

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2025-0647

Address

104 MONTAGU ST NEW TOWN TAS
7008

Titles

41639/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Liz Wilson cc Nicole Manley

Applicant

Name	Email	Phone	Address	Involvement
Personal Information Removed				

Owners

Name	Email Address	Address
Personal Information Removed		

Certificate(s) of Title

Selected Titles

Total Area: 867m²

41639/1

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Enter the date that the last owner, joint or part owner was notified

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section - see further information below

Unsure

If yes, has written Crown Land consent been obtained?

Yes - upload written consent

No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

Yes - complete question below

No - continue to the next section

Unsure

If yes, has written consent been obtained from the Council General Manager?

Yes - upload written consent

No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

I want to change how the property is used

I want to use the property for visitor accommodation

I want to subdivide

I want to undertake a new development or alteration

I want to do a minor boundary adjustment

I want to put up a sign(s)

I want to demolish

I want to do works only

Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

Yes

No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

Yes

No

Unsure

Is the proposed use or development permitted or discretionary?

Permitted

Discretionary

Unsure if permitted or discretionary

Provide a full description of the proposed use or development

replacing shed , demolition and rebuild to similiar to exisitn gwith weatherboards, iron roof.

Will the proposed use or development involve a road reserve?

Yes - complete the section below

No - continue to the next section

Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

100000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	15 Oct 2025	Plans	full set of plans including site plan	Skizze Design
1	13 Dec 2025	Certificate of Responsible Designer and TasWater Certification (Form 35)	certificate	Mr Michael Skitt

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 41639	FOLIO 1
EDITION 4	DATE OF ISSUE 24-Mar-2006

SEARCH DATE : 30-May-2024

SEARCH TIME : 03.20 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Diagram 41639

Being the land described in Conveyance No. 63/5826

Derivation : Part of 6A-3R-37Ps. Gtd. to Martha Sarah Bulter

Prior CT 4617/93

SCHEDULE 1

C699623 BRUNO PAUL ANDOLFATTO and JENNIFER JOY DIXON
Registered 24-Mar-2006 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

C699622 MORTGAGE to Connect Credit Union of Tasmania Limited
Registered 24-Mar-2006 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

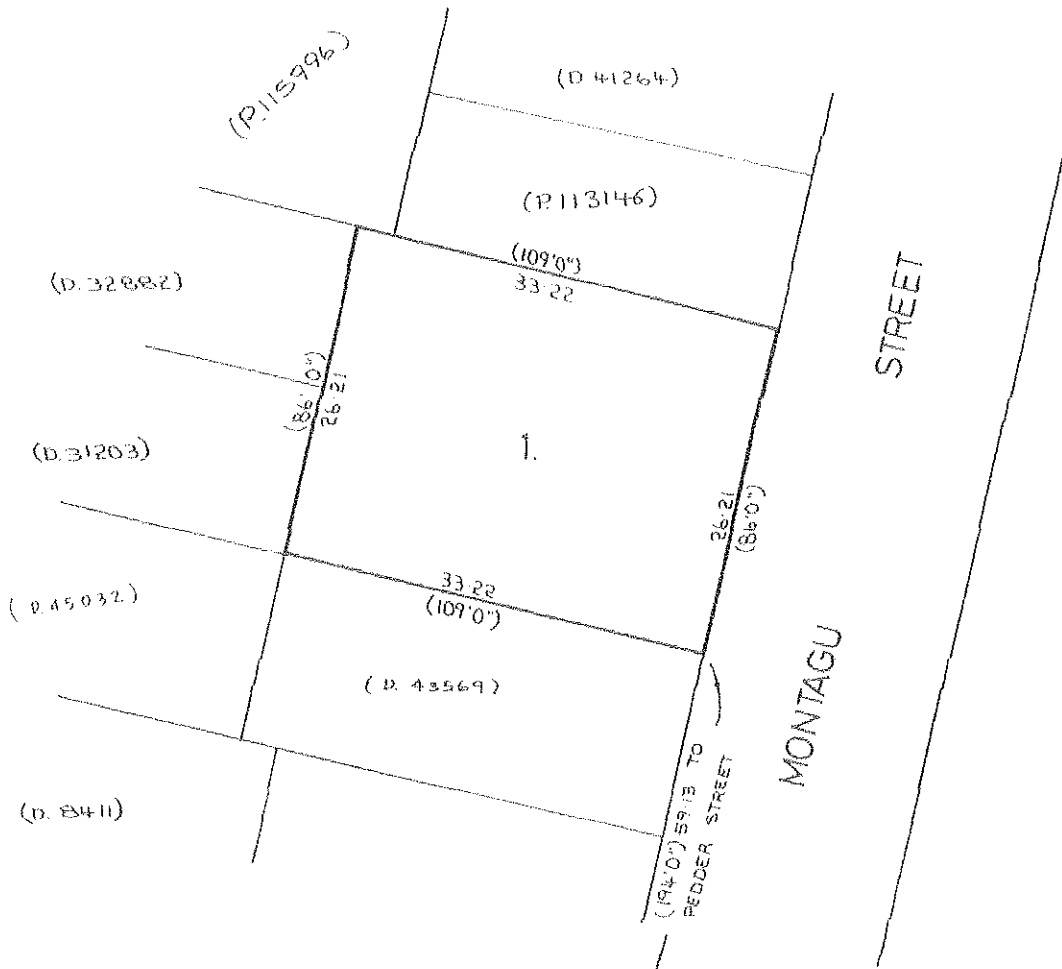
No unregistered dealings or other notations

APPROVED 30 MAY 1989 <i>M. Butler</i> RECORDER OF TITLES	CONVERSION PLAN CONVERTED FROM 63\5826	REGISTERED NUMBER D.41639
FILE NUMBER Y. 10851	GRANTED PART OF 6-3-37 GTO TO MARTHA SARAH BUTLER.	DRAWN <i>M. Butler</i> 16-10-89.

06 x 204

SKETCH BY WAY OF ILLUSTRATION ONLY

CITY/TOWN OF HOBART (SEC. E)
~~LAND DISTRICT OF~~
~~PARISH OF~~
 LENGTHS ARE IN METRES, NOT TO SCALE.
 LENGTHS IN BRACKETS IN METRES/FEET & INCHES.



CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: **M Skitt** Owner name
 104 Montagu Street Address
 New Town 7000 Suburb/postcode

Designer details:

Name: **Roland Vollmer** Category: **Building Designer**
 Business name: **Skizze Building Design** Phone No: +61 423099841
 Business address: **PO Box 562**
Swansea, NSW **2281** Fax No:
 Licence No: **CC645J** Email address: **skizze.roland@gmail.com**

Details of the proposed work:

Owner/Applicant **M Skitt** Designer's project reference No. **25026**
Address: **104 Montagu Street** Lot No:
North Hobart **7000**
(X all applicable) **Building work** **Plumbing work**

Description of work:

New Building
Sewer and Stormwater

(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Design documents provided:	
-----------------------------------	--

The following documents are provided with this Certificate –

Document description:

Drawing numbers:1-16 of 16 including revisions on pages 6, 8-11	Prepared by:	Date:15Oct25 incl. revision 11Dec25
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:	
AS1684.2, AS2870, AS3000, AS3500, AS1562, AS1250, AS4100 & NCC Volume 2	

Any other relevant documentation:	

Attribution as designer:	
---------------------------------	--

I Roland Vollmer..... am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Roland Vollmer		11Dec25

Licence No:	CC645J

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater’s sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater’s infrastructure
- The works will not damage or interfere with TasWater’s works
- The works will not adversely affect TasWater’s operations
- The work are not within 2m of TasWater’s infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater’s water system, a water meter is in place, or has been applied for to TasWater.

Certification:

IRoland Vollmer..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Roland Vollmer		11Dec25

GENERAL NOTES

- All work to comply with relevant SAA codes and NCC 2022 Volume Two and ABCB Housing Provisions Standard.
- Codes: Concrete AS2870:2011, Masonry AS3700:2018, Plumbing AS/NZS3500:2018 Timber Frame AS1684.2:2021, Windows AS2047:2014, Glazing AS1288, Roofing AS1562:2018 Steelwork AS1250, AS4100:2020, Electrical AS3000:2018.
- Wet Areas as defined by Part 10.2 of NCC 2022 Volume Two and ABCB Housing Provisions Standard, shall comply with that part and AS3740:2021 with approved flashing's and sealants to all junctions and around fittings. Where a floor waste is installed—
the minimum continuous fall of a floor plane to the waste must be 1:80; and
the maximum continuous fall of a floor plane to the waste must be 1:50.
- Wall lintels:- F17 sizes shown. Other Grades to AS1684.2:2021 may be used.
SIZES FOR SPANS- SEE NOTES ON WALL BRACING PLAN.
- Wall Bracing:- To AS1684.2:2021 See Table 8.18 (d) & (h) SEE NOTES ON WALL BRACING PLANS
- Energy Efficiency Notes
REQUIRED INSULATION (MIN TOTAL R-VALUE INCLUDING FLOOR, WALL, ROOF AND CEILING CONSTRUCTION)
R VALUES FOR CEILINGS/ROOFS, WALLS AND FLOORS SHALL BE AS INDICATED AS NOTED ON THE FLOOR PLAN

HOT WATER PIPE INSULATION to AS/NZS 3500.4:2021 with 25mm CLOSED CELL POLYMER, R0.6 INSULATION TO EXTERNAL LOCATIONS & 13mm CLOSED CELL POLYMER R0.3 INSULATION TO INTERNAL LOCATIONS.

All external openings shall be sealed to minimize air leakage. Seals to be either foam or rubber compressible strips, fibrous seals or the like and comply with Part 13.4.4 of NCC 2022 Volume Two and ABCB Housing Provisions Standard

Any Mechanical ventilators shall be installed with an approved sealing device, such as a self-closing damper, filter or the like complying with Part 13.4.5 of NCC 2022 Volume Two and ABCB Housing Provisions Standard

WATERPROOFING WET AREAS Standard
General: To AS 3740:2021.
Membrane: To AS/NZS 4858:2004.
Extent: To Part 10.2 of NCC 2022 Volume Two and ABCB Housing Provisions Standard

Membrane
Provide a proprietary (non acrylic) liquid applied or sheet membrane system for use in wet areas, shower recess bases and associated floors and wall to floor junctions which are to be tiled.

Proprietary Item: Bostlik Dampfix 2.

Bond breakers materials
Requirement: Compatible with the flexibility class of the membrane to be used.

Material: Purpose made bond breakers tapes and closed cell foam backing rods or fillets of sealant.

Bond breakers installation
Requirement: After the priming of surfaces, provide bond breakers at all wall/floor, hob/wall junctions and at control joints where the membrane is bonded to the substrate.

Sealant fillet bond breakers:
- Application: Form a triangular fillet or cove of sealant to internal corners within the period recommended by the membrane manufacturer after the application of the primer.

- Widths: 8 mm minimum to vertical corners, 10 – 12 mm to horizontal corners.

Backing rod bond breakers: Retain in position with continuous length of tape pressed firmly in place against the surfaces on each side of the rod.

Sealants
Requirement: Waterproof, flexible, mould-resistant and compatible with host materials.

Preparation
General: Ensure substrates are as follows:

- Clean and free of any deposit or finish which may impair adhesion or location of tiles.
- If walls are plastered, remove loose sand.
- Compatible with all components of the floor system.

- If framed or discontinuous, support members are in full lengths, without splicing.

- If solid or continuous;

- Excessive projections are removed.
- Voids and hollows > 10 mm are filled with a cement/sand mix not stronger than the substrate nor weaker than the bedding.

- Depressions < 10 mm are filled with a latex modified cementitious product with feathering eliminated by scabbling the edges.

- Fill cracks in substrates wider than 1.5 mm with a filler compatible with the membrane system.

External corners: Round or arris edges.
Absorbent substrates: If suction is excessive, control it by dampening but avoid over-wetting and do not apply mortar bedding to substrates showing surface moisture.

Dense concrete: If not sufficiently rough to provide a mechanical key, roughen by scabbling or the like to remove 3 mm of the surface and expose the aggregate; then apply a bonding treatment.

Installation
Floor wastes: Turn membrane down into the floor waste drainage flanges, and adhere to form a waterproof connection.

Hobs: Extend membrane over the hob and into the room at least 50 mm. For unenclosed showers extend membrane at least 1500 mm into the room measured from a point directly below the shower rose outlet on the wall.

External tiling: Provide a waterproof membrane under external floor tiling, to balconies and over habitable rooms, which forms a drained tank suitable for continuous immersion. Do not run under bounding walls.

Curing: Allow membrane to cure fully before tiling.

Project Details

Floor Areas: 216.36m² Dwelling +
21.26m² verandah
15.92m² outbuilding

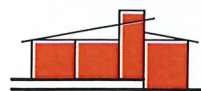
Design Wind Speed: N3

Climate Zone: 7

Title Reference: 41639/1

SHEET KEY

- 1 of 16 Cover Sheet
- 2 of 16 Site - Layout
- 3 of 16 Floor Plan- Existing
- 4 of 16 EX Elevations 1
- 5 of 16 EX Elevations 2
- 6 of 16 Proposed Floor Plan
- 7 of 16 Proposed Elevations 1
- 8 of 16 Proposed Elevations 2
- 9 of 16 Footing Plan & Details
- 10 of 16 Wall Bracing Plan
- 11 of 16 Roof Framing Plan
- 13 of 16 Reflected Ceiling Plan
- 13 of 16 Floor Finishes Plan
- 14 of 16 Site- Stormwater Drainage
- 15 of 16 Site- Sewer Drainage
- 16 of 16 SWMP



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Proposed: Replacing Existing Outbuilding

Client: B Andolfatto

At: 104 Montagu Street, New Town.

JOB:25026

Sheet : 1 of 16

Revisions:

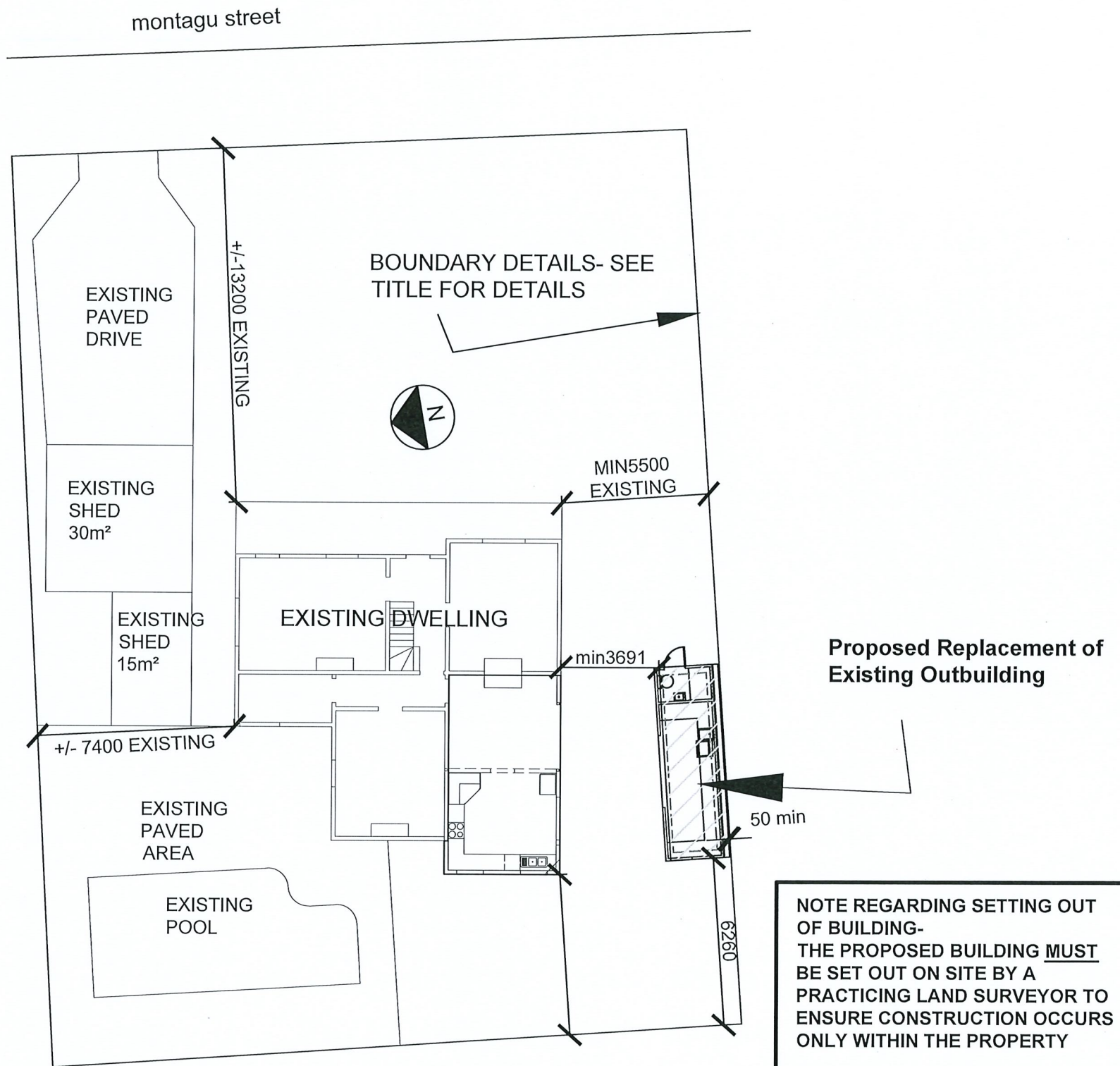
Drawn :RV

Date: October 2025 ©

Issue Date 15Oct25

C O V E R S H E E T

DO NOT SCALE THE WRITTEN DIMENSIONS TAKE PRECEDENCE
OVER SCALE
BUILDER TO BUILD FROM COUNCIL APPROVED PLANS ONLY



NOTE REGARDING SETTING OUT OF BUILDING- THE PROPOSED BUILDING MUST BE SET OUT ON SITE BY A PRACTICING LAND SURVEYOR TO ENSURE CONSTRUCTION OCCURS ONLY WITHIN THE PROPERTY

S I T E P L A N
S C A L E 1 : 2 0 0



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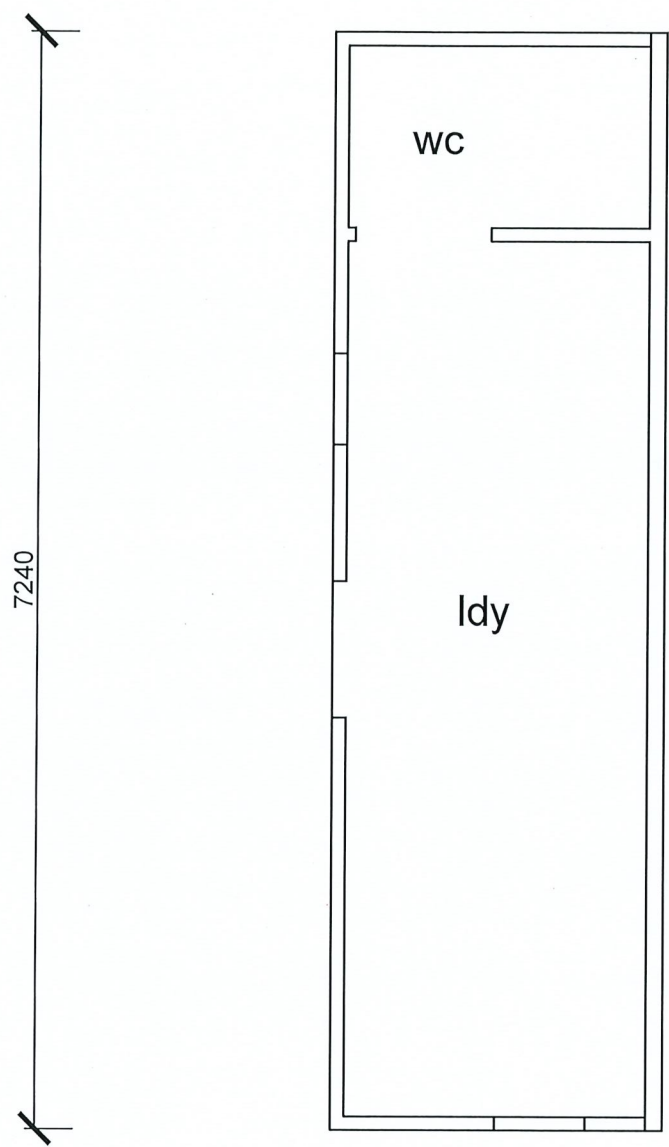
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Revisions:

Drawn :RV
Date: October 2025 ©
Issue Date 15Oct25

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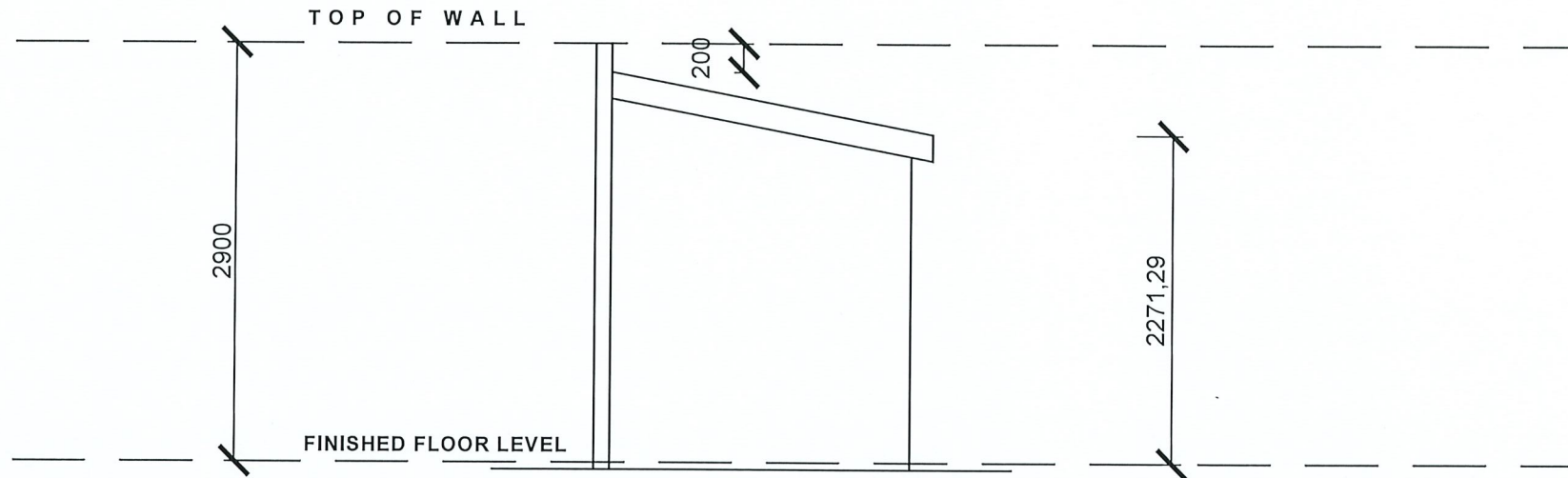
At: 104 Montagu Street, New Town.



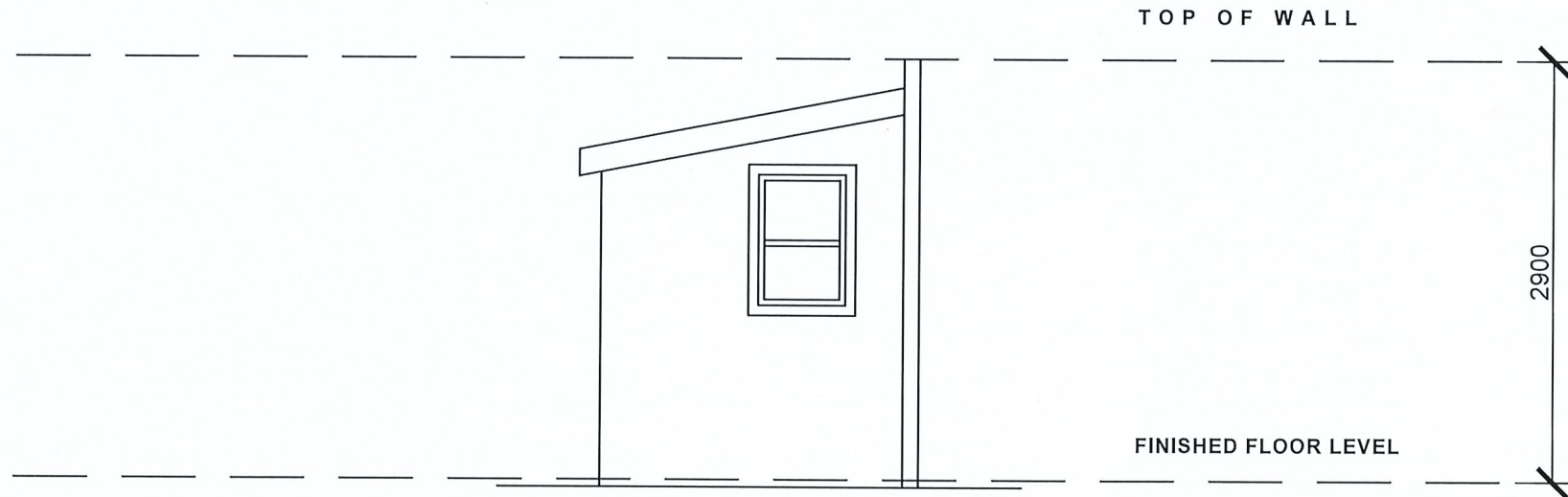
7240
 2200
FLOOR PLAN
 EXISTING BUILDING
 SCALE 1 : 50

EXISTING BUILDING TO BE DEMOLISHED REPLACED WITH NEW BUILDING OF THE SAME EXTERNAL DIMENSIONS

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	Client: B Andolfatto <small>P O Box 562 Swansea NSW, 2281 P 0423099841 Accreditation Number CC645J</small>	Sheet : 3of 16 At: 104 Montagu Street, New Town.	Drawn :RV Date: October 2025 © Issue Date 15Oct25	




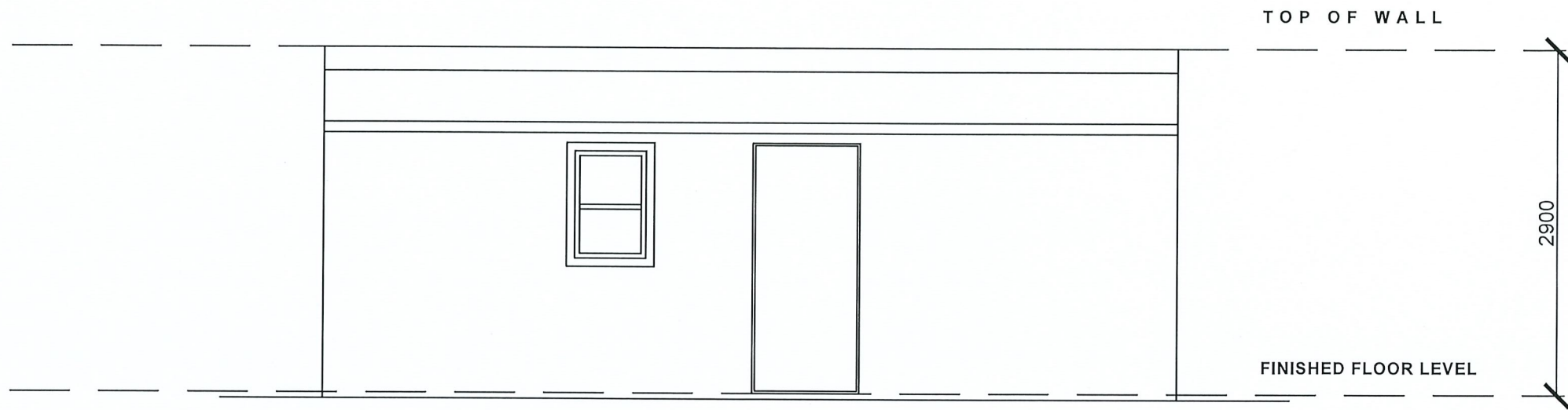
E V I E W
 EXISTING BUILDING
 S C A L E 1 : 5 0



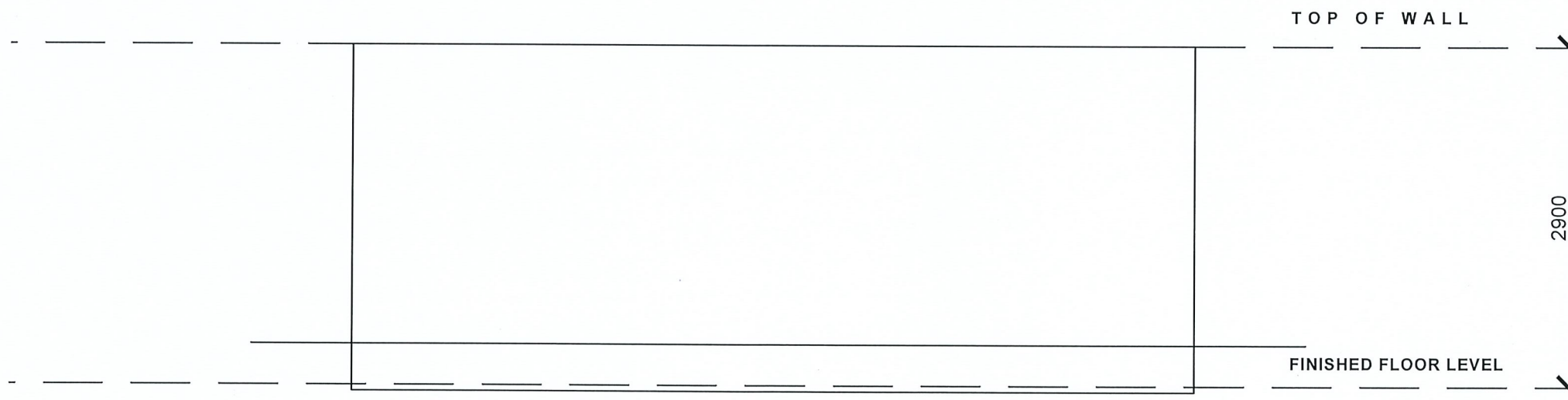
W V I E W
 EXISTING BUILDING
 S C A L E 1 : 5 0

EXISTING BUILDING TO BE DEMOLISHED REPLACED WITH NEW BUILDING OF THE SAME EXTERNAL DIMENSIONS

 Skizze Building Design <small>custom building design</small> P O B o x 5 6 2 S w a n s e a N S W , 2 2 8 1 P 0 4 2 3 0 9 9 8 4 1 A c c r e d i t a t i o n N u m b e r C C 6 4 5 J	<small>COPYRIGHT THIS DOCUMENT IS AND SHALL REMAIN THE PROPERTY OF SKIZZE BUILDING DESIGN THIS DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THIS DOCUMENT IS PROHIBITED.</small>	Proposed: Replacing Existing Outbuilding	JOB:25026	Revisions:
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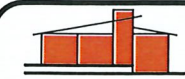



N V I E W
 EXISTING BUILDING
 S C A L E 1 : 5 0




S V I E W
 EXISTING BUILDING
 S C A L E 1 : 5 0

EXISTING BUILDING TO BE DEMOLISHED REPLACED WITH NEW BUILDING OF THE SAME EXTERNAL DIMENSIONS



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 P 0 4 2 3 0 9 9 8 4 1 A c c r e d i t a t i o n N u m b e r C C 6 4 5 J

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Proposed: Replacing Existing Outbuilding

Client: B Andolfatto

JOB:25026

Sheet : 5 of 16

Revisions:
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 Date: October 2025 ©
 Issue Date 15Oct25

At: 104 Montagu Street, New Town.

BATH ROOM NOTE:

THE DOOR THRESHOLD SHALL BE FITTED WITH AN APPROVED BRASS OR ALUMINIUM ANGLE WATER STOP AT LEAST ONE SHOWER ON A GROUND FLOOR MUST HAVE A HOBLESS AND STEP FREE ENTRY. A LIP NOT MORE THAN 5 MM IN HEIGHT MAY BE PROVIDED FOR WATER RETENTION PURPOSES. UNENCLOSED SHOWERS MUST BE CONSTRUCTED AS FOLLOWS:

A waterstop must be installed a minimum horizontal distance of 1500 mm from the shower rose.

The vertical leg of the waterstop must finish—

- (a) flush with the top surface of the floor and
- (ii) where the waterstop intersects with a wall or is joined—
- (A) the junction must be waterproof, OR
- (B) the whole wet area floor must be waterproofed and drained to a floor waste as for the shower area

WET AREA FLOOR FALLS: WHERE A FLOOR WASTE IS INSTALLED- MINIMUM CONTINUOUS FALL MUST BE 1:80 AND MAXIMUM CONTINUOUS FALL MUST BE 1:50

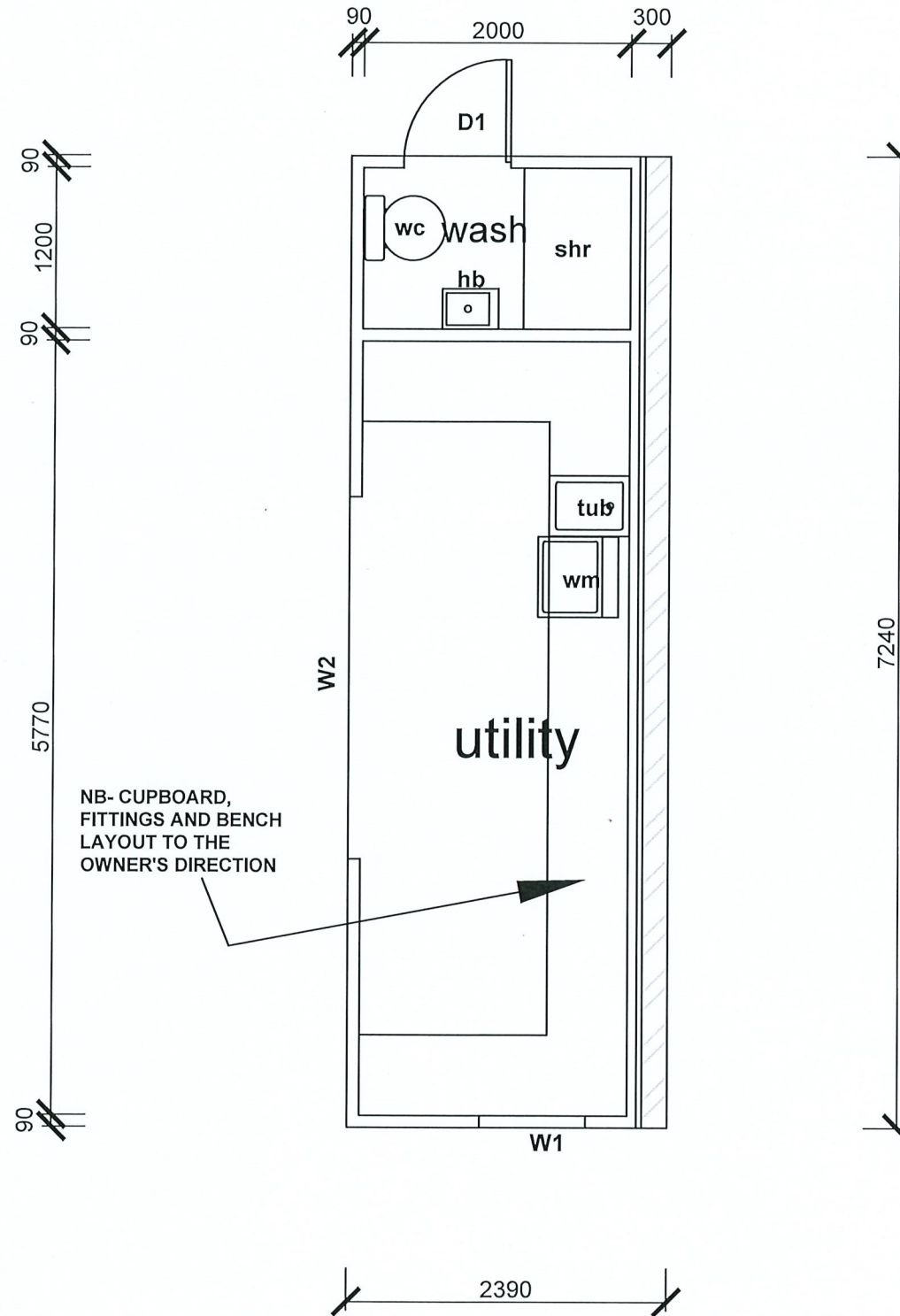
ALL WALLS IN THE BATHROOM SHALL BE INSTALLED WITH MIN 12mm THICK STRUCTURAL GRADE PLYWOOD OR SIMILAR TO PROVIDE A FIXING SURFACE ABLE TO SUPPORT THE FUTURE INSTALLATION OF GRAB RAILS, IF NEEDED, TO COMPLY WITH PART 6 OF LIVABLE HOUSING DESIGN STANDARD 2022

NO TIMBER SKIRTING SHALL BE INSTALLED IN WASH ROOM

WINDOW SCHEDULE				
CODE	ROOM	SIZE	FRAME	GLASS TYPE
W1	utility	0906	timber or AL dble hung	SG
W2	utility	2127	AL stacker Doors	SG

SG= 4CLEAR WINDOWS AND 6 CLEAR TOUGHENED DOOR UNITS

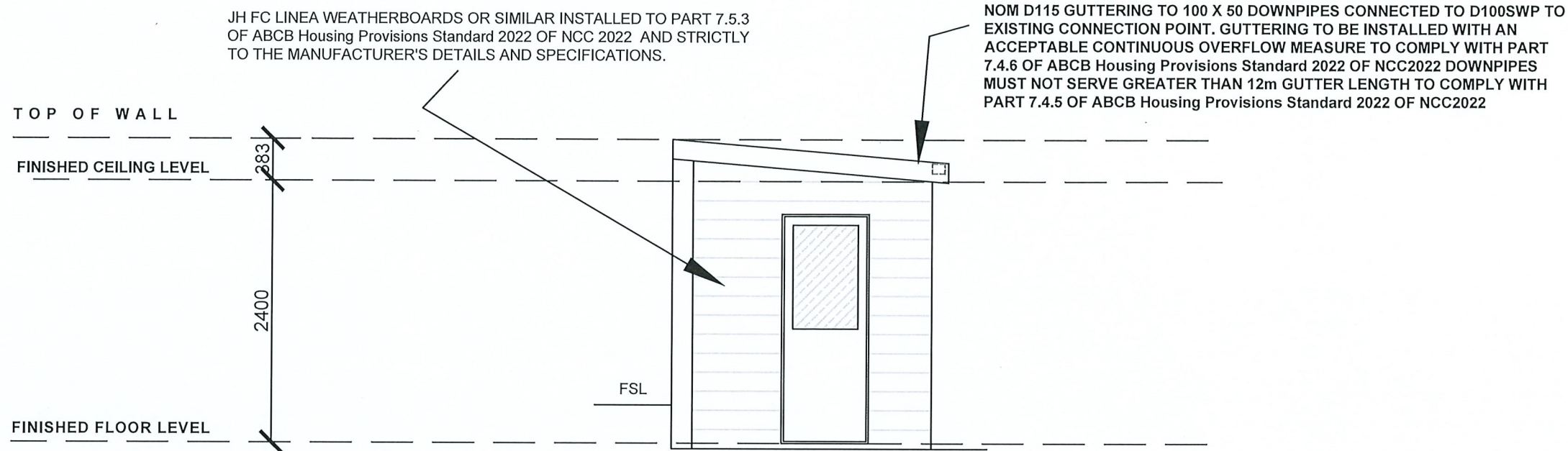
DOOR SCHEDULE		
CODE	SIZE	FRAME
D1	720	timber external



FLOOR PLAN
PROPOSED BUILDING
SCALE 1 : 50

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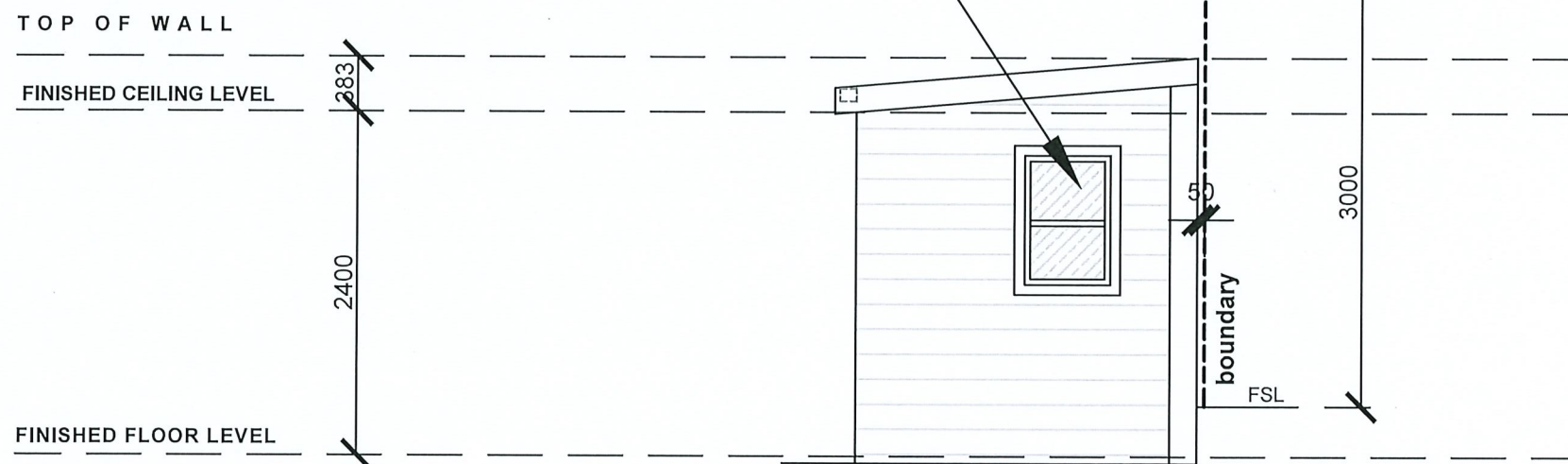
- Revisions: 11Dec25
1. Boundary block wall design changed
 2. Slab design changed
 3. Roof pitch clarified on Section



E V I E W
 PROPOSED BUILDING
 S C A L E 1 : 5 0

ALUMINIUM OR TIMBER FRAMED WINDOWS AND DOORS TO AS1288:2021 AND AS2047:2014. INSTALLATION TO PART 8.2 and GLASS TO PART 8.3 OF ABCB Housing Provisions Standard 2022 OF NCC2022. AND STRICTLY TO THE MANUFACTURER'S DETAILS AND SPECIFICATIONS

BUILDING ENVELOPE AT
 CLOSEST POINT OF BUILDING
 TO THE BOUNDARY



W V I E W
 PROPOSED BUILDING
 S C A L E 1 : 5 0



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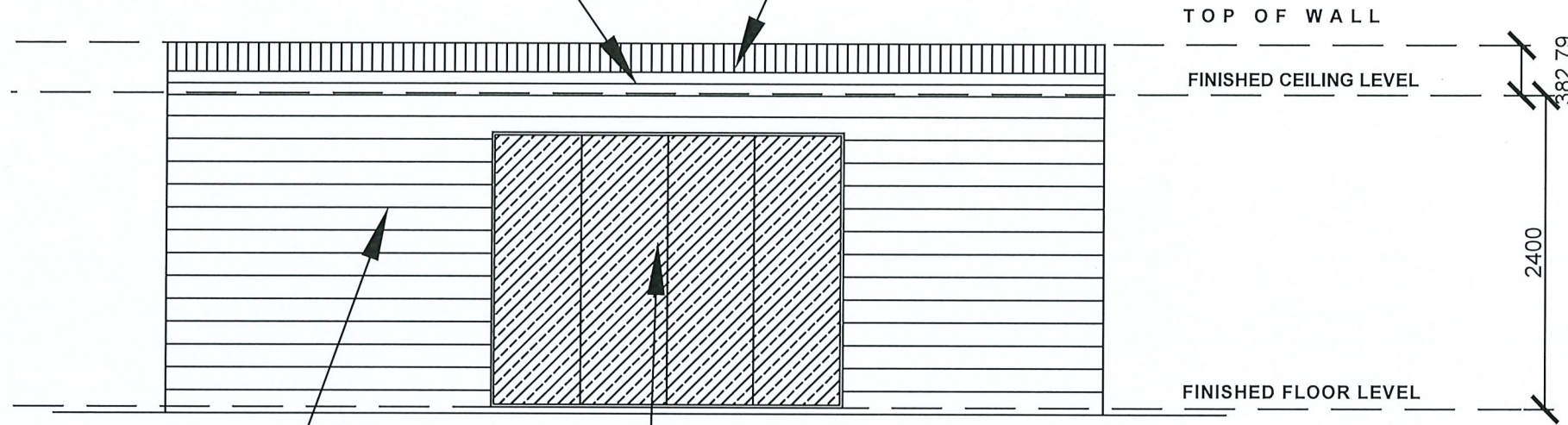
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 Issue Date 15Oct25

At: 104 Montagu Street, New Town.

NOM D115 GUTTERING TO 100 X 50 DOWNPIPES CONNECTED TO D100SWP TO EXISTING CONNECTION POINT. GUTTERING TO BE INSTALLED WITH AN ACCEPTABLE CONTINUOUS OVERFLOW MEASURE TO COMPLY WITH PART 7.4.6 OF ABCB Housing Provisions Standard 2022 OF NCC2022 DOWNPIPES MUST NOT SERVE GREATER THAN 12m GUTTER LENGTH TO COMPLY WITH PART 7.4.5 OF ABCB Housing Provisions Standard 2022 OF NCC2022

COLORBOND CORRUGATED METAL ROOF SHEETING WITH VAPOR PERMIABLE SARKING TO AS/NZ 4200.1:2017 INSTALLED TO AS1562:2006 PART 3.5.1 OF ABCB Housing Provisions Standard 2022 OF NCC2022. 45 X 70 F7 TRP OR SIMILAR ROOF BATTENS at 900cts 45 X 70 F5 TRP OR SIMILAR ROOF BATTENS @900cts. ROOF PITCH = 5°

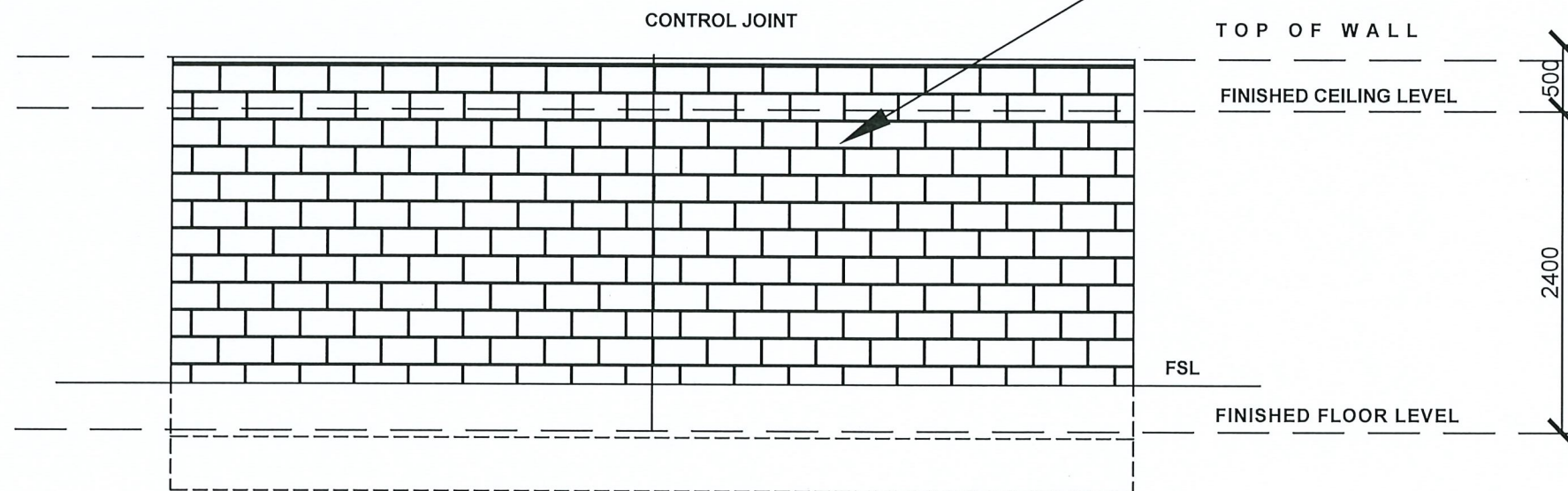


JH FC LINEA WEATHERBOARDS OR SIMILAR INSTALLED TO PART 7.5.3 OF ABCB Housing Provisions Standard 2022 OF NCC 2022 AND STRICTLY TO THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.

ALUMINIUM OR TIMBER FRAMED WINDOWS AND DOORS TO AS1288:2021 AND AS2047:2014. INSTALLATION TO PART 8.2 and GLASS TO PART 8.3 OF ABCB Housing Provisions Standard 2022 OF NCC2022. AND STRICTLY TO THE MANUFACTURER'S DETAILS AND SPECIFICATIONS

N **V** **I** **E** **W**
PROPOSED BUILDING
SCALE 1 : 5 0

190 TECHDRY WALL TO BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS



S **V** **I** **E** **W**
PROPOSED BUILDING
SCALE 1 : 5 0

Revisions: 11Dec25

1. Boundary block wall design changed
2. Slab design changed
3. Roof pitch clarified on Section



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Proposed: Replacing Existing
Outbuilding

Client: B Andolfatto

JOB:25026

Sheet : 8 of 16

Revisions:

Drawn :RV
Date: October 2025 ©
Issue Date 15Oct25

At : 104 Montagu Street, New Town.

TIE DOWN DETAILS FOR N3 WIND CLASSIFICATION

BRACING NOTES:

1. ALL BRACING AND TIE DOWNS SHALL BE ACCORDANCE WITH REQUIREMENTS OF AS1684.2:2021 SECTIONS 8 & 9
2. BRACING SHALL BE IN ACCORDANCE WITH TABLE 8.18:

(h)B - PLY (METHOD B)

(d) - DOUBLE DIAGONAL METAL TENSION STRAP

NOTE: NUMBER FOLLOWING BRACING CODE DENOTES HORIZONTAL LENGTH OF BRACING UNIT

3. ONLY MINIMUM REQUIREMENTS FOR BRACING ARE PROVIDED. ADDITIONAL BRACING MAY BE INSTALLED AS REQUIRED TO PREVENT 'RACKING' OF FRAMES DURING ERECTION.

4. WIND LOAD CLASSIFICATION AS DETERMINED IN ACCORDANCE WITH AS4055-2006 'WIND LOAD FOR HOUSING': N3

5. FIXING TO BE IN ACCORDANCE WITH SECTION 9: FIXING REQUIREMENTS FOR JD5 PINE FRAMING, OR IF HEART IN MATERIAL IS

EXCLUDED FROM JOINT, JD4. ALL FRAMING USED FOR PLY BRACING TO HAVE NO HEART IN MATERIAL.

JOISTS TO BEARERS: 3/75 x 3.05 DIA. SKEW NAIL.

BOTTOM PLATES TO SLAB: 1 OFF M12 PROPRIETARY SCREW ANCHOR FOR CONCRETE & MASONRY, 100 mm MIN. EMBEDMENT AT 1200 MAX. CENTRES TO PERIMETER WALLS AND AT EACH END OF BRACING UNITS TO INTERNAL WALLS.

OTHERWISE 1 NO. 75mm MASONRY NAIL AT 600 CRS. **BOTTOM PLATES TO FLOOR JOISTS:** 3 NO. 3.05 DIA. NAILS AT EACH JOIST OR MAX. 600 CENTRES ALONG JOISTS, MIN. 40mm PENETRATION.

PLATES TO STUDS: 30x0.8 BUILDERS STRAP, 2.8 DIA. NAILS EACH END TO EACH STUD, MIN. 30mm PENETRATION – REFER TABLE 9.19(d)

JAMB STUDS TO PLATES: NAILING AS FOR COMMON STUDS – REFER TABLE 9.19(c)

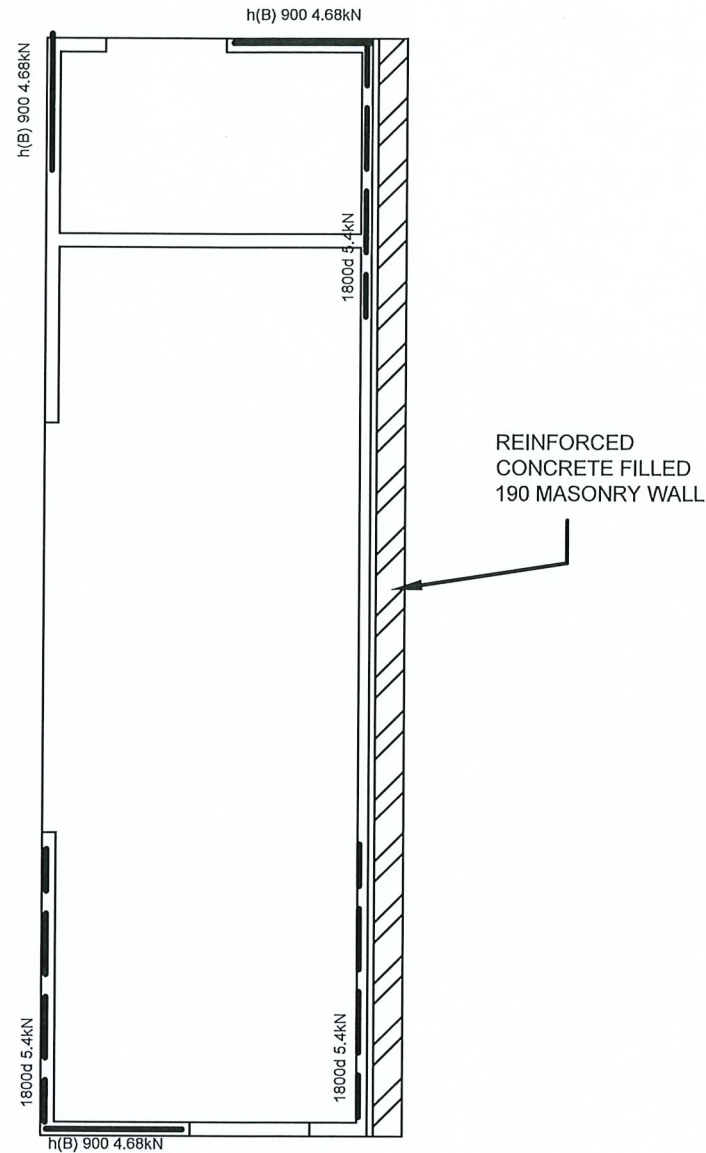
TOP PLATES TO LINTELS: AS FOR TOP PLATES TO STUDS WITH NAILING AT JACK STUDS (OR MAX 600mm CENTRES ALONG LINTEL). ALSO PROVIDE 30x0.8mm G.I. STRAPS AT EVERY SECOND JACK STUD (OR MAX. 1200 CENTRES ALONG LINTEL) WITH 4 NO. 2.8 DIA. NAILS EACH END. REFER TABLE 9.20(a)

STUDS AT SIDES OF OPENINGS: 1 NO. 75mm NAIL AT 600mm CENTRES MAX.

ROOF TRUSSES TO TOP PLATES: AS PER TRUSS MANUFACTURER'S REQUIREMENTS.

COMBINE WITH TOP PLATE TO STUD TIE DOWN WITH 4 NO. 2.8 DIA. NAILS AT EACH END – REFER TABLE 9.21(d)

ROOF BATTENS TO TRUSSES: 1 OFF NO. 14 TYPE 17 BATTEN SCREW REFER TABLE 9.25 OR 1 NO. 75mm 3.05 DIA. GLUE COATED DEFORMED SCREW SHANK NAIL AT EACH CONNECTION, 38mm MIN. PENETRATION INTO TRUSS.



BRACING PLAN
LOWER FLOOR
SCALE 1 : 100

WALL BRACING			
Brace Type	Bracing Capacity	Description	Common Lengths
d	3.0 kN/m	30 x 0.8 tensioned galv. cross metal straps fixed to studs with one 30 x 2.8Ø galv. flat head nail (or equivalent) and to plates with 4/ 30 x 2.8Ø galv. flat head nails or alternative metal strap fixed as above, with a net sectional area of not less than 22mm ² . See table 8.18(d) of AS1684.2:2021	1800=5.4kN 2400=7.2kN 2700=8.1kN
h Method A	5.6 kN/m	7mm thick F11 Plywood with 30 x 2.8Ø Flat head nails fixed to top and bottom plates @ 150cts, @ 150cts to side studs and @ 300cts to internal studs. Horizontal butt joints are permitted, provided nail fixed to nogging @150cts. Provide M12 rod from top to bottom plate at each end of brace, plus a 13kN capacity connection @max1200mm cts See table 8.18 (h) of AS1684.2:2021	600=3.36kN 900=5.04kN
h Method B	5.2 kN/m	7mm thick F11 Plywood with 30 x 2.8Ø Flat head nails fixed to top and bottom plates @ 50cts, @ 150cts to side studs and @ 300cts to internal studs. Horizontal butt joints are permitted, provided nail fixed to nogging @50cts. Provide a 13kN capacity connection at each end and intermediately @max1200mm cts See table 8.18 (h) of AS1684.2:2021	900=4.68kN 1200=6.24kN

NOTE- THE ABOVE WALL BRACES NOTED SHALL BE INSTALLED TO COMPLY WITH Table 8.18 (d) & (h) OF AS1684.2 2021. OTHER BRACING ALTERNATIVE TYPES MAY BE USED, PROVIDED THE OVERALL BRACING CAPACITY REQUIRED IN KN IS AT LEAST THE SAME OR BETTER THAN THE VALUES NOTED FOR EACH WIND DIRECTION

CERTIFICATE NO. HS: 10873a

[Signature]
13/12/2025

Revisions: 11Dec25

1. Boundary block wall design changed
2. Slab design changed
3. Roof pitch clarified on Section

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	Client: B Andolfatto	Sheet :10 of 16	Drawn :RV Date: October 2025 © Issue Date 15Oct25	
At: 104 Montagu Street, New Town.				

TIE DOWN DETAILS FOR N3 WIND CLASSIFICATION

BRACING NOTES:

1. ALL BRACING AND TIE DOWNS SHALL BE ACCORDANCE WITH REQUIREMENTS OF AS1684.2 SECTIONS 8 & 9
2. BRACING SHALL BE IN ACCORDANCE WITH TABLE 8.18:

- (h)B - PLY (METHOD B)
- (d) - DOUBLE DIAGONAL METAL TENSION STRAP

STRAP

NOTE: NUMBER FOLLOWING BRACING CODE DENOTES HORIZONTAL LENGTH OF BRACING UNIT

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PLATES TO STUDS: 30x0.8 BUILDERS STRAP, 2.8 DIA. NAILS EACH END TO EACH

STUD, MIN. 30mm PENETRATION - REFER TABLE 9.19(d)

JAMB STUDS TO PLATES: NAILING AS FOR COMMON STUDS - REFER TABLE 9.19(c)

TOP PLATES TO LINTELS: AS FOR TOP PLATES TO STUDS WITH NAILING AT JACK STUDS (OR MAX 600mm CENTRES ALONG LINTEL). ALSO PROVIDE 30x0.8mm G.I. STRAPS AT EVERY SECOND JACK

STUD (OR MAX. 1200 CENTRES ALONG LINTEL) WITH 4 NO. 2.8 DIA. NAILS EACH END. REFER TABLE 9.20(a)

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ROOF TRUSSES TO TOP PLATES: AS PER TRUSS MANUFACTURER'S REQUIREMENTS.

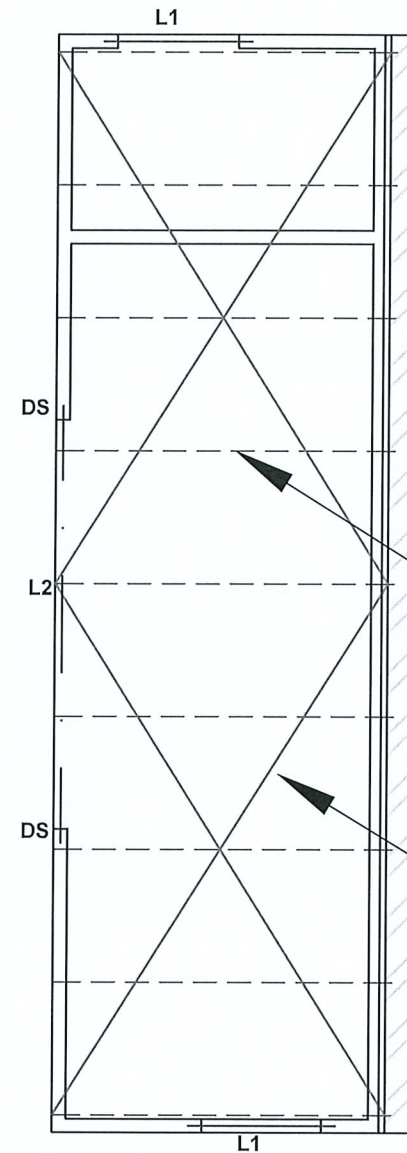
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ROOF BATTENS TO TRUSSES: 1 OFF NO. 14 TYPE 17 BATTEN SCREW REFER TABLE 9.25 OR 1 NO. 75mm

3.05 DIA. GLUE COATED DEFORMED SCREW SHANK NAIL AT EACH CONNECTION, 38mm MIN.

PENETRATION INTO TRUSS.

KEY
 DS= DOUBLE 90 X 45 MGP10 WALL STUDS BOTH SIDES OF OPENING.
 L1= 90 X 45 F17 LINTEL
 L2= 190 X 45 F17 LINTEL

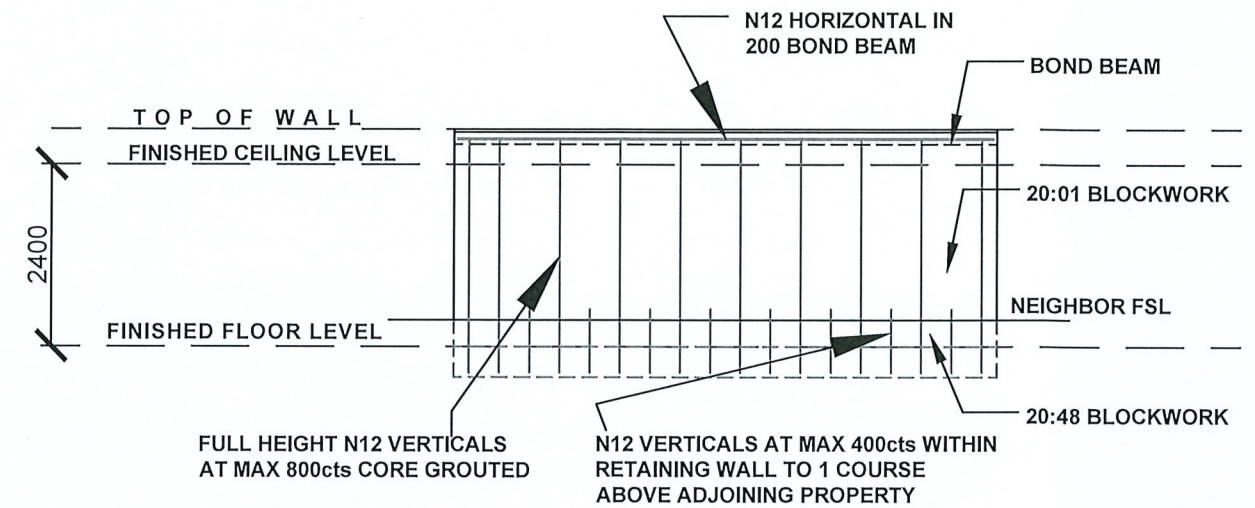


120 X 45 MGP10 RAFTERS @MAX900cts.
 120 X 45 MGP10 CEILING JOISTS @450cts BELOW.
 SEE DETAILS

1.0 GALVANIZED CROSS METAL STRAPS
 FIXED TO EACH RAFTER

SCHEMATIC ROOF FRAME PLAN
 SCALE 1 : 1 0 0

DO NOT SCALE THE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
 BUILDER TO BUILD FROM COUNCIL APPROVED PLANS ONLY



WALL STEELWORK ELEVATION
 SCALE 1 : 1 0 0

NOTE
 ALTERNATIVELY, DELETE BOND BEAM AND FULLY CORE FILL WALL WITH 2N12 (H) EQUALLY SPACED

CERTIFICATE NO. HS: 10873a

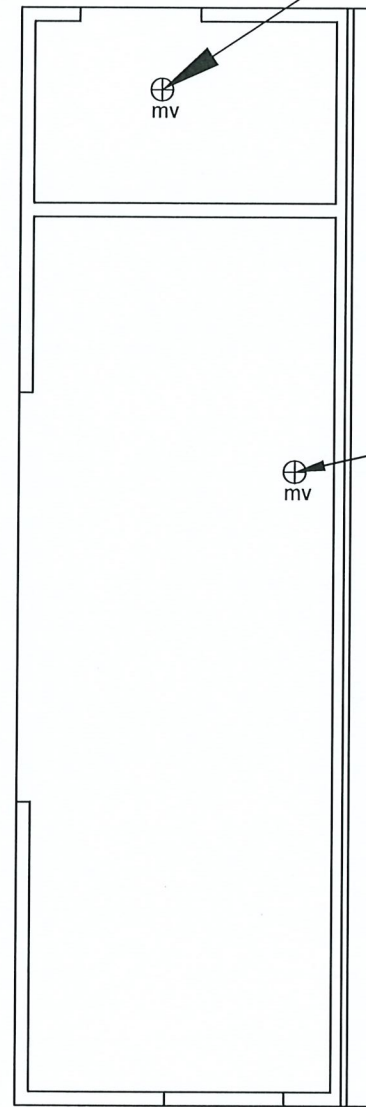
[Signature]
 13/12/2025

- Revisions: 11Dec25
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 2. Slab design changed
 3. Roof pitch clarified on Section

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	Client: B Andolfatto	Sheet :11 of 16	Drawn :RV Date: October 2025 © Issue Date 15Oct25	
At : 104 Montagu Street, New Town.				

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BUILDER TO BUILD FROM COUNCIL APPROVED PLANS ONLY

mv= MECHANICAL VENTILATOR WITH A MINIMUM
FLOW RATE OF 40L/s IN KITCHENS OR
LAUNDRIES AND 25L/s IN SANITARY
COMPARTMENTS. ALL VENTILATORS INSTALLED
TO AS1668:2015 WITH EXHAUST TO OUTDOOR
AIR DIRECTLY OR VIA A SHAFT OR DUCT



LOCATE MECHANICAL VENTILATOR NEAR THE
WASHING MACHINE.
ALL VENTILATORS INSTALLED TO AS1668:2015
WITH EXHAUST TO OUTDOOR AIR DIRECTLY OR
VIA A SHAFT OR DUCT

REFLECTED CEILING PLAN
SCALE 1 : 1 0 0

ALL OTHER FITTINGS ARE EXISTING

INSULATION TO ALTERED PART OF BUILDING-
R4.0 ROOF
R2.5 WALLS
NO INSULATION TO NEW CONCRETE FLOOR



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P O B o x 5 6 2 S w a n s e a N S W , 2 2 8 1
P 0 4 2 3 0 9 9 8 4 1 A c c r e d i t a t i o n N u m b e r C C 6 4 5 J

**Proposed: Replacing Existing
Outbuilding**

Client: B Andolfatto

JOB:25026

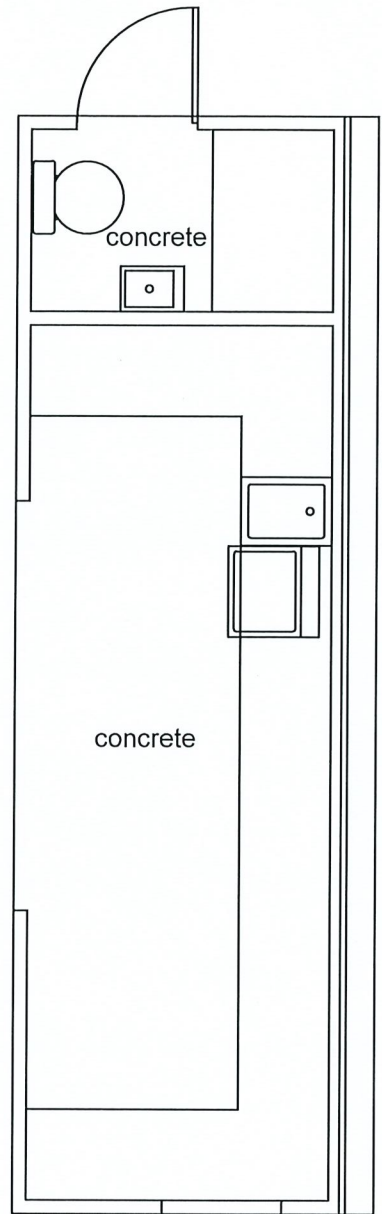
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FLOOR FINISHES
SCALE 1 : 5 0


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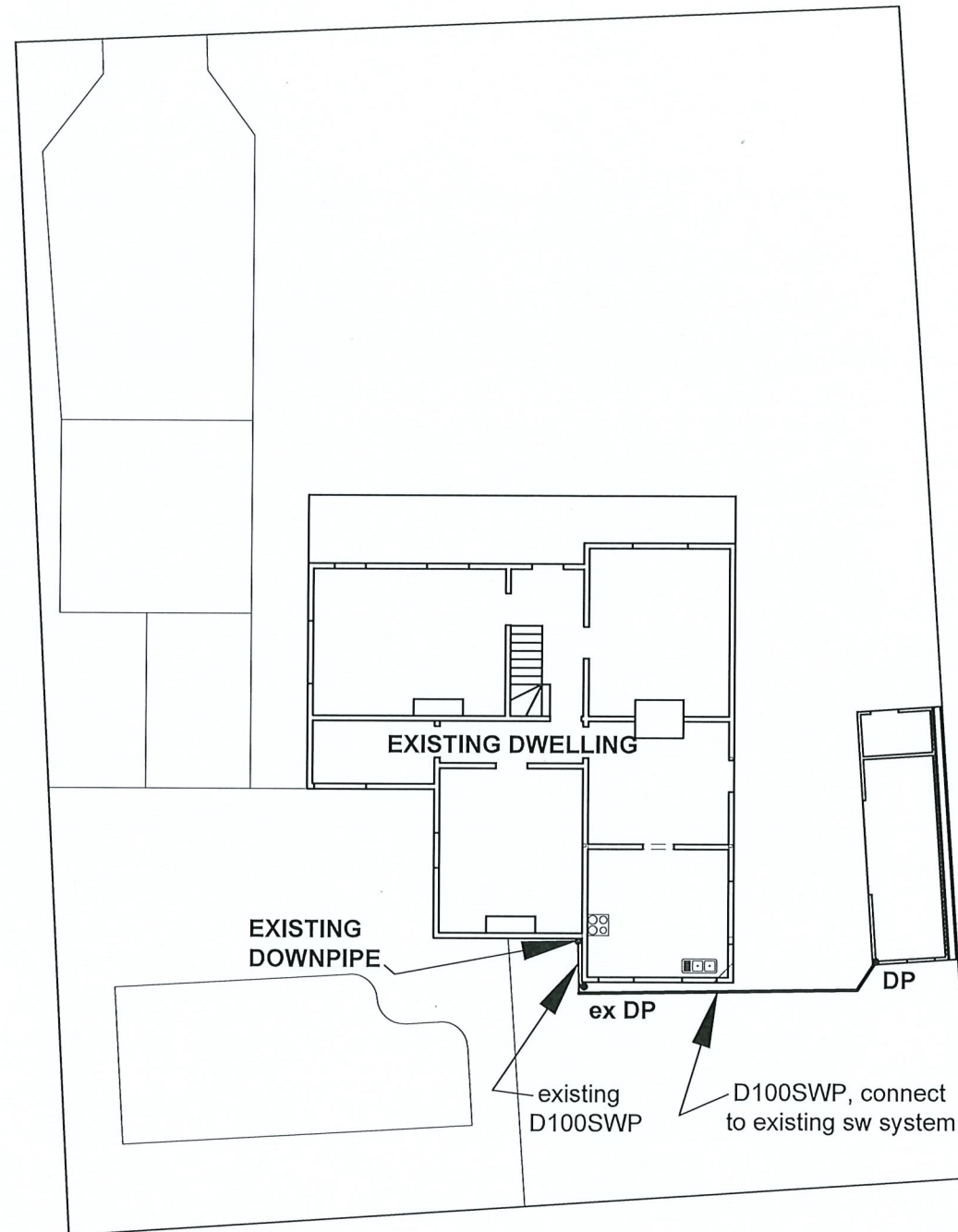
Client: B Andolfatto

Sheet :13 of 16

At: 104 Montagu Street, New Town.


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MONTAGU STREET



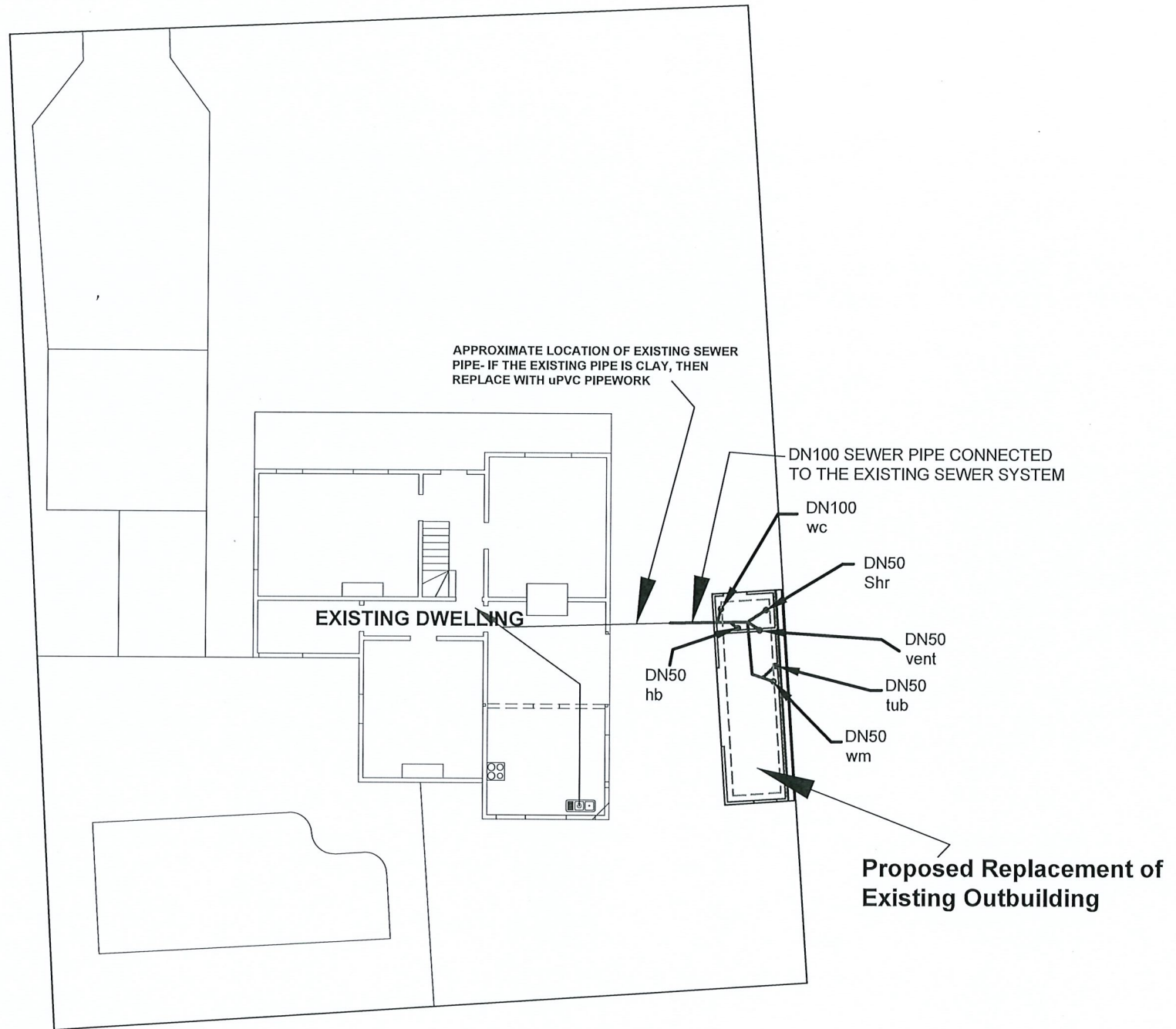
NOM D115 GUTTERING TO 100 X 50 DOWNPIPES (DP) CONNECTED TO D100SWP TO EXISTING DOWNPIPE. GUTTERING TO BE INSTALLED WITH AN ACCEPTABLE CONTINUOUS OVERFLOW MEASURE TO COMPLY WITH PART 7.4.6 OF ABCB Housing Provisions Standard 2022 OF NCC2022 DOWNPIPES MUST NOT SERVE GREATER THAN 12m GUTTER LENGTH TO COMPLY WITH PART 7.4.5 OF ABCB Housing Provisions Standard 2022 OF NCC2022

SITE PLAN
STORM WATER DRAINAGE
SCALE 1:200

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	Client: B Andolfatto	Sheet :14 of 16	Drawn :RV Date: October 2025 © Issue Date 15Oct25	
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MONTAGU STREET



SITE PLAN
SEWER DRAINAGE
SCALE 1:200



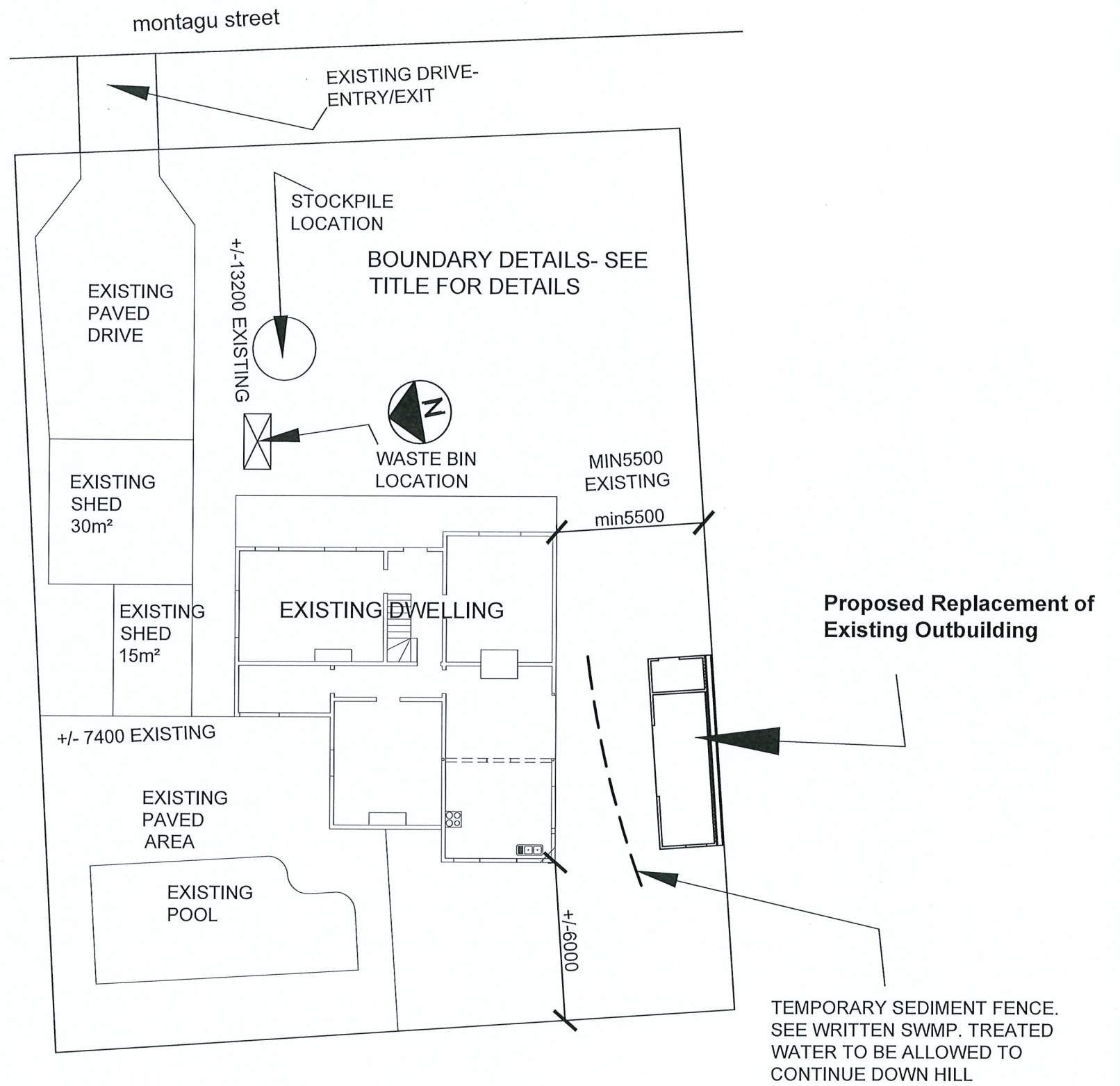
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Proposed: Replacing Existing Outbuilding
Client: B Andolfatto
At: 104 Montagu Street, New Town.


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Sheet :15 of 16

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S I T E P L A N
S T O R M W A T E R M A N A G E M E N T
 S C A L E 1 : 2 0 0

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