

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0606

Address

423 SANDY BAY RD SANDY BAY TAS
7005

Titles

7026/4

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles

Total Area: 0m²

7026/4

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Hussam Wassouf and Roby Mahmoud

Enter the date that the last owner, joint or part owner was notified

20/11/2025

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section - see further information below

Unsure

If yes, has written Crown Land consent been obtained?

Yes - upload written consent

No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section

Unsure

If yes, has written consent been obtained from the Council General Manager?

Yes - upload written consent

No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

Yes

No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

Yes

No

Unsure

Is the proposed use or development permitted or discretionary?

Permitted

Discretionary

Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Proposed house extension and renovations to lower floor
Addition of Carport to existing driveway

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
 No - continue to the next section
 Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

190000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	20 Nov 2025	Architectural Plans	Development Application Proposal	Aidan Peterson
1	20 Nov 2025	Certificate of Responsible Designer and TasWater Certification (Form 35)	Form 35	Alexander Hill
1	20 Nov 2025	Property Title Document	FolioPlan-7026-4.pdf	Aidan Peterson
1	20 Nov 2025	Property Title Document	FolioText-7026-4.pdf	Aidan Peterson
1	20 Nov 2025	Property Title Document	ScheduleOfEasements-7026-4.pdf	Aidan Peterson

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58



ORAMATIS

DEVELOPMENT APPLICATION

423 Sandy Bay Rd Sandy Bay 7005

423 Sandy Bay Rd House Extension

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	SITE PLAN	B
DA03	EXISTING FLOOR PLAN	
DA04	PROPOSED FLOOR PLAN	B
DA05	NORTH ELEVATION	B
DA06	EAST ELEVATION	B
DA07	WEST ELEVATION	
DA08	3D VIEWS	



1 LOCATION PLAN/SATELLITE IMAGERY
1:1000



GENERAL NOTES

GENERAL
© REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE CONSENT OF ORAMATIS STUDIO

DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 7026/4

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N*

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: H1

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS
ADDITIONAL GROUND FLOOR SITE COVERAGE: 67.7m²
TOTAL COVERAGE AREA: 359.3m²
SITE AREA : 1090m²
SITE COVERAGE: 32.96%



214 Elizabeth Street, Hobart TAS 7000
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e: admin@oramatis.com.au
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REV ID	DESCRIPTION	DATE
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PROJECT
House Extension 423 Sandy Bay Rd Sandy Bay 7005

CLIENT
Harry & Roby

REVISION	DATE
	19/01/2026

PROJECT ID
2536

CHECKED BY
A.HILL

SCALE
AS SHOWN @ A3

DRAWN BY
A.PETERSON

PAGE

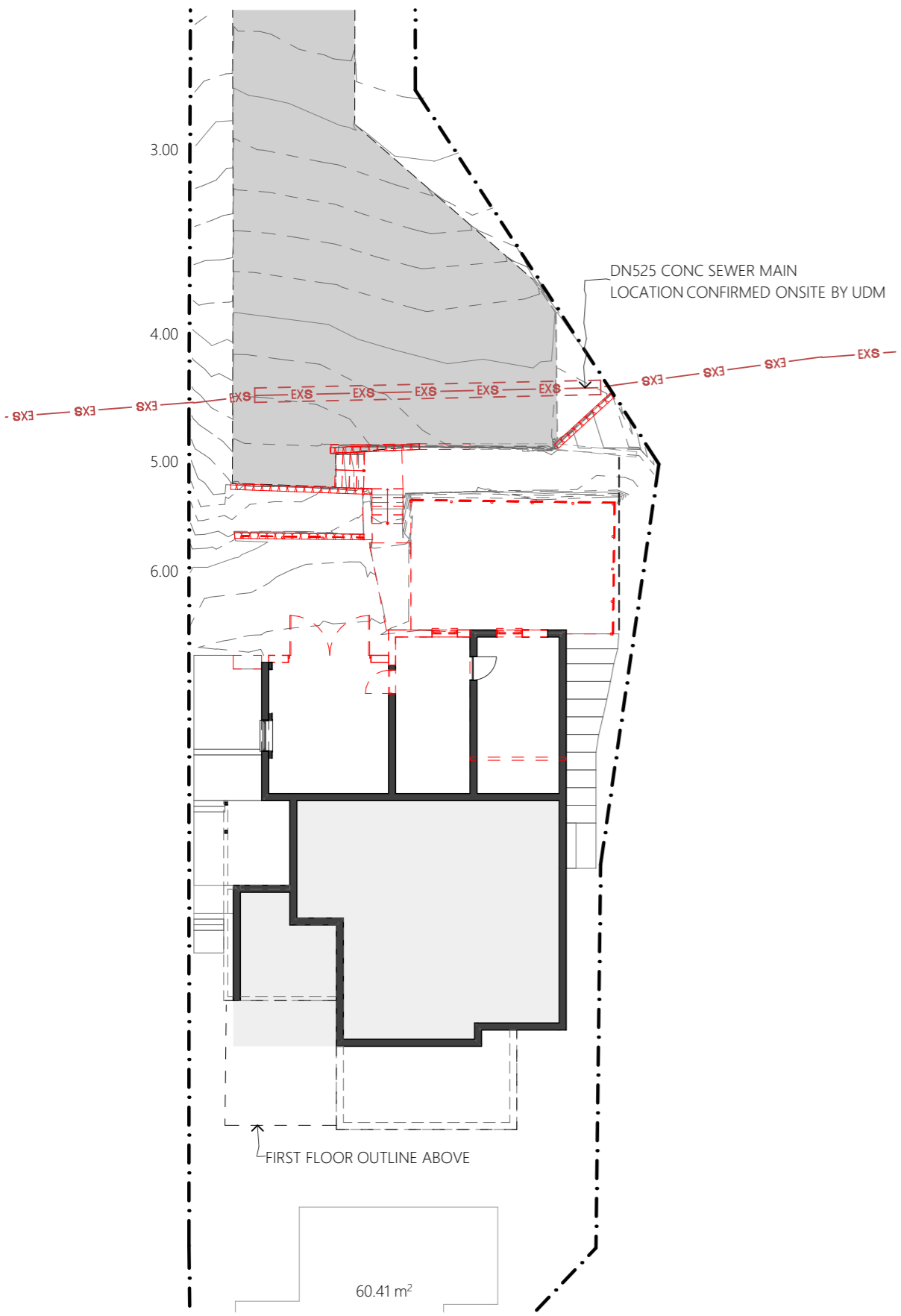
DA01

DRAWING

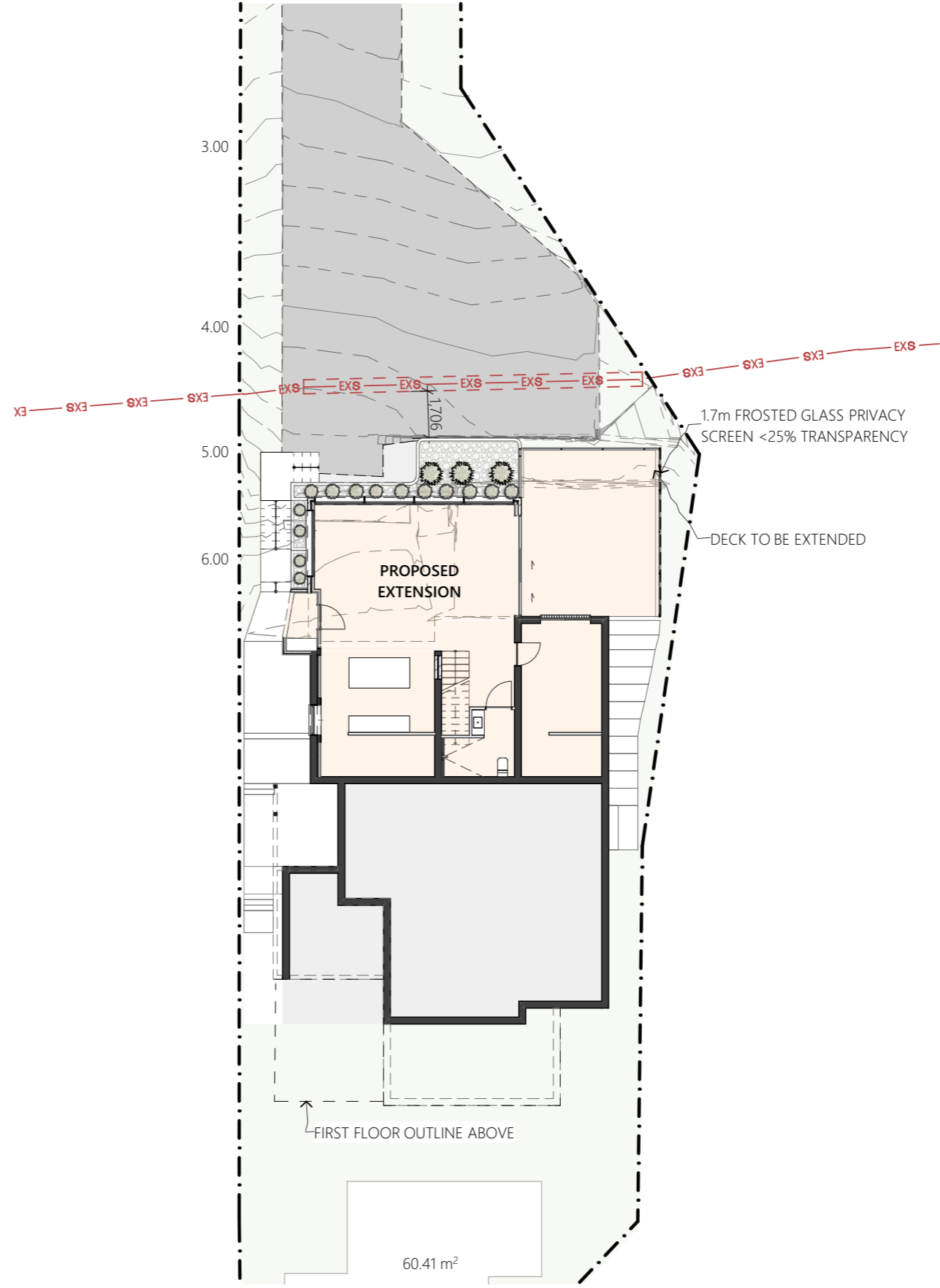
NOTES & SITE LOCATION PLAN

NORTH





1 - EXISTING SITE PLAN 1:200



3 - PROPOSED SITE PLAN 1:200

- LEGEND**
- WM EXISTING WATER METER
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - EASEMENT SETBACK
 - S** PROPOSED Ø100 UPVC SEWER LINE
 - SW** PROPOSED Ø100 UPVC STORMWATER LINE
 - W** PROPOSED Ø100 UPVC WATER LINE
 - EXS** SEWER MAIN
 - EXS** EXISTING SEWER LINE
 - EXSW** STORMWATER MAIN
 - EXSW** EXISTING STORMWATER LINE
 - EXW** WATER MAIN
 - EXW** EXISTING WATER LINE
 - [Red Dashed Box]** ELEMENTS TO BE DEMOLISHED & REMOVED
 - [Grey Box]** EXISTING ELEMENTS TO BE RETAINED
 - [Orange Box]** PROPOSED WORKS
- EXISTING SITE COVERAGE:** 291.6m²
PROPOSED SITE COVERAGE: 359.3m²
SITE AREA: 1090m²

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A	PLN - RFI 1	18/12/2025
B	PLN - RFI 2	13/01/2026

PROJECT
 House Extension
 423 Sandy Bay Rd Sandy Bay 7005

CLIENT
 Harry & Roby

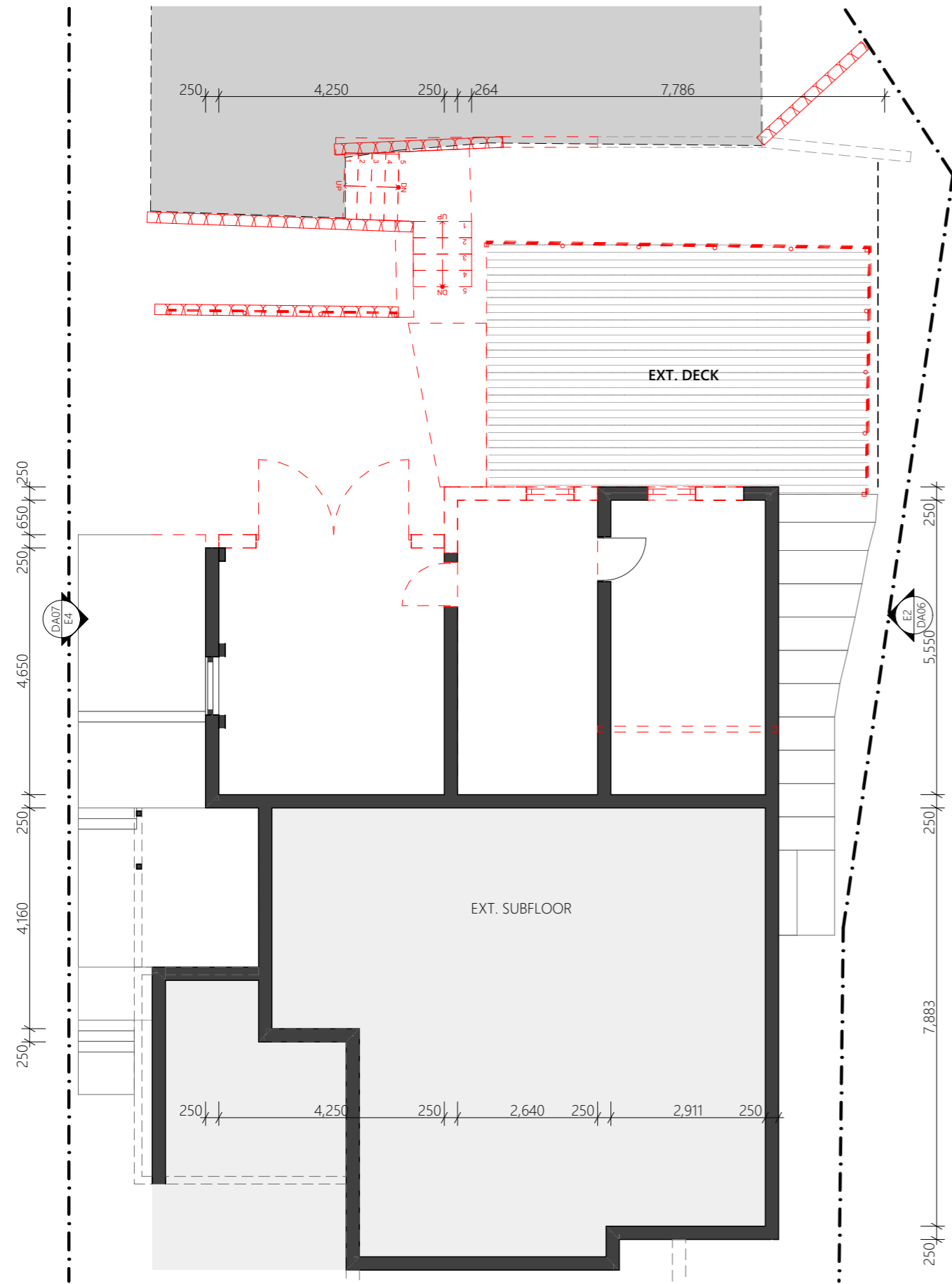
REVISION	DATE	SCALE
B	19/01/2026	AS SHOWN @ A3

PROJECT ID	CHECKED BY	DRAWN BY
2536	A.HILL	A.PETERSON

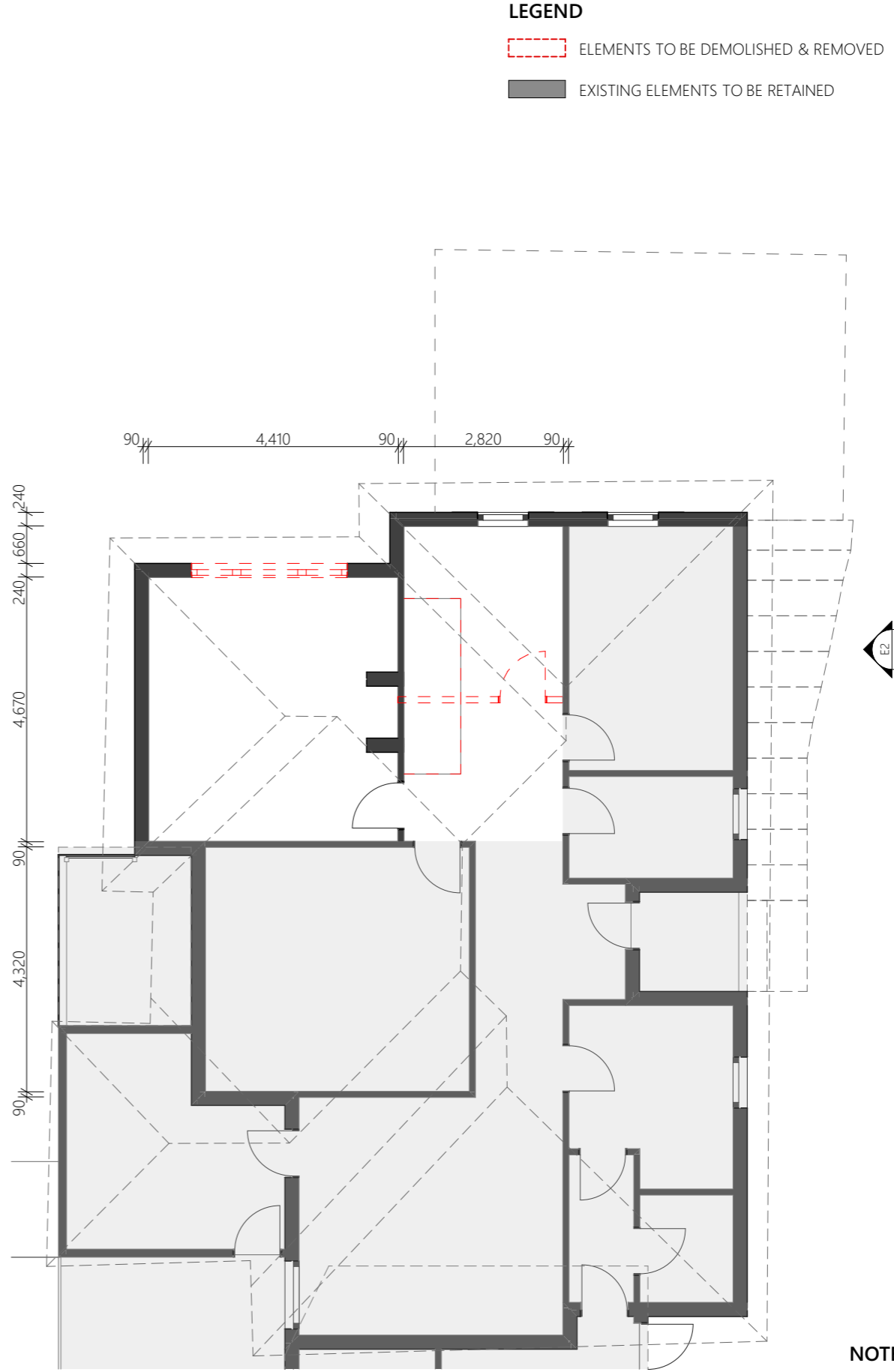
PAGE
 DA02

DRAWING
 SITE PLAN

NORTH



1 - EXISTING GROUND FLOOR PLAN
1:100



2 - EXISTING FIRST FLOOR PLAN
1:100

LEGEND

- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE

NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME
AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS H1

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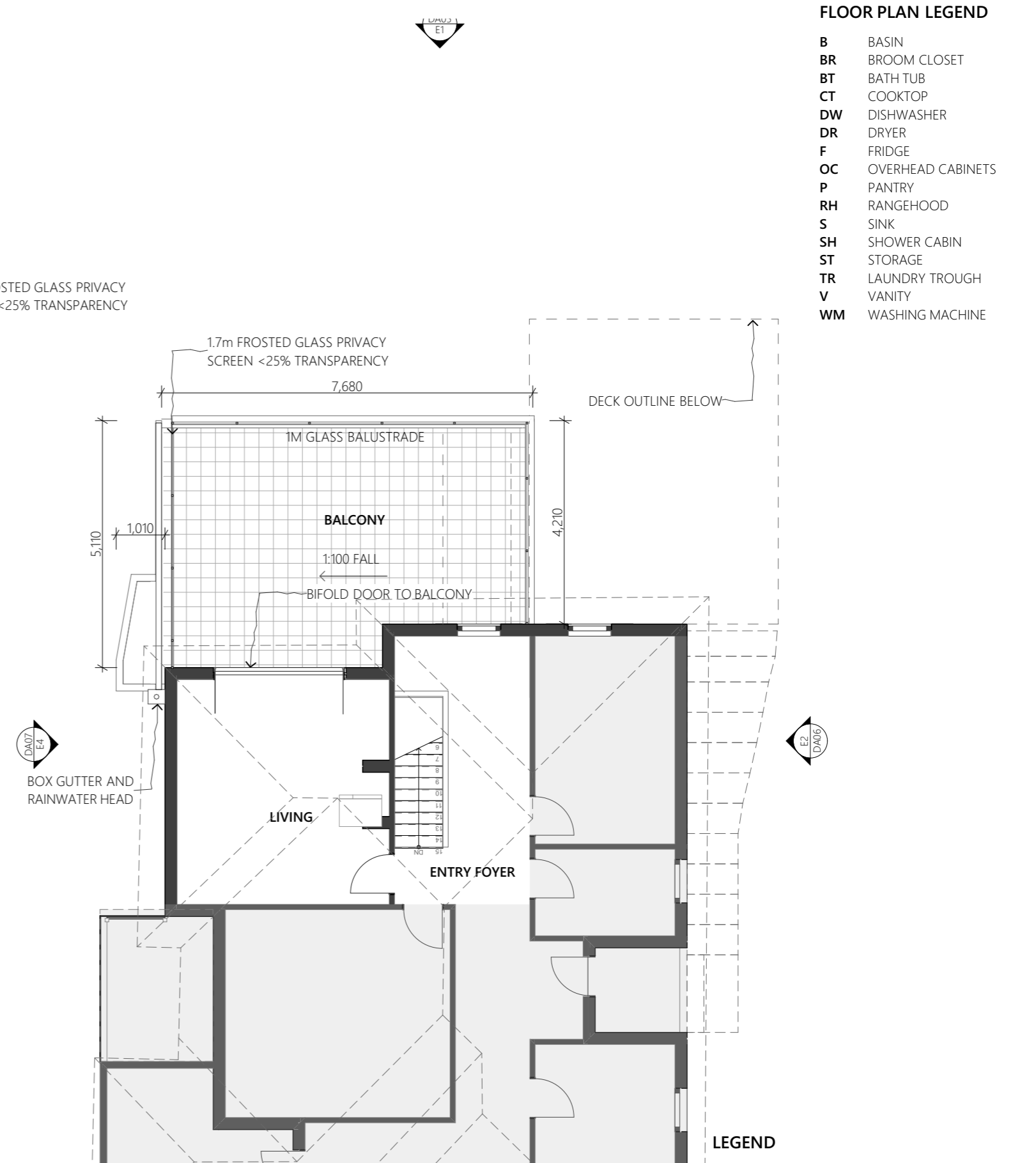
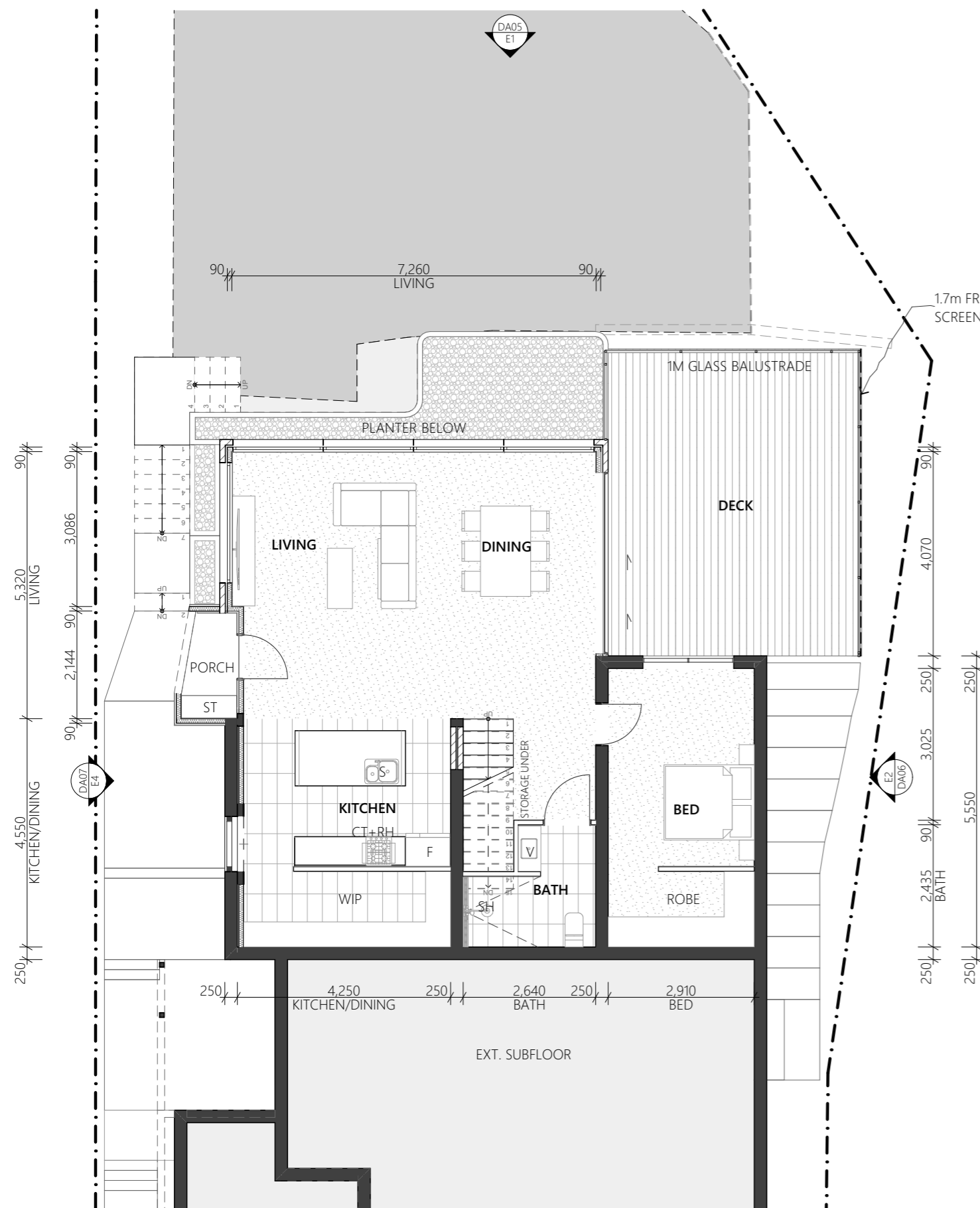
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PROJECT	REVISION	DATE	SCALE
House Extension 423 Sandy Bay Rd Sandy Bay 7005		19/01/2026	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Harry & Roby	2536	A.HILL	A.PETERSON

PAGE	NORTH
DA03	
DRAWING	
EXISTING FLOOR PLAN	

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
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- ST** STORAGE
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- V** VANITY
- WM** WASHING MACHINE



LEGEND

ELEMENTS TO BE DEMOLISHED & REMOVED

EXISTING ELEMENTS TO BE RETAINED

1 PROPOSED GROUND FLOOR PLAN
1:100

2 PROPOSED FIRST FLOOR PLAN
1:100

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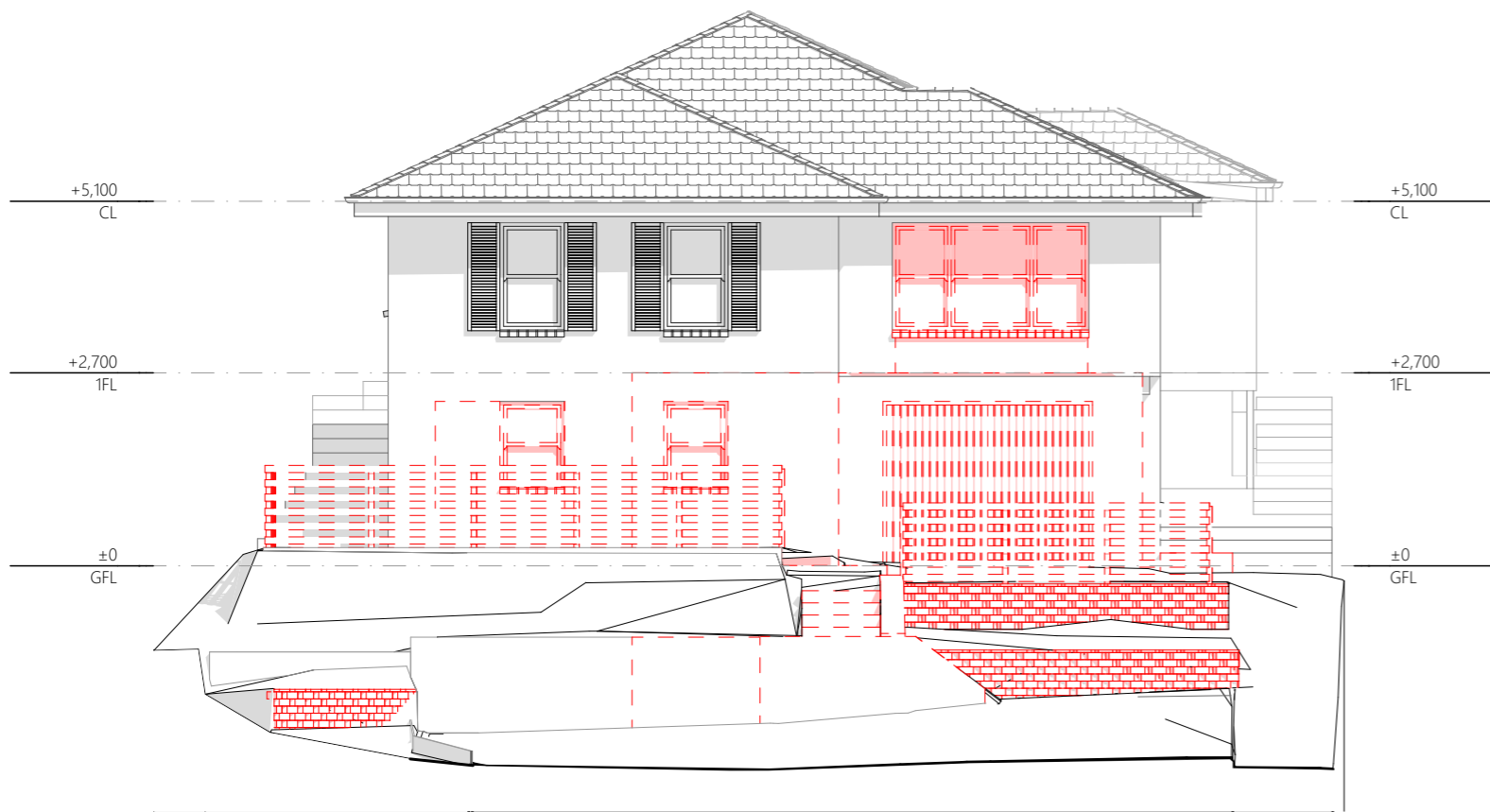
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CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
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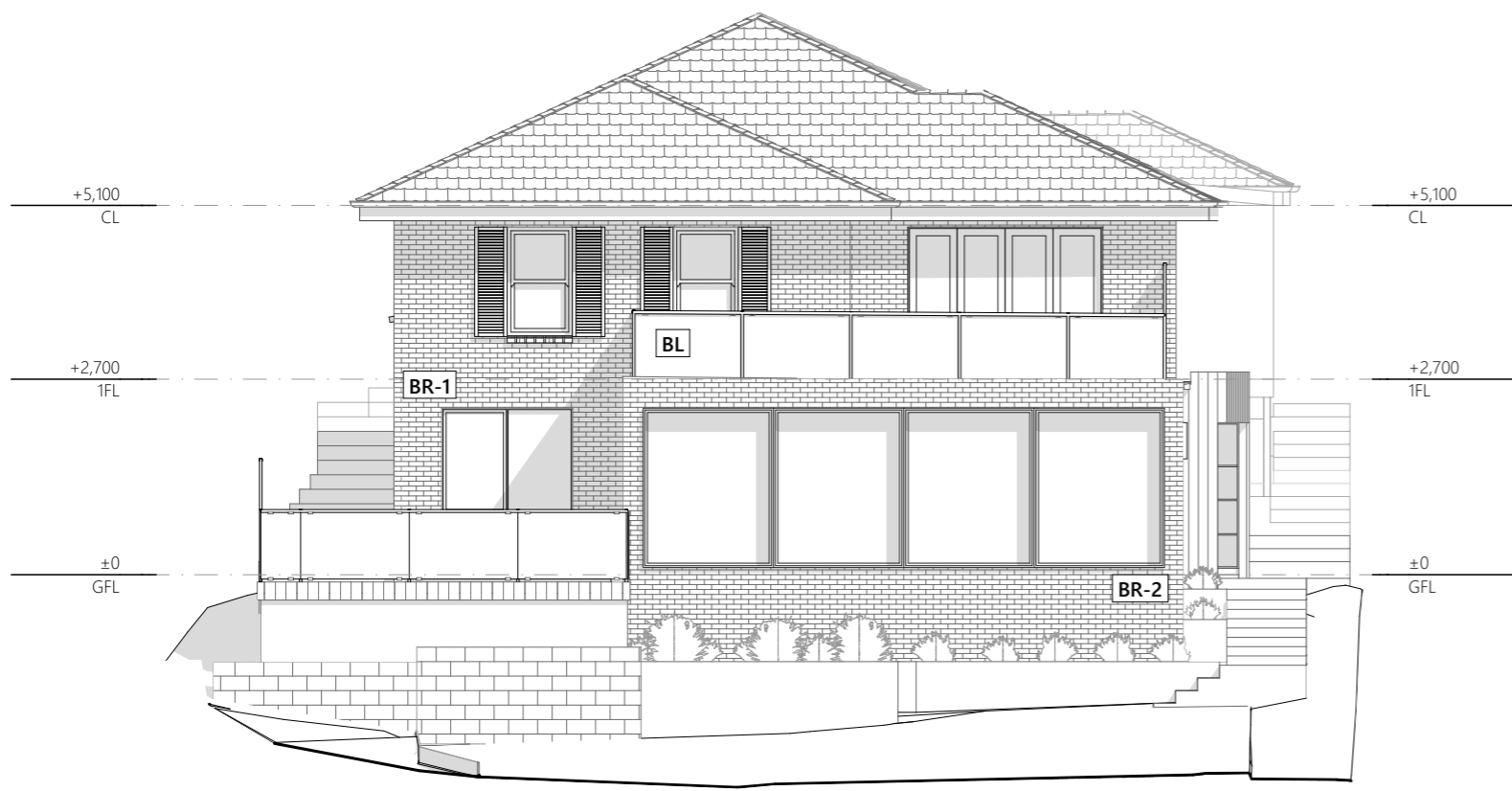
PAGE	NORTH
DA04	

DRAWING

PROPOSED FLOOR PLAN



E1
-
EXISTING NORTH ELEVATION
1:100



E1
-
PROPOSED NORTH ELEVATION
1:100

MATERIAL & FINISHES

WALL

- BR-1** EXISTING BRICK VENEER WALL
COLOUR: *EXT.*
- BR-2** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- CL-2** JAMES HARDIE FC PANEL
COLOUR: *MONUMENT TBC*
- CL-3** TRIMDEK STEEL WALL SHEET
COLOUR: *MONUMENT TBC*

MISC.

- BL** STEEL FRAMED GLASS BALUSTRADE
FINISH: *STAINLESS TBC*
- PS** STEEL FRAMED GLASS PRIVACY SCREEN
FINISH: *FROSTED GLASS <25% TBC*

COLUMN

- C1** TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*
- C2** SHS 90 STEEL COLUMN
FINISH: *POWDERCOAT TBC*

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

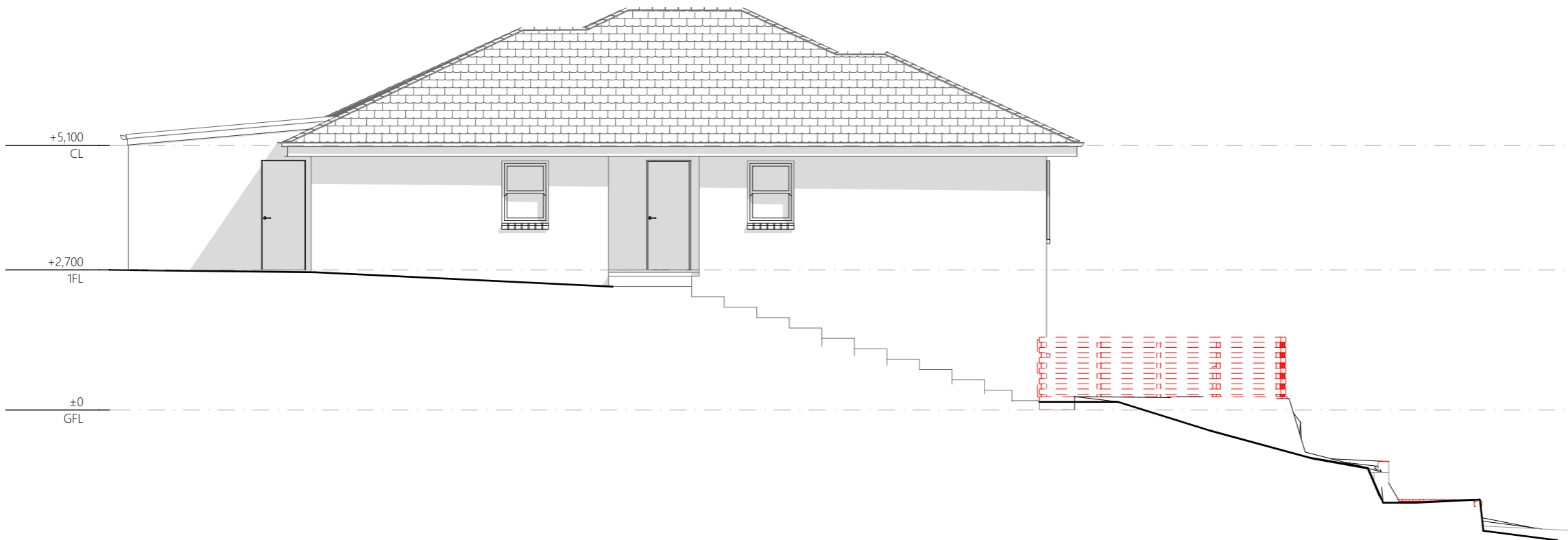
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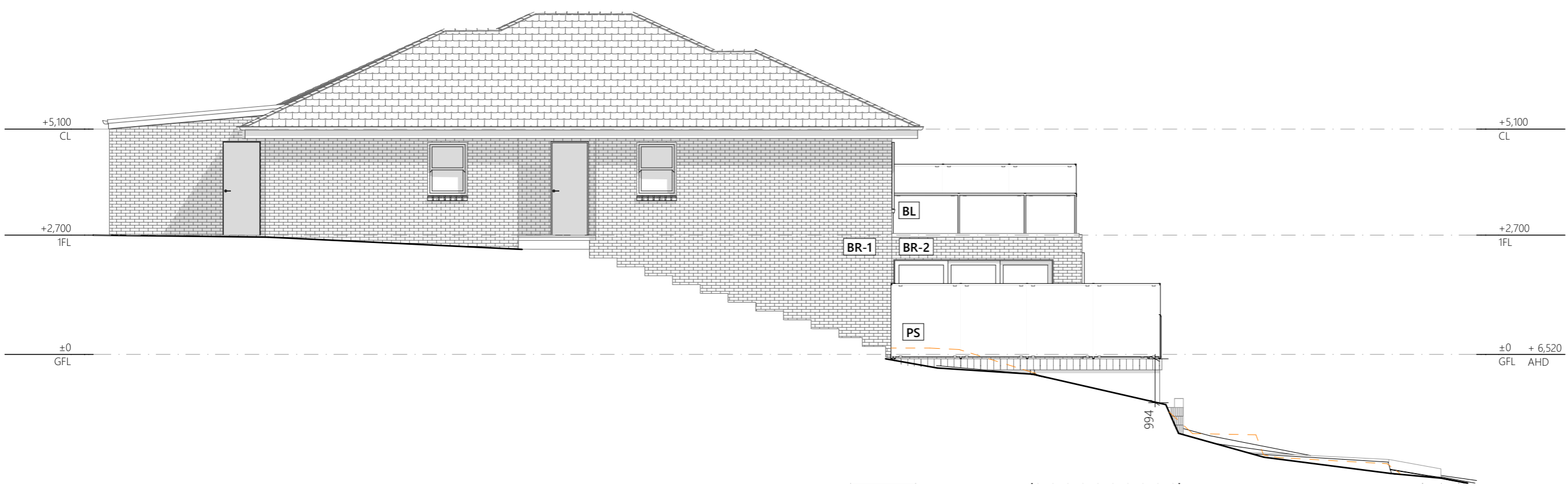
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PROJECT	REVISION	DATE	SCALE
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CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Harry & Roby	2536	A.HILL	A.PETERSON

PAGE	NORTH
DA05	
DRAWING	
NORTH ELEVATION	



E2 - EXISTING EAST ELEVATION
1:100



E2 - PROPOSED EAST ELEVATION
1:100

MATERIAL & FINISHES

- WALL**
- BR-1** EXISTING BRICK VENEER WALL
COLOUR: *EXT.*
 - BR-2** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
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CLIENT	Harry & Roby

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PROJECT ID	2536	CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	A.PETERSON

MATERIAL & FINISHES

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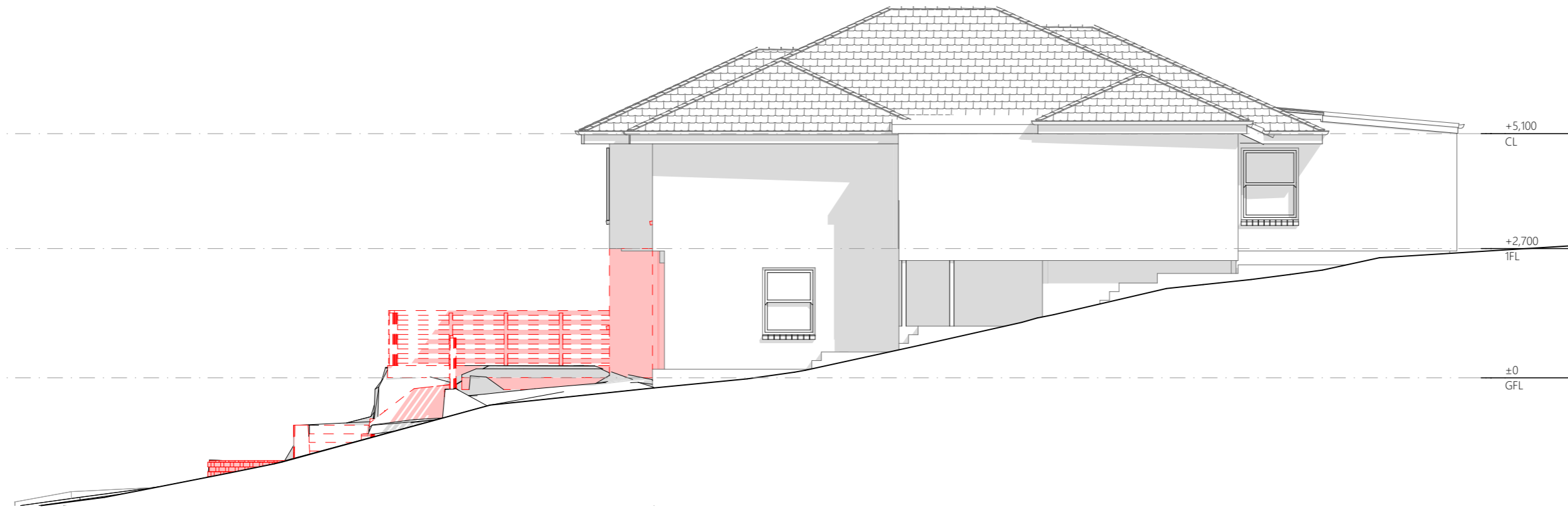
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COLUMN

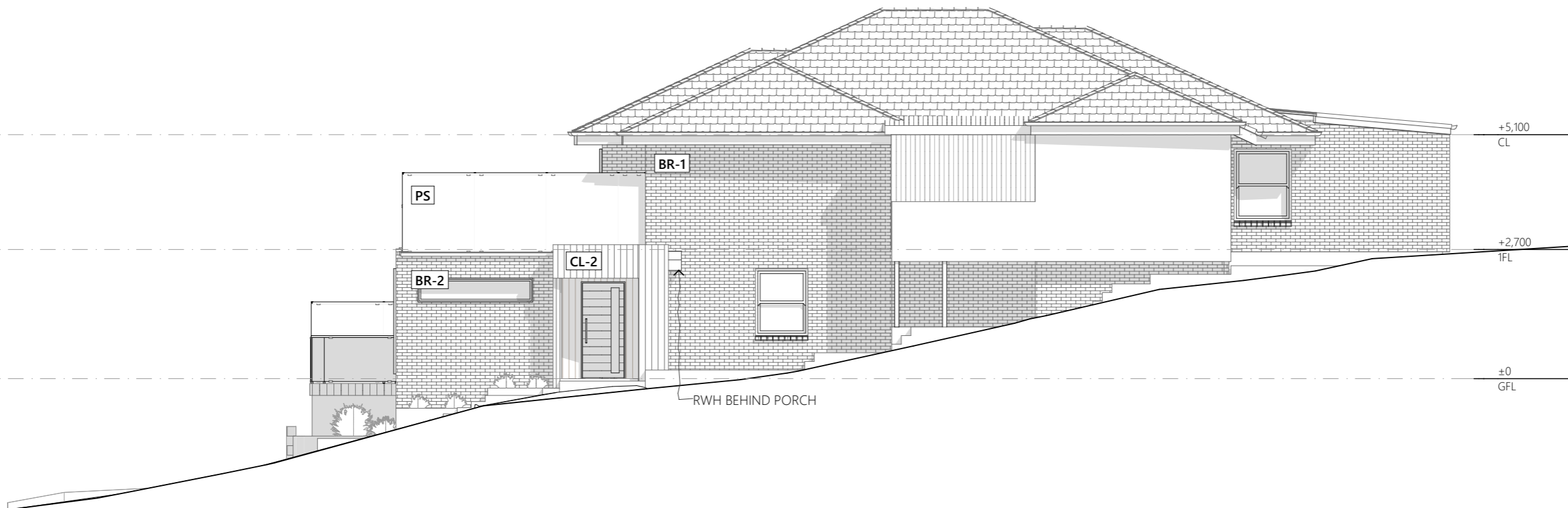
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FINISH: *POWDERCOAT TBC*

NOTE:

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2
-
EXISTING WEST ELEVATION
1:100



E4
-
PROPOSED WEST ELEVATION
1:100

GENERAL NOTES

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PAGE	NORTH
DA07	
DRAWING	
WEST ELEVATION	



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REV ID	DESCRIPTION	DATE
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REV ID	DESCRIPTION	DATE

PROJECT

PROJECT
House Extension 423 Sandy Bay Rd Sandy Bay 7005
CLIENT
Harry & Roby

REVISION

REVISION
PROJECT ID
2536

DATE

DATE
19/01/2026
CHECKED BY
A.HILL

SCALE

SCALE
AS SHOWN @ A3
DRAWN BY
A.PETERSON

PAGE

PAGE
DA08
DRAWING
3D VIEWS

NORTH

NORTH



18 December 2025

Hobart City Council
16 Elizabeth Street, Hobart
GPO Box 503
Hobart TAS 7001

To whom this may concern,

REGARDING: Proposed extension and Carport
ADDRESS: 423 Sandy Bay Rd, Sandy Bay.

1. On a site plan/s please confirm the existing and proposed site coverage. This is the total area of the lot covered by roofed buildings, including the ancillary dwelling and any carports and outbuildings.

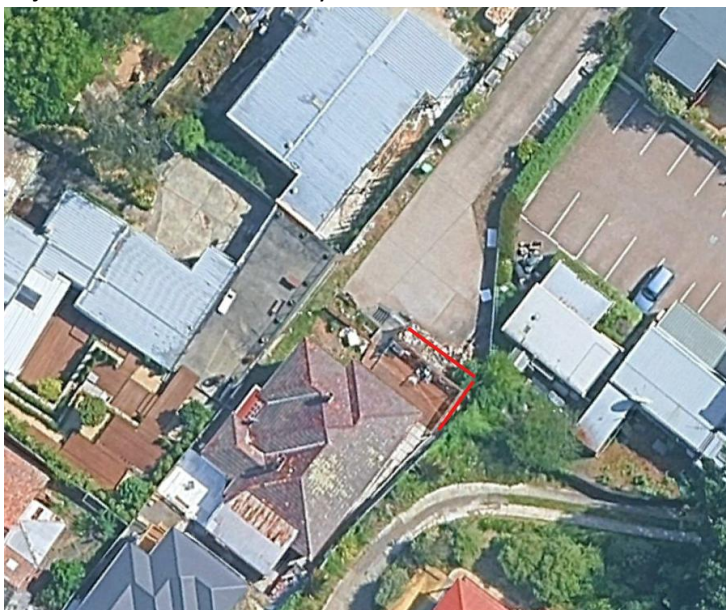
Response:

Additional note has been added to page DA02 specifying the existing and the proposed site coverage including outbuildings.

2. Confirm whether any measures are proposed to minimise overlooking of the adjoining lot from the north-east corner of the proposed ground floor deck, where the surface level is over 1m from existing ground level. If so please provide details or explain why it would not be required.

Response:

The proposed ground floor deck has a corner section of approximately 1mx0.5m where the surface level is over 1m from existing ground level, however it does not exceed any more than 1.1m above the ground level at any point. As can be seen on the satellite image and site photos the boundary fenceline is heavily vegetated on the neighbouring side, with little to no access to this area of the property adjacent the side boundary:



Any minor overlooking of adjacent property would be negated by the inaccessibility to this area and privacy created by established vegetation.



Taswater:

1. Amended plans which show the following:
 - a. The easement removed and the exact location of the DN525mm diameter sewer trunk main accurately dimensioned on the plans relative to a known datum and the proposed carport.
 - b. A note added on the plan stating how the pipe was located (e.g. TasWater infrastructure located on site by asset location contractor).
 - c. The proposed carport including eaves and gutters and footings must be located no closer than 1.0 metre to the outside of the TasWater sewer trunk main, and;
 - d. Drawing title block(s) amended to show revision number, revision date & revision description.

Response:

1. The exact location of the sewer trunk main has been determined by Utility Detection & Mapping. PDF of their survey has been provided. This has been referenced to the site boundary corner nearest the carport in the project. The located pipe has been noted and shown on *DA02 Site Plan*.

The proposed carport has been designed and located to make sure the outer extent of footings is greater than 1m from Taswater infrastructure. The carport roof framing expands over the sewer main, however it has been specified that all connections for roof framing are to be bolted together to allow for removal of the roof if vertical access to the main is required. Bolted connection is specified in *D01* on page *DA02*. Considering that the main runs underneath neighbouring buildings, slabs and driveways, we believe the proposed removable overhead structure should be sufficient for any access/loading requirements.

Title blocks have been updated with current revisions.

Yours sincerely,

Alexander Hill

Director

Oramatis

E: alex@oramatis.com.au

M: 0428 854 787



ORAMATIS

DEVELOPMENT APPLICATION

423 Sandy Bay Rd Sandy Bay 7005

423 Sandy Bay Rd House Extension

ID	NAME	REV
	COVER PAGE	
DA01	NOTES & SITE LOCATION PLAN	
DA02	SITE PLAN	01 - WIP
DA03	EXISTING FLOOR PLAN	
DA04	PROPOSED FLOOR PLAN	
DA05	NORTH ELEVATION	
DA06	EAST ELEVATION	01 - WIP
DA07	WEST ELEVATION	
DA08	3D VIEWS	



1 LOCATION PLAN/SATELLITE IMAGERY
1:1000



GENERAL NOTES

GENERAL
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DO NOT SCALE FROM THIS DRAWING

THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS

ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION

ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED

MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS

PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER

WORKPLACE HEALTH AND SAFETY
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

LAND TITLE REFERENCE
VOLUME (PLAN): 7026/4

DESIGN WIND SPEED
WIND LOADING TO AS 4055: N*

SOIL CLASSIFICATION
SOIL CLASSIFICATION TO AS 2870: H1

CLIMATE ZONE FOR THERMAL DESIGN
CLIMATE ZONE TO BCA FIGURE 1.1.4: 7

BUSHFIRE PRONE AREA BAL RATING
BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: N/A

CORROSION ENVIRONMENT
CORROSION ENVIRONMENT TO AS/NZS 2312: N/A

KNOWN SITE HAZARDS: n/a

SCHEDULE OF AREAS
ADDITIONAL GROUND FLOOR SITE COVERAGE: 67.7m²
TOTAL COVERAGE AREA: 359.3m²
SITE AREA : 1090m²
SITE COVERAGE: 32.96%



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REVISION

REV ID	DESCRIPTION	DATE

PROJECT

House Extension 423 Sandy Bay Rd Sandy Bay 7005
CLIENT Harry & Roby

REVISION

REVISION	DATE
	18/12/2025
PROJECT ID 2536	CHECKED BY A.HILL

SCALE

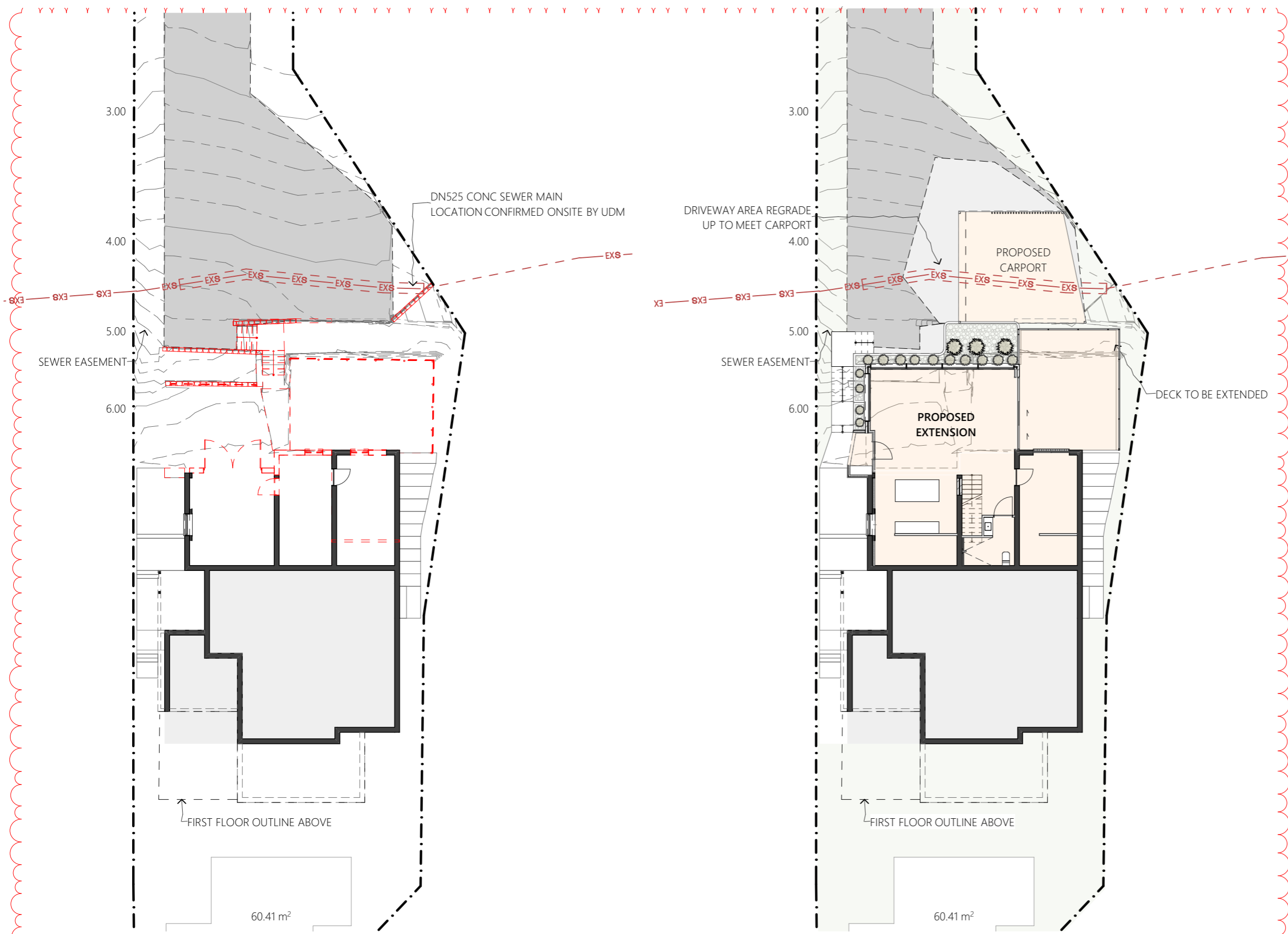
AS SHOWN @ A3
DRAWN BY A.PETERSON

PAGE

DA01
DRAWING
NOTES & SITE LOCATION PLAN

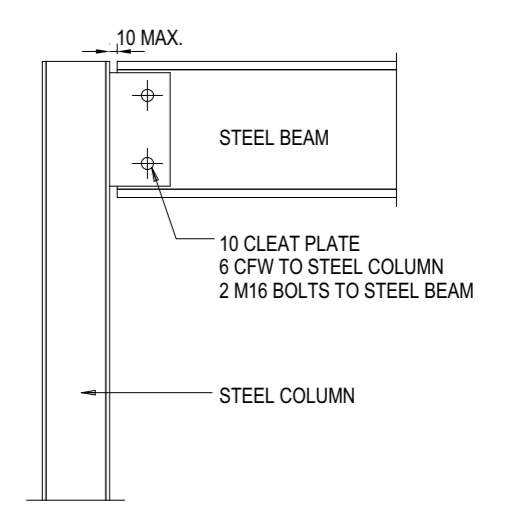
NORTH





- LEGEND**
- WM EXISTING WATER METER
 - SLC SEWER LOT CONNECTION
 - SWLC STORMWATER LOT CONNECTION
 - EASEMENT SETBACK
 - S— PROPOSED Ø100 UPVC SEWER LINE
 - SW— PROPOSED Ø100 UPVC STORMWATER LINE
 - W— PROPOSED Ø100 UPVC WATER LINE
 - EXS— SEWER MAIN
 - EXS— EXISTING SEWER LINE
 - EXSW— STORMWATER MAIN
 - EXSW— EXISTING STORMWATER LINE
 - EXW— WATER MAIN
 - EXW— EXISTING WATER LINE
 - [Red dashed box] ELEMENTS TO BE DEMOLISHED & REMOVED
 - [Grey box] EXISTING ELEMENTS TO BE RETAINED
 - [Orange box] PROPOSED WORKS

EXISTING SITE COVERAGE: 291.6m²
 PROPOSED SITE COVERAGE: 359.3m²
 SITE AREA: 1090m²



1 EXISTING SITE PLAN 1:200

3 PROPOSED SITE PLAN 1:200

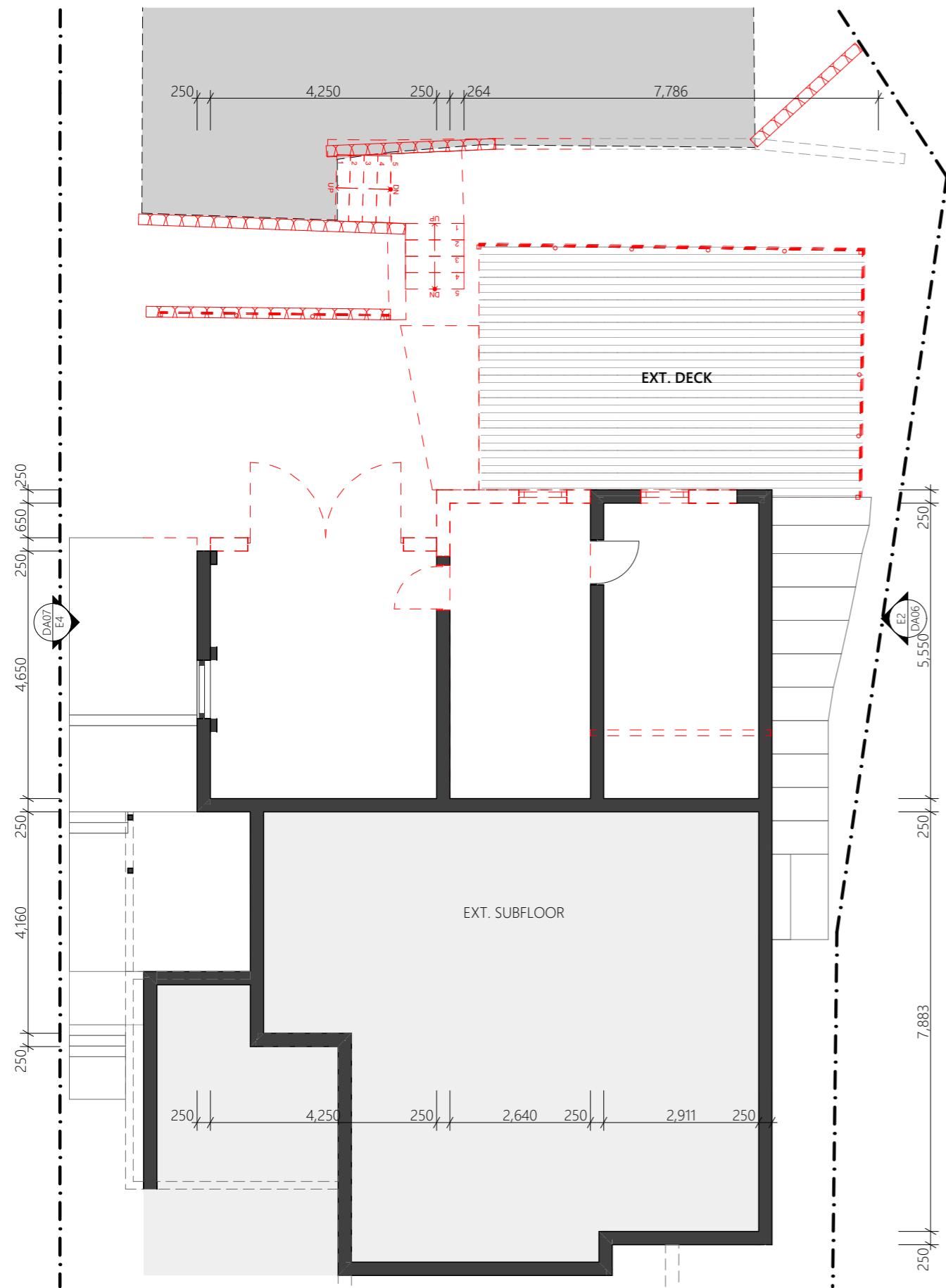
D01 CARPORT FRAMING CONNECTION 1:20

REV ID	DESCRIPTION	DATE
01 - WIP	PLN - RFI 1	Work in Progress

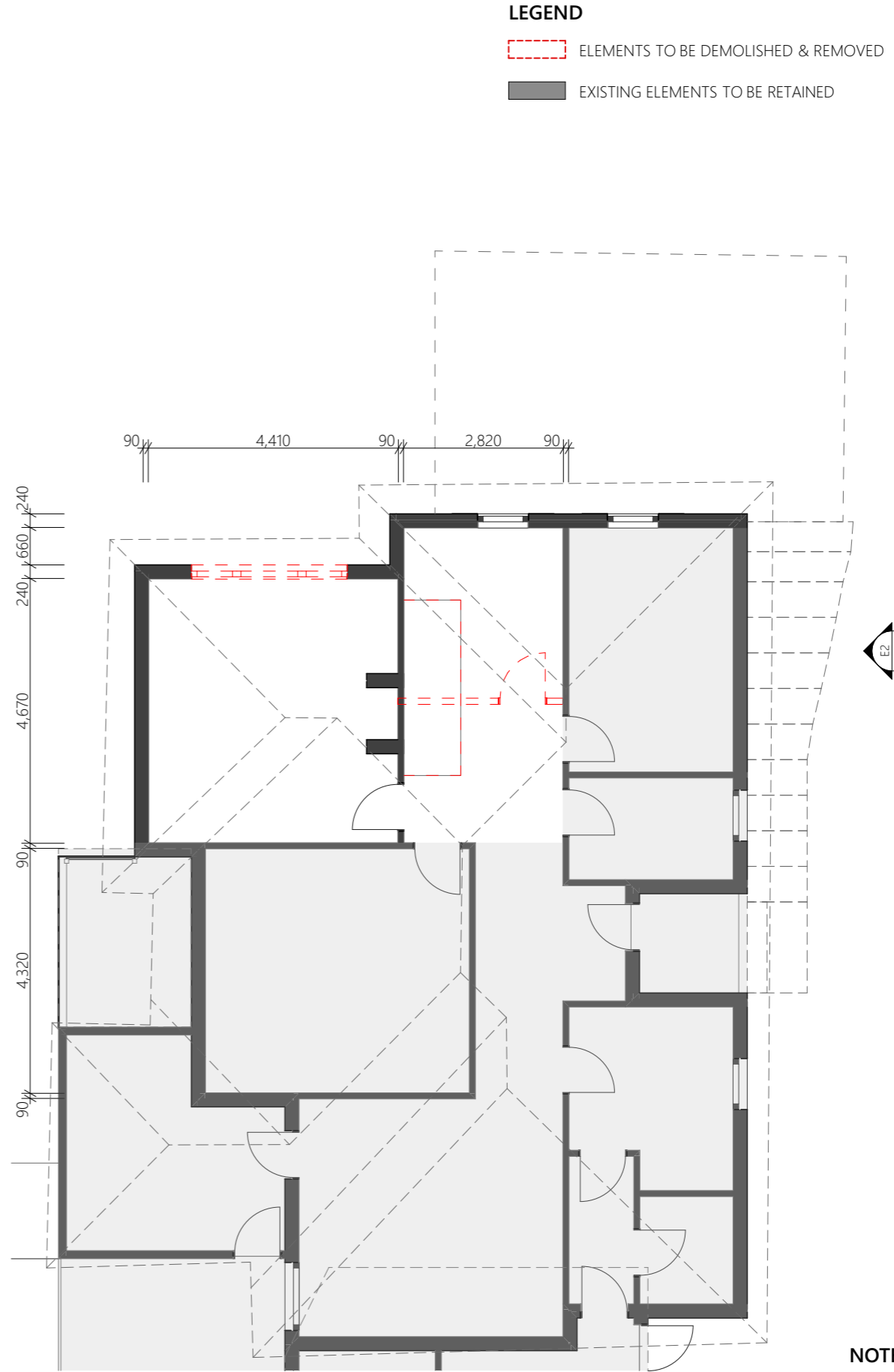
PROJECT	CLIENT
House Extension 423 Sandy Bay Rd Sandy Bay 7005	Harry & Roby

REVISION	DATE	PROJECT ID
01 - WIP	18/12/2025	2536

SCALE	DRAWN BY
AS SHOWN @ A3	A.PETERSON



1 - EXISTING GROUND FLOOR PLAN
1:100



2 - EXISTING FIRST FLOOR PLAN
1:100

LEGEND

- ELEMENTS TO BE DEMOLISHED & REMOVED
- EXISTING ELEMENTS TO BE RETAINED

FLOOR PLAN LEGEND

- B** BASIN
- BR** BROOM CLOSET
- BT** BATH TUB
- CT** COOKTOP
- DW** DISHWASHER
- DR** DRYER
- F** FRIDGE
- OC** OVERHEAD CABINETS
- P** PANTRY
- RH** RANGEHOOD
- S** SINK
- SH** SHOWER CABIN
- ST** STORAGE
- TR** LAUNDRY TROUGH
- V** VANITY
- WM** WASHING MACHINE

NOTE
ALL DIMENSIONS ARE TO THE WALL FRAME
AJ MAX. SPACING @ 4000-6000mm
NOTE: SOIL CLASS H1

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REV ID	DESCRIPTION	DATE

PROJECT	REVISION	DATE	SCALE
House Extension 423 Sandy Bay Rd Sandy Bay 7005		18/12/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Harry & Roby	2536	A.HILL	A.PETERSON

PAGE	NORTH
DA03	
DRAWING	EXISTING FLOOR PLAN

MATERIAL & FINISHES

WALL

- BR-1** EXISTING BRICK VENEER WALL
COLOUR: *EXT.*
- BR-2** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- CL-2** JAMES HARDIE FC PANEL
COLOUR: *MONUMENT TBC*
- CL-3** TRIMDEK STEEL WALL SHEET
COLOUR: *MONUMENT TBC*

MISC.

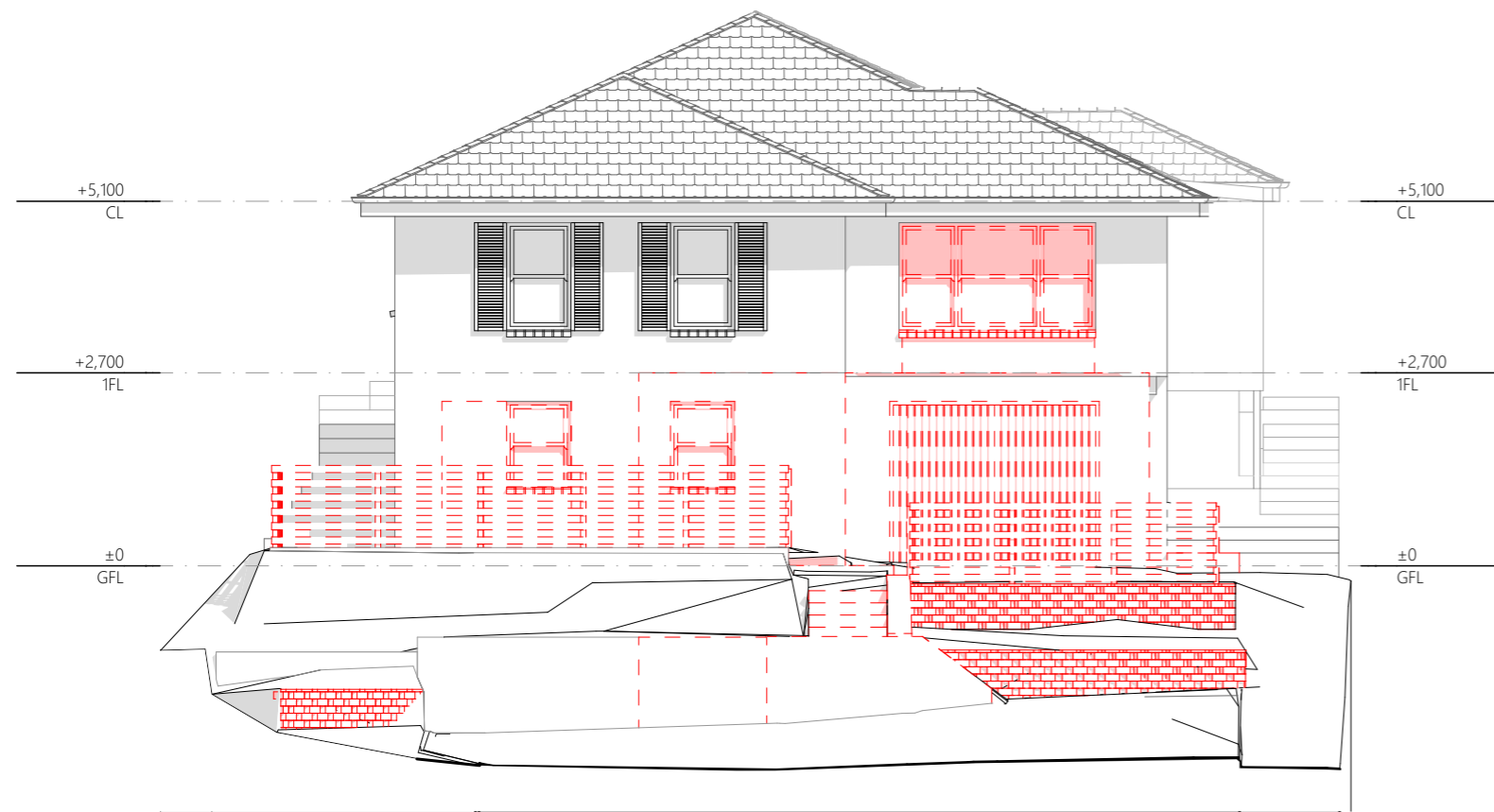
- BL** STEEL FRAMED GLASS BALUSTRADE
FINISH: *STAINLESS TBC*
- PS** STEEL FRAMED GLASS PRIVACY SCREEN
FINISH: *FROSTED GLASS <25% TBC*

COLUMN

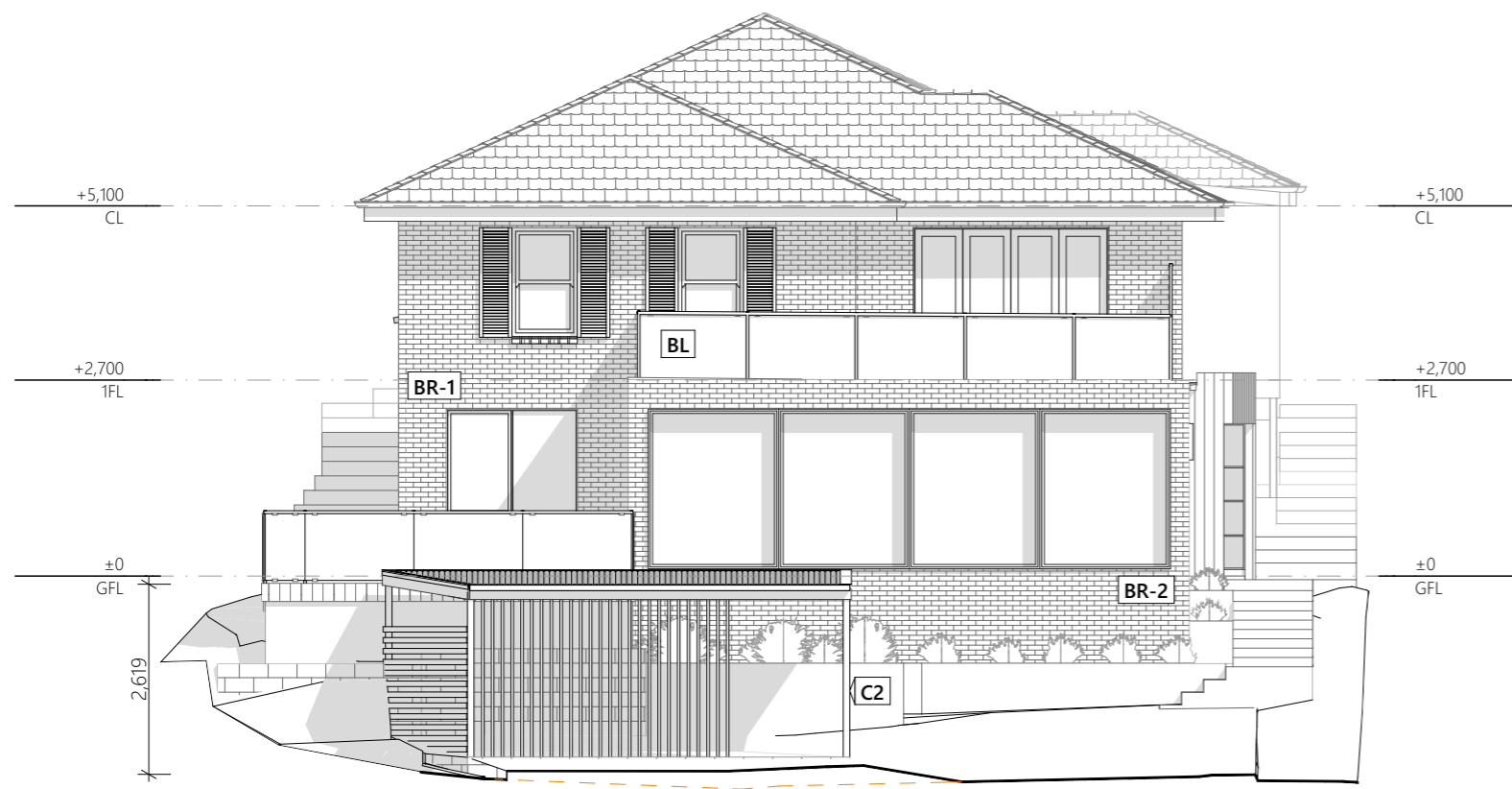
- C1** TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*
- C2** SHS 90 STEEL COLUMN
FINISH: *POWDERCOAT TBC*

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS



E1
EXISTING NORTH ELEVATION
1:100



E1
PROPOSED NORTH ELEVATION
1:100

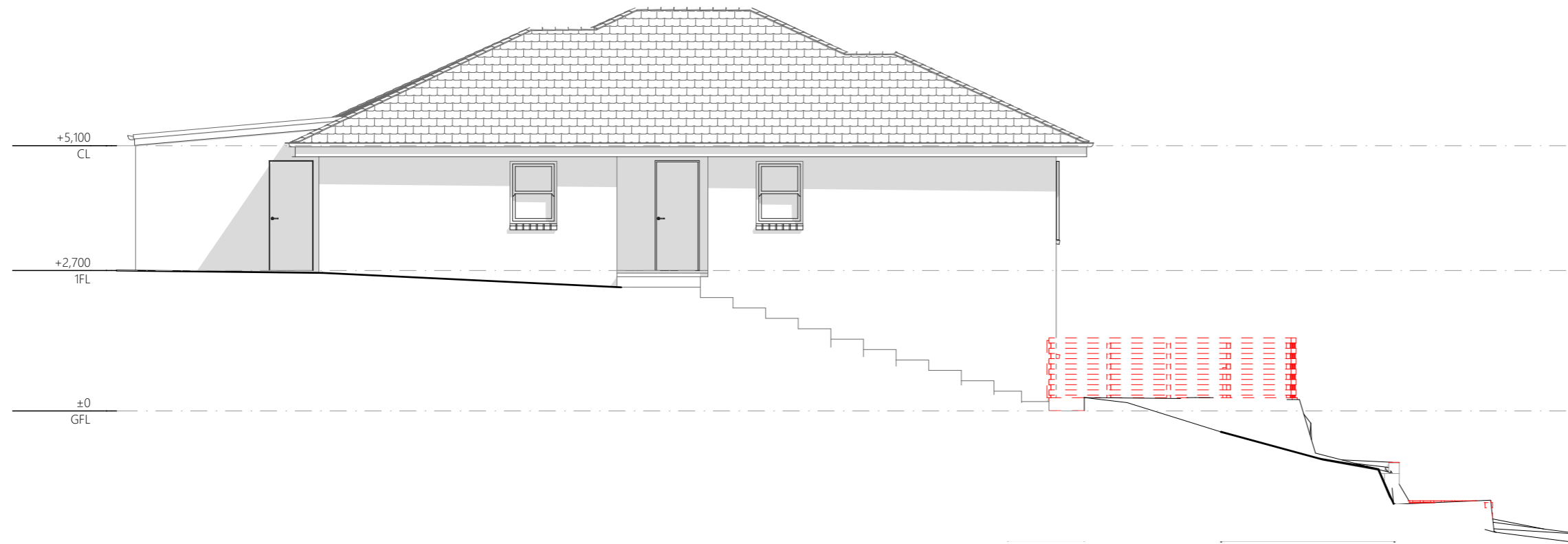
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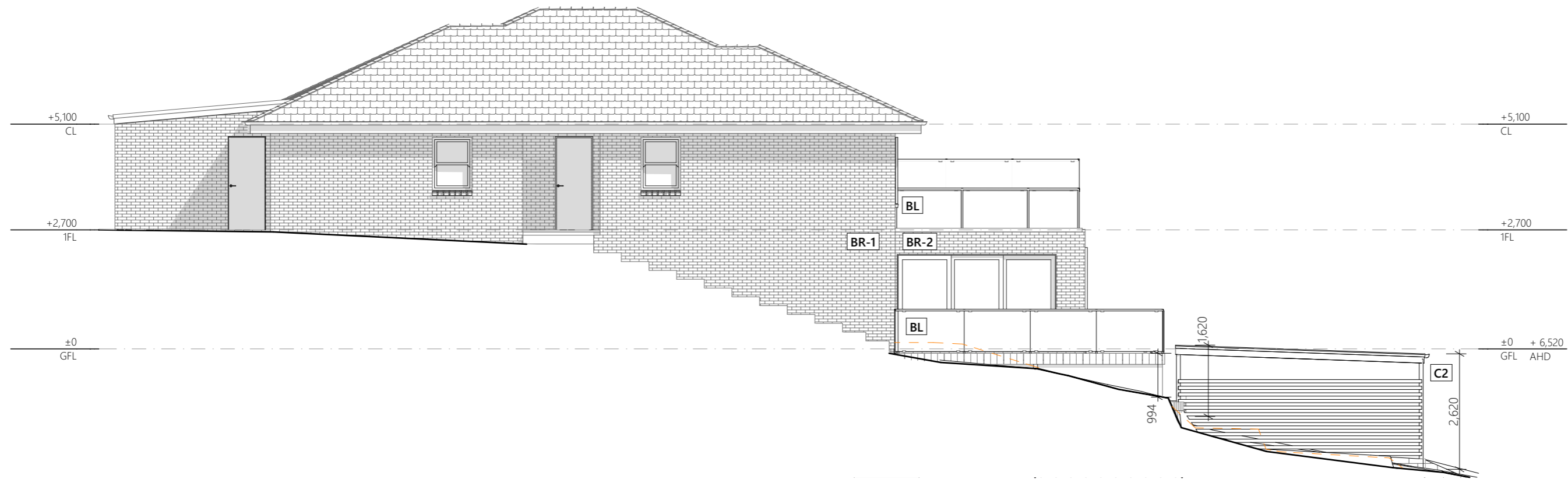
REV ID	DESCRIPTION	DATE

PROJECT	REVISION	DATE	SCALE
House Extension 423 Sandy Bay Rd Sandy Bay 7005		18/12/2025	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
Harry & Roby	2536	A.HILL	A.PETERSON

PAGE	NORTH
DA05	
DRAWING	NORTH ELEVATION



E2
-
EXISTING EAST ELEVATION
1:100



E2
-
PROPOSED EAST ELEVATION
1:100

MATERIAL & FINISHES

WALL

- BR-1** EXISTING BRICK VENEER WALL
COLOUR: *EXT.*
- BR-2** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- CL-2** JAMES HARDIE FC PANEL
COLOUR: *MONUMENT TBC*
- CL-3** TRIMDEK STEEL WALL SHEET
COLOUR: *MONUMENT TBC*

MISC.

- BL** STEEL FRAMED GLASS BALUSTRADE
FINISH: *STAINLESS TBC*
- PS** STEEL FRAMED GLASS PRIVACY SCREEN
FINISH: *FROSTED GLASS <25% TBC*

COLUMN

- C1** TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*
- C2** SHS 90 STEEL COLUMN
FINISH: *POWDERCOAT TBC*

NOTE:

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REV ID	DESCRIPTION	DATE
01 - WIP	PLN - RFI 1	Work in Progress

PROJECT	CLIENT
House Extension 423 Sandy Bay Rd Sandy Bay 7005	Harry & Roby

REVISION	DATE	SCALE
01 - WIP	18/12/2025	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2536	A.HILL	A.PETERSON

PAGE	NORTH
DA06	
DRAWING	
EAST ELEVATION	

MATERIAL & FINISHES

WALL

- BR-1** EXISTING BRICK VENEER WALL
COLOUR: *EXT.*
- BR-2** BRICK VENEER WALL
COLOUR: *BRICK SELECTION TBC*
- CL-2** JAMES HARDIE FC PANEL
COLOUR: *MONUMENT TBC*
- CL-3** TRIMDEK STEEL WALL SHEET
COLOUR: *MONUMENT TBC*

MISC.

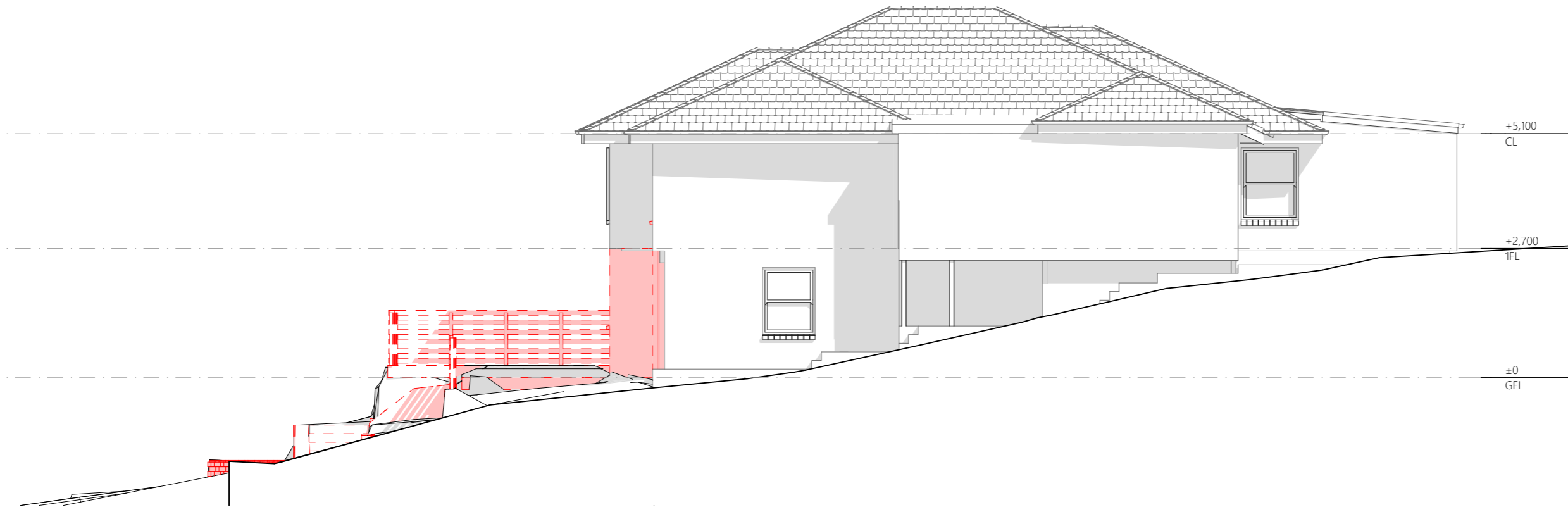
- BL** STEEL FRAMED GLASS BALUSTRADE
FINISH: *STAINLESS TBC*
- PS** STEEL FRAMED GLASS PRIVACY SCREEN
FINISH: *FROSTED GLASS <25% TBC*

COLUMN

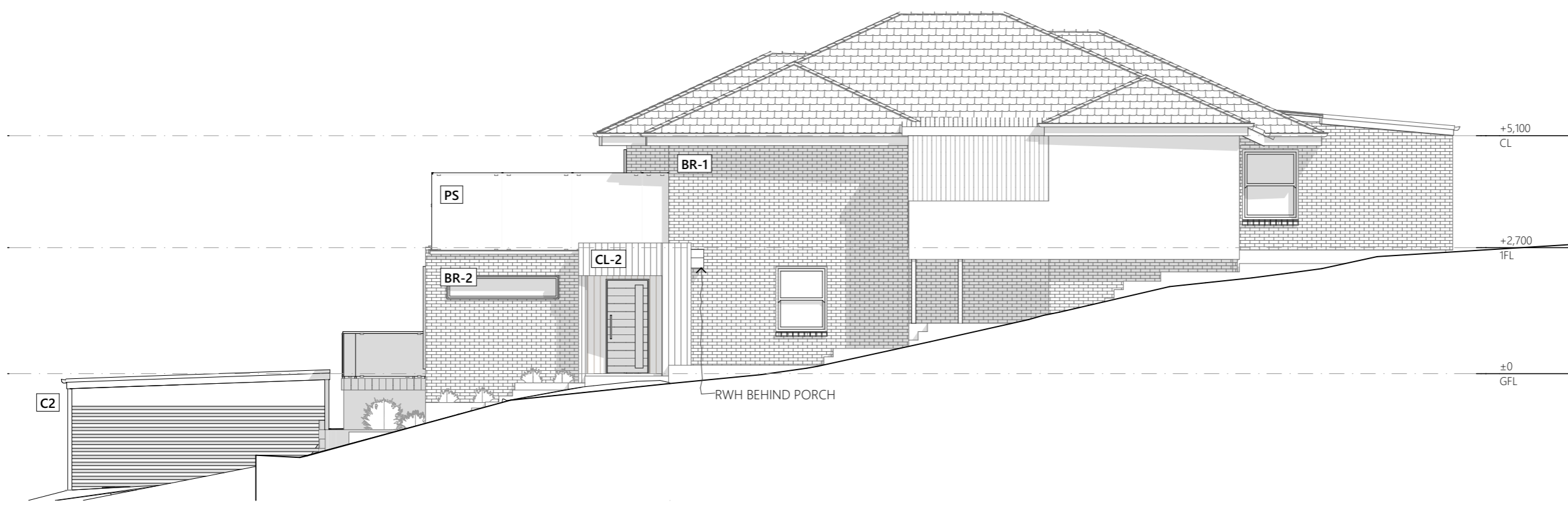
- C1** TIMBER CLADDED COLUMN
FINISH: *2 COATS PRE OILED*
- C2** SHS 90 STEEL COLUMN
FINISH: *POWDERCOAT TBC*

NOTE:

ALL PROPRIETARY MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS



2
-
EXISTING WEST ELEVATION
1:100



E4
-
PROPOSED WEST ELEVATION
1:100

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REV ID	DESCRIPTION	DATE

PROJECT
 House Extension
 423 Sandy Bay Rd Sandy Bay 7005

CLIENT
 Harry & Roby

REVISION

DATE
 18/12/2025

PROJECT ID
 2536

CHECKED BY
 A.HILL

SCALE
 AS SHOWN @ A3

DRAWN BY
 A.PETERSON

PAGE
 DA07

DRAWING
 WEST ELEVATION

NORTH



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REV ID	DESCRIPTION	DATE

PROJECT	House Extension 423 Sandy Bay Rd Sandy Bay 7005
CLIENT	Harry & Roby

REVISION	
PROJECT ID	2536

DATE	18/12/2025
CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	A.PETERSON

PAGE	DA08
DRAWING	3D VIEWS

NORTH



Notes

GENERAL COMMENTS AND DISCLAIMER:
 This survey has been compiled using a combination of conventional and UG Service Detection survey techniques.

Property boundary overlays, where supplied, vary in accuracy but are generally to 0.5m. Therefore a Land Survey, as defined under the Surveying Act 2002, should be undertaken before any construction activity is carried out on or near the land boundaries depicted by this model.

The survey from which this model was created was carried out to comply with the requirements of the client as set out in the scope of works contained in the survey instructions/brief for this project. Anybody who uses this survey for any purpose other than that for which it was carried out does so at his or her own risk.

Any public utilities and services shown in this model have been located by using visible surface features and underground service detection techniques.

Please note that not all buried pipes, cables and ducts can be detected and mapped in consideration of their depth, location, material type, geology and proximity to other utilities. Even an appropriate and professionally executed survey may not be able to achieve a 100% detection rate.

Survey control information is regarded as suitable for the survey and correct at the time of survey, but should be verified before being used for any purpose.

WARNINGS:

1. Classification of subsurface utility information refer to AS5488.1:2019.
2. No design should be undertaken outside of survey extents. If design exceeds survey extents, additional survey data should be acquired.

AS 5488 Subsurface Utility Information
 A quality level describes the amount and accuracy of information that is collected or held on a subsurface utility. There are four quality levels—A, B, C & D.

Quality Level A - Location accuracy deemed to be between +/- 50mm. Lowest Risk.
Quality Level B - Location accuracy deemed to be between +/-300mm horizontally and +/- 500mm vertically. Medium Risk.
Quality Level C - Location accuracy assumed to be aligned with visible surface features. High Risk.
Quality Level D - The default level if no level of accuracy is specified. Highest Risk.

DATE OF SURVEY	16/12/2025
BEARING DATUM	MGA2020
HORIZONTAL DATUM	GDA2020
HEIGHT DATUM	AHD(TAS)1983
SURVEY MARK	SPM989
EASTING	527511.364
NORTHING	5249820.927
HEIGHT	2.93

5			
4			
3			
2			
1			

REV:	Revision Note	Drn	Date
------	---------------	-----	------

Utility Detection & Mapping
 23/15 Stanton Place
 Cambridge, TAS 7170
 (03) 6171 2555
 admin@udmgroup.com.au
 www.udmgroup.com.au

AUS CERTLOC LOGGING ORGANISATION

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CLIENT:

SITE: **423 Sandy Bay Road
 Sandy Bay TAS 7005**

TITLE: **Utility Survey - Sewer Main**

LEGEND:

--- (SCL-B) SEWER QL-B

--- LIST BOUNDARY

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:250	17/12/2025	DY	RB
PROJECT NO:	DRAWING NO:	REV:	PAGE:
251743	251743-1	0	1

TASWATER REQUEST FOR ADDITIONAL INFORMATION

Reference

TASWASPAN-HOB-2025-0245

Application Reference

PLN-HOB-2025-0606

Address

423 SANDY BAY RD SANDY BAY TAS 7005

Titles

7026/4

Council Description of Use and/or Development

Council Proposed Use or Development Description

Partial Demolition, Alterations, Extension and Carport

Request for Information

#	RFI	Origin
1	Additional information required TasWater's Guidelines for Building Near Water and Sewer Pipelines states that building over of branch or trunk sewer mains will not be permitted regardless of National Construction Code Building Class. TasWater will permit building adjacent to a branch or trunk sewer main provided that the minimum horizontal distance from the edge of the branch or trunk sewer main to the footing is a minimum of 1.0 metre. TasWater notes the Title documents indicate there are no easements burdening the lot. Additional information is therefore required to enable assessment to continue. Please submit the following: 1. Amended plans which show the following: a. The easement removed and the exact location of the DN525mm diameter sewer trunk main accurately dimensioned on the plans relative to a known datum and the proposed carport. b. A note added on the plan stating how the pipe was located (e.g. TasWater infrastructure located on site by asset location contractor). c. The proposed carport including eaves and gutters and footings must be located no closer than 1.0 metre to the outside of the TasWater sewer trunk main, and; d. Drawing title block(s) amended to show revision number, revision date & revision description.	Water and Sewerage Industry Act 2008

Referral Documents

Version	Document Date	Document Type	Description	Prepared By
1	24 Nov 2025	General	Application Form (redacted)	Sandie Wickham
1	20 Nov 2025	Architectural Plans	Development Application Proposal	Aidan Peterson
1	20 Nov 2025	Property Title Document	FolioPlan-7026-4.pdf	Aidan Peterson
1	20 Nov 2025	Certificate of Responsible Designer and TasWater Certification (Form 35)	Form 35	Alexander Hill
1	20 Nov 2025	Property Title Document	FolioText-7026-4.pdf	Aidan Peterson
1	20 Nov 2025	Property Title Document	ScheduleOfEasements-7026-4.pdf	Aidan Peterson

TasWater Details

Officer Name

Phil Papps

Officer Title

Senior Assessment Officer

Officer Contact Number

0474931272

 Submitted on **03/12/2025**

REQUEST FOR INFORMATION - PLANNING

Status: **Under Review**

Reference

PLANNA-HOB-2026-0106

Application Reference

PLN-HOB-2025-0606

Address

423 SANDY BAY RD SANDY BAY TAS 7005

Titles

7026/4

Information Requested

#	Reason	Origin
1	<p>TW1 - TasWater - Add Info</p> <p>Information to satisfy the enclosed additional information request from TasWater (TasWater Reference No. TASWASPAN-HOB-2025-0245 dated 3 December 2025). To discuss these points please call TasWater on 13 69 92.</p> <p>Please note that all additional information intended to satisfy these points should be submitted to the City of Hobart, not TasWater.</p> <p>Please submit the information through the City of Hobart online services development portal. Additional information submitted in any other way will not be accepted.</p>	LUPAA 1993

Response comments

Response to Request for Further Information

Good afternoon,

Please see updated documentation with the carport removed from the proposal. There is now no proposed construction within 1.7m of the Taswater infrastructure located on site.

Regards,
Aidan Peterson

Documents

Version	Document Date	Document Type	Description	Prepared By
1	13 Jan 2026	General	TasWater request for further information	Michaela Nolan
1	13 Jan 2026	General	TasWater request for further information	Michaela Nolan
1	19 Jan 2026	Architectural Plans	Development Application Documentation - RFI 3	Aidan Peterson

Form published: 28/11/2024 08:21

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

Design documents provided:	
-----------------------------------	--

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by:	Date:
DA01-DA08	AP	20/11/2025
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:	
--	--

AS1684
AS3500
AS3700


Any other relevant documentation:	
--	--

Attribution as designer:	
---------------------------------	--

I Alexander Hill am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	ALEXANDER HILL		20/11/2025
Licence No:	CC6540		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I Alexander Hill being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	ALEXANDER HILL		20/11/2025



Notes

GENERAL COMMENTS AND DISCLAIMER:
 This survey has been compiled using a combination of conventional and UG Service Detection survey techniques.

Property boundary overlays, where supplied, vary in accuracy but are generally to 0.5m. Therefore a Land Survey, as defined under the Surveying Act 2002, should be undertaken before any construction activity is carried out on or near the land boundaries depicted by this model.

The survey from which this model was created was carried out to comply with the requirements of the client as set out in the scope of works contained in the survey instructions/brief for this project. Anybody who uses this survey for any purpose other than that for which it was carried out does so at his or her own risk.

Any public utilities and services shown in this model have been located by using visible surface features and underground service detection techniques.

Please note that not all buried pipes, cables and ducts can be detected and mapped in consideration of their depth, location, material type, geology and proximity to other utilities. Even an appropriate and professionally executed survey may not be able to achieve a 100% detection rate.

Survey control information is regarded as suitable for the survey and correct at the time of survey, but should be verified before being used for any purpose.

WARNINGS:

1. Classification of subsurface utility information refer to AS5488.1:2019.
2. No design should be undertaken outside of survey extents. If design exceeds survey extents, additional survey data should be acquired.

AS 5488 Subsurface Utility Information
 A quality level describes the amount and accuracy of information that is collected or held on a subsurface utility. There are four quality levels—A, B, C & D.

Quality Level A - Location accuracy deemed to be between +/- 50mm. Lowest Risk.
Quality Level B - Location accuracy deemed to be between +/-300mm horizontally and +/- 500mm vertically. Medium Risk.
Quality Level C - Location accuracy assumed to be aligned with visible surface features. High Risk.
Quality Level D - The default level if no level of accuracy is specified. Highest Risk.

DATE OF SURVEY	16/12/2025
BEARING DATUM	MGA2020
HORIZONTAL DATUM	GDA2020
HEIGHT DATUM	AHD(TAS)1983
SURVEY MARK	SPM989
EASTING	527511.364
NORTHING	5249820.927
HEIGHT	2.93

5			
4			
3			
2			
1			

REV:	Revision Note	Drn	Date
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Utility Detection & Mapping
 23/15 Stanton Place
 Cambridge, TAS 7170
 (03) 6171 2555
 admin@udmgroup.com.au
 www.udmgroup.com.au

AUS CERTLOC LOGGING ORGANISATION

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 1. Using the drawings and cad files in electronic form without requesting and checking them for accuracy against the original hard copy versions;
 2. Using the drawings or other data for any purpose not agreed to in writing by UDM.

CLIENT:

SITE: **423 Sandy Bay Road
 Sandy Bay TAS 7005**

TITLE: **Utility Survey - Sewer Main**

SCALE AT A3: 1:250	DATE: 17/12/2025	DRAWN: DY	CHECKED: RB
PROJECT NO: 251743	DRAWING NO: 251743-1	REV: 0	PAGE: 1

LEGEND:

— (QL-B) — SEWER QL-B

- - - - - LIST BOUNDARY

SEARCH OF TORRENS TITLE

VOLUME 7026	FOLIO 4
EDITION 6	DATE OF ISSUE 18-May-2024

SEARCH DATE : 08-Oct-2025

SEARCH TIME : 10.51 AM

DESCRIPTION OF LAND

City of HOBART

Lot 4 on Sealed Plan [7026](#)

(formerly Lots 1 & 2 on Sealed Plan No. [7026](#))

Derivation : Part of 28A-3R-32Ps. Gtd. to J.C. Stracey & Anor.

Prior CT [3513/10](#)

SCHEDULE 1

[M452803](#) TRANSFER to HUSSAM FAISSAL WASSOUF and ROBY ALI
MAHMOUD Registered 23-Jun-2014 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
TOGETHER WITH a right of carriageway over the Roadway shown on
Sealed Plan No. [7026](#)

SP [7026](#) FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

7026

18 JUN 1975

<p>Owner: Albert Joseph Wright J. R. M. & M. E. Driscoll - Lot 2 Z. Ryzdewski - Lot 1</p>	<p>PLAN OF SURVEY by Surveyor <u>A. C. Peacock</u> of land situated in the</p>	<p>Registered Number: S.P7026</p>
<p>Title Reference: C.T. 2939 / 75 - Lot 1, C.T. 3149 / 73 - Lot 2.</p>	<p>CITY OF HOBART</p>	
<p>Grantee: Part of 28.3.32 John Charles Stacey & Ann Stracey</p>	<p>Effective from: 2.9 JAN 1976 P/I <i>M. J. Stracey</i> Recorder of titles</p>	

Scale 1 : 500

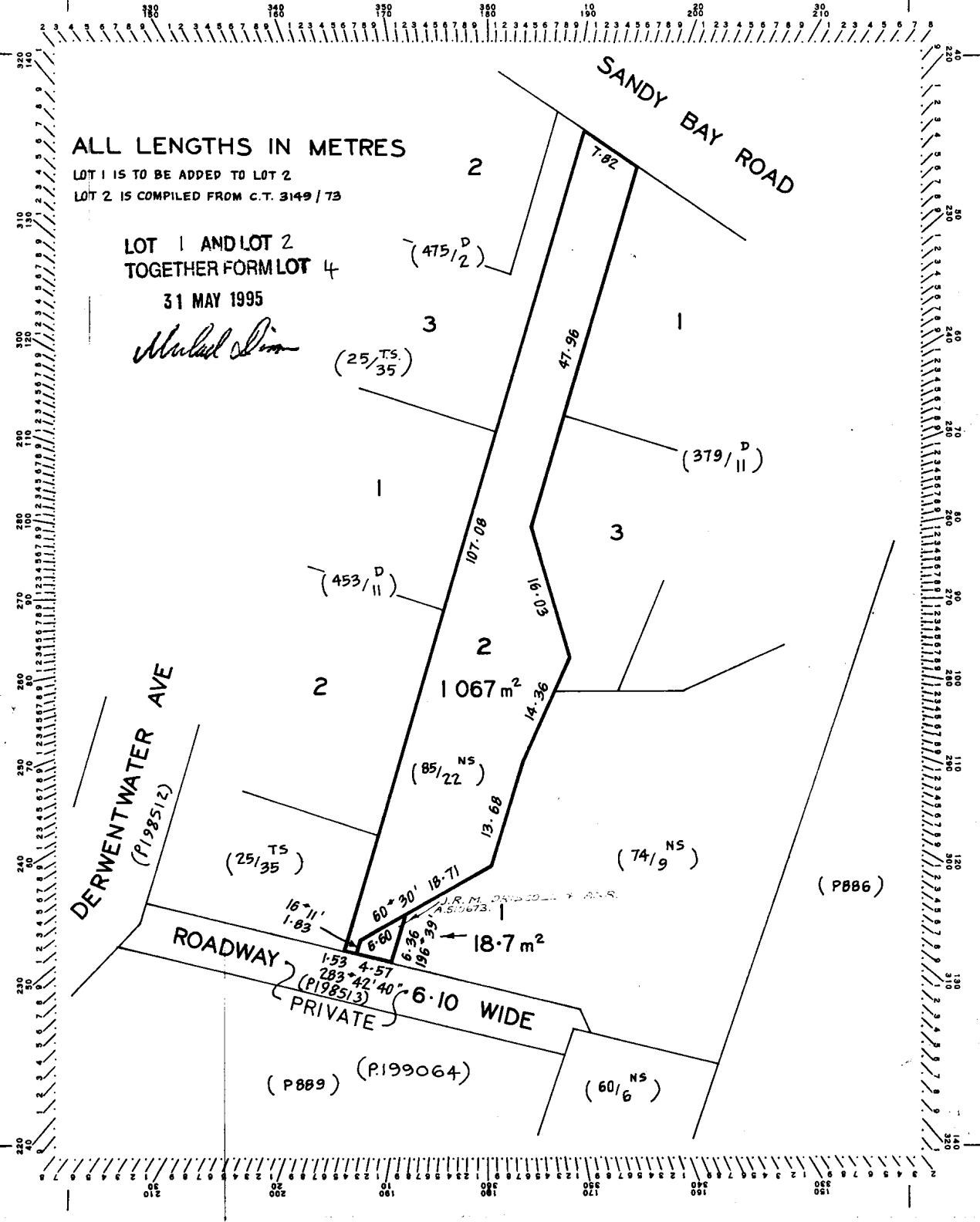
ALL LENGTHS IN METRES

LOT 1 IS TO BE ADDED TO LOT 2
LOT 2 IS COMPILED FROM C.T. 3149 / 73

LOT 1 AND LOT 2
TOGETHER FORM LOT 4

31 MAY 1995

Michael J. Stracey





SCHEDULE OF EASEMENTS

Plan No.

SP 7026

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS

No profits a preponder are created to burden or benefit any lot shown on the said plan

COVENANTS

The Owner of the Lot 1 shown on the said plan hereby covenants with the Vendor (Zbigniew Rydzewski) that the Vendor shall not be required to fence Lots 1 & 2 are together with a right of carriage-way over the roadway (private) shown hereon

EXECUTED by COMMONWEALTH TRADING BANK the Mortgagee under Indenture of Mortgage No. A486860 by being signed by its Attorney under Power of Attorney Registered No. in the presence of:

SIGNED for and on behalf of COMMONWEALTH TRADING BANK OF AUSTRALIA the Mortgagee under Indenture of Mortgage No A486860 by its duly constituted Attorney Lynn Graham FERGUSON under Power of Attorney No 16375 who hereby certifies that he has received no notice of revocation of the said Power in the presence of:

COMMONWEALTH BANK OF AUSTRALIA [Signature] Assistant Manager Hobart

SIGNED by the said ZBIGNIEW RYDZEWSKI the registered Proprietor of the land comprised in Certificate of Title Volume 2939 Folio 75 in the presence of:

[Signature: Z Rydzewski]

[Signature: John Hobart]

7026

SIGNED by JOHN RICHARD MICHAEL)
)
DRISCOLL the registered)
)
Proprietor of the land com-)
)
prised in Certificate of Title)
)
Volume 3149 Folio 73 in the)
)
presence of:-)

John Driscoll

*Andrew
Law Clerk
Hobart -*

SIGNED by MARGARET EUGENIA)
)
DRISCOLL the registered Proprie-)
)
tor of the land comprised in)
)
Certificate of Title Volume 3149)
)
Folio 73 in the presence of:-)

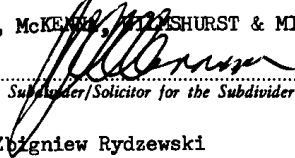
Margaret E. Driscoll

*John Driscoll
Crown Solicitor
Hobart*

7026

Certified correct for the purposes of the Real Property Act 1862, as amended.

OGILVIE, MCKENNA, WILKINSON & MILLS


Subdivider/Solicitor for the Subdivider

This is the schedule of easements attached to the plan of Zbigniew Rydzewski
(Insert Subdivider's Full Name)


..... affecting land in

Certificate of Title Volume 2939 Folio 75

(Insert Title Reference)

Sealed by Hobart City Council on 13th June 1975

00100


...../Town Clerk