD-R05.v3 - TRUCK ACCESS TO RURAL PROPERTIES 'TYPE A'  
 TSD-R06.v3 - URBAN ROADS - TYPICAL SECTIONS & PAVEMENT WIDTHS  
 TSD-R09.v3 - URBAN ROADS - DRIVEWAYS  
 TSD-R11.v3 - URBAN ROADS - FOOTPATHS  
 TSD-R12.v3 - SUB SOIL DRAINS - CONSTRUCTION DETAILS  
 TSD-R13.v3 - SUBSOIL DRAINS PIT CONNECTION - TYPE FD  
 TSD-R14.v3 - CONCRETE KERBS & CHANNELS DIMENSIONS  
 TSD-R15.v3 - CONCRETE KERBS & CHANNELS CONSTRUCTION DETAILS  
 TSD-R16.v3 - CONCRETE KERBS & CHANNELS VEHICULAR CROSSINGS  
 TSD-R18.v3 - CONCRETE KERBS & CHANNELS ACCESS RAMPS  
 TSD-R26.v3 - DELINEATORS  
 TSD-R28.v3 - W-BEAM - INSTALLATION DETAILS  
 TSD-SW01.v3 - PIPE INSTALLATION ANCHOR BLOCKS  
 TSD-SW02.v3 - MANHOLES - 100-600 DIA. PIPES - GENERAL ARRANGEMENTS  
 TSD-SW03.v3 - MANHOLES - 100-600 DIA. PIPES - BENCHING DETAILS  
 TSD-SW09.v3 - SIDE ENTRY PITS - 'TYPE 3'  
 TSD-SW11.v3 - SIDE ENTRY PITS - KERB TRANSITIONS  
 TSD-SW15.v3 - STORMWATER - 'GP'  
 TSD-SW17.v3 - OUTLET HEADWALLS 300 - 600 DIA PIPES  
 TSD-SW25.v3 - STORMWATER PROPERTY CONNECTIONS TO MAINS  
 TSD-SW26.v3 - SADDLE CONNECTION TO STORMWATER DRAIN  
 TSD-SW27.v3 - REPAIRS/ NEW CONNECTION TO STORMWATER DRAIN  
 TSD-SW28.v3 - GUIDELINES FOR SEDIMENT CONTROL  
 TSD-RF04.v3 - NATURE STRIP DETAILS

4. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE TASMANIAN SUBDIVISION GUIDELINES (VERSION 1.0 , DATED OCTOBER 2013) UNLESS OTHERWISE NOTED.

**SURVEY NOTES:**

1. DATUM: MGA2020
2. PLANAR OR GRID: PLANAR
3. SITE CONTROL: SPM996
4. SURVEYED BY: ROGERSON & BIRCH SURVEYORS
5. ACCURACY OF SURVEY: N/A
6. ACCURACY/STATUS OF EXISTING & FUTURE PROPERTY BOUNDARIES: NOT SURVYED/PLAN DIMENSIONS

**STORMWATER TREATMENT NOTES:**

1. THE DETENTION STRUCTURE MUST BE INSTALLED AS SPECIFIED IN THE APPROVED DESIGN AND STORMWATER MANAGEMENT REPORT TO ACHIEVE THE REQUIRED ATTENUATION.
2. STORMWATER TREATMENT MEASURES, INCLUDING GROSS POLLUTANT TRAPS, FILTER SYSTEMS, AND WSUD BASED MEASURES, MUST BE INSTALLED AND MAINTAINED TO ENSURE COMPLIANCE WITH THE REQUIRED POLLUTANT REMOVAL TARGETS.
3. OVERLAND FLOW PATHS MUST BE MAINTAINED CLEAR OF OBSTRUCTIONS TO ALLOW SAFE CONVEYANCE OF EXCESS STORMWATER DURING MAJOR STORM EVENTS.
4. PROTECTIVE MEASURES MUST BE IMPLEMENTED DURING CONSTRUCTION TO PREVENT EXCESSIVE SEDIMENTS ENTERING THE SYSTEM, CLOGGING, AND MALFUNCTIONING OF STORMWATER TREATMENT DEVICES, AS DISCUSSED IN THE STORMWATER MANAGEMENT REPORT.
5. FOR FURTHER DETAILS ON THE STORMWATER MANAGEMENT PLAN, REFER TO THE STORMWATER MANAGEMENT REPORT.

**ROADS & STORMWATER NOTES:**

1. ALL STORMWATER LOT CONNECTIONS TO BE DN150 UNLESS OTHERWISE NOTED.
2. ALL STORMWATER LINES DN300 PVC-U SN8 OR EQUIVALENT UNLESS NOTED OTHERWISE.
3. ALL FOOTPATHS TO BE N25 CONCRETE 100mm THICK, SL72 CENTRAL, 100 x 20 FCR BASE.
4. 2 x 65 DIA WEEPHOLES TO BE PLACED IN ALL STORMWATER SIDE ENTRY PITS AND MANHOLES WITH NO SUBSOIL DRAIN CONNECTIONS.
5. ALL STORMWATER BRANCHES TO TERMINATE AT PROPERTY BOUNDARIES WITH AN INSPECTION OPENING RAISED TO SURFACE WITH AN APPROVED COVER 1m INSIDE PROPERTY BOUNDARY.
6. ALL LOT CONNECTIONS TO BE CONSTRUCTED IN THE POSITION SHOWN UNLESS APPROVED BY THE SUPERINTENDENT.
7. FINAL POSITION AND WIDTH OF ALL DRAINAGE EASEMENTS IS TO BE DETERMINED FOLLOWING CONSTRUCTION.
8. EXTENT OF ROADWORKS SHOWN SHADED.
9. ALL FILL AREAS TO BE PLACED AND COMPACTED PRIOR TO TRENCH EXCAVATION.
10. PROVIDE TRAFFICABLE LIDS TO CONNECTIONS IN TRAFFICABLE AREAS INCLUDING DRIVEWAYS.
11. ALL DRIVEWAYS TO HAVE MAXIMUM GRADE 20% OUTSIDE LOT BOUNDARIES AND 25% INSIDE LOT BOUNDARIES AND CONSTRUCTED AS PER TSD-R09 V3.
12. PROVIDE MINIMUM 150mm CLEARANCE FROM TOP OF ROD EYES TO SURFACE COVER LID.

**STORMWATER LONG SECTION NOTES:**

1. ALL EXCAVATION OVER 1.5m IN DEPTH MUST BE CARRIED OUT IN ACCORDANCE WITH WORKPLACE SAFETY STANDARDS CODE OF PRACTICE FOR EXCAVATION WORK.
2. COMPACTED FCR BACKFILL UNDER ROADS & DRIVEWAYS.
3. ALL ANCHOR BLOCKS (CONCRETE BULKHEADS) ARE TO BE KEYED INTO UNDISTURBED, COMPETENT MATERIAL TO ENSURE THE MIGRATION OF BEDDING AND BACKFILL MATERIAL IS REDUCED AND THE INTEGRITY OF THE PIPE IS MAINTAINED.
4. TRENCHES >10% ARE TO HAVE CONTINUOUS DRAINAGE PATH INSTALLED TO ENSURE WATER THAT HAS MIGRATED INTO THE TRENCH IS CARRIED TO THE RETICULATED SYSTEM. REFER TSD-SW01.
5. ALL FILL TO BE PLACED & COMPACTED PRIOR TO TRENCH EXCAVATION.
6. FILL IN EXCESS OF 300mm DEPTH TO BE COMPACTED TO 95% STANDARD DENSITY (AS 1289E4.01) IN 150mm MAX LAYERS.
7. PROVIDE MINIMUM 150mm CLEARANCE FROM TOP OF ROD EYES TO SURFACE COVER LID.

**ENGINEERED FILL NOTES:**

1. FILL MATERIAL FOR NEW ROAD AND FILL EMBANKMENTS MUST NOT CONTAIN ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT AND TO BE APPROVED BY SUPERINTENDENT BEFORE USE.
2. MATERIAL TO BE PLACED AND COMPACTED UNIFORMLY IN LAYERS UNDER NEW ROAD NO GREATER THAN 150mm TO ACHIEVE 98% MDD AND ACROSS ROAD EMBANKMENT NO GREATER THAN 300mm TO ACHIEVE 95% MDD. FOR FILL BATTERS, BENCH AS SHOWN.
3. ROAD EMBANKMENT TO BE FULLY CONSTRUCTED PRIOR TO TRENCHING FOR WATER AND SEWER SERVICES.
4. FILL TO BE PLACED & COMPACTED PRIOR TO TRENCH EXCAVATION.
5. SITE FILLING THAT EXCEEDS A DEPTH OF 300mm MUST BE PLACED IN ACCORDANCE WITH THE AS3798 GUIDELINES FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS 1996. UPON COMPLETION OF THE WORKS THE CONTRACTORS GEOTECHNICAL ENGINEER MUST CONFIRM IN WRITING THAT THE WORKS HAVE BEEN CARRIED OUT IN ACCORDANCE WITH AS3798.

**TREE PROTECTION PLAN NOTES:**

1. REFER TO AS4970-2007 FOR THE AUSTRALIAN STANDARD REGARDING PROTECTION OF TREES.
2. AS ENCROACHMENT OF THE HIGH CONSERVATION VALUE TREE'S TREE PROTECTION ZONE (TPZ) IS LESS THAN 10%, DETAILED ROOT INVESTIGATIONS SHOULD NOT BE REQUIRED. THE STRUCTURAL ROOT ZONE OF THE TREE IS ALSO NOT REQUIRED.
3. THE CONTRACTOR IS LIABLE FOR MEETING ALL THE REQUIREMENTS OF STANDARD AS4970-2009 AND ANY SUBSEQUENT REMEDIAL MEASURES REQUIRED.

**BEFORE CONSTRUCTION:**

1. A TEMPORARY PROTECTIVE FENCE PER AS4687-2007 IS TO BE ERECTED IMMEDIATELY ADJACENT TO THE ACCESS WORKS AND EFFECTIVELY CORDONS OFF THE TREE PROTECTION ZONE.
2. SHADE CLOTH OR SIMILAR SHOULD BE ATTACHED TO THIS FENCING TO REDUCE DUST AND OTHER CONTAMINANTS INTO THE PROTECTED AREA.
3. NO PRUNING OR DAMAGE TO THE CROWNS IS TO OCCUR UNLESS IN ACCORDANCE WITH THE ARBORIST ADVICE AND THE PRIOR WRITTEN APPROVAL OF COUNCIL IS OBTAINED.
4. REFER TO AS4970-2009 4.2 FOR ACTIVITIES RESTRICTED WITHIN THE TPZ.
5. SIGNAGE PER AS1319 SHOULD BE ERECTED AROUND THE EDGE OF THE TPZ SUCH THAT IT IS VISIBLE FROM THE DEVELOPMENT SITE.
6. MAINTENANCE OF THE TREE PROTECTION FENCE IS REQUIRED FOR THE DURATION OF CONSTRUCTION AND WRITTEN APPROVAL OF COUNCIL PRIOR TO ANY ADDITIONAL ENCROACHMENT IS REQUIRED.

**DURING CONSTRUCTION:**

1. SHOULD ADDITIONAL ENCROACHMENT INTO THE TPZ BE NECESSARY, VIABILITY SHOULD BE REVIEWED BY AN APPOINTED ARBORIST.

**AFTER CONSTRUCTION:**

1. ALL REMAINING TREE PROTECTIVE MEASURES SHALL BE REMOVED.

REV	AMENDMENTS	DRAWN	DATE	APPR.

DRAWING STATUS:	DESIGNED:	REVIEWED:
<b>FOR APPROVAL</b>	RP	MW
COORDINATE/ DATUM:	DRAWN:	REVIEWED:
<b>MGA2020</b>	FM	RP
	JOB MANAGER: MW	
	ISSUED DATE: 16/12/2025	

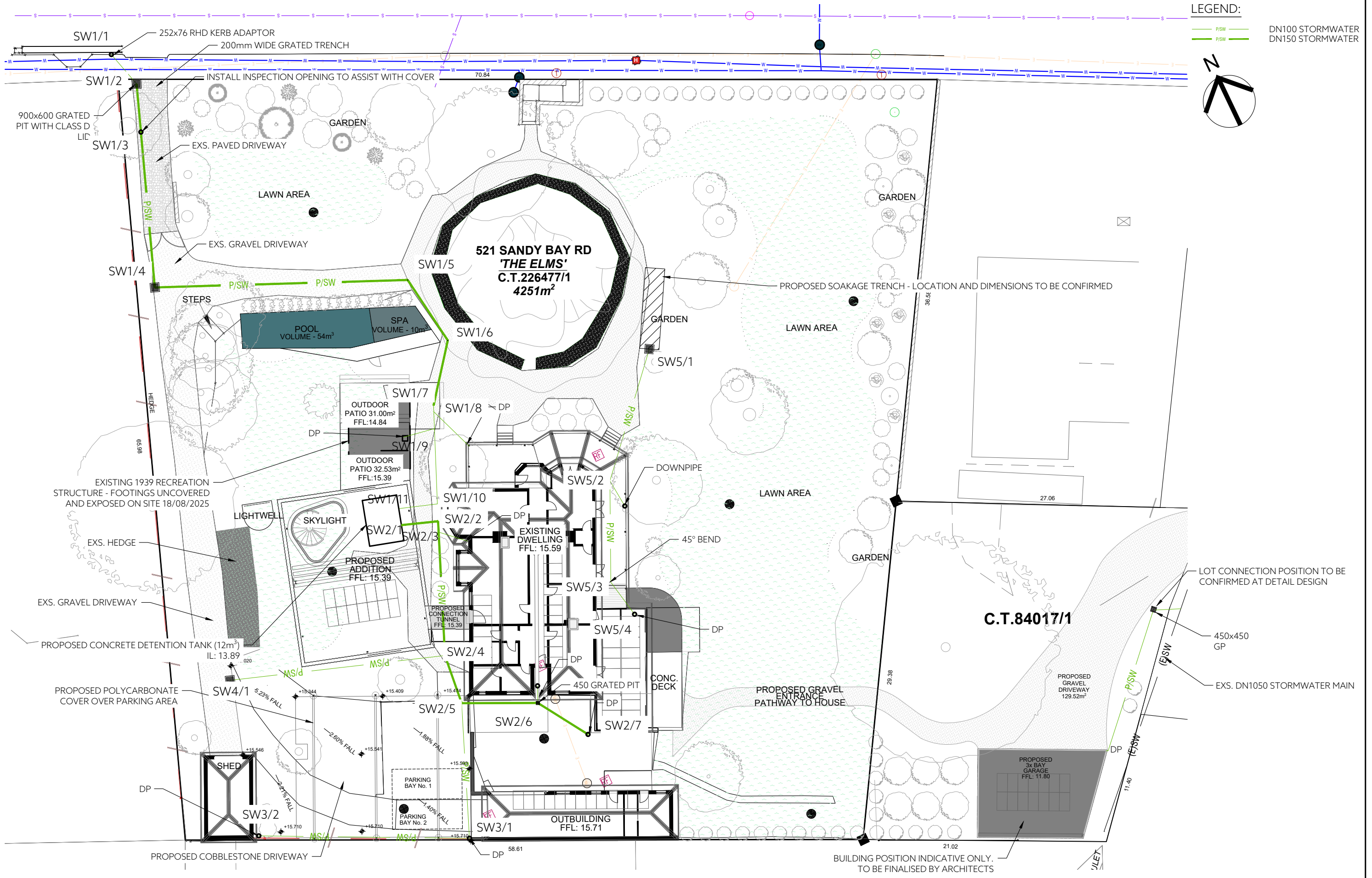
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PROJECT DESCRIPTION:	UPGRADES TO EXISTING PROPERTY
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DRAWING TITLE:	GENERAL NOTES

CONTRACT NO.	SCALE	PAPER
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JOB NUMBER	DISCIPLINE	SHEET
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REGISTRATION NUMBER: ----		

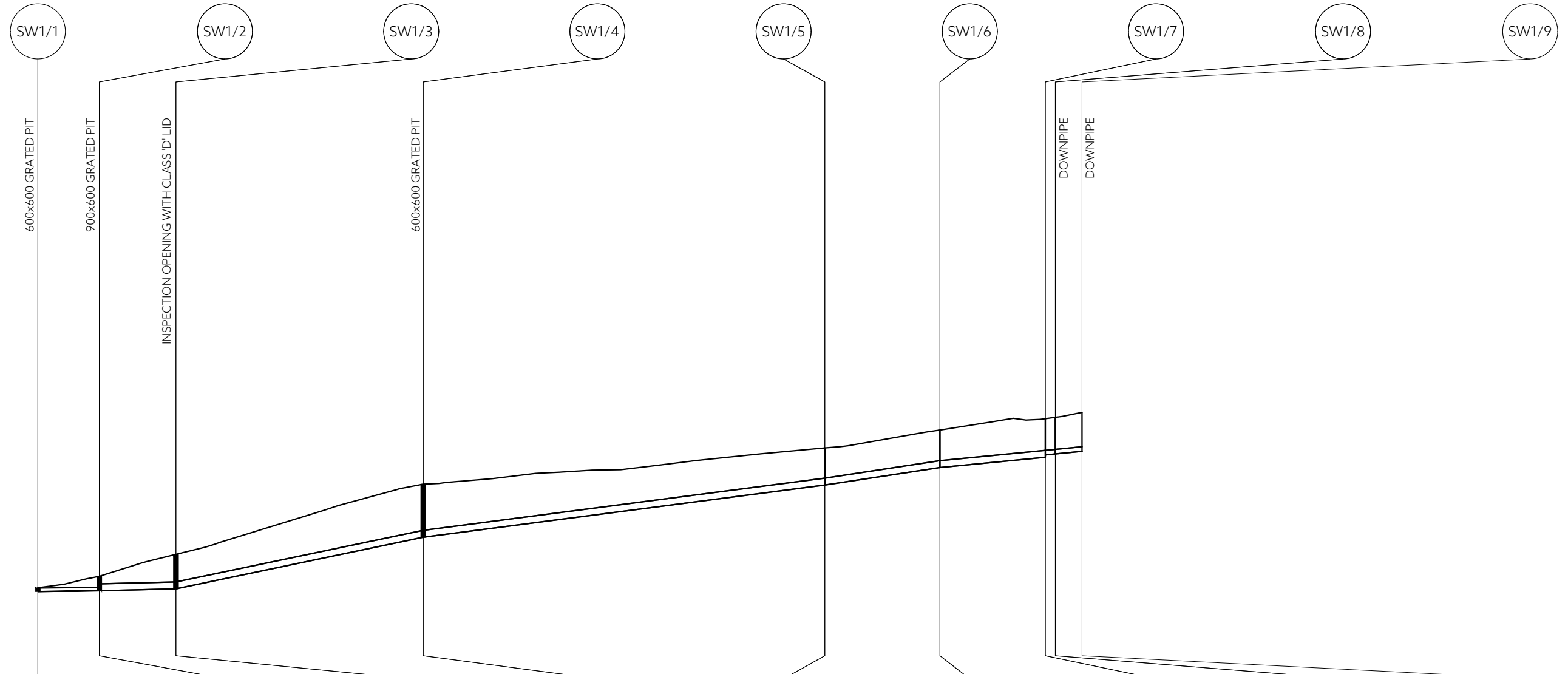


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 Swansea, Devonport & Burnie

**LEGEND:**  
 P/SW DN100 STORMWATER  
 P/SW DN150 STORMWATER




DRAWING STATUS: <b>FOR APPROVAL</b>		DESIGNED: RP	REVIEWED: MW	CLIENT: WADE FROMBERG	<b>PDA</b> SURVEYORS, ENGINEERS & PLANNERS 127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Huonville, Launceston, Swansea, Devonport & Burnie	CONTRACT NO. -----	SCALE: 1: 300	PAPER: (A3)	
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REV	AMENDMENTS	DRAWN	DATE	APPR.		ISSUED DATE: 16/12/2025	55319MW C 100 P1		



PIPE DETAILS	252x76 RHS KERB ADAPTOR		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN100 PVC-U (SW LC)		DN100 PVC-U (SW LC)	
GRADE	0.51%		1.00%		8.34%		5.20%		6.08%		3.92%		3.88%		3.88%	
DATUM RL 7																
COVER	0.007	0.239	0.165	0.601	0.600	1.005	0.658	0.667	0.690	0.690	0.697	0.750				
DEPTH TO INVERT	0.083	0.315		0.751	0.750	1.155	0.808	0.817	0.840	0.790	0.797	0.850				
INVERT LEVEL	10.550	10.567		10.609	10.610	11.733	12.870	13.251	13.476	13.526	13.547	13.604				
FINISHED SURFACE	10.633	10.882		11.360		12.888	13.678	14.068	14.316		14.344	14.454				
EXISTING SURFACE	10.633	10.882		11.360		12.888	13.678	14.068	14.316		14.344	14.454				
CHAINAGE	0.000	3.348		7.527		20.999	42.878	49.147	54.892		55.434	56.893				
		3.348		4.179		13.473	21.879	28.148	34.417		40.686	47.015				

SW LS - LINE SW1  
SCALE: HORIZ 1:250 VERT 1:100

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SW1/9 SW1/10 SW1/11

DETENTION TANK

SW5/1 SW5/2 SW5/3 SW5/4

DOWNPIPE

PIPE DETAILS GRADE

DATUM RL 10

	DN100 PVC-U (SW LC) 3.88%	DN100 PVC-U (SW LC) 1.00%	
COVER	0.750	0.957	0.778
DEPTH TO INVERT	0.850	1.057	0.878
INVERT LEVEL	13.604	13.856	13.890
FINISHED SURFACE	14.454	14.914	14.768
EXISTING SURFACE	14.454	14.914	14.768
CHAINAGE	56.893 6.514	63.408 3.365	66.773


SW LS - LINE SW1  
SCALE: HORIZ 1:250 VERT 1:100

PIPE DETAILS GRADE

DATUM RL 11

	DN100 PVC-U (SW LC) 2.74%	DN100 PVC-U (SW LC) 2.30%	DN100 PVC-U (SW LC) 3.11%	
COVER	0.600	0.737 0.687	0.656 0.606	0.754
DEPTH TO INVERT	0.700	0.837 0.787	0.756 0.706	0.854
INVERT LEVEL	13.812	14.138 14.188	14.389 14.439	14.546
FINISHED SURFACE	14.512	14.975	15.145	15.400
EXISTING SURFACE	14.512	14.975	15.145	15.400
CHAINAGE	0.000 11.882	11.882 8.758	20.640 3.451	24.092

SW LS - LINE SW5  
SCALE: HORIZ 1:250 VERT 1:100

DESIGNED: RP	REVIEWED: MW	CLIENT: WADE FROMBERG	 <p>127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Huonville, Launceston, Swansea, Devonport &amp; Burnie</p>	CONTRACT NO. -----	SCALE AS SHOWN	PAPER (A3)	
DRAWN: FM	REVIEWED: RP	PROJECT DESCRIPTION: UPGRADES TO EXISTING PROPERTY		JOB NUMBER	DISCIPLINE	SHEET	REVISION
JOB MANAGER: MW	ISSUED DATE: 16/12/2025	ADDRESS: 521 SANDY BAY ROAD, SANDY BAY, TAS 7005		55319MW C 401 P1			
DRAWING STATUS: <b>FOR APPROVAL</b>		DRAWING TITLE: STORMWATER LONG SECTIONS		REGISTRATION NUMBER: ----			

DATE/TIME: Tuesday, 16 December 2025 9:57:47 AM PLOTTED: FINN MURPHY FILE LOCATION: S:\55319MW-EN-WADE FROMBERG-521 SANDY BAY RD, SANDY BAY\4-ENG\1-CAD\55319MW-ENG.DWG

SW2/1      SW2/2      SW2/3      SW2/4      SW2/5      SW2/6      SW2/7

DETENTION TANK

DOWNPIPE

TEE

JUNCTION

DOWNPIPE

DOWNPIPE

PIPE DETAILS	DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)		DN150 PVC-U (SW LC)	
GRADE	1.00%		1.50%		1.50%		8.17%		1.00%		1.98%	
DATUM RL 11												
COVER	0.600	0.655	0.665	0.963	0.765	0.664	0.637					
DEPTH TO INVERT	0.750	0.805	0.815	1.113	0.915	0.814	0.787					
INVERT LEVEL	14.103	14.135	14.149	14.309	14.665	14.731	14.832					
FINISHED SURFACE	14.853	14.939	14.964	15.422	15.580	15.545	15.620					
EXISTING SURFACE	14.853	14.939	14.964	15.422	15.580	15.545	15.620					
CHAINAGE	0.000	3.187	4.124	14.799	19.163	25.753	30.869					
		3.187	0.937	10.676	4.363	6.590	5.116					

SW LS - LINE SW2  
SCALE: HORIZ 1:250 VERT 1:100

REV	AMENDMENTS	DRAWN	DATE	APPR.
..	---	..	..	..
..	---	..	..	..
..	---	..	..	..
..	---	..	..	..
..	---	..	..	..

DRAWING STATUS:		DESIGNED:	REVIEWED:
<b>FOR APPROVAL</b>		RP	MW
		DRAWN:	REVIEWED:
COORDINATE/ DATUM:		FM	RP
MGA2020		JOB MANAGER: MW	
ISSUED DATE: 16/12/2025			

CLIENT: WADE FROMBERG  
 PROJECT DESCRIPTION: UPGRADES TO EXISTING PROPERTY  
 ADDRESS: 521 SANDY BAY ROAD, SANDY BAY, TAS 7005  
 DRAWING TITLE: STORMWATER LONG SECTIONS  
 SHEET 3 OF 4

 SURVEYORS, ENGINEERS & PLANNERS	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 EMAIL: pda.hbt@pda.com.au www.pda.com.au Also at: Huonville, Launceston, Swansea, Devonport & Burnie	CONTRACT NO.	SCALE	PAPER
	55319MW C 402 P1	-----	AS SHOWN	(A3)
REGISTRATION NUMBER: ----		JOB NUMBER	DISCIPLINE	SHEET
				REVISION

SW2/5

SW3/1

SW3/2

SW2/4

SW4/1

JUNCTION

DOWNPIPE

DOWNPIPE

TEE

600x600 GRATED PIT

EDGE OF SURVEY

PIPE DETAILS	DN100 PVC-U (SW LC)		DN100 PVC-U (SW LC)	
GRADE	1.00%		1.00%	
DATUM RL 12				
COVER	0.765			
DEPTH TO INVERT	0.865			
INVERT LEVEL	14.715	14.832	14.832	15.014
FINISHED SURFACE	15.580			
EXISTING SURFACE	15.580			
CHAINAGE	0.000	11.695	18.217	29.912

SW LS - LINE SW3

SCALE: HORIZ 1:250 VERT 1:100

PIPE DETAILS	DN100 PVC-U (SW LC)	
GRADE	1.07%	
DATUM RL 11		
COVER	0.963	0.498
DEPTH TO INVERT	1.063	0.598
INVERT LEVEL	14.359	14.559
FINISHED SURFACE	15.422	15.157
EXISTING SURFACE	15.422	15.157
CHAINAGE	0.000	18.700

SW LS - LINE SW4

SCALE: HORIZ 1:250 VERT 1:100

..	---	..	-/-/---	..	DRAWING STATUS:
..	---	..	-/-/---	..	<b>FOR APPROVAL</b>
..	---	..	-/-/---	..	COORDINATE/ DATUM:
..	---	..	-/-/---	..	<b>MGA2020</b>
REV	AMENDMENTS	DRAWN	DATE	APPR.	THIS SHEET MAY BE PRINTED USING COLOUR AND MAY BE INCOMPLETE IF COPIED

DESIGNED:	RP	REVIEWED:	MW
DRAWN:	FM	REVIEWED:	RP
JOB MANAGER:	MW		
ISSUED DATE:	16/12/2025		

CLIENT: WADE FROMBERG  
 PROJECT DESCRIPTION: UPGRADES TO EXISTING PROPERTY  
 ADDRESS: 521 SANDY BAY ROAD, SANDY BAY, TAS 7005  
 DRAWING TITLE: STORMWATER LONG SECTIONS  
 SHEET 4 OF 4



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 Swansea, Devonport & Burnie

CONTRACT NO.	SCALE	PAPER
-----	AS SHOWN	(A3)
JOB NUMBER	DISCIPLINE	SHEET
55319MW	C	403 P1



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Website [www.room11.com.au](http://www.room11.com.au)

PROJECT

# 521 SANDY BAY ROAD, SANDY BAY

DATE  
15/1/2026

## DRAWING INDEX

ID	NAME	ISSUE	DATE
	COVER		
A0.01	LOCATION PLAN	C	15/01/2026
A0.02	EXISTING SITE PLAN	C	15/01/2026
A0.03	EXISTING SITE PLAN CONT.	C	15/01/2026
A0.04	DEMOLITION SITE PLAN	C	15/01/2026
A0.05	PROPOSED SITE PLAN	C	15/01/2026
A0.06	PROPOSED SITE PLAN CONT.	C	15/01/2026
A0.07	TREE PROTECTION PLAN	C	15/01/2026
A1.01	EXISTING FLOOR PLAN	C	15/01/2026
A1.02	EXISTING FLOOR PLAN CONT.	C	15/01/2026
A1.03	DEMOLITION PLAN	C	15/01/2026
A1.04	DEMOLITION PLAN CONT.	C	15/01/2026
A1.05	PROPOSED FLOOR PLAN	C	15/01/2026
A1.06	PROPOSED FLOOR PLAN CONT.	C	15/01/2026
A1.07	PROPOSED BASEMENT PLAN	C	15/01/2026
A1.08	PROPOSED ROOF PLAN	C	15/01/2026
A2.01	EXISTING ELEVATIONS	C	15/01/2026
A2.02	EXISTING ELEVATIONS	C	15/01/2026
A2.03	PROPOSED ELEVATIONS	C	15/01/2026
A2.04	PROPOSED ELEVATIONS	C	15/01/2026
A2.05	PROPOSED ELEVATIONS	C	15/01/2026
A2.06	PROPOSED ELEVATIONS (OUTBUILDING)	C	15/01/2026

A3.01	PROPOSED OUTBUILDING FLOOR & RO...	C	15/01/2026
A3.02	PROPOSED OUTBUILDING ELEVATIONS	C	15/01/2026
A4.01	SECTION A-A	C	15/01/2026
A4.02	SECTION B-B & C-C	C	15/01/2026
A4.03	INTERNAL ELEVATIONS	C	15/01/2026
A5.01	ARTISTS IMPRESSION 01	C	15/01/2026
A5.02	ARTISTS IMPRESSION 02	C	15/01/2026
A5.03	ARTISTS IMPRESSION 03	C	15/01/2026
A5.04	STREETSCAPE STUDY	C	15/01/2026

# DEVELOPMENT APPLICATION

<b>EXISTING BUILDINGS AREA:</b>	382.89 m <sup>2</sup>
<b>PROPOSED BUILDINGS AREA:</b>	463.17 m <sup>2</sup>
<b>TOTAL DEVELOPMENT AREA:</b>	686.56 m <sup>2</sup>
<b>SITE AREA:</b>	4,906.7 m <sup>2</sup>
<b>SITE COVERAGE:</b>	17.24%
<b>ZONE:</b>	10.0 GENERAL RESIDENTIAL
<b>LAND TITLE REFERENCE NUMBER:</b>	226477/1 & 84017/1
<b>PROPERTY ID:</b>	5644542
<b>CLIMATE ZONE:</b>	7
<b>BAL:</b>	LOW
<b>ALPINE AREA:</b>	NO



RIVER DERWENT

SANDY BAY ROAD

521 SANDY BAY ROAD

RED CHAPEL AVE.

LIPSCOMBE AVE.

GREYSTANES PL.

ST STEPHENS AVE.

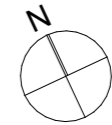


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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



Drawing Title: <b>LOCATION PLAN</b>		
Scale: 1:1000	Drawing No.:	Revision:
Date: 15/1/2026	<b>A0.01</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		

# SANDY BAY ROAD

**LAND TITLE**  
 VOLUME: 226477/1 & 84017/1  
 FOLIO: 1  
 CLIMATE ZONE: 7  
 BAL RATING : LOW  
 ALPINE AREA: NO

**SCHEDULE OF AREAS**  
 SITE AREA: 4,906.7m<sup>2</sup>

EXISTING BUILDINGS: 382.89m<sup>2</sup>  
 EXISTING SITE COVERAGE: 7.80%  
 EXISTING DRIVEWAY: 362.26m<sup>2</sup>

**IMPORTANT SURVEYERS NOTE:**

THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CONTACT GROUP FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

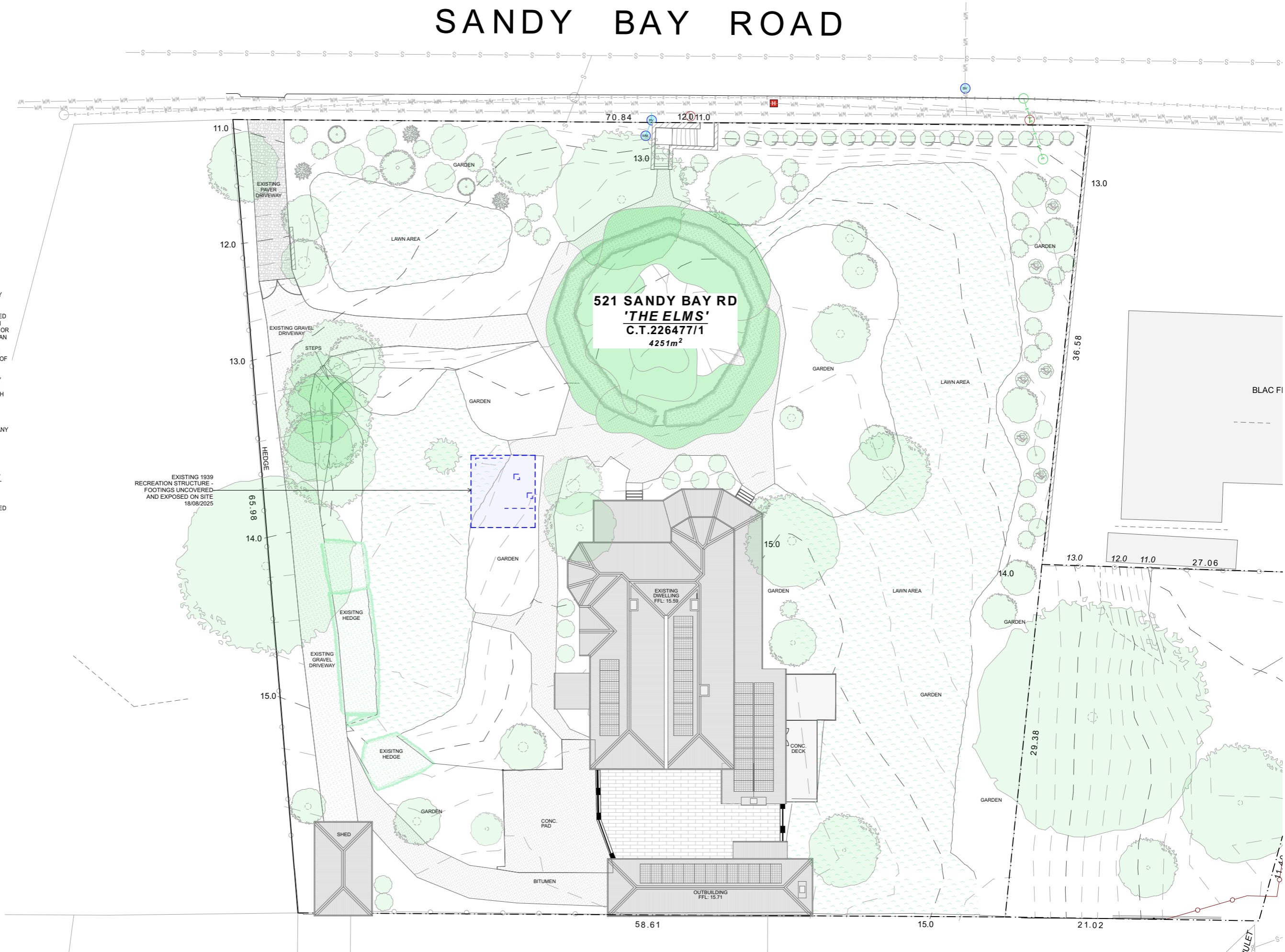
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DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LODGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING 'PER DBYD ONLY' ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

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**Project No:**  
 T24085  
**Client**  
  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DA APPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

**Drawing Title:**  
 EXISTING SITE PLAN

Scale: 1:300  
 Date: 15/1/2026  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

**Drawing No.:**  
 A0.02

**Revision:**  
 C

**LAND TITLE**  
 VOLUME: 226477/1 & 84017/1  
 FOLIO: 1  
 CLIMATE ZONE: 7  
 BAL RATING : LOW  
 ALPINE AREA: NO

**SCHEDULE OF AREAS**  
 SITE AREA: 4,906.7m<sup>2</sup>

EXISTING BUILDINGS: 382.89m<sup>2</sup>  
 EXISTING SITE COVERAGE: 7.80%

EXISTING DRIVEWAY: 362.26m<sup>2</sup>

**IMPORTANT SURVEYERS NOTE:**

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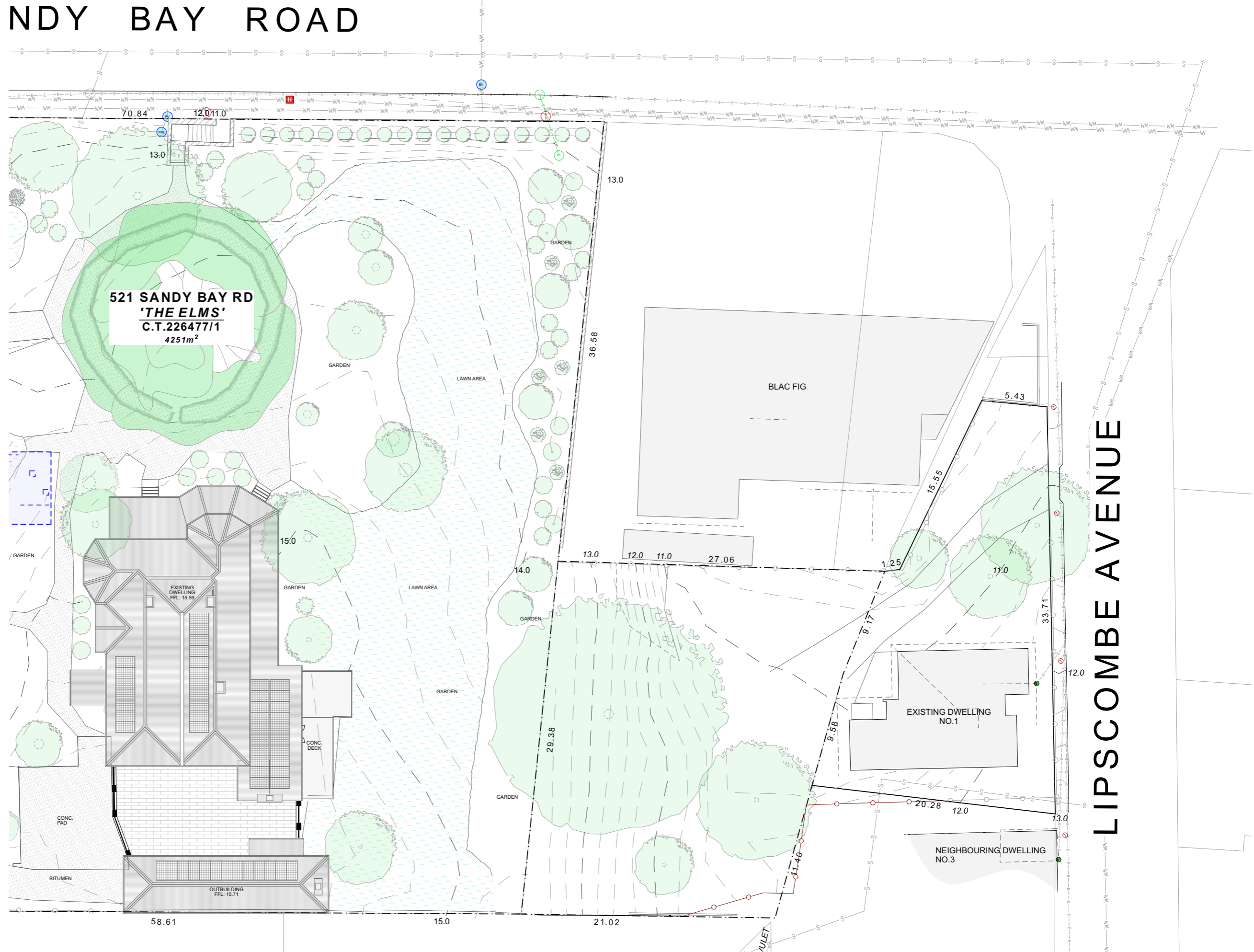
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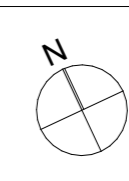



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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



Drawing Title:  
**EXISTING SITE PLAN CONT.**

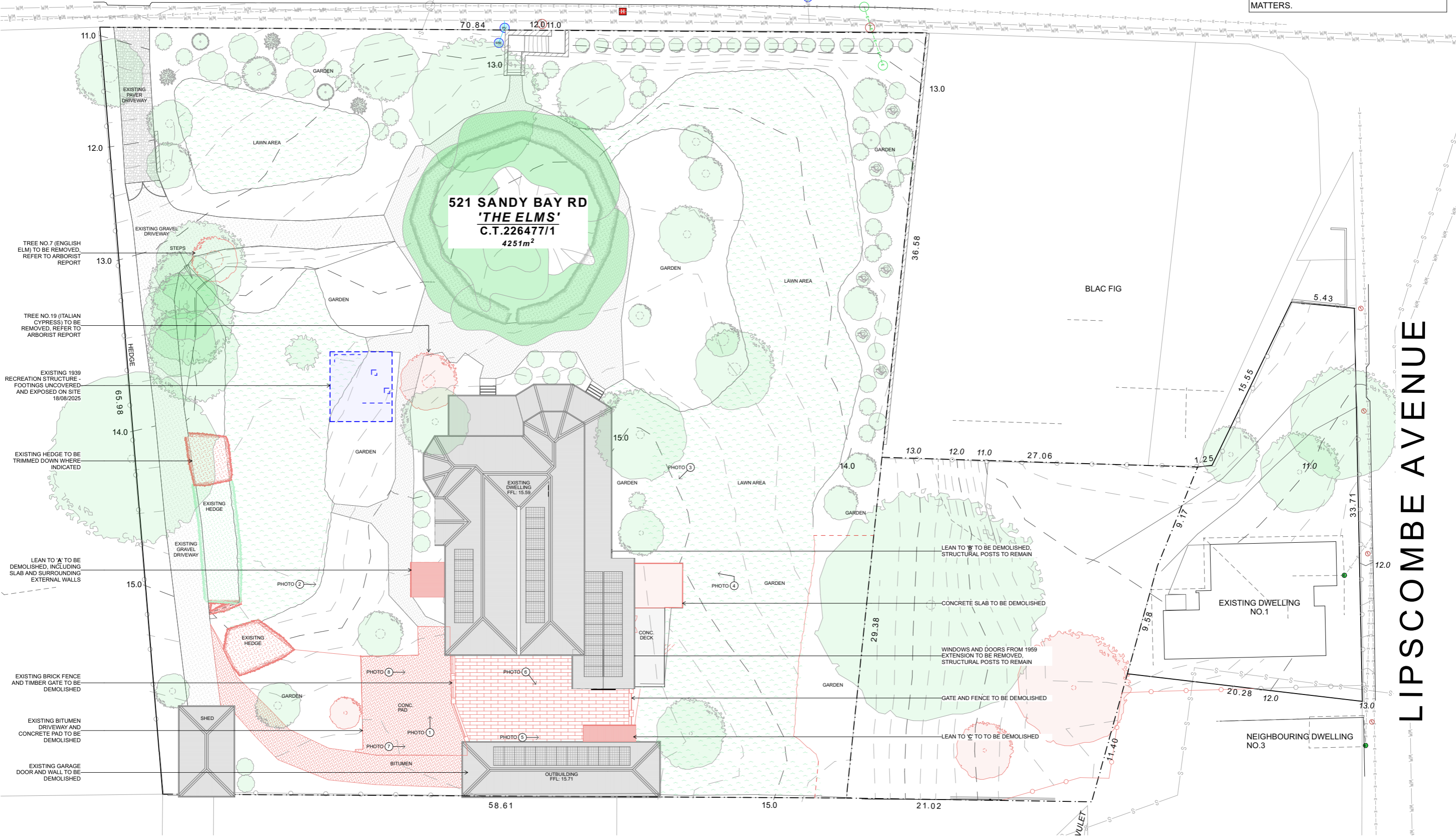
Scale: 1:300  
 Date: 15/1/2026  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

Drawing No.:  
**A0.03**

Revision:  
**C**

# SANDY BAY ROAD

**IMPORTANT NOTE:**  
 FOLLOWING THE REMOVAL OF ANY TREES, VEGETATION, OR EXISTING STRUCTURES, THE BUILDER MUST ARRANGE FOR THE ENGINEER TO CONDUCT AN ON-SITE INSPECTION AND PROVIDE DIRECTION REGARDING THE STABILITY OF REMAINING STRUCTURES, FOOTINGS, BACKFILLING, AND ANY RELATED MATTERS.



LIPSCOMBE AVENUE

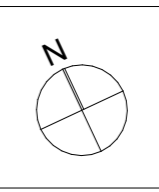


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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DA APPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



Drawing Title:  
**DEMOLITION SITE PLAN**

Scale: 1:300  
 Date: 15/1/2026  
 Drawing No.: **A0.04**  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

Revision:  
**C**

# SANDY BAY ROAD

**LAND TITLE**  
 TTITLE REF: 226477/1 & 84017/1  
 CLIMATE ZONE: 7  
 BAL RATING : LOW  
 ALPINE AREA: NO

**SCHEDULE OF AREAS**  
 SITE AREA: 4,906.7m<sup>2</sup>

EXISTING BUILDINGS: 382.89m<sup>2</sup>  
 PROPOSED BUILDINGS: 463.17m<sup>2</sup>  
**TOTAL BUILDINGS: 846.06m<sup>2</sup>**  
 EXISTING SITE COVERAGE: 7.80%  
**PROPOSED SITE COVERAGE: 17.24%**

EXISTING DRIVEWAY: 362.26m<sup>2</sup>  
 PROPOSED DRIVEWAY: 227.07m<sup>2</sup>  
**TOTAL DRIVEWAY AREA: 513.40m<sup>2</sup>**

**IMPORTANT SURVEYERS NOTE:**

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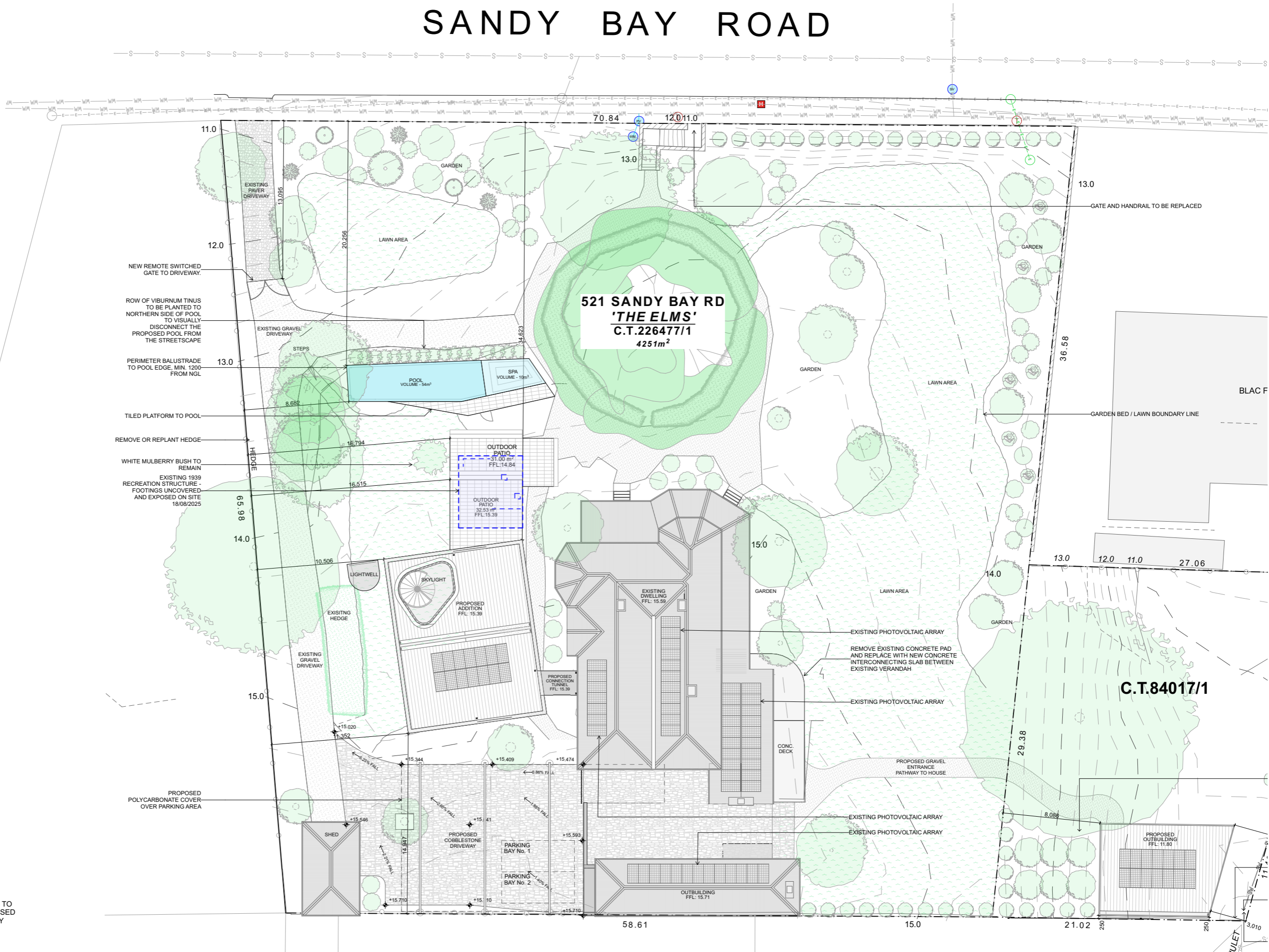
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**IMPORTANT NOTE:**

PROPOSED STORMWATER AND SEWER CONNECTIONS TO BE CONNECTED TO EXISTING CONNECTIONS BY LICENSED PLUMBER. EXISTING CONNECTIONS TO BE LOCATED BY LICENSED PLUMBER PRIOR TO COMMENCING CONSTRUCTION.



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**Project No:**  
**T24085**

**Client**

**Project Name**  
 521 Sandy Bay Road

**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DA APPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



**Drawing Title:**  
**PROPOSED SITE PLAN**

<b>Scale:</b> 1:300	<b>Drawing No.:</b> <b>A0.05</b>	<b>Revision:</b> <b>C</b>
<b>Date:</b> 15/1/2026	<b>Drawn By:</b> JM	
<b>Checked By:</b> TB		
<b>Status:</b> DA		

**LAND TITLE**  
 TTITLE REF: 226477/1 & 84017/1  
 CLIMATE ZONE: 7  
 BAL RATING : LOW  
 ALPINE AREA: NO

**SCHEDULE OF AREAS**  
 SITE AREA: 4,906.7m<sup>2</sup>  
 EXISTING BUILDINGS: 382.89m<sup>2</sup>  
 PROPOSED BUILDINGS: 463.17m<sup>2</sup>  
 TOTAL BUILDINGS: 846.06m<sup>2</sup>  
 EXISTING SITE COVERAGE: 7.80%  
 PROPOSED SITE COVERAGE: 17.24%

EXISTING DRIVEWAY: 362.26m<sup>2</sup>  
 PROPOSED DRIVEWAY: 227.07m<sup>2</sup>  
 TOTAL DRIVEWAY AREA: 513.40m<sup>2</sup>

**IMPORTANT SURVEYERS NOTE:**  
 THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CONTACT GROUP FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

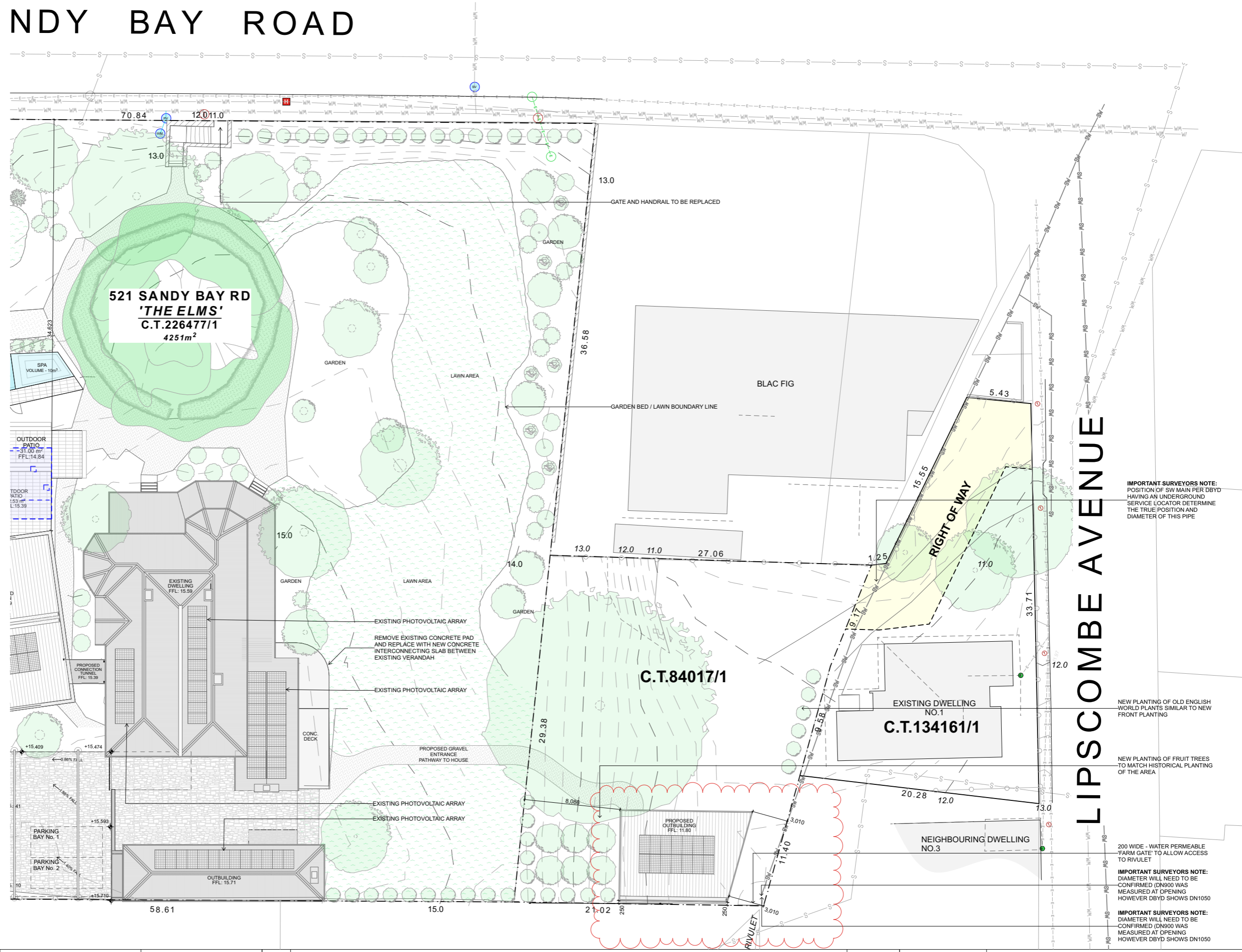
DUE TO THE NATURE OF THE TITLE BOUNDARY INFORMATION, IF ANY STRUCTURES ARE DESIGNED ON OR NEAR A BOUNDARY WE WOULD RECOMMEND A RE-MARK SURVEY BE COMPLETED AND LOGGED WITH THE LAND TITLES OFFICE TO SUPPORT THE BOUNDARY DEFINITION.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER DBYD ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

**IMPORTANT NOTE:**  
 PROPOSED STORMWATER AND SEWER CONNECTIONS TO BE CONNECTED TO EXISTING CONNECTIONS BY LICENSED PLUMBER. EXISTING CONNECTIONS TO BE LOCATED BY LICENSED PLUMBER PRIOR TO COMMENCING CONSTRUCTION.



**IMPORTANT SURVEYORS NOTE:**  
 POSITION OF SW MAIN PER DBYD HAVING AN UNDERGROUND SERVICE LOCATOR DETERMINE THE TRUE POSITION AND DIAMETER OF THIS PIPE

NEW PLANTING OF OLD ENGLISH WORLD PLANTS SIMILAR TO NEW FRONT PLANTING

NEW PLANTING OF FRUIT TREES TO MATCH HISTORICAL PLANTING OF THE AREA

200 WIDE - WATER PERMEABLE 'FARM GATE' TO ALLOW ACCESS TO RIVULET

**IMPORTANT SURVEYORS NOTE:**  
 DIAMETER WILL NEED TO BE CONFIRMED (DN900 WAS MEASURED AT OPENING HOWEVER DBYD SHOWS DN1050)

**IMPORTANT SURVEYORS NOTE:**  
 DIAMETER WILL NEED TO BE CONFIRMED (DN900 WAS MEASURED AT OPENING HOWEVER DBYD SHOWS DN1050)

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**Project No:**  
 T24085  
**Client**  
 521 Sandy Bay Road  
 Sandy Bay Tas  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Scale:	1:300
Date:	15/1/2026
Drawn By:	JM
Checked By:	TB
Status:	DA

**Drawing Title:**  
 PROPOSED SITE PLAN CONT.

**Scale:** 1:300  
**Date:** 15/1/2026  
**Drawn By:** JM  
**Checked By:** TB  
**Status:** DA

**Drawing No.:**  
**A0.06**

**Revision:**  
**C**

# SANDY BAY ROAD

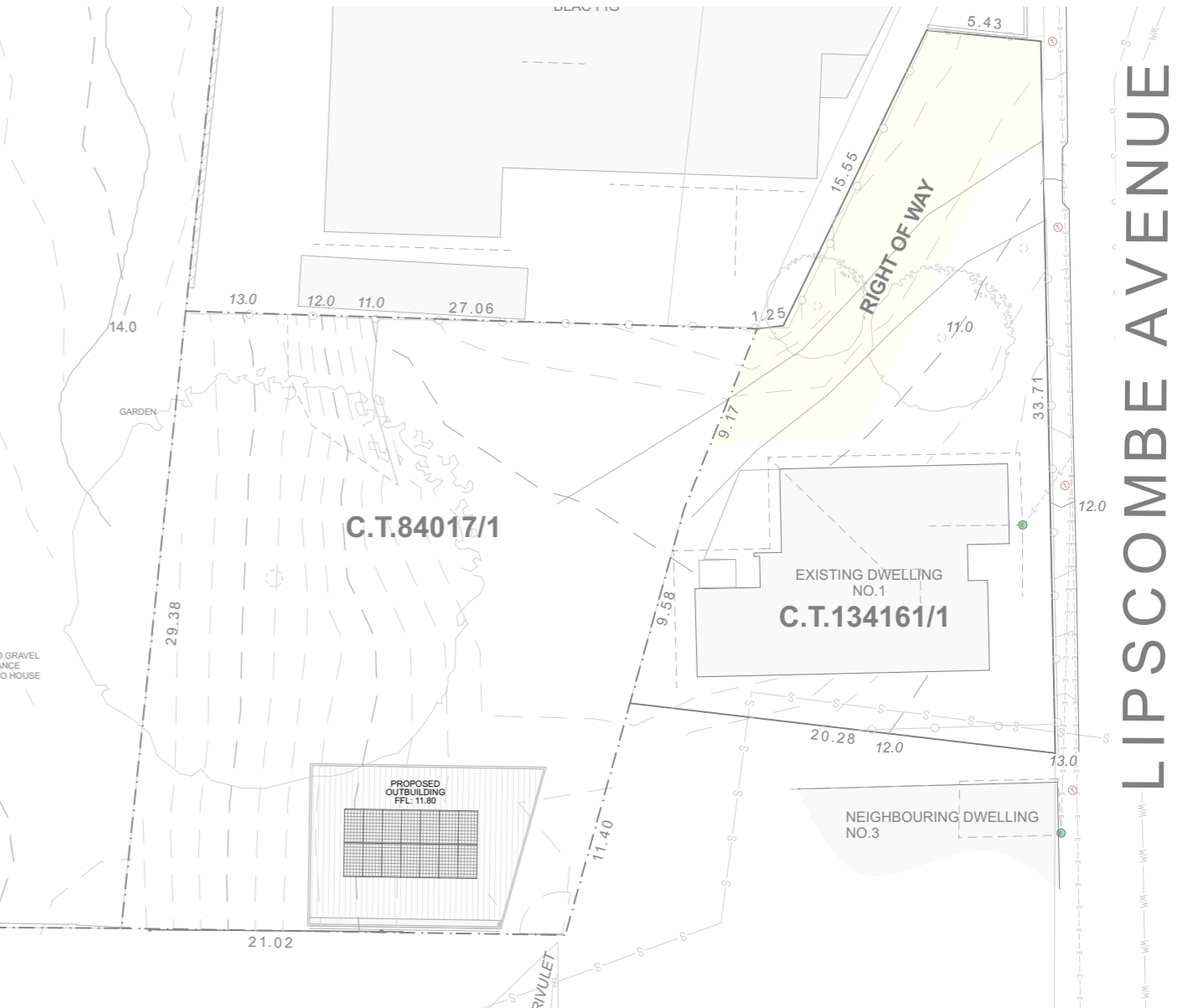
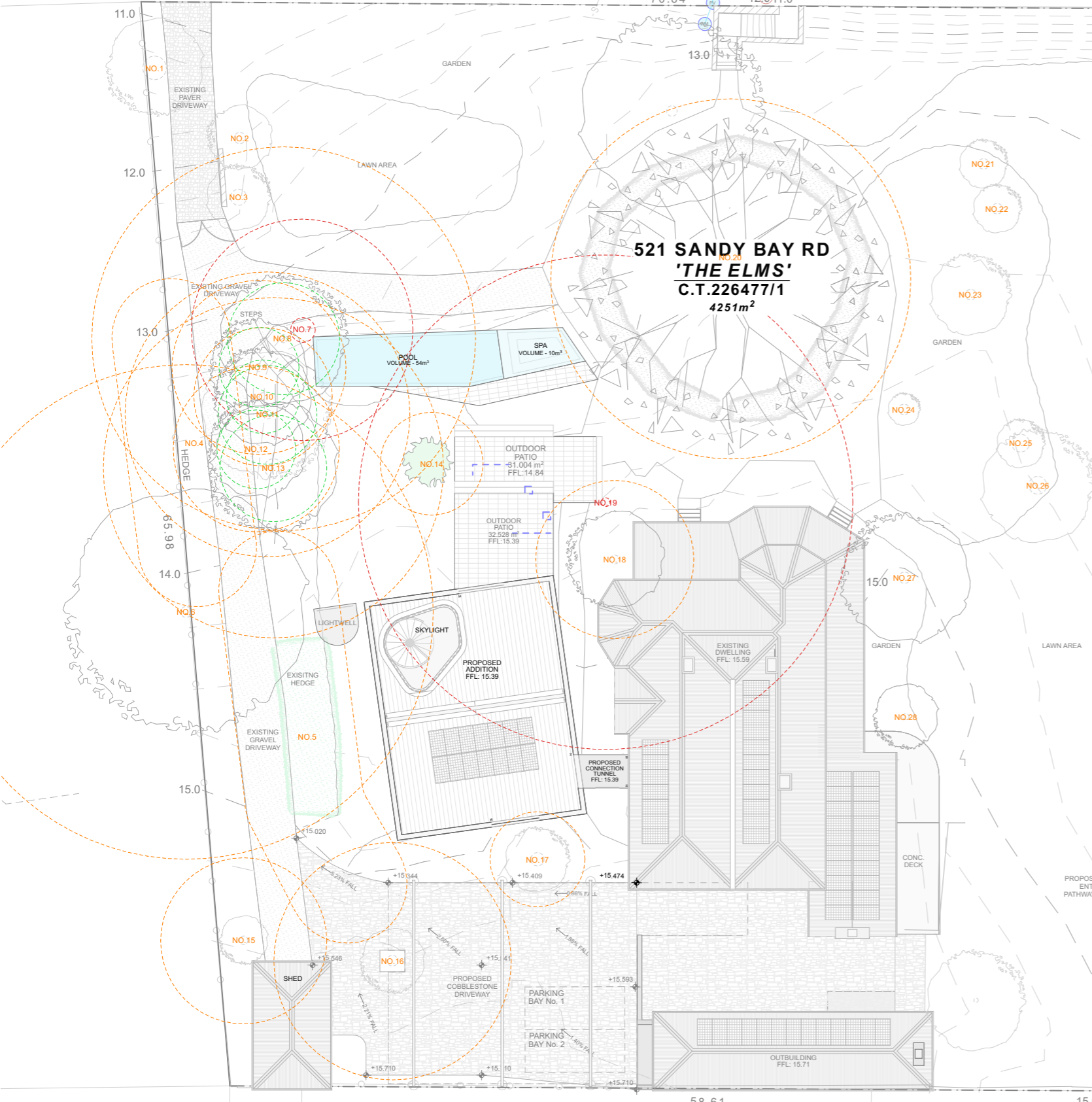
**TREE PROTECTION LEGEND:**

- TREE PROTECTION ZONE
- STRUCTURAL ROOT ZONE
- TREES TO BE REMOVED

REFER TO A0.06 TO TREE PROTECTION ZONE TABLE AND STATEMENT FROM ARBORIST

Tree ID	Scientific Name	Common Name	Age	Origin	DBH (m)	Calculated DBH	TPZ (m)	Area of TPZ (SQM)	Area Encroached (SQM)	TPZ Encroachment (%)	TPZ Encroachment Zone	SRZ (m)	Height (m)	Width (m)
1	Populus nigra	Lombardy poplar	Mature	Exotic	>1.5		15	706.86	N/A	N/A	-	4.08	27	6
2	Fraxinus sp.	Ash	Mature	Exotic	0.7		8.4	21.67	N/A	N/A	-	2.97	12	4
3	Fraxinus sp.	Ash	Mature	Exotic	0.95		11.4	408.28	N/A	N/A	-	3.38	12	4
4	Cypress is macrocarpa x20	Monterey cypress	Mature	Exotic	0.3		3.6	132.56	N/A	N/A	-	2.08	4	2
5	Cypress is macrocarpa x14	Monterey cypress	Mature	Exotic	0.3		3.6	173.45	26.9	15.5	Parking Deck, Roof Structure & Lightwell	2.08	6	2
6	Quercus robur	English oak	Mature	Exotic	>1.5		15	706.86	31.76	4.48	Proposed Extension	4.08	20	15
7	Ulmus procera	English elm	Mature	Exotic	0.41 and 0.38 multi stem	0.56	6.72	141.87	17.51	12.34	Proposed Pool	2.71	38	6
8	Ulmus procera	English elm	Mature	Exotic	0.97		11.64	425.05	33.58	7.88	Proposed Pool	3.4	18	8
9	Ulmus procera	English elm	Young	Exotic	0.41 and 0.15 multi stem	0.44	5.28	87.58	5.39	6.1	Proposed Pool	2.43	15	8
10	Ulmus procera	English elm	Young	Exotic	0.35		4.2	55.42	1.3	2.34	Proposed Pool	2.23	8	6
11	Ulmus procera	English elm	Mature	Exotic	0.39 and 0.61 multi stem	0.72	8.64	234.52	16.02	6.83	Proposed Pool	3	61	18
12	Ulmus procera	English elm	Young	Exotic	0.42		5.04	79.8	N/A	N/A	-	2.39	18	6
13	Ulmus procera	English elm	Mature	Exotic	0.86		10.32	335.89	23.02	6.85	Proposed Pool & Extension	3.24	18	8
14	Morus alba	White Mulberry	Mature	Exotic	0.26		3.12	30.58	6.61	20.93	Proposed Deck	1.97	5	3
15	Podocarpus elatus	Pine pine	Mature	?	0.42		5.04	79.8	3.92	4.91	Proposed Parking Deck	2.39	10	3
16	Fraxinus sp.	Ash	Mature	Exotic	0.6		7.2	162.86	120.22	73.81	Proposed Parking Deck & Roof Structure	2.78	10	4
17	Magnolia grandiflora	Magnolia	Mature	Exotic	0.24		2.88	26.06	6.01	23.06	Proposed Parking Deck & Roof Structure	1.88	6	4
18	Schinus molle	Peppercorn	Young	?	0.4		4.8	72.38	6.61	9.13	Proposed Extension	2.34	6	6
19	Cyperus semperivirens	Italian cypress	Mature	Exotic	1.42		15	706.86	188.8	26.71	Proposed Extension	4	24	5
20	Fraxinus sp.	Ash	Mature	Exotic	0.91		10.92	374.62	2.4	0.64	Proposed Pool	3.31	10	10
21	Fraxinus sp.	Ash	Young	Exotic	0.15, 0.10, 0.10 multi stem	0.21	2.52	19.95	N/A	N/A	-	1.79	10	5
22	Fraxinus sp.	Ash	Young	Exotic	0.17, 0.23, 0.19 multi stem	0.34	4.08	52.3	N/A	N/A	-	2.18	23	5
23	Arbutus unedo	Irish strawberry	Mature	Exotic	0.16, 0.22, 0.19, 0.15 multi stem	0.36	4.32	20.75	N/A	N/A	-	2.25	22	5
24	Crataegus sp.	Hawthorn	Mature	Exotic	0.15, 0.15 multi stem	0.21	2.52	19.95	N/A	N/A	-	1.79	15	2
25	Fraxinus sp.	Ash	Young	Exotic	0.22, 0.19 multi stem	0.29	3.48	38.05	N/A	N/A	-	2.05	19	3
26	Fraxinus sp.	Ash	Young	Exotic	0.31, 0.22, 0.29, 0.26 multi stem	0.54	6.48	131.92	N/A	N/A	-	2.65	22	10
27	Fraxinus sp.	Ash	Mature	Exotic	0.56, 0.66 multi stem	0.87	10.44	342.41	N/A	N/A	-	3.25	66	8
28	Prunus lusitanica	Portuguese Laurel	Young	Exotic	0.41		4.92	76.05	N/A	N/A	-	2.37	5	4
29	Salix babylonica	Weeping willow	Mature	Exotic	0.89		10.68	N/A	N/A	N/A	-	3.28	10	10

TABLE OF TREES INCL. TPZ ENCROACHMENT



LIPSCOMBE AVENUE

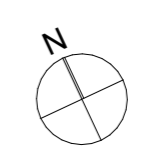
**Room11 Architects**  
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**Project No:**  
T24085  
**Client:**  
**Project Name:**  
521 Sandy Bay Road  
**Project Address:**  
521 Sandy Bay Rd,  
Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

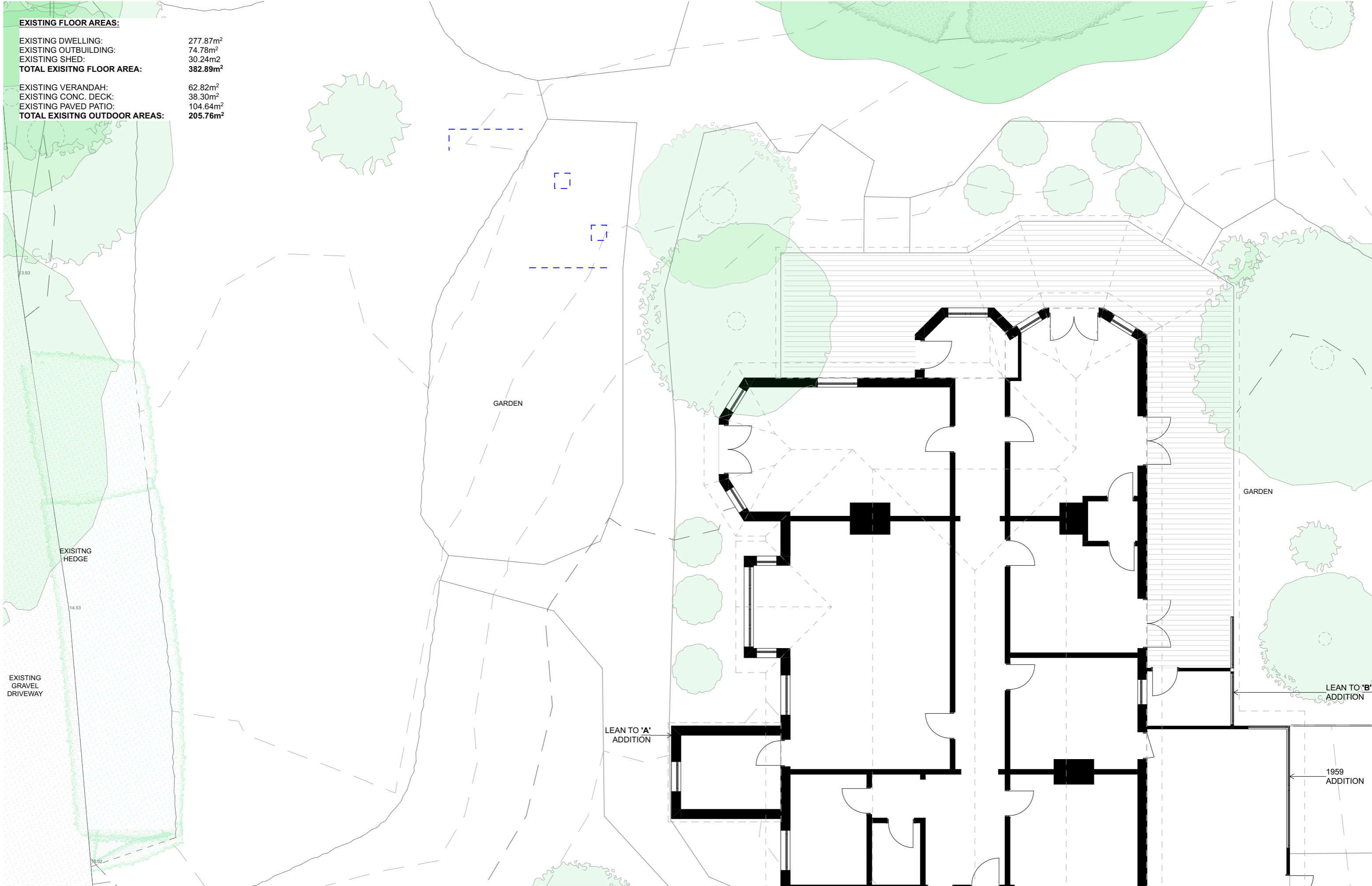
Scale:	1:300	Drawing No.:	A0.07	Revision:	C
Date:	15/1/2026	Drawn By:	JM	Checked By:	TB
Status:	DA				



**EXISTING FLOOR AREAS:**

EXISTING DWELLING: 277.87m<sup>2</sup>  
 EXISTING OUTBUILDING: 74.78m<sup>2</sup>  
 EXISTING SHED: 30.24m<sup>2</sup>  
**TOTAL EXISTING FLOOR AREA: 382.89m<sup>2</sup>**

EXISTING VERANDAH: 62.82m<sup>2</sup>  
 EXISTING CONC. DECK: 38.30m<sup>2</sup>  
 EXISTING PAVED PATIO: 104.64m<sup>2</sup>  
**TOTAL EXISTING OUTDOOR AREAS: 205.76m<sup>2</sup>**



EXISTING HEDGE  
 13.93  
 14.53  
 EXISTING GRAVEL DRIVEWAY  
 16.02

GARDEN

GARDEN

LEAN TO 'A' ADDITION

LEAN TO 'B' ADDITION

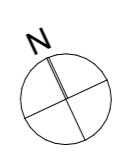
1959 ADDITION

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**Project No:**  
**T24085**  
**Client**  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



**Drawing Title:**  
**EXISTING FLOOR PLAN**

Scale: 1:100  
 Date: 15/1/2026  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

Drawing No.: **A1.01**

Revision: **C**

**EXISTING FLOOR AREAS:**

EXISTING DWELLING: 277.87m<sup>2</sup>  
 EXISTING OUTBUILDING: 74.78m<sup>2</sup>  
 EXISTING SHED: 30.24m<sup>2</sup>  
**TOTAL EXISTING FLOOR AREA: 382.89m<sup>2</sup>**

EXISTING VERANDAH: 62.82m<sup>2</sup>  
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 EXISTING PAVED PATIO: 104.64m<sup>2</sup>  
**TOTAL EXISTING OUTDOOR AREAS: 205.76m<sup>2</sup>**

EXISTING GRAVEL DRIVEWAY

EXISTING HEDGE

GARDEN

CONC. PAD

BITUMEN

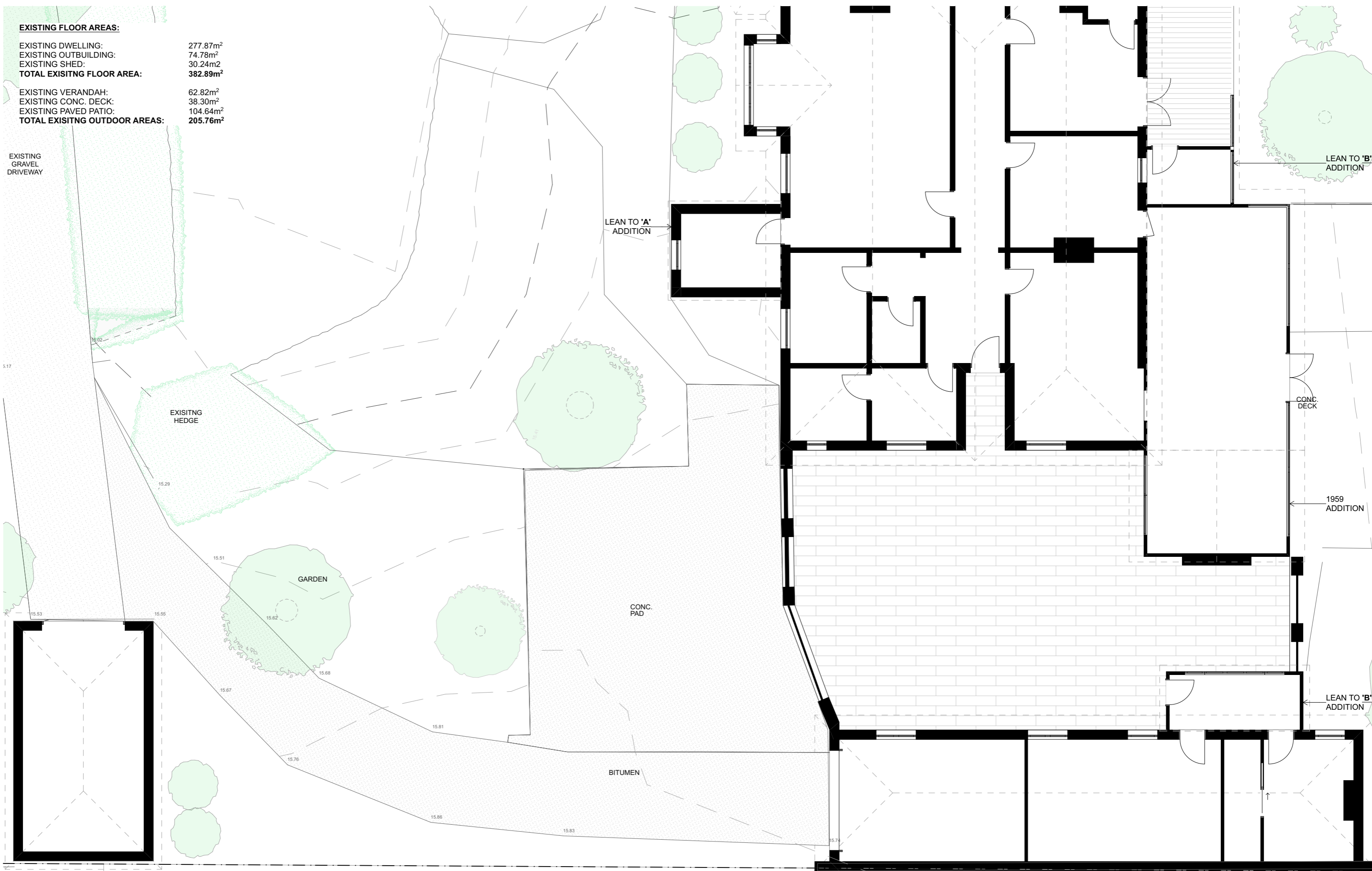
LEAN TO 'B' ADDITION

LEAN TO 'A' ADDITION

CONC. DECK

1959 ADDITION

LEAN TO 'B' ADDITION

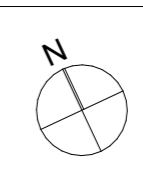



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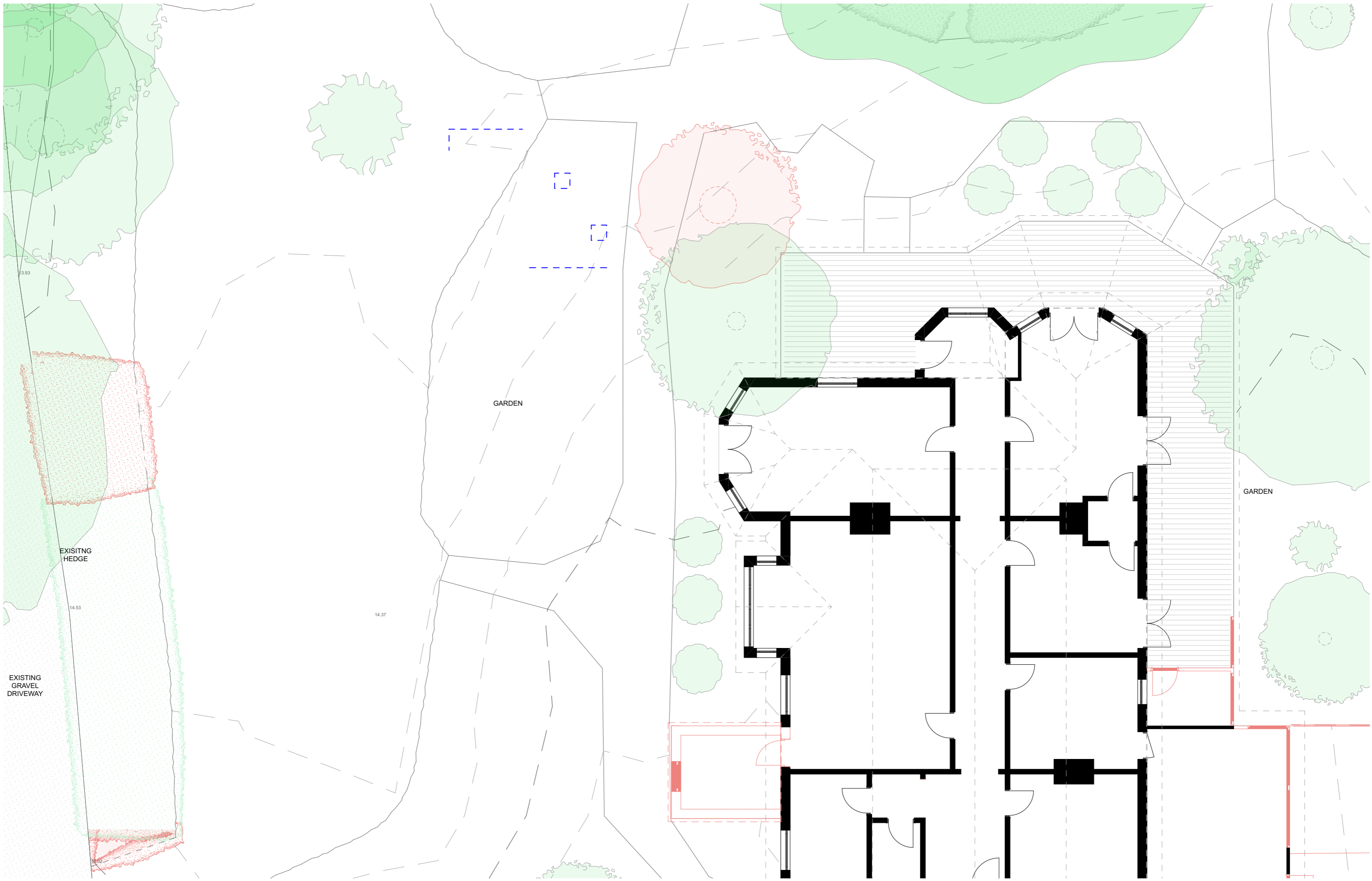
**Project No:**  
**T24085**  
**Client**  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



**Drawing Title:**  
 EXISTING FLOOR PLAN CONT.

Scale: 1:100	Drawing No.:	Revision:
Date: 15/1/2026	<b>A1.02</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		

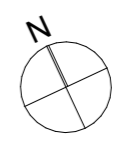


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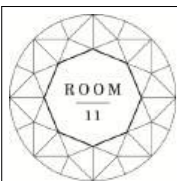
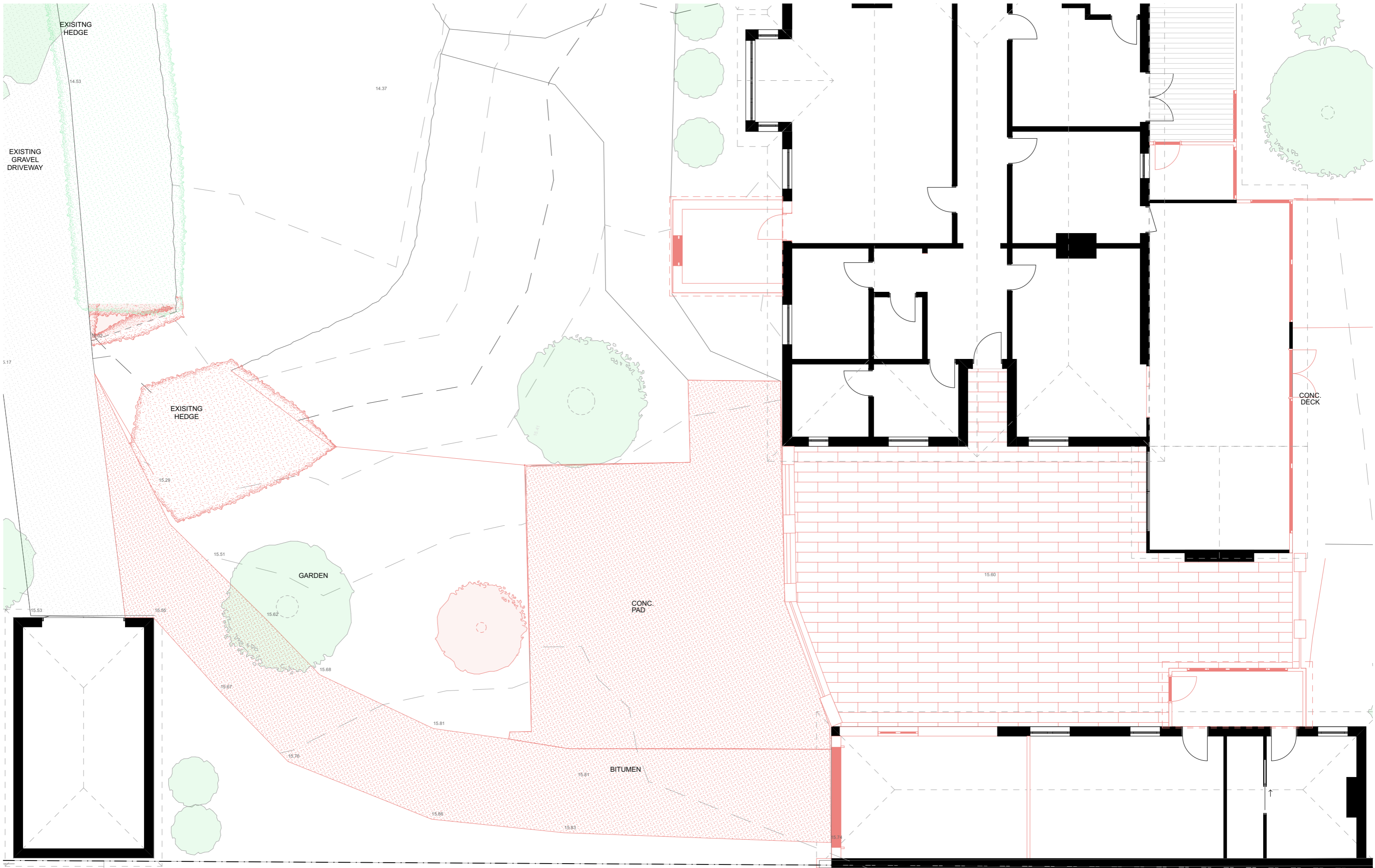
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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



Drawing Title: <b>DEMOLITION PLAN</b>		Revision: <b>C</b>
Scale: 1:100	Drawing No.: <b>A1.03</b>	
Date: 15/1/2026		
Drawn By: JM		
Checked By: TB		
Status: DA		

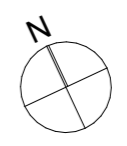


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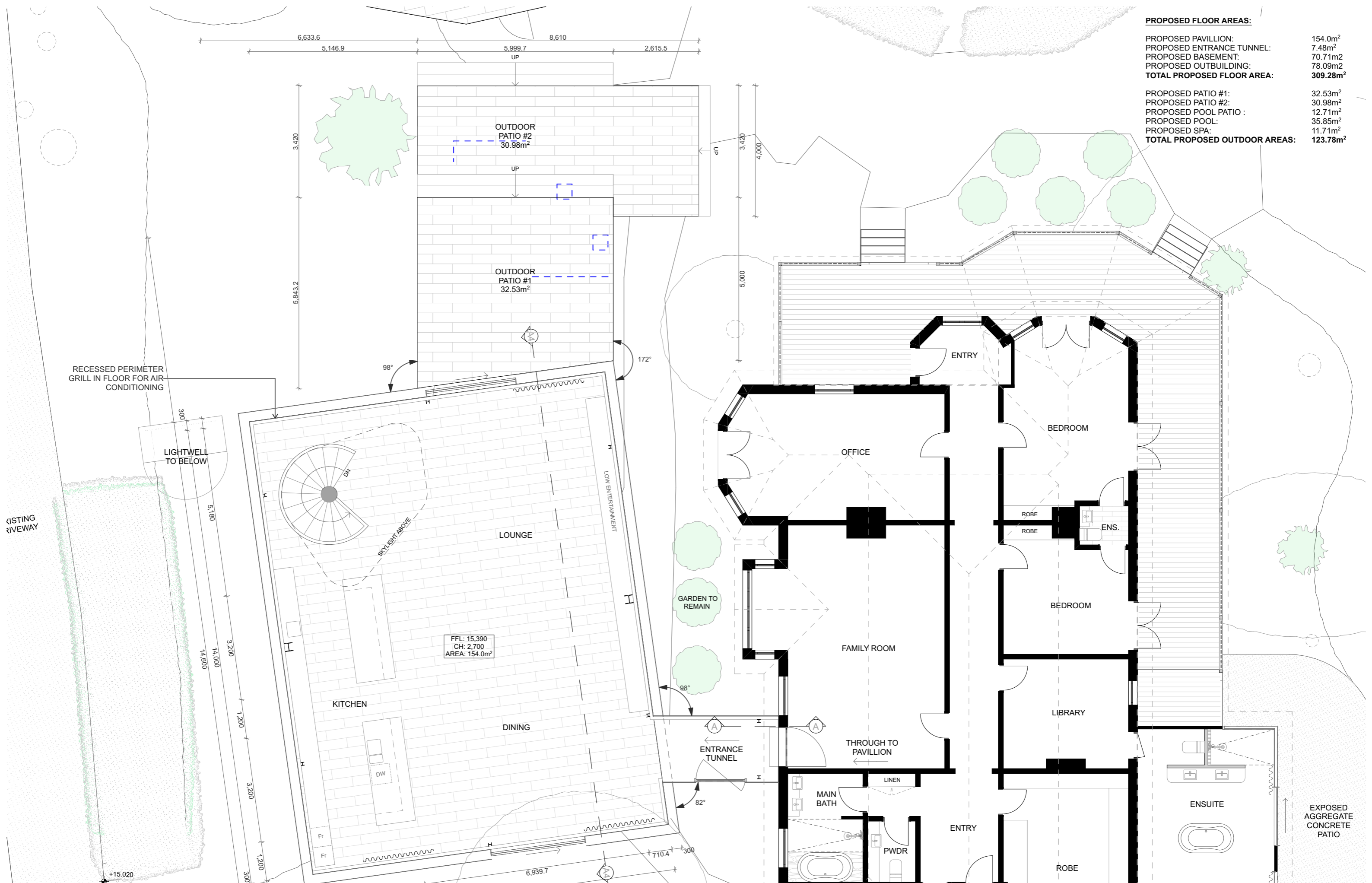
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Project No:  
**T24085**  
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 Project Name  
 521 Sandy Bay Road  
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 Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



Drawing Title: <b>DEMOLITION PLAN CONT.</b>		Revision: <b>C</b>
Scale: 1:100	Drawing No.:	<b>A1.04</b>
Date: 15/1/2026	Drawn By: JM	
Checked By: TB	Status: DA	
Status: DA		



**PROPOSED FLOOR AREAS:**

PROPOSED PAVILLION:	154.0m <sup>2</sup>
PROPOSED ENTRANCE TUNNEL:	7.48m <sup>2</sup>
PROPOSED BASEMENT:	70.71m <sup>2</sup>
PROPOSED OUTBUILDING:	78.09m <sup>2</sup>
<b>TOTAL PROPOSED FLOOR AREA:</b>	<b>309.28m<sup>2</sup></b>

PROPOSED PATIO #1:	32.53m <sup>2</sup>
PROPOSED PATIO #2:	30.98m <sup>2</sup>
PROPOSED POOL PATIO :	12.71m <sup>2</sup>
PROPOSED POOL:	35.85m <sup>2</sup>
PROPOSED SPA:	11.71m <sup>2</sup>
<b>TOTAL PROPOSED OUTDOOR AREAS:</b>	<b>123.78m<sup>2</sup></b>

FFL: 15,390  
 CH: 2,700  
 AREA: 154.0m<sup>2</sup>

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**Project No:**  
**T24085**

**Client**

**Project Name**  
 521 Sandy Bay Road

**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DA APPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

**Drawing Title:**  
**PROPOSED FLOOR PLAN**

Scale: 1:100  
 Date: 15/1/2026  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

**Revision:**  
**A1.05**  
**C**



**PROPOSED FLOOR AREAS:**

PROPOSED PAVILLION:	154.0m <sup>2</sup>
PROPOSED ENTRANCE TUNNEL:	7.48m <sup>2</sup>
PROPOSED BASEMENT:	70.71m <sup>2</sup>
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<b>TOTAL PROPOSED FLOOR AREA:</b>	<b>309.28m<sup>2</sup></b>

**PROPOSED PATIO #1:** 32.53m<sup>2</sup>  
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**TOTAL PROPOSED OUTDOOR AREAS:** 123.78m<sup>2</sup>

FFL: 15,390  
 CH: 2,700  
 AREA: 154.0m<sup>2</sup>

PROPOSED DRIVEWAY & PARKING (COBBLESTONES)

LINE OF ROOF STRUCTURE ABOVE (MIN. 3m CLEARANCE)

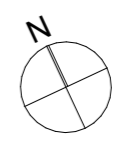
EXISTING SHRUBS TO PARKING COURTYARD RETAINED

EXISTING SHRUBS TO

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DA APPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

<b>Project No:</b>	T24085
<b>Client:</b>	
<b>Project Name:</b>	521 Sandy Bay Road
<b>Project Address:</b>	521 Sandy Bay Rd, Sandy Bay 7005



Drawing Title: **PROPOSED FLOOR PLAN CONT.**

Scale: 1:100  
 Date: 15/1/2026  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

Drawing No.: **A1.06**

Revision: **C**

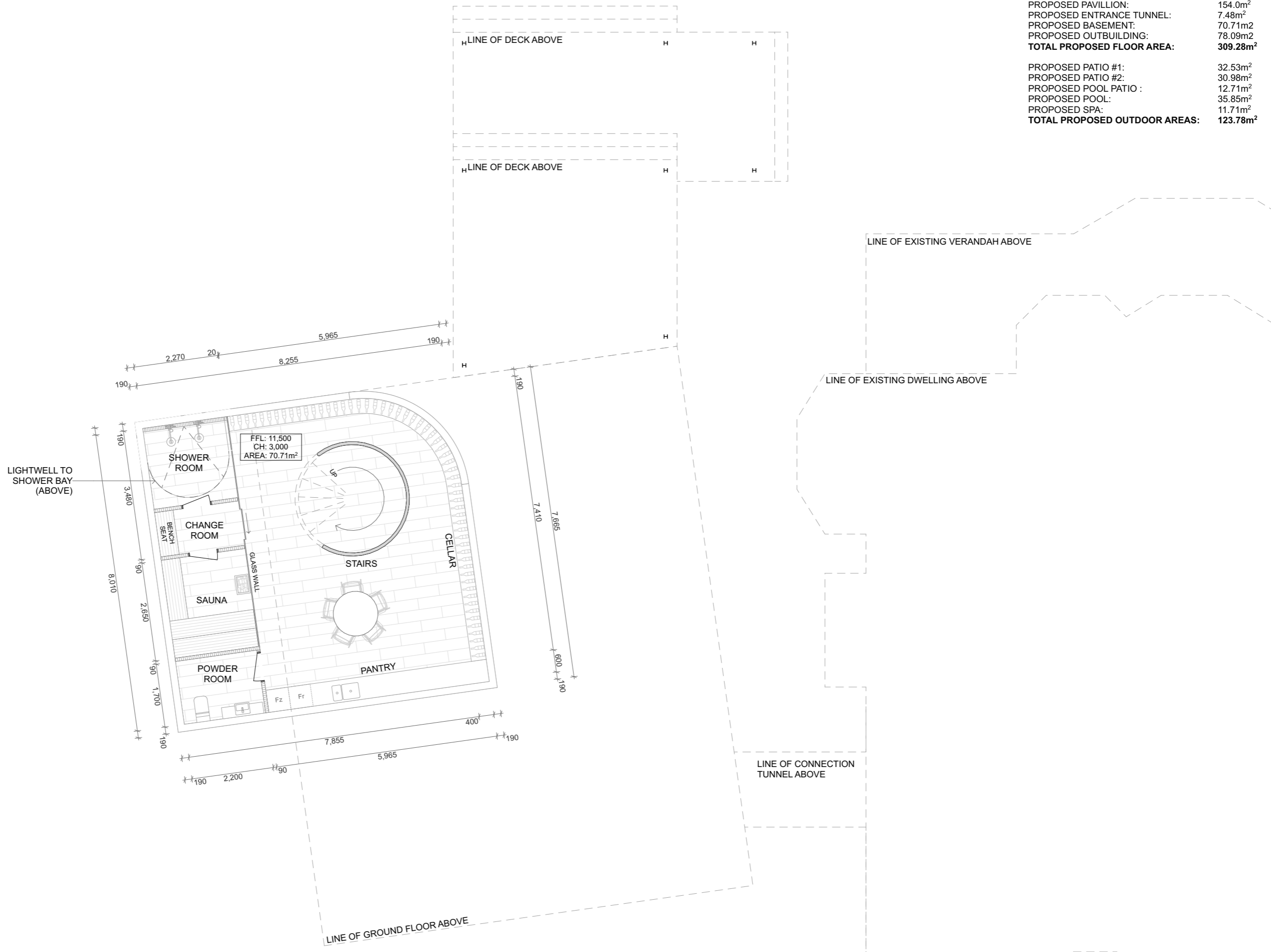
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 Studio  
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 Telephone 03-6234-8642  
 Email info@room11.com.au Website www.room11.com.au

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**PROPOSED FLOOR AREAS:**

PROPOSED PAVILLION: 154.0m<sup>2</sup>  
 PROPOSED ENTRANCE TUNNEL: 7.48m<sup>2</sup>  
 PROPOSED BASEMENT: 70.71m<sup>2</sup>  
 PROPOSED OUTBUILDING: 78.09m<sup>2</sup>  
**TOTAL PROPOSED FLOOR AREA: 309.28m<sup>2</sup>**

PROPOSED PATIO #1: 32.53m<sup>2</sup>  
 PROPOSED PATIO #2: 30.98m<sup>2</sup>  
 PROPOSED POOL PATIO: 12.71m<sup>2</sup>  
 PROPOSED POOL: 35.85m<sup>2</sup>  
 PROPOSED SPA: 11.71m<sup>2</sup>  
**TOTAL PROPOSED OUTDOOR AREAS: 123.78m<sup>2</sup>**

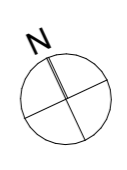



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**Project No:**  
**T24085**  
**Client**  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



**Drawing Title:**  
**PROPOSED BASEMENT PLAN**

Scale: 1:100  
 Date: 15/1/2026  
 Drawn By: JM  
 Checked By: TB  
 Status: DA

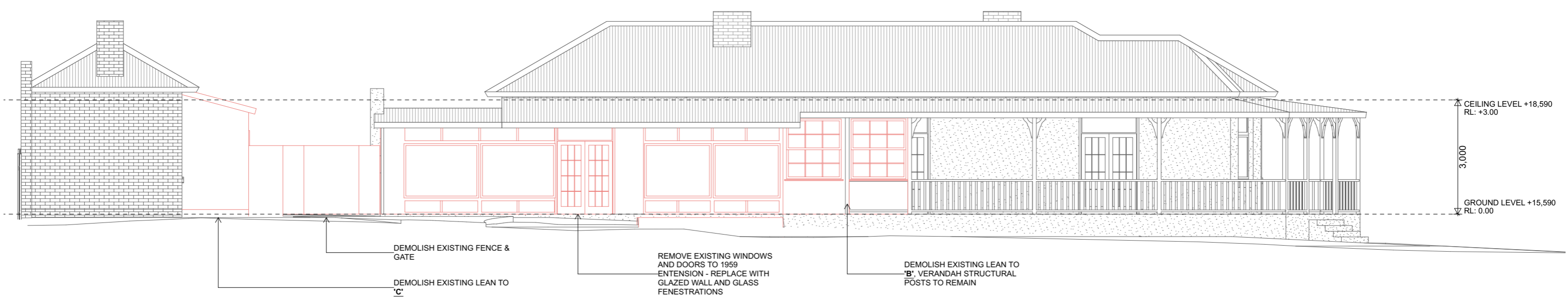
**Drawing No.:**  
**A1.07**

**Revision:**  
**C**

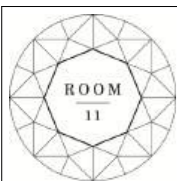




1:100 | NORTH ELEVATION (EXISTING)



1:100 | EAST ELEVATION (EXISTING)



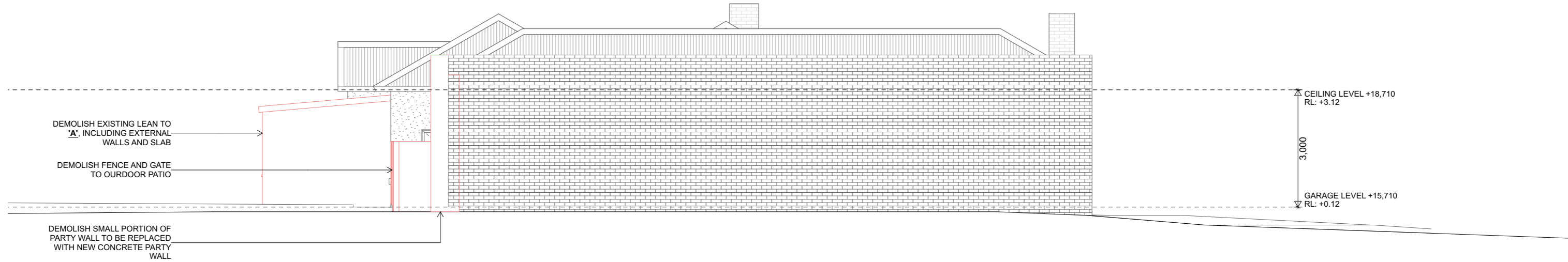
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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: EXISTING ELEVATIONS		
Scale:	1:100	Revision:
Date:	15/1/2026	<b>A2.01</b>
Drawn By:	JM	
Checked By:	TB	
Status:	DA	
		<b>C</b>



1:100 | SOUTH ELEVATION (EXISTING)



1:100 | WEST ELEVATION (EXISTING)



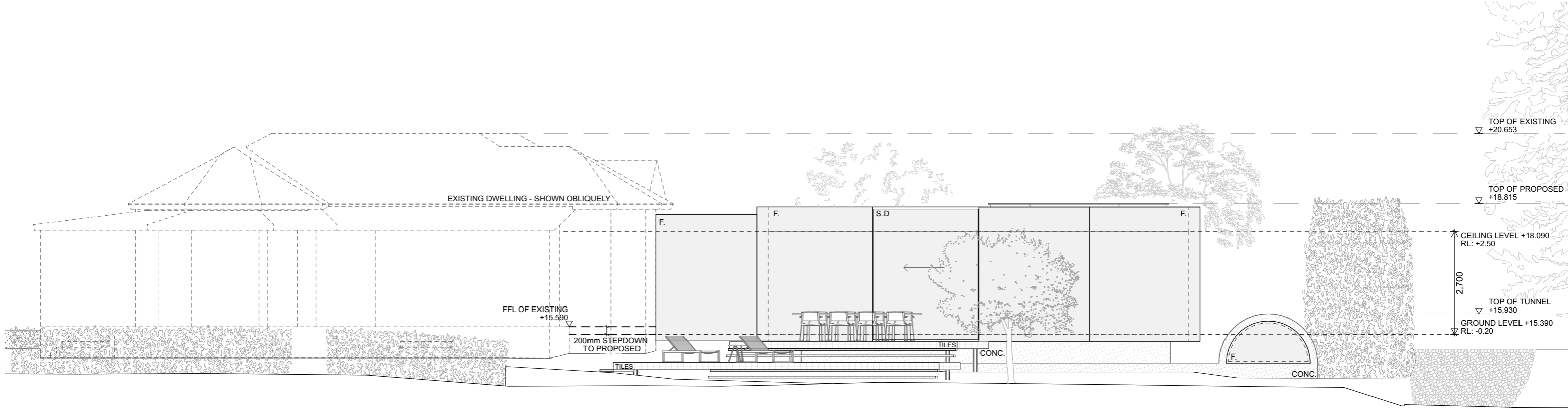
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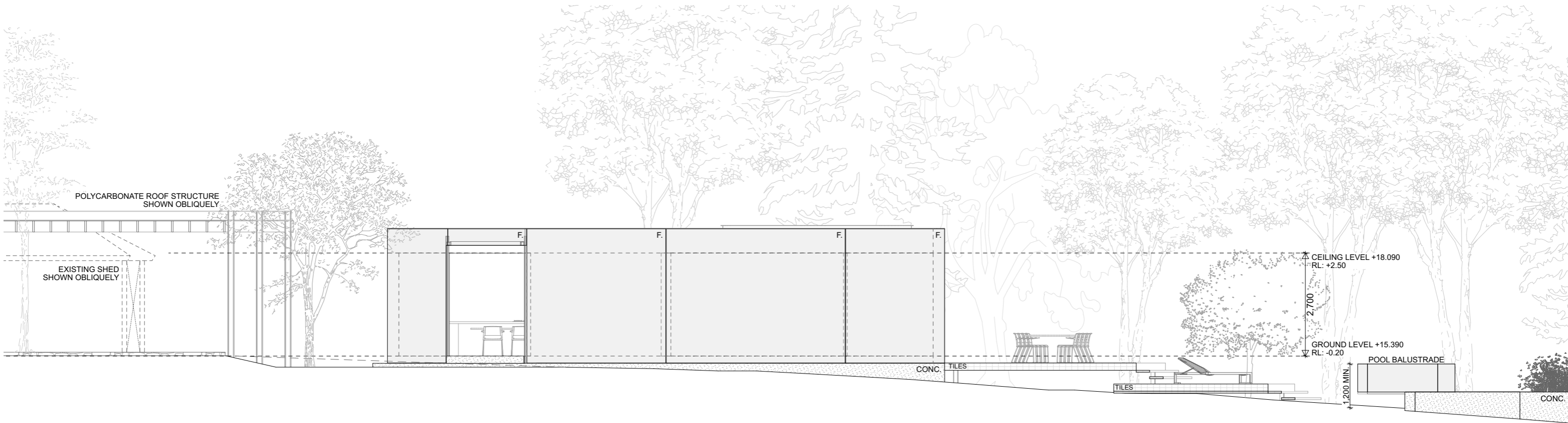
Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: EXISTING ELEVATIONS		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A2.02</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



1:100 | NORTH ELEVATION (PROPOSED)



1:100 | EAST ELEVATION (PROPOSED)

**LEGEND:**

- BK.** BLACK STEEL
- TIMB.** TIMBER BATTENS
- F.** FIXED GLAZING
- S.D.** SLIDING GLASS DOOR
- CONC.** CONCRETE
- TILES** SELECTED TILES



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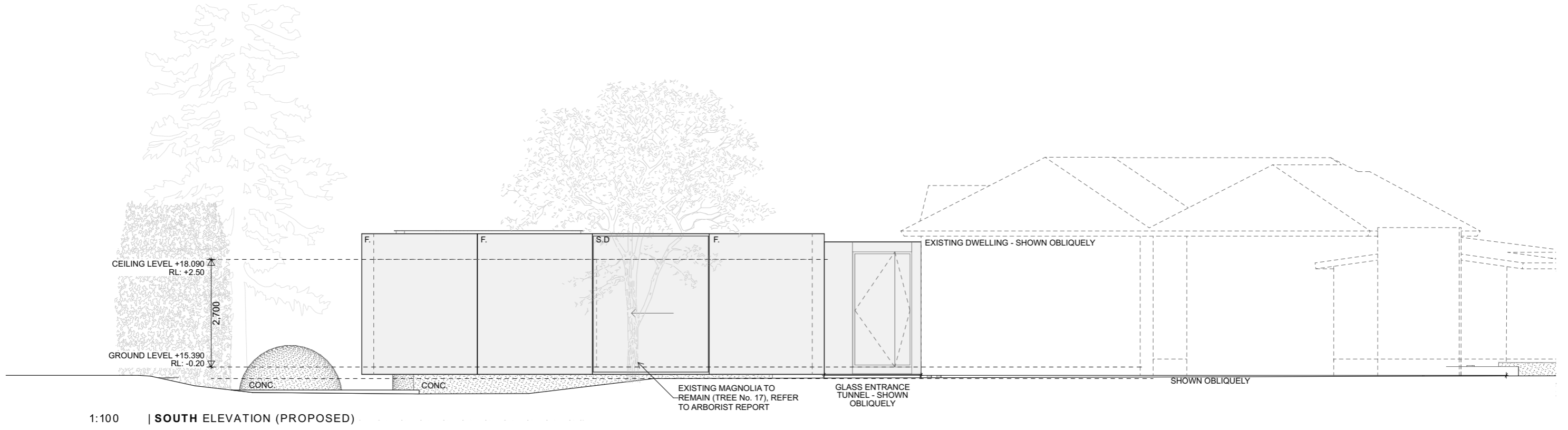
Drawings to be read in conjunction with specification by Room11 and all drawings and documents by engineers and subconsultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference. DO NOT SCALE FROM DRAWINGS. These drawings are protected by the laws of copyright and may not be copied or reproduced without the written permission of Room 11.  
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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

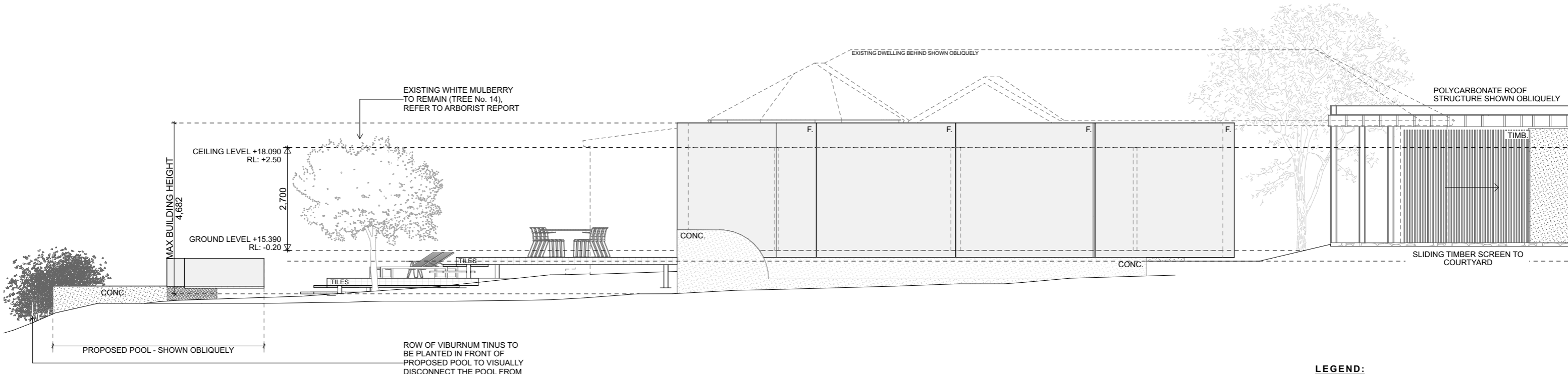
Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title:  
**PROPOSED ELEVATIONS**

Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A2.03</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



1:100 | SOUTH ELEVATION (PROPOSED)



1:100 | WEST ELEVATION (PROPOSED)

- LEGEND:**
- BK.** BLACK STEEL
  - TIMB.** TIMBER BATTENS
  - F.** FIXED GLAZING
  - S.D.** SLIDING GLASS DOOR
  - CONC.** CONCRETE
  - TILES** SELECTED TILES



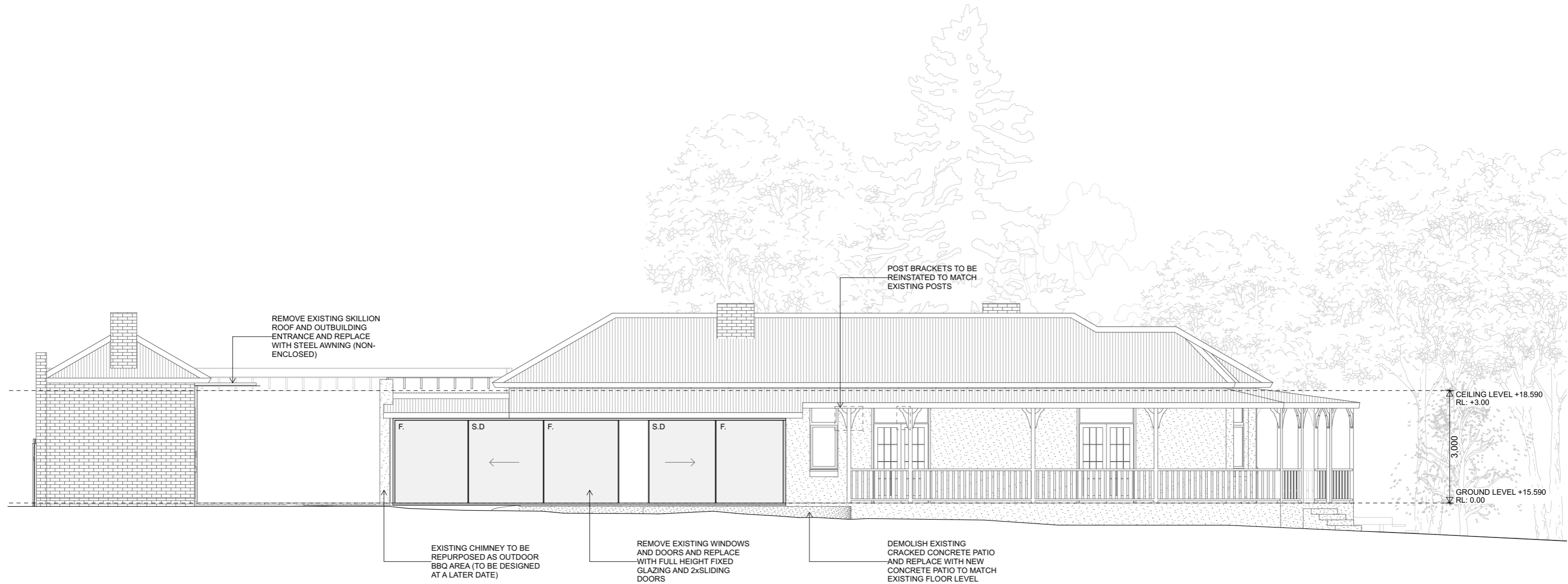
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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: PROPOSED ELEVATIONS		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A2.04</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



1:100 | EAST ELEVATION (PROPOSED TO EXISTING DWELLING)

**LEGEND:**

- BK.** BLACK STEEL
- TIMB.** TIMBER BATTENS
- F.** FIXED GLAZING
- S.D.** SLIDING GLASS DOOR
- CONC.** CONCRETE
- TILES** SELECTED TILES



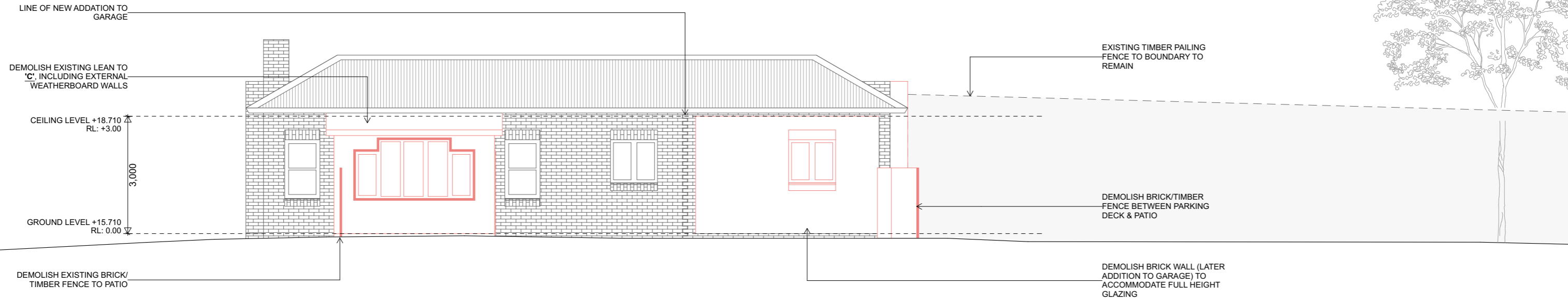
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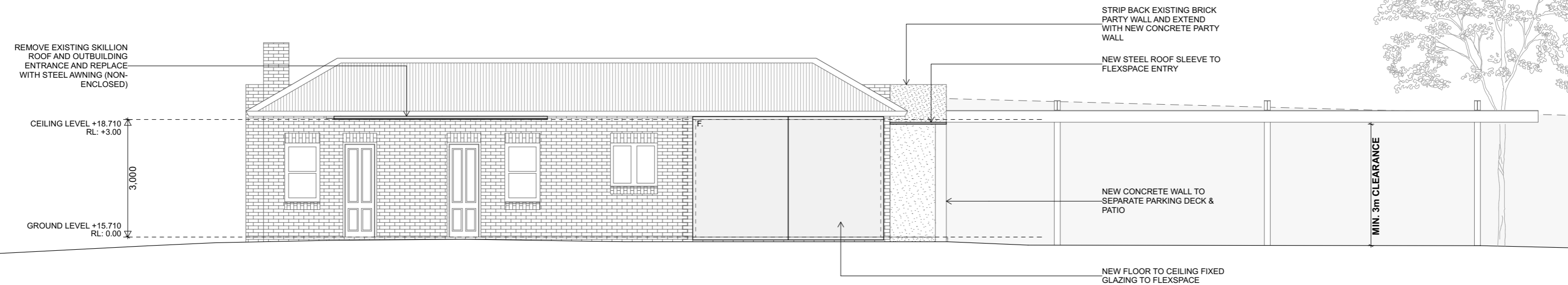
**Project No:**  
**T24085**  
**Client**  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: PROPOSED ELEVATIONS		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A2.05</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



1:100 | NORTH ELEVATION (DEMOLITION TO EXISTING OUTBUILDING)



1:100 | NORTH ELEVATION (PROPOSED TO EXISTING OUTBUILDING)

- LEGEND:**
- BK.** BLACK STEEL
  - TIMB.** TIMBER BATTENS
  - F.** FIXED GLAZING
  - S.D.** SLIDING GLASS DOOR
  - CONC.** CONCRETE
  - TILES** SELECTED TILES



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**Project No:**  
T24085

**Client**

**Project Name**  
521 Sandy Bay Road

**Project Address**  
521 Sandy Bay Rd,  
Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: <b>PROPOSED ELEVATIONS (OUTBUILDING)</b>		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A2.06</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		

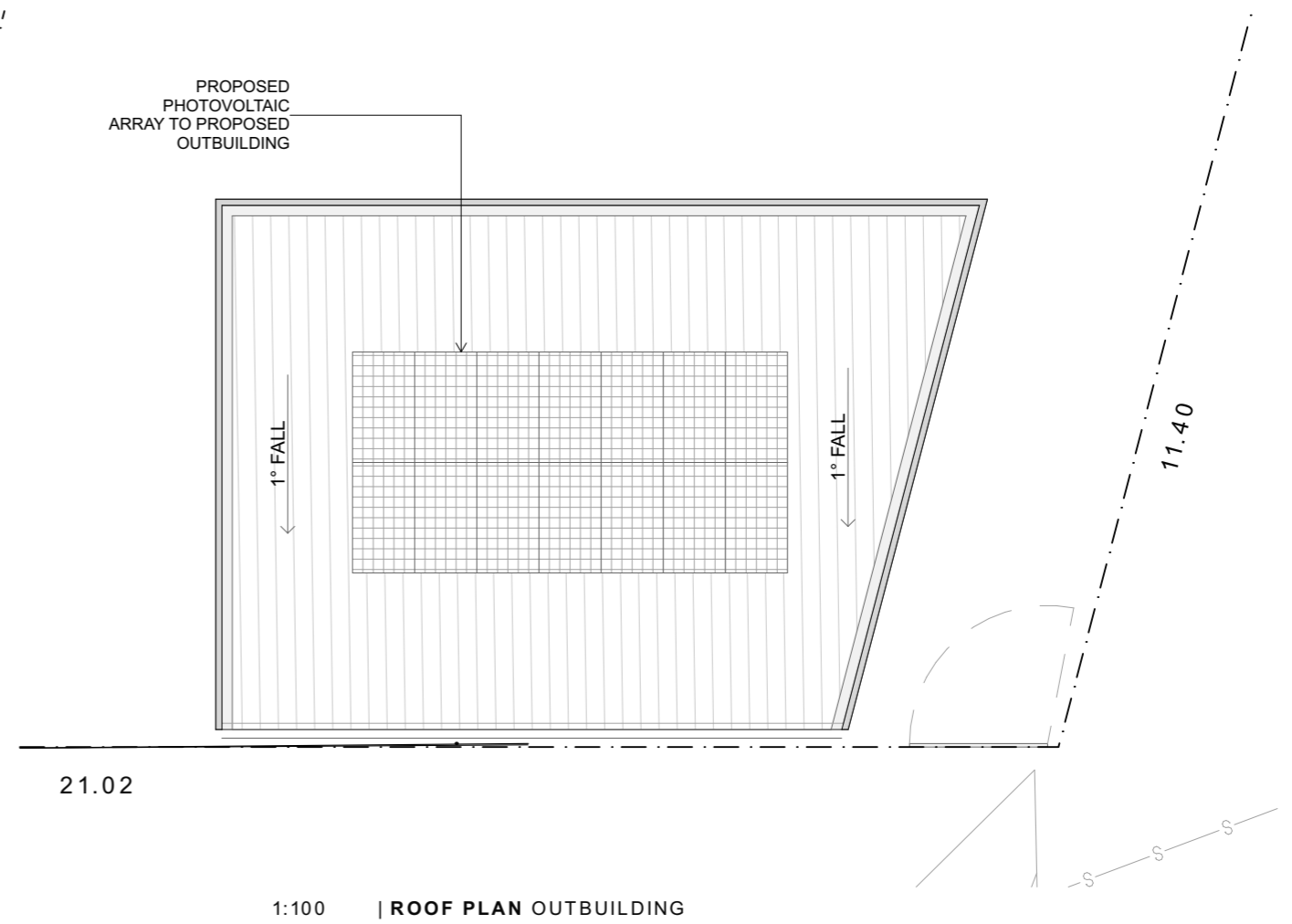
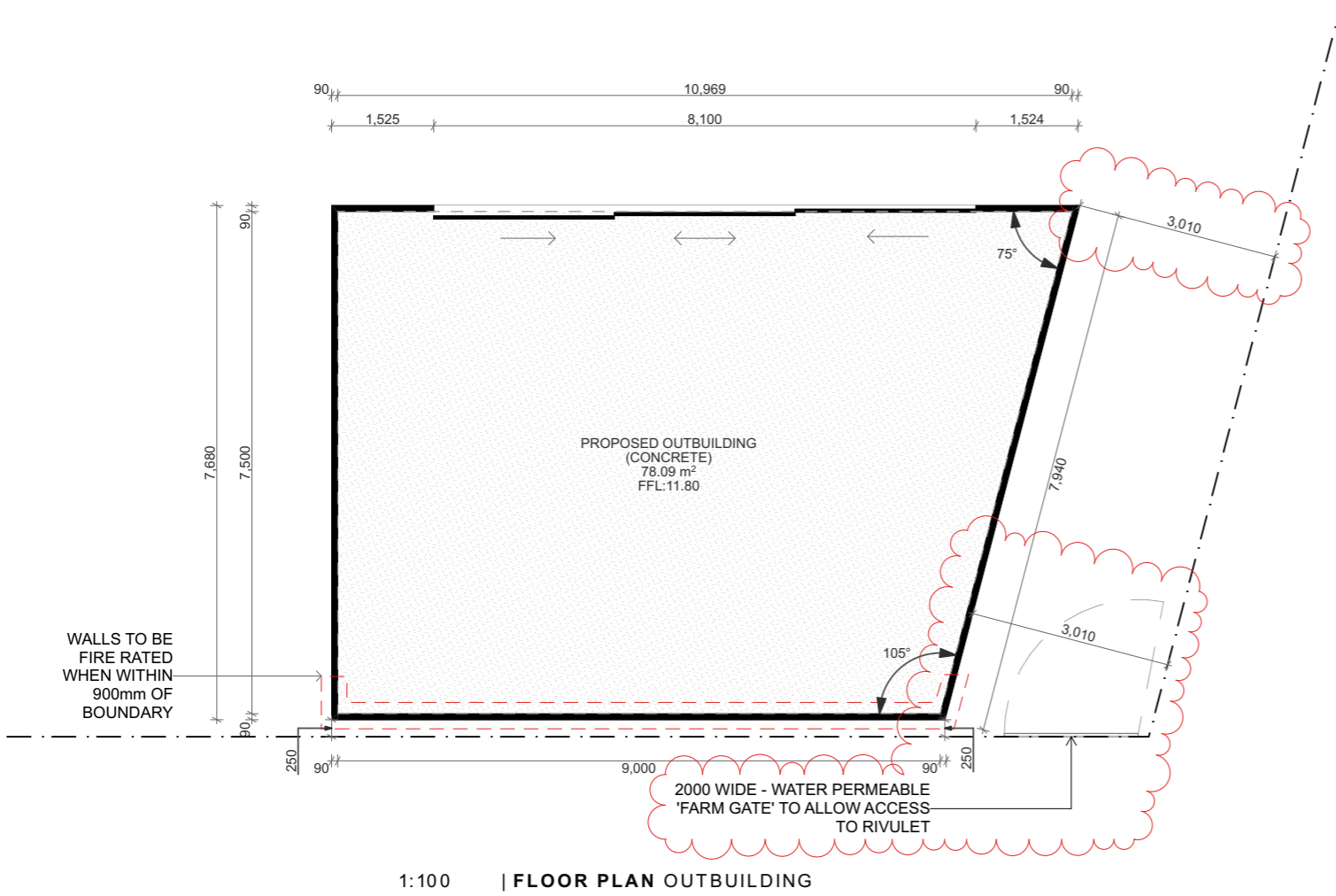
**IMPORTANT NOTE:**

WALLS WITHIN 900mm A BOUNDARY ARE TO BE FIRE RATED USING A CERTIFIED SYSTEM - HARDIES SMART FIRE & ACOUSTIC WALL SYSTEM FOR EXAMPLE - TO BE CONFIRMED BY THE ARCHITECT PRIOR TO ORDERING

**PROPOSED FLOOR AREAS:**

PROPOSED PAVILLION: 154.0m<sup>2</sup>  
 PROPOSED ENTRANCE TUNNEL: 7.48m<sup>2</sup>  
 PROPOSED BASEMENT: 70.71m<sup>2</sup>  
 PROPOSED OUTBUILDING: 78.09m<sup>2</sup>  
**TOTAL PROPOSED FLOOR AREA: 309.28m<sup>2</sup>**

PROPOSED PATIO #1: 32.53m<sup>2</sup>  
 PROPOSED PATIO #2: 30.98m<sup>2</sup>  
 PROPOSED POOL PATIO: 12.71m<sup>2</sup>  
 PROPOSED POOL: 35.85m<sup>2</sup>  
 PROPOSED SPA: 11.71m<sup>2</sup>  
**TOTAL PROPOSED OUTDOOR AREAS: 123.78m<sup>2</sup>**

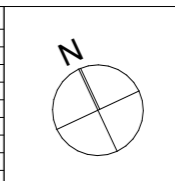


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**Project No:**  
 T24085  
**Client**  
 COUNCIL & HERITAGE RFI  
**Project Name**  
 521 Sandy Bay Road  
**Project Address**  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026



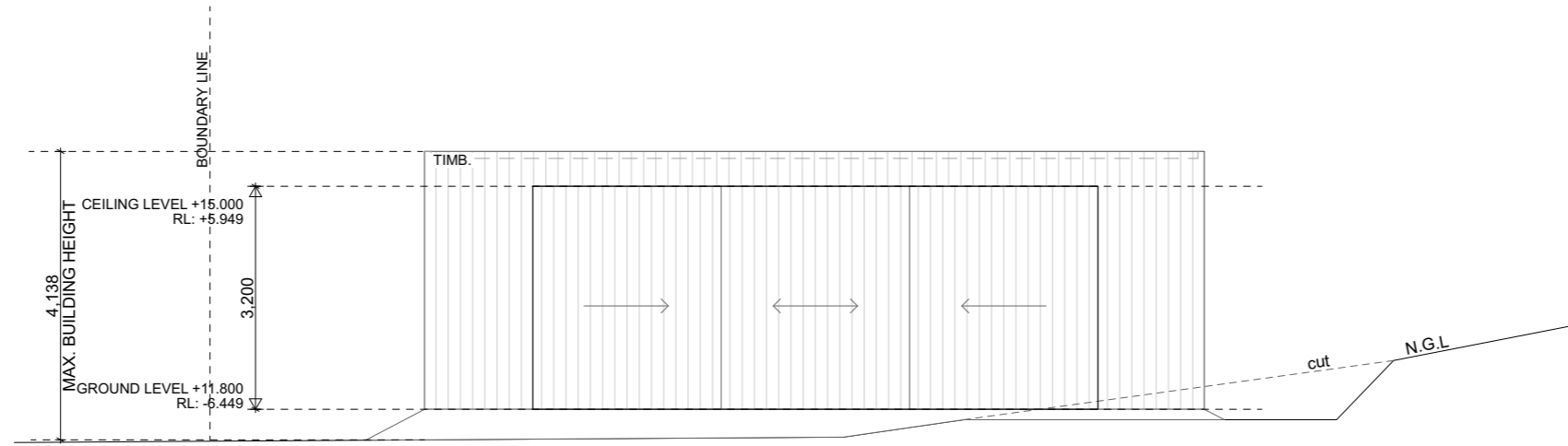
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**Date:** 15/1/2026  
**Drawn By:** JM  
**Checked By:** TB  
**Status:** DA

**Drawing No.:**  
**A3.01**

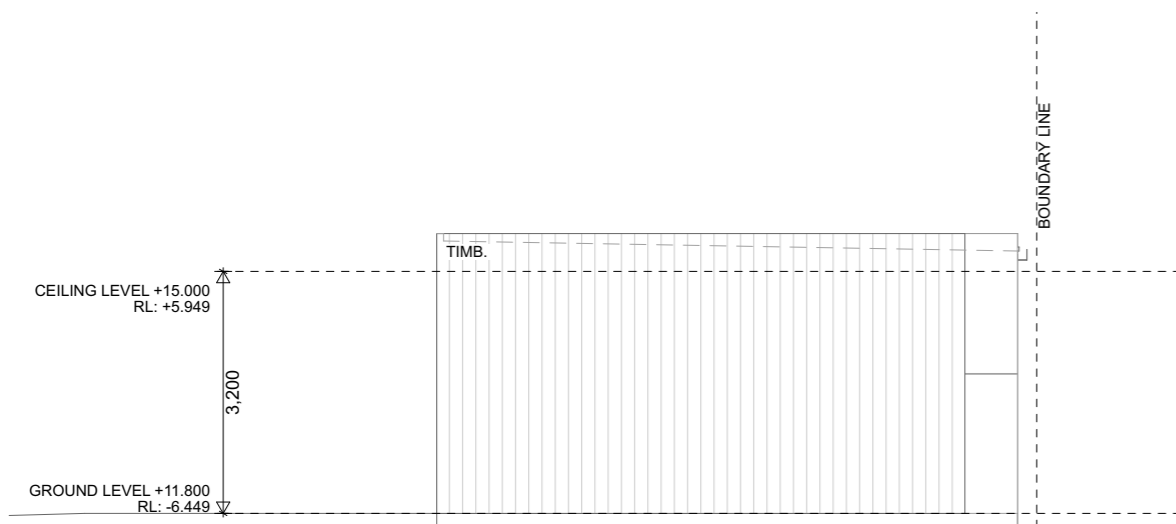
**Revision:**  
**C**

**IMPORTANT NOTE:**

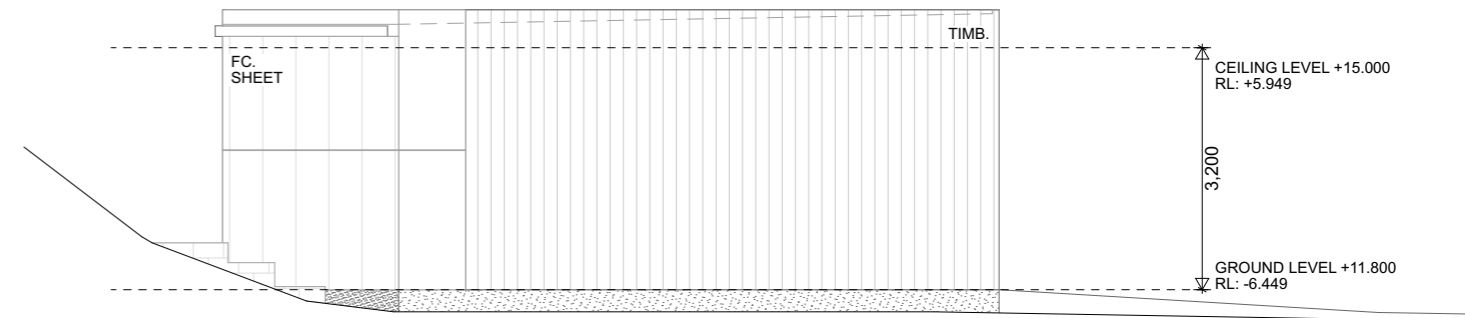
WALLS WITHIN 900mm A BOUNDARY ARE TO BE FIRE RATED USING A CERTIFIED SYSTEM - HARDIES SMART FIRE & ACOUSTIC WALL SYSTEM FOR EXAMPLE - TO BE CONFIRMED BY THE ARCHITECT PRIOR TO ORDERING



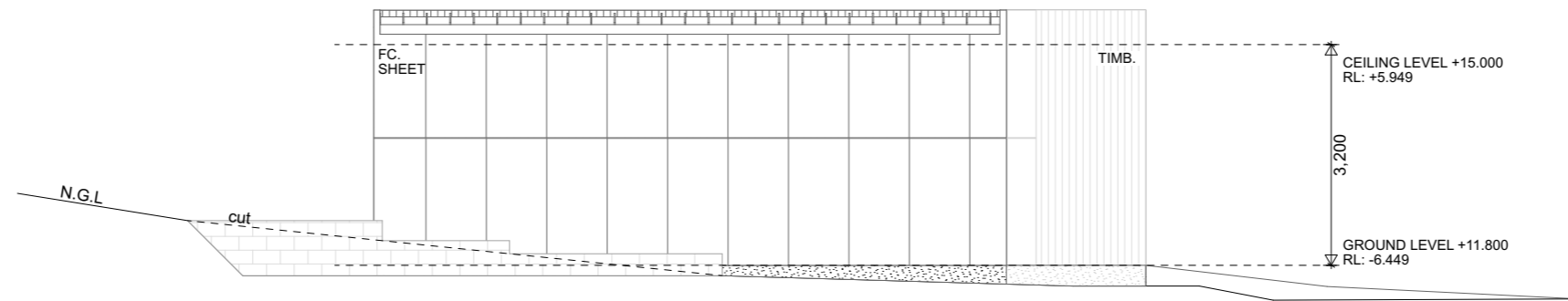
1:100 | NORTH EAST ELEVATION (PROPOSED OUTBUILDING)



1:100 | NORTH WEST ELEVATION (PROPOSED OUTBUILDING)



1:100 | SOUTH EAST ELEVATION (PROPOSED OUTBUILDING)



1:100 | SOUTH WEST ELEVATION (PROPOSED OUTBUILDING)



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Project No:  
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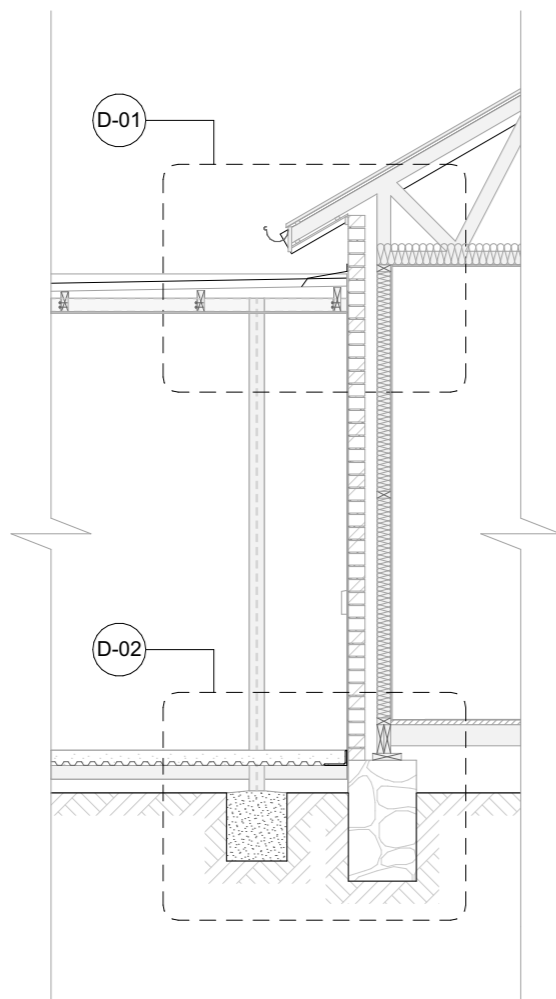
Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title:  
**PROPOSED OUTBUILDING ELEVATIONS**

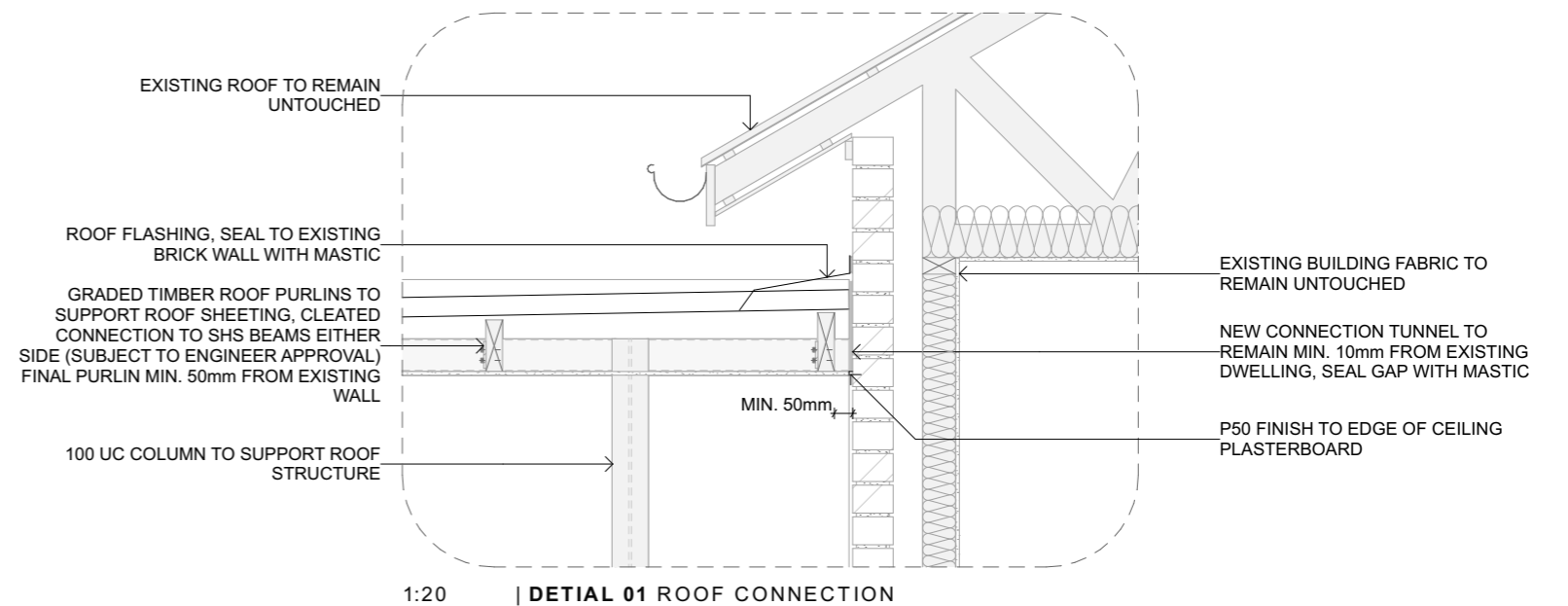
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 Drawn By: JM  
 Checked By: TB  
 Status: DA

Drawing No.:  
**A3.02**

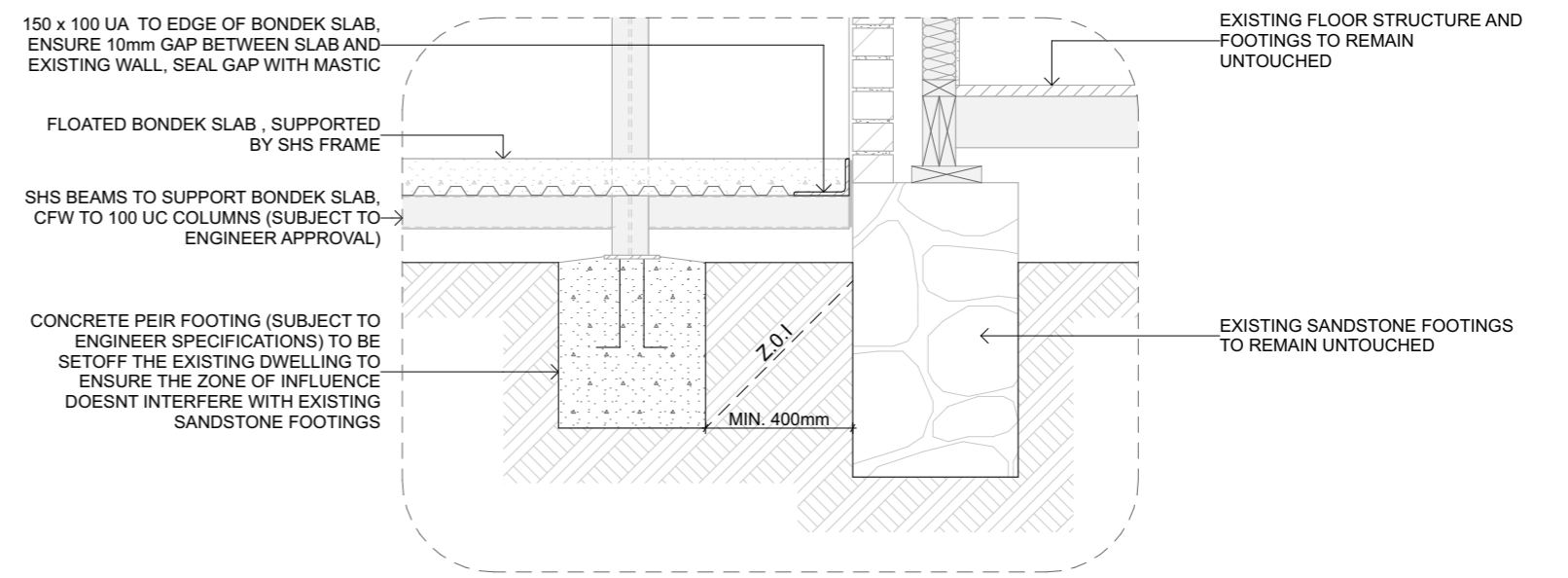
Revision:  
**C**



1:50 | SECTION A-A CONNECTION TUNNEL



1:20 | DETAIL 01 ROOF CONNECTION



1:20 | DETAIL 02 SLAB CONNECTION



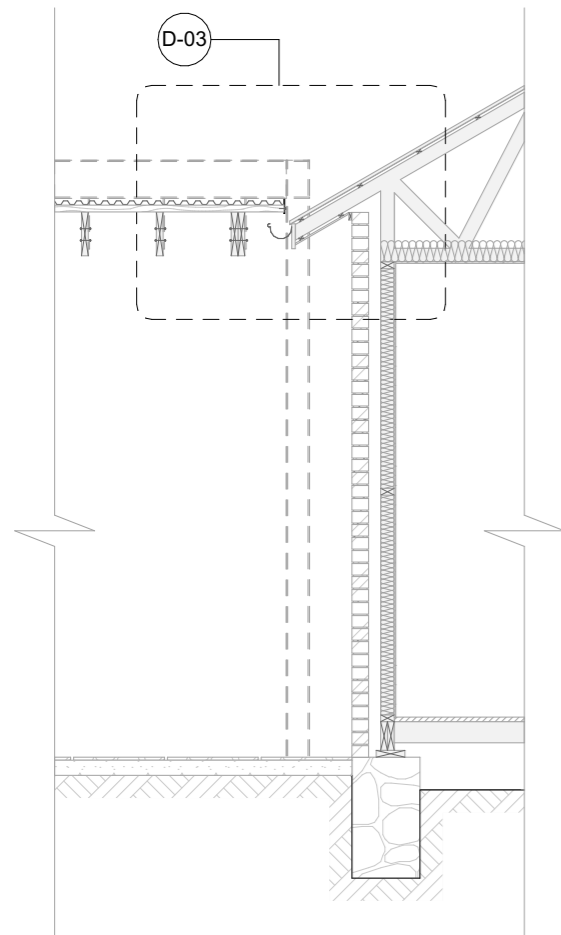
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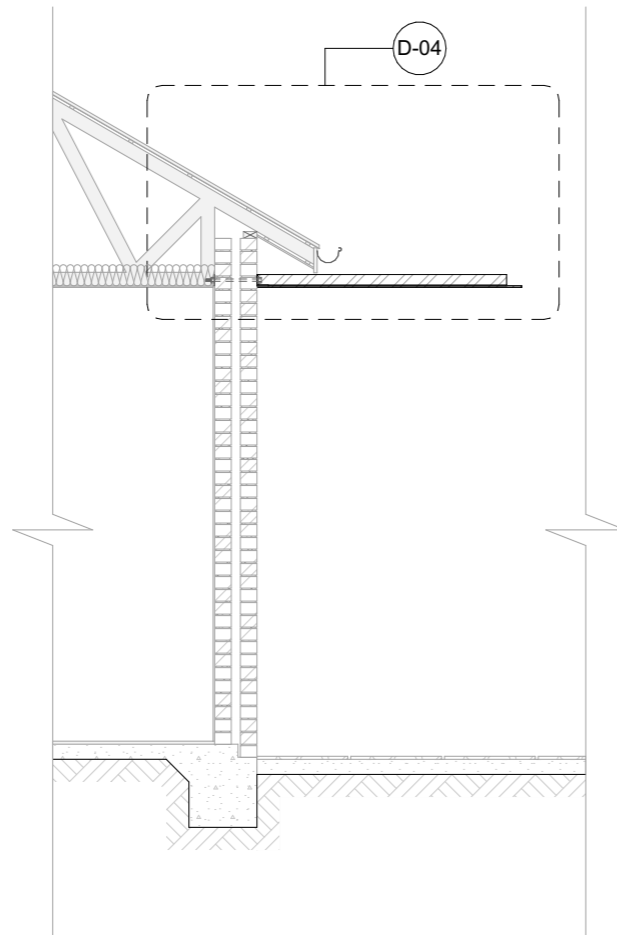
Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
C	COUNCIL & HERITAGE RFI	15/1/2026

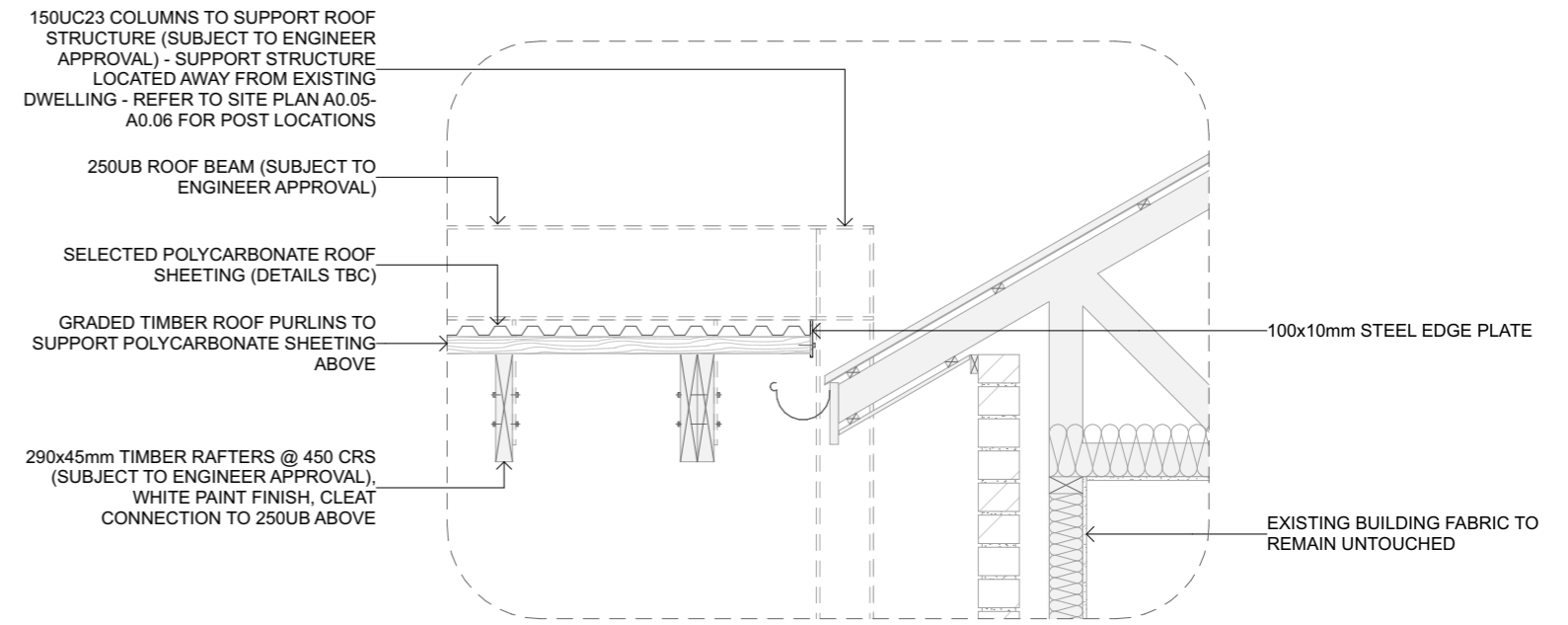
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Scale: 1:50, 1:20	Drawing No.:	Revision:
Date: 15/1/2026	<b>A4.01</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



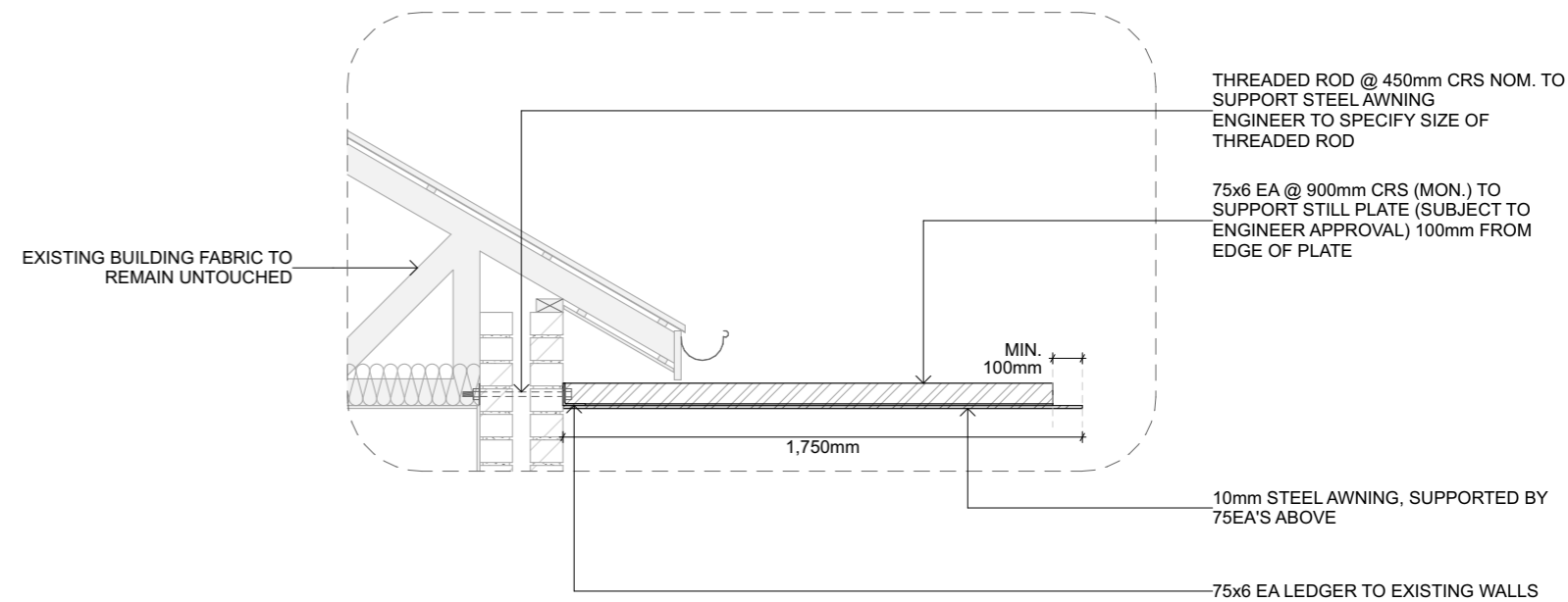
1:50 | SECTION B-B POLYCARB ROOF CONNECTION



1:50 | SECTION C-C STEEL AWNING CONNECTION



1:20 | DETAIL 03 POLYCARBONATE ROOF



1:20 | DETAIL 04 STEEL AWNING



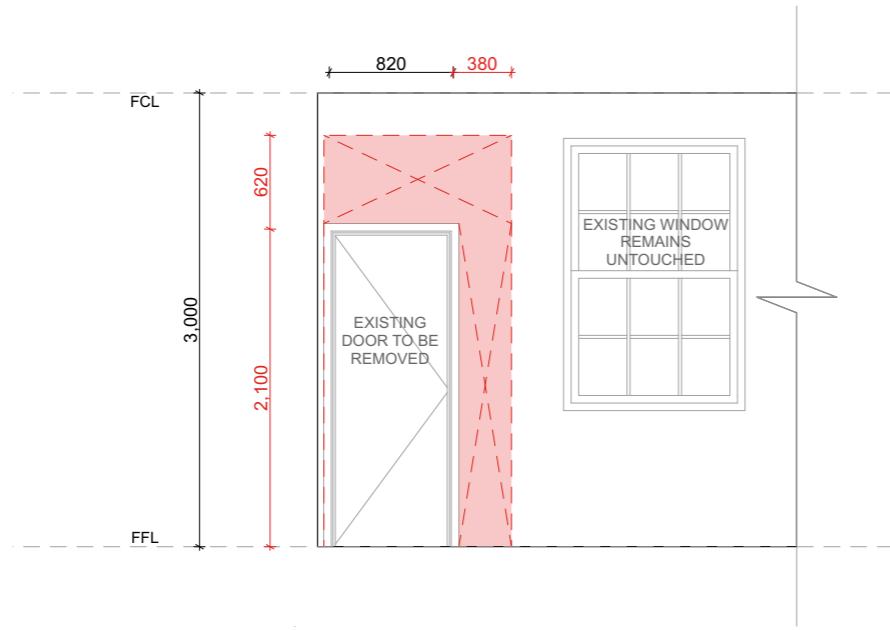
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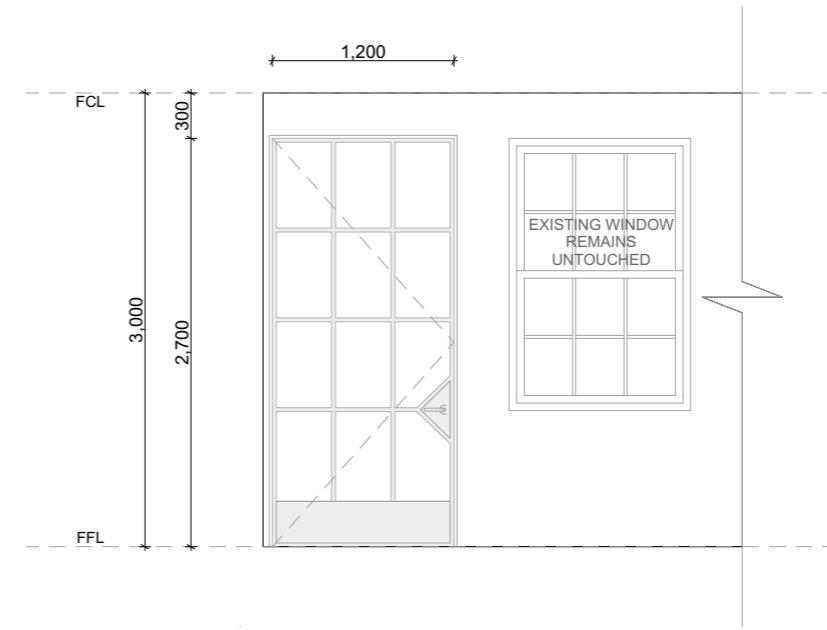
Project No:  
**T24085**  
 Client  
 Project Name  
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 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
C	COUNCIL & HERITAGE RFI	15/1/2026

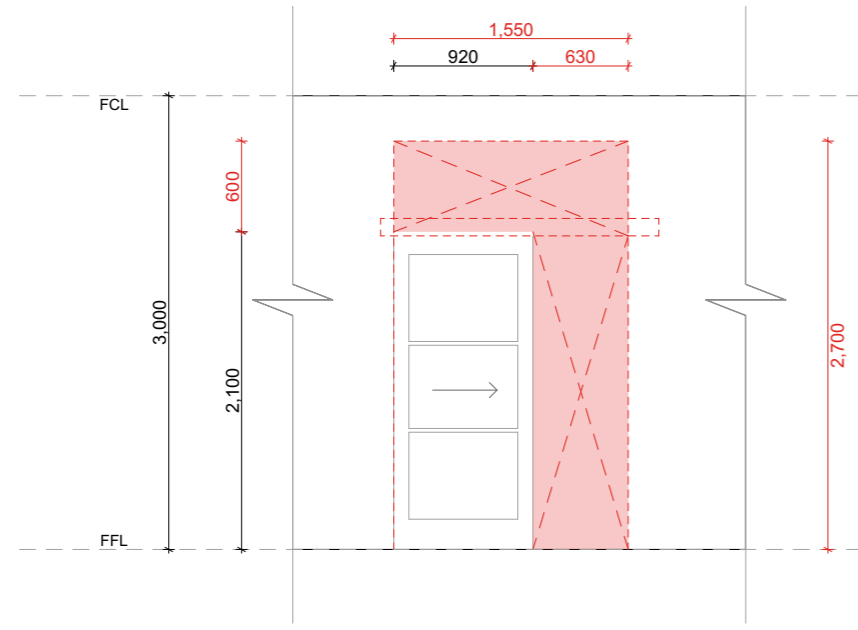
Drawing Title: <b>SECTION B-B &amp; C-C</b>		Revision: <b>C</b>
Scale: 1:20, 1:50, 1:25	Drawing No.:	<b>A4.02</b>
Date: 15/1/2026	Drawn By: JM	
Checked By: TB	Status: DA	
Status: DA		



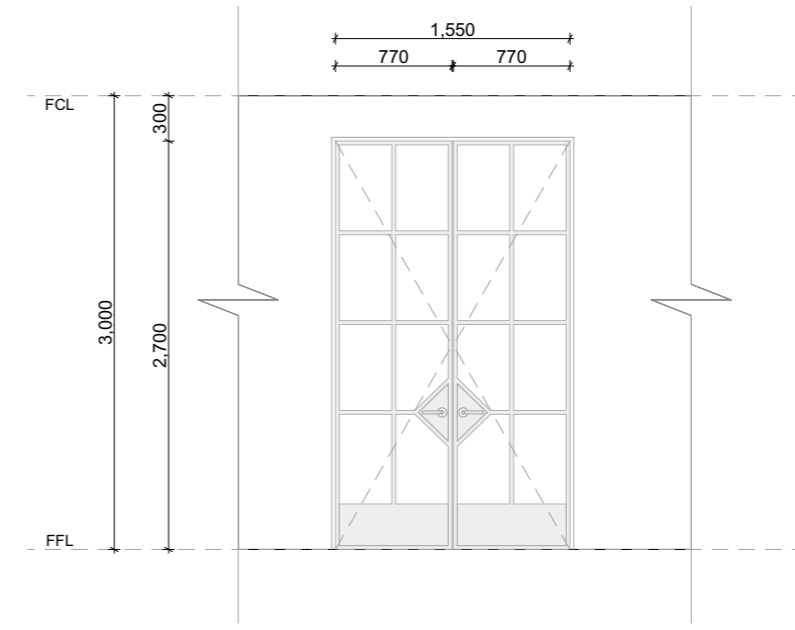
1:50 | INT. ELEVATION CONNECTION TUNNEL DOOR EXISTING / DEMOLITION



1:50 | INT. ELEVATION CONNECTION TUNNEL DOOR PROPOSED



1:50 | INT. ELEVATION MASTER SUITE DOOR EXISTING / DEMOLITION



1:50 | INT. ELEVATION MASTER SUITE DOOR PROPOSED

**NOTE:** PROPOSED DOORS TO BE STEEL FRAMED GLASS DOORS, REFER TO INTERIOR DESIGN DRAWINGS BY ERIN LAMBRECHT FOR DETAILS



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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

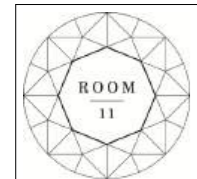
Issue ID	Issue Name	Date
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title:  
**INTERNAL ELEVATIONS**

Scale: 1:50	Drawing No.: <b>A4.03</b>	Revision: <b>C</b>
Date: 15/1/2026		
Drawn By: JM		
Checked By: TB		
Status: DA		



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Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: ARTISTS IMPRESSION 01		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A5.01</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



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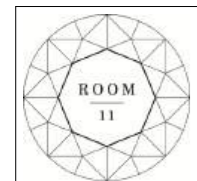
Project No:  
**T24085**  
 Client  
 Project Name  
 521 Sandy Bay Road  
 Project Address  
 521 Sandy Bay Rd,  
 Sandy Bay 7005

Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: <b>ARTISTS IMPRESSION 02</b>		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A5.02</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



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Issue ID	Issue Name	Date
A	DEVELOPMENT APPLICATION	5/5/2025
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: <b>ARTISTS IMPRESSION 03</b>		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A5.03</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		



PRE-DEVELOPMENT STREETScape



POST DEVELOPMENT STREETScape

OUTLINE OF PROPOSED PAVILION  
BEHIND FOLIAGE TO FRONT  
BOUNDARY

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Issue ID	Issue Name	Date
B	REVISED DAAPPLICATION	30/10/2025
C	COUNCIL & HERITAGE RFI	15/1/2026

Drawing Title: <b>STREETScape STUDY</b>		
Scale:	Drawing No.:	Revision:
Date: 15/1/2026	<b>A5.04</b>	<b>C</b>
Drawn By: JM		
Checked By: TB		
Status: DA		