

PLANNING APPLICATION

Status:

Reference

PLN-HOB-2026-0034

Address

312 ELIZABETH ST NORTH HOBART TAS 7000

Titles

132776/1

Before you start

Before you start your application, you will need to know if you require planning approval or not.

If you are unsure if you require a permit, use the [PlanBuild Tasmania Enquiry Service](#) to lodge a request for advice from the relevant Council.

Once your application has been submitted the Council will review your application. If payment has not been made, you will be sent a request for the payment of application fees via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification containing a task to complete.

Pre-Application Advice

Have you spoken with anyone at Council about this application?

Yes - enter details below

No - continue to the next section

If yes, provide the name of the person you contacted

Applicant

Personal Information Removed

Owners

Personal Information Removed

Certificate(s) of Title

Selected Titles

132776/1

Total Area: 255m²

Owner Notification

Are you the sole owner of the land?

Yes - continue to the next section

No - answer question below

If no, have you notified all owners, joint or part owners of your intention to submit this application?

Yes - enter owner details below

No - you must notify all owners before proceeding with this application

List all owners, joint or part owners as recorded on the Title documents notified:

Enter the date that the last owner, joint or part owner was notified

Declaration

I declare that all land owners, joint or part owners have been notified of this planning application.

Crown Land Consent

Is Crown Land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section - see further information below
- Unsure

If yes, has written Crown Land consent been obtained?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

General Manager Consent

Is Council-owned or administered land involved in the proposed use or development?

- Yes - complete question below
- No - continue to the next section
- Unsure

If yes, has written consent been obtained from the Council General Manager?

- Yes - upload written consent
- No - application will not be progressed until consent has been provided

Proposed Use or Development

What is the reason for your planning application?

- I want to change how the property is used
- I want to use the property for visitor accommodation
- I want to subdivide
- I want to undertake a new development or alteration
- I want to do a minor boundary adjustment
- I want to put up a sign(s)
- I want to demolish
- I want to do works only
- Other

If your application is to subdivide, please enter the number of proposed lots.

0

If your application is for signage, please enter the number of signs.

Is the property a Tasmanian Heritage Listed Property?

- Yes
- No

Is the application for an EPA Activity under the Environmental Management and Pollution Control Act 1994?

- Yes
- No
- Unsure

Is the proposed use or development permitted or discretionary?

- Permitted
- Discretionary
- Unsure if permitted or discretionary

Provide a full description of the proposed use or development

Alterations to achieve 4 discrete Guestrooms with Ensuites necessitating internal alterations and plumbing and drainage. Alterations and additions to rear of building to achieve a 4th Guestroom and Ensuite, replacing slab, installing Ensuite and raising the roof and extending 1300mm. New Powder Room and compact Laundry under stair including mechanical ventilation to all wet areas.

Will the proposed use or development involve a road reserve?

- Yes - complete the section below
- No - continue to the next section
- Unsure

If yes, enter the address(es) or locations below:

If yes, how will the road reserve be affected?

Value of Works

What is the estimated value of the works?

250000

Supporting Documents

Version	Document Date	Document Type	Description	Prepared By
1	27 Jan 2026	Property Title Document	FolioPlan-132776-1.pdf	Mr Stephen Booker
1	27 Jan 2026	Property Title Document	FolioText-132776-1.pdf	Mr Stephen Booker
1	27 Jan 2026	Property Title Document	FolioTextCommonLot-132776-1.pdf	Mr Stephen Booker
1	25 Jan 2026	Architectural Plans	DA Documents and details	Mr Stephen Booker (carste Studio Pty Ltd t/as Stephen Booker Architect)
1	27 Jan 2026	Heritage Impact Assessment	Statement of heritage Impact	Mr Stephen Booker
1	15 Aug 2025	Other	Engineer's Report	Saltmarsh and Escobar
1	2 July 2025	General	Heritage Data sheet	Heritage Tasmania

Next steps

When you have completed all the necessary fields and attached all required documents to support your application, click on the green 'Save & Submit' button at the top right of this form.

Once submitted, the Council will review your application. A request for the payment of application fees will be sent to you via PlanBuild Tasmania.

Once the fees have been paid and the Council is satisfied with the information provided, the application will be assessed and you will be notified of the outcome.

If further action is required to assess your application you will receive an email notification from PlanBuild which will tell you what you need to provide to continue the application.

Form published: 14/05/2025 15:58

SEARCH OF TORRENS TITLE

VOLUME 132776	FOLIO 1
EDITION 10	DATE OF ISSUE 01-Feb-2025

SEARCH DATE : 04-Aug-2025

SEARCH TIME : 03.58 PM

DESCRIPTION OF LAND

City of HOBART

Lot 1 on Strata Plan 132776 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/40 interest

Derived from Strata Plan 132776

Derivation : Part of 3R 27P Gtd to J. Morgan

SCHEDULE 1

N228027 TRANSFER to ANDREW JOHN VAN EMMERIK Registered
01-Feb-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
The registered proprietor holds the lot and unit entitlement subject to any interest noted on common property
Folio of the Register volume 132776 folio 0

11/2337 BURDENING EASEMENT: Right to project and overhang eaves and spouting of the messuage or shop and dwelling house erected on the land in Conveyance No. 11/2337 over the Eaves and Spouting Overhang 0.33 wide on the Plan No.125482

E404126 MORTGAGE to AMP Bank Limited Registered 01-Feb-2025
at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 132776	FOLIO 0
EDITION 1	DATE OF ISSUE 08-Sep-1999

SEARCH DATE : 04-Aug-2025

SEARCH TIME : 03.58 PM

DESCRIPTION OF LAND

City of HOBART
The Common Property for Strata Scheme [132776](#)
Derivation : Part of 3R 27P Gtd to J. Morgan
Prior CT [125482/1](#)

SCHEDULE 1

STRATA CORPORATION NO. [132776](#), 312-318 ELIZABETH STREET -
HOBART

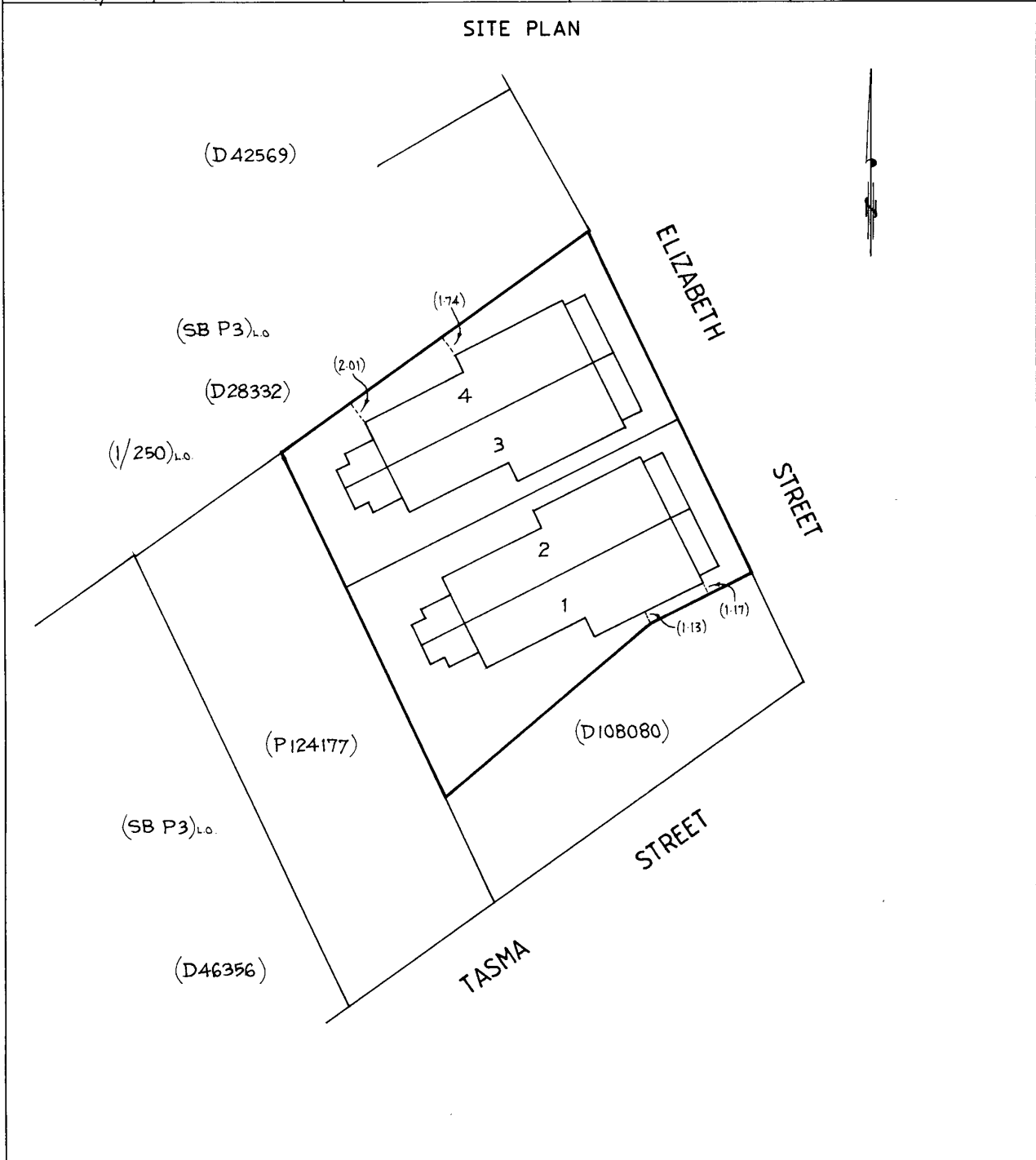
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[11/2337](#) BURDENING EASEMENT: Right to project and overhang
eaves and spouting of the messuage or shop and
dwelling house erected on the land in Conveyance No.
[11/2337](#) over the Eaves and Spouting Overhang 0.33
wide on the Plan No.125482

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN HOBART SUBURB/LOCALITY North Hobart FOLIO REFERENCE F/R125482-1 SITE COMPRISES THE WHOLE OF LOT 1 ON PLAN No. P132775		STRATA PLAN SHEET 1 OF 3 SHEETS		REGISTERED NUMBER 132776
NAME OF STRATA SCHEME 312-318 Elizabeth Street - Hobart		STRATA TITLES ACT 1998 REGISTERED 8 SEP 1999 <i>M. Sullivan</i> Recorder of Titles.		
MAPSHEET MUNICIPAL CODE No. 114/5225-42	LAST UPI No. 2100898	SCALE 1: 300	LENGTHS IN METRES	



<p>NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET I. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET I. (iii) LOT FOLIOS ARE HELD SUBJECT TO COMMON PROPERTY FOLIO INTERESTS. (iv) THE SURVEYORS CERTIFICATE MUST CERTIFY THAT ANY BUILDING ENCROACHMENT BEYOND THE SITE BDRY IS AUTHORISED ACCORDING TO LAW.</p>	STAGED/COMMUNITY DEVELOPMENT SCHEME No. (IF APPLICABLE)
	LODGED BY DOBSON, MITCHELL & ALLPORT

STRATA PLAN

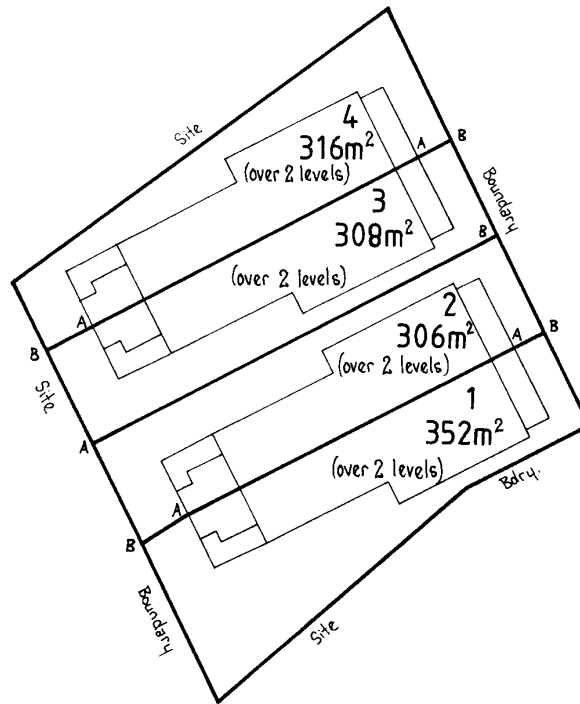
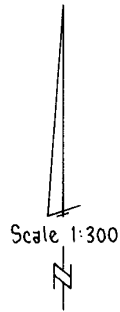
SHEET 2 OF 3 SHEETS

SURVEYING SERVICES
MANAGER

STRATA TITLES ACT 1998

Registered Number

132776



The Horizontal Lot boundaries are shown by heavy unbroken lines defined by:

- Site Boundaries.
- Centre of walls labelled AA.
- Centre of fences labelled AB.

The Vertical Lot boundaries extend from 1.00 metre below ground level to a height of 15.00 metres above ground level.

Lot N ^o .	Total floor area	Open area.
1	207 m ²	145 m ²
2	205 m ²	101 m ²
3	207 m ²	101 m ²
4	207 m ²	109 m ²

Mary McNeill

From: Andy Van Emmerik <andy@vanemm.com.au>
Sent: Thursday, 5 February 2026 12:05 PM
To: Mary McNeill
Subject: RE: 312 Elizabeth St - stat dec.

Caution! This message was sent from outside your organization.

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Hello Mary,
I can confirm that I have advised each property owner in writing.
Regards

Andy

From: Mary McNeill <Mary.McNeill@hobartcity.com.au>
Sent: Thursday, 5 February 2026 9:29 AM
To: andy@vanemm.com.au
Subject: RE: 312 Elizabeth St - stat dec.

Hello Andy,

Thank you for your email.

The Strata Plan for 312-318 Elizabeth Street is dated 1999. The Strata Titles Act was only established in 1998, so there would not have been any body corporate before that time.

The Strata Plan indicates the address for the service of notices for the Body Corporate is 312-318 Elizabeth Street.

I have sought further advice and in the circumstance that the Body Corporate is inactive, you would simply need to notify all other owners in the Strata Scheme and provide that declaration.

Regards,
Mary



Mary McNeill She/Her
Development Appraisal Planner
E Mary.McNeill@hobartcity.com.au
W hobartcity.com.au

From: Andy Van Emmerik <andy@vanemm.com.au>
Sent: Wednesday, 4 February 2026 10:41 PM
To: Mary McNeill <Mary.McNeill@hobartcity.com.au>

Cc: Andy Van Emmerik <andy@vanemm.com.au>

Subject: 312 Elizabeth St - stat dec.

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Hi Mary, Thank you for your phone call. I understand now that PlanBuild is a Tas government application that HCC is using and that it has been very problematic. Thank you for following through. I had responded to the task of confirming that I had advised the Body Corporate on the PlanBuild portal but that I had received no receipt of my lodgement of the stat dec. Herewith is a similar statement.

As I said this morning, the Lands Titles office confirmed that there will have been a body corporate established for this property in 1905 but, given that it was established by one family and held for many years, it seems that the body corporate is inactive and since there is no common land areas there are limited reasons for it to be functional.

The property 219 Elizabeth St recently has their verandah reconstructed and I did not receive any communication about their renovations, even though they required both Council and Heritage Tasmania approval.

Please let me know if this is sufficient.

Best regards
Andy van Emmerik

Project Number: 25-27

Guest Accommodation

312 Elizabeth St.,
NORTH HOBART
TAS
for
Mr Andy Van Emmerik

Drawing List

- A00 Cover Page
- A01 Specification Notes
- A02 Specification Notes
- A03 WH and S
- A04 Site Plan
- A100 S/W Drainage and Sewer - G Floor
- A101 Sewer Drainage - First Floor
- A102 Existing Floor Plans
- A103 Demolition Plans
- A104 Ground Floor Plan
- A105 First Floor Plan
- A106 Reflected Ceiling and Electrical Plan
- A200 Existing Elevations
- A201 Proposed Elevations
- A300 Section 1-1
- A301 Section 8-8
- A400 Details - Guest Bedroom 4
- A401 Details - Guest Bedroom 4
- A402 Details - Powder Room and Laundry
- A403 Details - Ensuites 2 and 3
- A403 Details - Guest Room 1



NOT FOR CONSTRUCTION

SITE INFORMATION		
Land Title Reference	CT 132776/1 Property ID 1934913 Part of 3R 27P Qld to J. Morgan. Lot 1 on Strata Plan 132776 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/40 interest.
Landuse zone	13	Urban Mixed use
Building Classification	Residence 1a	A6G2 A6G11
Site Area	352 m ²	
Wind Classification	N1 34m/s	Site Classification to AS 4055-2006
Soil Classification	S	Site Classification to AS 2870-2011
Climate Zone	7	(www.abcb.gov.au map)
BAL Level	LOW	No areas of bushfire prone vegetation > 1 Ha within 100m of the building
Alpine Area	N/A	
Corrosion Environment	LOW	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to BCA section 3.4.2.2 & BCA Table 3.4.4.2. Cladding and fixings to manufacturer's recommendations
Other Hazards	N/A	High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow and ice or other relevant factors
Floor Area - Residence:	207 m ²	

Legend:

AAC Aerated Concrete Block	HWS Hot Water System
AW Awning window	J Expansion Joint
B Basin	LT Laundry Tub
BK Block	MWC Metal wall cladding
BFD Bi Fold door	OH Overhead
BTH Bath	OHC Overhead cupboard/s
Br Broom Finish	PBD Plasterboard
Bwk Brickwork	PNT Paint
CL Ceiling Level	PNY Pantry
CFC Compressed Fibre Cement	R Render
Conc Concrete	REF Refrigerator
CPD Cupboard	RH Range hood
cpt Carpet	RL Reduced Level
CS Cavity Slider	S Sink
CRT Ceramic tiles	SS Stainless Steel
CT Cook Top / Freestanding cooker	SD Sliding door
CW Casement window	SHR Shower
DH Double Hung window	SL Skylight
DN Down	SQS Square set
DP Downpipe	SSD Sliding stack door
DR Drier	STF Steel Trowel Finish
DW Dishwasher	SW Sliding window
EC External closet (Toilet)	T Tiles
EXG Existing	TC Terra Cotta
FBK Face Brick	Timb Timber
FC Fibre Cement	TR Towel Rail
FL Floor level	UBO Under bench oven
FF Floating Flooring (Hybrid)	U/S Underside
FFL Finished Floor Level	VB Vanity basin
FG Fixed glass	WC Water closet (Toilet)
FRZ Freezer	WF Wood Float finish
FW Floor waste	WO Wall oven
FXW Fixed window	WM Washing Machine

carste STUDIO pty ltd
Heritage Architects

ABN 16122394450 ACN 122394450
nominated architect - stephen booker

p: 0427 432 720 e: admin@carste.com.au
19 Wellington Street, OATLANDS TAS 7120

www.carste.com.au

Preserving the Past for the Future

SPECIFICATION

TENDERS/CONTRACTORS.

CONSULTANTS, TENDERERS, CONTRACTORS, BUILDERS AND SUPPLIERS ARE TO VISIT THE SITE, VERIFY ALL DIMENSIONS AND EXTENTS OF WORKS AND FULLY AVAIL THEMSELVES OF ALL REQUIREMENTS TO EXECUTE AND FULLY COMPLETE THE WORKS IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS SHOWN, NOTED OR IMPLIED. DO NOT SCALE FROM DRAWINGS, USE FIGURED DIMENSIONS OR CHECK ON SITE. ANY DISCREPANCIES OR ERRORS ARE TO BE REFERRED TO ALL CONTRACTORS AND SUPPLIERS. ALL DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE NOTIFIED TO THE CLIENT AND DESIGNER OR PRODUCER PRIOR TO ACCEPTANCE OF PRICES OR ORDERING OF MATERIALS AND RESOLVED.

SCOPE OF WORKS.

THE SCOPE OF THE CONTRACTED WORKS IS DEEMED TO INCLUDE ALL ITEMS, AREAS, MATERIALS, FIXTURES AND FITTINGS AS AGREED TO IN WRITING WITH THE CLIENT. THE CONTRACTED WORKS WILL INCLUDE ALL AREAS SHOWN AND NOTED ON THE PLANS, IN THE SPECIFICATION, THE SCOPE OF WORKS AND ANY APPENDICES AS AGREED TO WITH THE CLIENT IN WRITING. ALL AND ANY VARIATIONS TO THE CONTRACTED WORKS OR EXTRAS OR ALTERATIONS ARE TO BE PRICED, APPROVED AND AGREED TO IN WRITING WITH THE CLIENT PRIOR TO BEING IMPLEMENTED INTO THE CONSTRUCTION. ANY ADDITIONAL ITEMS OR WORKS NOT AGREED AND INCLUDED INTO THE CONTRACT PRICE IN WRITING WILL BE VOID OF ANY REQUIREMENT OF PAYMENT BY THE CLIENT. THE CONTRACTED WORKS WILL INCLUDE ALL ITEMS, MATERIALS, FIXTURES AND FITTINGS AS NECESSARY AND REQUIRED TO COMPLETE THE WORKS FULLY FOR OCCUPATION WHETHER SEEN OR BUILT IN, AND WHETHER NOTED, SPECIFIED, SHOWN OR IMPLIED IN THE CONTRACT DOCUMENTS OR USUAL AS PART OF THE COMPLETION OF THE WORKS.

1. GENERALLY.

ALL WORKS SHALL BE PERFORMED BY AN APPROVED CURRENTLY LICENSED AND INSURED BUILDER AND/OR CONTRACTORS, AND IS TO FULLY COMPLY WITH ALL RELEVANT AUTHORITY APPROVALS AND AUSTRALIAN CODES, BASIX OBLIGATIONS, THE BUILDING CODE OF AUSTRALIA AND LOCAL COUNCIL CODES, DIRECTIVES AND APPROVALS. ALL WORKS ARE TO BE INSTALLED AND PERFORMED IN A PROFESSIONAL AND TRADESMAN LIKE MANNER USING NEW OR SELECTED RECYCLED MATERIALS AS APPROPRIATE AND AS SELECTED AND AGREED TO IN WRITING WITH THE CLIENT. ALL MATERIALS AND FINISHES ARE TO BE TO CLIENT SELECTION AND APPLIED AND FIXED INTO THE WORKS TO MANUFACTURERS PRINTED SPECIFICATIONS. ALL WORKS AND INSTALLATIONS ARE TO BE FULLY COMPLETED IN ALL RESPECTS AND ALL DEBRIS AND WASTE BEING REMOVED FROM THE SITE PRIOR TO COMPLETION. ALL FEES, COSTS APPROVALS AND CERTIFICATES ARE TO BE PROVIDED BY THE BUILDER AS REQUIRED. THE BUILDER SHALL DISPLAY A SITE IDENTIFICATION SIGN PROMINENTLY STATING CLIENT, LOT No, BUILDERS NAME, ADDRESS ETC' AS REQUIRED. SAMPLES OF FINISHES AND INSTALLATIONS ARE TO BE PRESENTED TO THE CLIENT FOR APPROVAL PRIOR TO CUTTING OR FIXING IN PLACE. THE BUILDER SHALL FULLY FENCE AND MAKE SECURE THE SITE OR AREA OF WORKS AND FULLY MAKE SAFE FOR THE DURATION OF THE CONTRACT TO CODE AND AUTHORITY REQUIREMENTS. THE BUILDER SHALL TAKE RESPONSIBILITY FOR AND ENSURE THE SAFE WORKING PROCEDURES FOR ALL TRADES AND CONTRACTORS ARE MAINTAINED TO AUTHORITY REQUIREMENTS. THE BUILDER SHALL INSTALL AND MAINTAIN A DAY BOOK AND RECORD ALL WORKS AND DELIVERIES ON A DAILY BASIS. THIS WILL INCLUDE ANY DELAYS, LOST DAYS AND BREAKDOWNS. THE BUILDER SHALL INSTALL AND MAINTAIN A SEDIMENTATION AND SILTATION CONTROL SYSTEM OF BARRIERS, DETENTION BERMS AND FILTERS TO AUTHORITY APPROVALS. THE BUILDER SHALL MAINTAIN A CLEAN AND WELL ORDERED SITE. MATERIALS AND DEBRIS ARE NOT TO BE STORED ON FOOTPATHS. CLEAR ACCESS AND FOOTWAYS ARE TO BE MAINTAINED. THE BUILDER SHALL PROVIDE A FULL BUILDING PROGRAMME WITH DATED PROPORTIONAL MONTHLY PAYMENT CLAIM STAGES AND AMOUNTS. THE BUILDER SHALL SUBMIT TO THE CLIENT MONTHLY PROGRESS CLAIMS FOR PAYMENT IN ACCORDANCE WITH THE PROGRAMME FOR RATIFICATION AND PAYMENT BY THE CLIENT OR THEIR REPRESENTATIVE WITHIN 14 DAYS. THE BUILDER SHALL COMPLY WITH ALL BASIX OBLIGATIONS AS REQUIRED.

WARRANTIES:

ALL PRODUCTS INCORPORATED INTO THE WORKS SHALL BE ACCOMPANIED BY A MANUFACTURER'S WARRANTY. THEY ARE TO BE PROVIDED TO THE OWNER IN THE OWNER'S NAME, THE WARRANTY PERIOD COMMENCING AT PRACTICAL COMPLETION AND WARRANTIES ARE TO EXTEND TO NEW OWNERS SHOULD THE PROPERTY BE SOLD. WARRANTIES SHALL COVER ALL RECTIFICATION WORK TO REPLACE DEFECTIVE PRODUCT, INCLUDING DISASSEMBLY AND REASSEMBLY OF BUILDING ELEMENTS TO ACCESS AND MAKE GOOD AROUND THE DEFECTIVE PRODUCT/ELEMENT.

2. INSURANCES.

THE BUILDER/CONTRACTORS ARE TO ALLOW FOR FULL AND ALL INSURANCES AGAINST FIRE, STORM, THEFT, PUBLIC LIABILITY, EARTHQUAKE AND POSSIBLE DAMAGE BY ANY CAUSES IN THE JOINT NAMES OF THE OWNER, HIMSELF AND THE LENDING BODIES AS APPLICABLE. THE BUILDER/CONTRACTOR IS TO INSURE FULLY FOR HIS SUB-CONTRACTORS, TRADES AND STAFF UNDER WORKERS COMPENSATION AND WORKCOVER / EMPLOYERS LIABILITY ACTS. THE BUILDER/CONTRACTOR IS TO ALLOW AND PROVIDE FOR FULL PROJECT FINANCIAL AND BANKRUPTCY INSURANCE, TAX PAYMENTS, SUPERANNUATION AND DEDUCTIONS AS REQUIRED BY STATUTORY AND REGULATORY AUTHORITY BODIES.

3. DEMOLISHER.EXCAVATOR.

DEMOLISH STRUCTURES AS NOTED AND EXCAVATE THE SITE TO THE LEVELS, EXTENTS AND CONFIGURATION AS SHOWN ON PLANS SUITABLE FOR THE EXTENT OF THE WORKS AS SHOWN WITH MINIMAL DISTURBANCE TO THE SURROUNDING AREA. PROVIDE SHORING, PROPPING AND PROTECTION TO SURROUNDING AREAS AS NECESSARY AND REQUIRED. ALL AREAS AND WORKS ARE TO BE KEPT CLEAR AND SAFE. ALL EXCAVATIONS, COMPACTION, PIERING AND FOOTINGS ETC' TO BE APPROVED BY AN ENGINEER. ALL REDUNDANT MATERIALS TO BE REMOVED FROM SITE UNLESS REQUIRED FOR USE BY THE CLIENT. NOISE, DUST, VIBRATION AND SILTATION ARE TO BE CONTROLLED ON SITE BY THE BUILDER. EXCAVATE FOR FOOTINGS, SLABS ETC' AS SHOWN ON PLAN AND TAKE BASE TO SOLID FOUNDATION AND STEP TO SUIT SITE FALLS. PROVIDE BLOCKOUTS FOR SERVICE LOCATIONS AND BACKFILL ON COMPLETION. SOFT OR UNSTABLE MATERIAL IS TO BE REFERRED TO THE CONSULTANT ENGINEER AND PRINCIPAL IMMEDIATELY FOR APPRAISAL AND RESOLUTION. ALL IN-ROCK EXCAVATIONS ARE TO BE MEASURED AND RATIFIED WITH THE CLIENT AND ENGINEER PRIOR TO REMOVAL AND ANY ADDITIONAL COSTS TO BE AGREED TO IN WRITING. ALL SUSPECT OR POSSIBLY CONTAMINATED GROUND OR HAZARDOUS MATERIALS ENCOUNTERED ARE TO BE REFERRED TO THE PRINCIPAL FOR ASSESSMENT AND QUANTIFYING. ALL SUCH GROUND OR HAZARDOUS MATERIALS AS IDENTIFIED ARE TO BE CAREFULLY CONTAINED AND PREPARED FOR REMOVAL FROM THE SITE TO AN APPROVED DISPOSAL FACILITY AS MAY BE DESIGNATED BY THE RELEVANT AUTHORITIES TO THE APPLICABLE CODE REQUIREMENTS.

4. MATERIALS, FIXTURES AND FITTINGS.

ALL MATERIALS SHALL MATCH EXISTING OR BE TO CLIENT SELECTION AND BE IN ACCORDANCE WITH THE PLANS AND DETAILS UNLESS OTHERWISE AGREED TO IN WRITING. ALL FINISHES AND SELECTIONS SHALL BE TO CLIENT APPROVAL AND INSTALLED OR FIXED STRICTLY TO MANUFACTURERS WRITTEN SPECIFICATION. THE BUILDER SHALL ALLOW FOR ALL SUPPLEMENTARY FRAMING AND PROVISIONS AS NECESSARY. ALL MATERIALS USED ARE TO COMPLY WITH CURRENT CODES AND STANDARDS AS TO QUALITY, SUITABILITY, PERFORMANCE AND RESILIENCE IN THEIR LOCATION. ALL MATERIALS, FIXTURES, FITTINGS AND SERVICES PROVIDED AND INSTALLED ARE TO BE NEW FIRST QUALITY WITH GUARANTEES AS APPLICABLE UNLESS SPECIFICALLY, NOMINATED, STATED AND AGREED AS BEING RECYCLED.

5. CONCRETE.

ALL CONCRETE TO BE PLACED TO ENGINEERS DIRECTIONS AND DETAILS. TEST SLUMPS TO BE TAKEN FROM EACH MIXER BATCH. ALL PLACEMENT, VIBRATION, FORMWORK, STEEL REINFORCEMENT AND CURING TO BE TO CURRENT AUSTRALIAN STANDARDS AND THE TECHNICAL NOTES OF THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA. ALLOW FOR ALL OPENINGS, SET DOWNS, RECESSES AND PENETRATIONS AS SHOWN AND NECESSARY. PROVIDE FALLS AS SHOWN OR NECESSARY TO EXTERNAL AREAS AWAY FROM THE BUILDING. PROTECT AND CURE ALL AREAS. KEEP MOIST FOR 7 DAYS. STRIP AND REMOVE FORMWORK UPON COMPLETION. NO ADDITIONAL WATER IS TO BE ADDED TO ANY MIXER BATCH BY SITE PERSONNEL OR THE OPERATOR AFTER LEAVING THE DISPATCH PLANT UNDER ANY CIRCUMSTANCES. SLUMP TEST RESULTS TO BE FURNISHED FOR ENGINEER APPROVAL.

6. BRICKLAYER

ALL WORK TO COMPLY TO AS 3700 MASONRY CODE. CARRY UP ALL WORK PLUMB AND TRUE IN FIRST GRADE BRICKS OF COLOUR AND MORTAR JOINT AS SELECTED. ALL WORK TO BE STRETCHER BOND OR AS NOTED TO CURRENT STANDARDS AND RELEVANT CODES OF PRACTICE. DO NOT EXPOSE FROGS OR EXTRUSION HOLES. FIRE RATED AREAS TO BE SOLID DRY PRESS UNITS WITH FULL MORTAR BEDS AND PERP' ENDS WITH WEEP HOLES TO SILLS AND HEADS. STAINLESS STEEL TIES AT EACH 6th BRICK EVERY 4th COURSE. INSTALL AND CLEAN ALL D.P.C. WEEP HOLES AND FLASHINGS AS NECESSARY. BUILD IN ALL HOLD DOWNS AND BRACKETS AS NECESSARY. REMOVE MORTAR SPLATTER, RAKE & BRUSH JOINTS AND CLEAN DOWN ALL WORK ON COMPLETION TO APPROVED METHODS.

7. STRUCTURAL STEEL.

ALL STEELWORK TO BE TO CURRENT AUSTRALIAN STANDARDS AND ENGINEER DESIGN AND APPROVAL. ALL LINTELS, COLUMNS, BEAMS, BRACING AND MEMBERS TO BE H.D. GALVANISED. EXPOSED HOLLOW ENDS TO BE CAPPED AND GROUND SMOOTH. ALL WELDS TO BE GROUND SMOOTH. ALL HOLDING DOWN BOLTS AND FRAMING BOLTS TO BE AS PER ENGINEERS DETAILS. ANY MEMBERS PAINTED OR SITE WELDED ARE TO BE CLEANED, SANDED AND COATED WITH 'COLD' GALVANISING PAINT, PRIMER/ UNDERCOAT AND TWO COATS MINIMUM FINISH. REFER TO ENGINEERS DRAWINGS FOR SPECIFIC SIZES AND DETAILS. WHERE EXPOSED TO SALT ATMOSPHERE EPOXY PAINTS TO BE USED OR GALVANISED FINISH.

8. METALWORK, WINDOWS & DOORS.

ALL HANDRAILS AND METALWORK TO BE PROPRIETARY MANUFACTURED ITEMS OR FABRICATED TO DETAILS AND AS NOTED. METALWORK GENERALLY TO BE INSTALLED TO EXTENTS AND LOCATIONS NOMINATED ON PLANS. FINISHES TO BE AS SELECTED AND NOTED TO MANUFACTURERS DETAILS. ALUMINIUM WINDOW AND DOOR FRAMES TO BE FROM COMMERCIAL GRADE SYSTEMS WITH SEALS AND FINISHES SUITABLE FOR THE EXPOSURE AND WEATHER CONDITIONS APPLICABLE. ALL TRIMS, CAPPINGS, FLASHINGS AND SEALS ARE TO BE PROVIDED AND INSTALLED TO MANUFACTURER PROVIDED PRINTED SPECIFICATION, APPROVALS AND CERTIFICATION. ALL ALUMINIUM WINDOWS AND DOORS TO BE POWDER COATED OR ANODISED FINISH AS SELECTED TO THICKNESS APPLICABLE TO SITE EXPOSURE CONDITIONS.

9. CARPENTER/TIMBER FRAMING.

ALL WORKS AS TO STRUCTURAL SIZES, QUALITY, PROCEDURE AND ERECTION ARE TO COMPLY TO THE CURRENT TIMBER FRAMING AND BUILDING CODES AND ENGINEERS DETAILS AS APPLICABLE. ALL TIMBERS TO BE IN LONG LENGTHS FREE FROM DEFORMITIES AND FAULTS. STRUCTURAL TIMBERS ARE TO BE CLEAR F8 STRESS GRADE MIN'. EXPOSED TIMBERS INTERNALLY TO BE SELECT GRADE, CLEAR. EXTERNAL TIMBERS AND CUT JOINTS TO BE FULLY PRIMED AT CUTTING AND INSTALLATION. DECKING AND EXTERNAL TIMBERS TO BE SELECTED HARDWOOD CLEAR C.C.A. PRESSURE TREATED. EXTERNAL FINISHES GENERALLY TO BE 3 COATS MINIMUM "SIKENS" OR SOLID SPIRIT BASED. ALL PAINTED TIMBERS TO BE PRIMER/UNDERCOATED AND TWO FINISH COATS MIN'. FOIL SISALATION, SARKING TO BE FIXED OVER ALL EXTERNAL STUD FRAMING TO BRICK VENEER, SHEETED OR PLANKED WALLS AND GABLES. INERT MINERAL WOOL INSULATION IS TO BE INSTALLED TO WALLS AND FLOORS SO NOMINATED.

10. ROOFER/ROOF PLUMBER

ALL MATERIALS AND INSTALLATIONS ARE TO BE TO CURRENT MATERIAL STANDARDS AND CODES FOR INSTALLATION. SUPPLY AND FIX PROFILED SHEET METAL ROOFING AS SHOWN AND NOTED TO LOCATIONS ON PLANS. FIT FOIL BACKED INERT MINERAL WOOL INSULATION R2.0 UNDER PROFILED SHEET ROOFING AREAS. FLASH AND SEAL ALL PENETRATIONS WITH PROPRIETARY PRODUCTS TO APPROVED METHODS. LIAISE WITH OTHER TRADES FOR LOCATION AND EXTENT OF OPENINGS AND PENETRATIONS. PROVIDE AND FIX ALL CAPPINGS, COVERINGS, TRIMS ETC' AS NECESSARY. ALLOW FOR WORKS TO ROOF SKYLIGHTS AND VENTS ETC' AS NECESSARY. PROVIDE AND INSTALL METAL FASCIAS, BARGES, VALLEY, BOX AND EAVES GUTTERS AND DOWNPIPES WITH ALL FIXINGS AS SHOWN ON PLANS TO CO-ORDINATE WITH GROUND LEVEL GRATED P.V.C. DRAINAGE SUMPS AND PICK UP POINTS. ALL METALS ARE TO BE GALVANICALLY COMPATIBLE AND TO BE COLORBOND OR ZINCALUME FINISH AS SELECTED UNLESS OTHERWISE NOTED. PROVIDE, INSTALL AND COMMISSION ROOF COLLECTED WATER STORAGE TANK SYSTEM, PIPING AND FITTINGS AS SHOWN AND NOTED ON DRAWINGS AND TO COUNCIL APPROVALS FOR LANDSCAPE AND HOUSE USES AS REQUIRED.

11. PLUMBER/DRAINER.

LIAISE WITH LOCAL COUNCIL, WATER SUPPLY AND SEWER DRAINAGE AUTHORITIES FOR POINTS OF CONNECTION AND DETAIL REQUIREMENTS. ALL SEWER, WATER AND STORMWATER WORKS ARE TO BE TO CURRENT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY DIRECTIONS AND APPROVALS. LAY ALL SEWER AND STORMWATER DRAINS AND SERVICE LINES AND INSTALL ALL FITTINGS AND FIXTURES AS DRAWN AND SELECTED TO POSITIONS AND CONFIGURATIONS AS SHOWN AND NOTED ON PLANS. CONNECT NEW WORK AND/OR EXTENDED TO FITTINGS AS NECESSARY AND REQUIRED. INSTALL ALL VENTS AND FLOOR WASTES REQUIRED AND FULLY FLASH AND SEAL JOINTS ETC' AS NECESSARY. ALL WATER SERVICES TO BE IN 12mm AND 20mm DIA' COPPER OR APPROVED P.V.C. LINES AND ALL SEWER DRAINS IN APPROVED P.V.C. GAS SERVICE TO LOCATED AS REQUIRED AND EXTENDED TO NEW LOCATIONS AS SHOWN. INSTALLATION AND CONNECTION TO BE TO CURRENT CODES AND RULES. ALL WORKS TO BE INSPECTED AND CERTIFIED AS REQUIRED. ALL STORMWATER PIPES TO BE FITTED AT GROUND LEVEL POINTS UNDER DOWNPIPES WITH GRATED P.V.C. SUMPS OF APPLICABLE SIZE SET 50mm ABOVE FINISHED EXTERNAL LEVELS. DOWN PIPES TO BE FINISHED TO ALLOW 150mm CLEARANCE OVER SUMPS. EXTEND AND PROVIDE AND INSTALL RETICULATION, FILTERS AND PUMP FITTINGS AS NECESSARY FOR RE-CYCLING OF COLLECTED ROOF WATER INTO THE PROJECT WORKS FOR W.C. AND LAUNDRY USE AS SHOWN ON DRAWINGS AND INCLUDED IN COUNCIL APPROVALS.

12. ELECTRICIAN.

ALL WORKS AND MATERIALS TO BE TO CURRENT WIRING RULES, CODES AND AUTHORITY INSPECTIONS AND APPROVALS. EXISTING SUPPLY AND FITTINGS WHERE APPLICABLE ARE TO BE FULLY INSPECTED AND EVALUATED FOR SUITABILITY AND UPGRADE FOR NEW WORKS. ALLOW TO INSTALL NEW OR UPGRADE MAINS SUPPLY, METER BOARDS, SUB-BOARDS, WIRING ETC' AS NECESSARY AND REQUIRED. INSTALL ALL NEW AND/OR REMEDIAL WIRING AND CONNECT ALL FITTINGS AND EMERGENCY INSTALLATIONS AS REQUIRED AND AS NECESSARY AND AS SHOWN AND NOTED ON PLANS. ALL WORKS TO BE FULLY TESTED AND INSPECTED BY THE LOCAL AUTHORITY AS NECESSARY AND CERTIFIED AS REQUIRED. ALLOW TO INSTALL NEW OR UPGRADE "RESIDUAL CURRENT DETECTION" AND SMOKE AND THERMAL ALARMS TO ALL AREAS TO COMPLY TO CURRENT CODE REQUIREMENTS AS PART OF THE WORKS. LIAISE WITH THE OWNER AND BUILDER FOR INSTALLATION AND CONNECTION OF ANY OWNER PROVIDED FITTINGS AS NOMINATED.

Legend:

AAC	Aerated Concrete Block
AW	Awning window
B	Basin
BK	Block
BFD	Bi Fold door
BTH	Bath
Br	Broom Finish
Bwk	Brickwork
CL	Ceiling Level
CFC	Compressed Fibre Cement
Conc	Concrete
CPD	Cupboard
cpt	Carpet
CS	Cavity Slider
CRT	Ceramic tiles
CT	Cook Top / Freestanding cooker
CW	Casement window
DH	Double Hung window
DN	Down
DP	Downpipe
DR	Drier
DW	Dishwasher
EC	External closet (Toilet)
EXG	Existing
FBK	Face Brick
FC	Fibre Cement
FL	Floor level
FF	Floating Flooring (Hybrid)
FFL	Finished Floor Level
FG	Fixed glass
FRZ	Freezer
FW	Floor waste
FXW	Fixed window
HWS	Hot Water System
J	Expansion Joint
LT	Laundry Tub
MWC	Metal wall cladding
OH	Overhead
OH	Overhead cupboard/s
PBD	Plasterboard
PNT	Paint
PNY	Pantry
R	Render
REF	Refrigerator
RH	Range hood
RL	Reduced Level
S	Sink
SS	Stainless Steel
SD	Sliding door
SHR	Shower
SL	Skylight
SSQ	Square set
SSD	Sliding stack door
STF	Steel Trowel Finish
SW	Sliding window
T	Tiles
TC	Terra Cotta
Timb	Timber
TRO	Towel Rail
UB	Under bench oven
U/S	Underside
VB	Vanity basin
WC	Water closet (Toilet)
WF	Wood Float finish
WO	Wall oven
WM	Washing Machine

Notes:

Amendments:

Revision: ###

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Project Number:

P I n

Project Name:

Guest Accommodation

312 Elizabeth Street

North Hobart 7000

Proprietor:

Mr Andy Van Emmerik

Drawing: Specification Notes

Title:

Scale: @ A 3

Status:

Drawn Date:

Plot Date: Monday, 26 January 2026

Bar Scale:

0 1 2 3 4 5 6 7 8 9 10

Drawing No: A 0 1

Drawn By: S R B

Reviewed By: S B



Preserving the past for the future

SPECIFICATION NOTES (continued)

13. WATER PROOFING, TILER / IMPERVIOUS FINISHES

MATERIALS USED ARE TO BE EITHER WATER PROOF OR WATER RESISTANT. WATERPROOF MATERIALS ARE THOSE SUCH AS STAINLESS STEEL, COPPER, WATERPROOF FLEXIBLE SHEET FLOORING MATERIALS WITH SEALED JOINTS AND MEMBRANES MEETING THE REQUIREMENTS OF AS 4858.

ALL PRACTICES, WORKS AND MATERIALS ARE TO BE TO CURRENT CODE REQUIREMENTS AND AUTHORITY STANDARDS AND INSTALLED TO MANUFACTURERS PRINTED SPECIFICATION. TO WET AREAS AS SHOWN ON PLANS THOROUGHLY CLEAN DOWN AND APPLY APPROVED EPOXY SEALER TO FLOORS AND WALLS AND LAY FINISHES AS SHOWN AND NOTED ON PLANS TO OWNER SELECTIONS AND APPROVED COLOURS.

LAY ALL TILES ON SUITABLE ADHESIVE OR MORTAR BEDS WITH FALLS TO FINISH FLUSH TO WASTES AS NECESSARY. LAY ALL FLOOR, WALL, SPLASH AND SKIRT TILES OR IMPERVIOUS 3mm VINYL SHEET AS NOTED AND SHOWN. ALL QUARRY, SLATE, UNGLAZED OR CORK TILES TO HAVE 2 COATS CLEAR POLYURETHANE FINISH AFTER CLEANING. APPLY "ARDIT" LEVELLING COMPOUND TO ALL VINYL FLOOR AND WALL AREAS AS NEEDED TO FULLY LEVEL SURFACES PRIOR TO APPLICATION.

SHOWER WALLS: SHOWER WALLS ARE TO BE WATERPROOFED TO 150MM ABOVE SHOWER FLOOR SUBSTRATE, OR 25MM ABOVE MAXIMUM RETAINED WATER LEVEL. SHOWER WALLS ARE TO BE WATER RESISTANT TO 1800MM FROM FINISHED FLOOR LEVEL. ALL INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS ARE TO BE WATERPROOFED WITHIN THE SHOWER AREA.

PLASTERBOARD JOINTS (OUTSIDE SHOWER) THAT EXTEND INSIDE SHOWER AREAS MUST BE WATERPROOF. UNENCLOSED SHOWER AREAS ARE TO BE WATERPROOFED TO 1500MM FROM THE SHOWER. TAP-PENETRATIONS ARE TO BE SEALED. FURTHER, TAP WASHERS MUST BE ACCESSIBLE WITHOUT DAMAGING THE SEAL AROUND TAP PENETRATIONS.

FLOORS AND HORIZONTAL SURFACES ADJOINING AN INSERT BATH ARE TO BE WATERPROOFED. WHERE THE FLOOR IS WATERPROOFED, THE TANKING OF THE WALLS IS TO BE A MINIMUM OF 25MM ABOVE THE FINISHED FLOOR LEVEL.

14. PAINTER/DECORATOR.

ALL MATERIALS TO BE FIRST QUALITY PREMIUM BRAND NAME PRODUCTS.

PREPARE SURFACES AND FILL ALL GAPS AND DEFECTS AS NECESSARY. PAINT ALL AREAS, SURFACES AND FEATURES USUALLY PAINTED AND AS NOTED OR AS SHOWN ON PLANS OR NOTED IN SCHEDULES TO OWNER SELECTED COLOURS AND FINISHES. MATERIALS ARE TO BE SELECTED AND APPLIED TO BE SUITABLE FOR THE SURFACE AND LOCATION AND EXPOSURE SITUATION. ALL AREAS ARE TO BE PREPARED AND FINISHES APPLIED IN STRICT ACCORDANCE WITH THE SPECIFICATION AND PRINTED RECOMMENDATIONS OF THE MANUFACTURER APPLICABLE FOR THE SURFACE MATERIAL AND PRODUCT AS USED. ALL PAINTED AREAS ARE TO BE FULLY PREPARED, BE CLEAN AND DUST AND FLAKE FREE AND TO HAVE A MINIMUM OF 1 COAT PRIMER OR SEALER / UNDERCOAT AS APPLICABLE.

ALL AREAS ARE TO HAVE 2 FINISH COATS MINIMUM, WELL APPLIED. ALL STAINED OR CLEAR TIMBER FINISHED AREAS ARE TO BE PREPARED AND NAILS AND CRACKS FILLED TO MATCH TIMBER.

ALL AREAS ARE TO HAVE 3 FINISH COATS MINIMUM FINISH AS SELECTED, WELL APPLIED, WITH LIGHT SAND BETWEEN COATS.

15. VENTILATION. ACTIVE/PASSIVE.

ALL VENTILATION UNITS AND FITTINGS, EITHER ACTIVE/MECHANICAL OR PASSIVE, ARE TO BE INSTALLED TO CURRENT CODES OF PRACTICE AND STANDARDS OF INSTALLATION AND BE TO EXTENTS AND AREAS AS SHOWN ON PLANS. ALL FANS, MOTORS, ACTUATORS, CONDENSERS AND FAN COIL UNITS ETC ARE TO BE WIRED FROM THE MAIN BOARD WITH CONTROLS AND MONITOR POINTS AS REQUIRED AND ALL INSTALLATIONS ARE TO BE PERFORMED BY QUALIFIED TRADESMEN SUITABLE FOR THE WORKS. LIAISE WITH ALL RELEVANT AUTHORITIES FOR INSTRUCTIONS, INSPECTIONS AND APPROVALS. ALL INTAKE AIR AND EXHAUST AIR GRILLES ARE TO HAVE 6.0 METRES CLEARANCE FROM EACH OTHER. CONDENSATE WASTE IS TO BE DIRECTED TO PLUMBED TUNDRISH OUTLETS EXTERNALLY OR IN WALL WITH ACCESS PLATES.

16. FINISH OFF/COMPLETION.

PRACTICAL COMPLETION/HANDOVER TO THE CLIENT WILL ONLY BE DEEMED TO OCCUR WHEN ALL WORKS AND AREAS OF THE CONTRACTED UNDERTAKING AS SHOWN ON PLANS AND AGREED TO ARE COMPLETE IN ALL RESPECTS, ALL

FITTINGS, FIXTURE AND APPLIANCES ARE INSTALLED AND CONNECTED AND ALL SERVICES ARE CONNECTED THROUGHOUT AND FUNCTIONING FULLY. THE WHOLE OF THE WORKS ARE TO BE COMPLETE AND FULLY READY FOR CLIENT NORMAL USE AND ALL AREAS ARE CLEANED DOWN AND REDUNDANT MATERIALS AND WASTES ARE REMOVED FROM THE SITE. THE BUILDER IS AT THIS TIME TO FURNISH TO THE CLIENT FINAL CERTIFICATE OF SURVEY SET-OUT

AND UPDATED TO COMPLETION OF WORKS. ALL CERTIFICATES FROM AUTHORITIES AND UTILITIES AS WELL AS ALL GUARANTEES AND WARRANTIES ARE TO BE FURNISHED TO THE CLIENT.

FINAL COUNCIL OCCUPATION CERTIFICATION AND 317AE CERTIFICATES ARE TO BE FURNISHED TO THE CLIENT. A DEFECTS LIABILITY PERIOD OF 26 WEEKS WILL APPLY FROM PRACTICAL COMPLETION/HANDOVER DATE THE BUILDER/CONTRACTOR SHALL DURING THE DEFECTS PERIOD COMPLETE RECTIFICATION OR REPLACEMENT TO ALL ITEMS NOTED ON THE DEFECTS INSPECTION LIST AND OTHER ITEMS AS NOTIFIED TO HIM DURING THIS PERIOD TO NEW CONSTRUCTION CONDITION TO THE SATISFACTION OF THE CLIENT.

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OHC	Overhead cupboard/s
PBD	Plasterboard
PNT	Paint
PNY	Pantry
R	Render
REF	Refrigerator
RH	Range hood
RL	Reduced Level
S	Sink
SS	Stainless Steel
SD	Sliding door
SHR	Shower
SL	Skylight
SQS	Square set
SSD	Sliding stack door
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VB	Vanity basin
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WF	Wood Float finish
WO	Wall oven
WM	Washing Machine

Notes :

Amendments :

Revision: ###

NOT FOR CONSTRUCTION



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Project Number: **# P I n**
 Project Name: **Guest Accommodation**
 312 Elizabeth Street
 North Hobart 7000
 Proprietor: **Mr Andy Van Emmerik**

Drawing: **Specification Notes**
 Title:
 Scale: **@ A 3**
 Status:
 Drawn Date:
 Plot Date: **Monday, 26 January 2026**

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: **A 0 2**
 Drawn By: **S R B**
 Reviewed By: **S B**

HEALTH & SAFETY NOTES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT THIS INCLUDED (BUT IS NOT LIMITED TO); OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENANCE TRADES, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS DURING CONSTRUCTION

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES. HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL. THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHERE A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY.

DURING OPERATION OR MAINTENANCE

FOR HOUSE OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE, CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OR THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH THE RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION. FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE, CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE. WHERE PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS AND LEGISLATION.

A) ANCHORAGE POINTS

ANCHORAGE POINTS FOR PORTABLE SCAFFOLD OR FALL ARREST DEVICES HAVE BEEN INCLUDED IN THE DESIGN FOR USE BY MAINTENANCE WORKERS. ANY PERSONS ENGAGED TO WORK ON THE BUILDING AFTER COMPLETION CONSTRUCTION WORK SHOULD BE INFORMED ABOUT THE ANCHORAGE POINTS.

B) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES - SPECIFIED

IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET. ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN.

FLOOR FINISHES - NOMINATED BY THE OWNER

IF DESIGNER HAS NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING. SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZS 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

DUETO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED. STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES IF THE BUILDING OPERATES AS A WORKPLACE. BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD. SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS IMMEDIATELY. CONTRACTORS ARE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING DEMOLITION, CONSTRUCTION OR MAINTENANCE. TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE, MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.

1. PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
2. PROVIDE TOE BOARDS TO SCAFFOLDING OR WORK PLATFORMS.
3. PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
4. ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE. CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE, WHICH MAY INJURE PERSONS IN THE AREA, IS A POSSIBILITY. MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS. CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED.

3. TRAFFIC MANAGEMENT – WHERE APPLICABLE

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD, PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD. DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED. TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS.

FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED:

CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY. DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING / UNLOADING AREAS.

FOR ALL BUILDINGS:

BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN AND AROUND THE SITE. A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE.

4. SERVICES

GENERAL

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL. EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE. WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED. SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED.

LOCATIONS WITH UNDERGROUND POWER:

UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE. ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING.

LOCATIONS WITH OVERHEAD POWER LINES;

OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE. THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL. WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE WHERE PRACTICAL, DISCONNECTED OR RELOCATED. WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAP OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED. SCAFFOLDING IN THE VICINITY OF ELECTRICAL WIRES SHALL BE EFFECTIVELY PROTECTED BY INERT SHIELDING TO PREVENT ARCING.

5. MANUAL TASKS

COMPONENTS WITHIN THIS DESIGN WITH A WEIGHT IN EXCESS OF 25KG SHOULD BE LIFTED BY TWO OR MORE WORKERS OR BY MECHANICAL LIFTING DEVICE. WHERE THIS IS NOT PRACTICAL, SUPPLIERS OR FABRICATORS SHOULD BE REQUIRED TO LIMIT THE COMPONENT WEIGHT. ALL MATERIAL PACKAGING, BUILDING AND MAINTENANCE COMPONENTS SHOULD CLEARLY SHOW THE TOTAL WEIGHT OF PACKAGES AND WHERE PRACTICAL ALL ITEMS SHOULD BE STORED ON SITE IN A WAY WHICH MINIMISES BENDING BEFORE LIFTING. ADVICE SHOULD BE PROVIDED ON SAFE LIFTING METHODS IN ALL AREAS WHERE LIFTING MAY OCCUR.

CONSTRUCTION, MAINTENANCE AND DEMOLITION OF THIS BUILDING WILL REQUIRE THE USE OF PORTABLE TOOLS AND EQUIPMENT. THESE SHOULD BE FULLY MAINTAINED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND NOT USED WHERE FAULTY OR (IN THE CASE OF ELECTRICAL EQUIPMENT) NOT CARRYING A CURRENT ELECTRICAL SAFETY TAG. ALL SAFETY GUARDS OR DEVICES SHOULD BE REGULARLY CHECKED AND PERSONAL PROTECTIVE EQUIPMENT (PPE) MUST BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

6. HAZARDOUS SUBSTANCES

ASBESTOS

FOR ALTERATIONS A BUILDING CONSTRUCTED PRIOR TO 1990:

IF THIS EXISTING BUILDING WAS CONSTRUCTED PRIOR TO:

1990 - IT THEREFORE MAY CONTAIN ASBESTOS.

1986 - IT THEREFORE IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL OR IN FIRE RETARDANT INSULATION MATERIAL. IN EITHER CASE, THE BUILDER SHOULD CHECK AND, IF NECESSARY, TAKE THE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING OR DRILLING OTHERWISE DISTURBING THE EXISTING STRUCTURE.

POWDERED MATERIALS

MANY MATERIALS USED IN THE CONSTRUCTION OF THIS BUILDING CAN CAUSE HARM IF INHALED IN POWDERED FORM. PERSONS WORKING OR IN THE BUILDING DURING CONSTRUCTION, OPERATIONAL MAINTENANCE OR DEMOLITION SHOULD ENSURE GOOD VENTILATION, WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING FILTERED PROTECTION AGAINST INHALATION WHILE USING POWDERED MATERIAL OR WHEN SANDING, DRILLING, CUTTING OR OTHERWISE DISTURBING OR CREATING POWDERED MATERIAL.

TREATED TIMBER

THE DESIGN OF THIS BUILDING MAY INCLUDE PROVISION FOR THE INCLUSION OF TREATED TIMBER WITHIN THE STRUCTURE. DUST OR FUMES FROM THIS MATERIAL CAN BE HARMFUL. PERSONS WORKING ON OR IN THE BUILDING DURING DEMOLITION, CONSTRUCTION AND MAINTENANCE SHALL ENSURE GOOD VENTILATION AND WEAR PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL WHEN SANDING, DRILLING, CUTTING OR USING TREATED TIMBER IN ANY WAY THAT MAY CAUSE HARMFUL MATERIAL TO BE RELEASED. GLOVES SHOULD BE WORN WHEN HANDLING TREATED TIMBERS. DO NOT BURN TREATED TIMBER.

VOLATILE ORGANIC COMPOUNDS (VOC)

MANY TYPES OF GLUE, SOLVENTS, SPRAY PACKS, PAINTS, VARNISHES AND SOME CLEANING MATERIALS AND DISINFECTANTS HAVE DANGEROUS EMISSIONS. AREAS WHERE THESE ARE USED SHOULD BE KEPT WELL VENTILATED WHILE THE MATERIAL IS BEING USED AND FOR A PERIOD AFTER INSTALLATION. PERSONAL PROTECTIVE EQUIPMENT MAY ALSO BE REQUIRED. THE MANUFACTURER'S RECOMMENDATIONS FOR USE MUST BE CAREFULLY CONSIDERED AT ALL TIMES.

SYNTHETIC MINERAL FIBRE

FIBREGLASS, ROCK WOOL, CERAMIC AND OTHER MATERIAL USED FOR THERMAL OR SOUND INSULATION MAY CONTAIN SYNTHETIC MINERAL FIBRE WHICH MAY BE HARMFUL IF INHALED OR IF IT COMES IN CONTACT WITH THE SKIN, EYES OR OTHER SENSITIVE PARTS OR THE BODY. PERSONAL PROTECTIVE EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL SHOULD BE USED WHEN INSTALLING, REMOVING OR WORKING NEAR BULK INSULATION MATERIAL.

7. CONFINED SPACES

EXCAVATION

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS. WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION. WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE. WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED.

ENCLOSED SPACES: FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:

ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED.

SMALL SPACES: FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED:

SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS. THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS. THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES, THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS. MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES.

8. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC. WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED. WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED.

9. OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE.

ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK. DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT.

ALL THE ABOVE APPLIES.

Legend :

AAC	Aerated Concrete Block
AW	Awning window
B	Basin
BK	Block
BFD	Bi Fold door
BTH	Bath
Br	Broom Finish
Bwk	Brickwork
CL	Ceiling Level
CFC	Compressed Fibre Cement
Conc	Concrete
CPD	Cupboard
cpt	Carpet
CRT	Cavity Slider
CST	Ceramic tiles
CT	Cook Top / Freestanding cooker
CW	Casement window
DH	Double Hung window
DN	Down
DP	Downpipe
DR	Drier
DW	Dishwasher
EC	External closet (Toilet)
EXG	Existing
FBK	Face Brick
FC	Fibre Cement
FL	Floor level
FF	Floating Flooring (Hybrid)
FFL	Finished Floor Level
FG	Fixed glass
FRZ	Freezer
FW	Floor waste
FXW	Fixed window
HWS	Hot Water System
J	Expansion Joint
LT	Laundry Tub
MWC	Metal wall cladding
OH	Overhead
OH	Overhead cupboard/s
PBC	Plasterboard
PNT	Paint
PNY	Pantry
R	Render
REF	Refrigerator
RH	Range hood
RL	Reduced Level
S	Sink
SS	Stainless Steel
SD	Sliding door
SHR	Shower
SL	Skylight
SQS	Square set
SSD	Sliding stack door
STF	Steel Trowel Finish
SW	Sliding window
T	Tiles
TC	Terra Cotta
Timb	Timber
TR	Towel Rail
UBO	Under bench oven
U/S	Underside
VB	Vanity basin
WC	Water closet (Toilet)
WF	Wood Float finish
WO	Wall oven
WM	Washing Machine

Notes :

Amendments :

Revision: ###

NOT FOR CONSTRUCTION

carste STUDIO pty ltd

Heritage Architects

ABN 16122394450 ACN 122394450

nominated architect - stephen booker
ARB NSW Reg No. 4613

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Project Number :

P I n

Project Name :
Guest Accommodation
312 Elizabeth Street
North Hobart 7000

Proprietor :
Mr Andy Van Emmerik

Drawing: W H and S

P I n

Title:
Scale: @ A 3

Status:

Drawn Date:

Plot Date: Monday, 26 January 2026

Bar Scale:

0 1 2 3 4 5 6 7 8 9 10

Drawing No: A 0 3

Drawn By: S R B

Reviewed By: S B



ESTD 1994
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Heritage Architect

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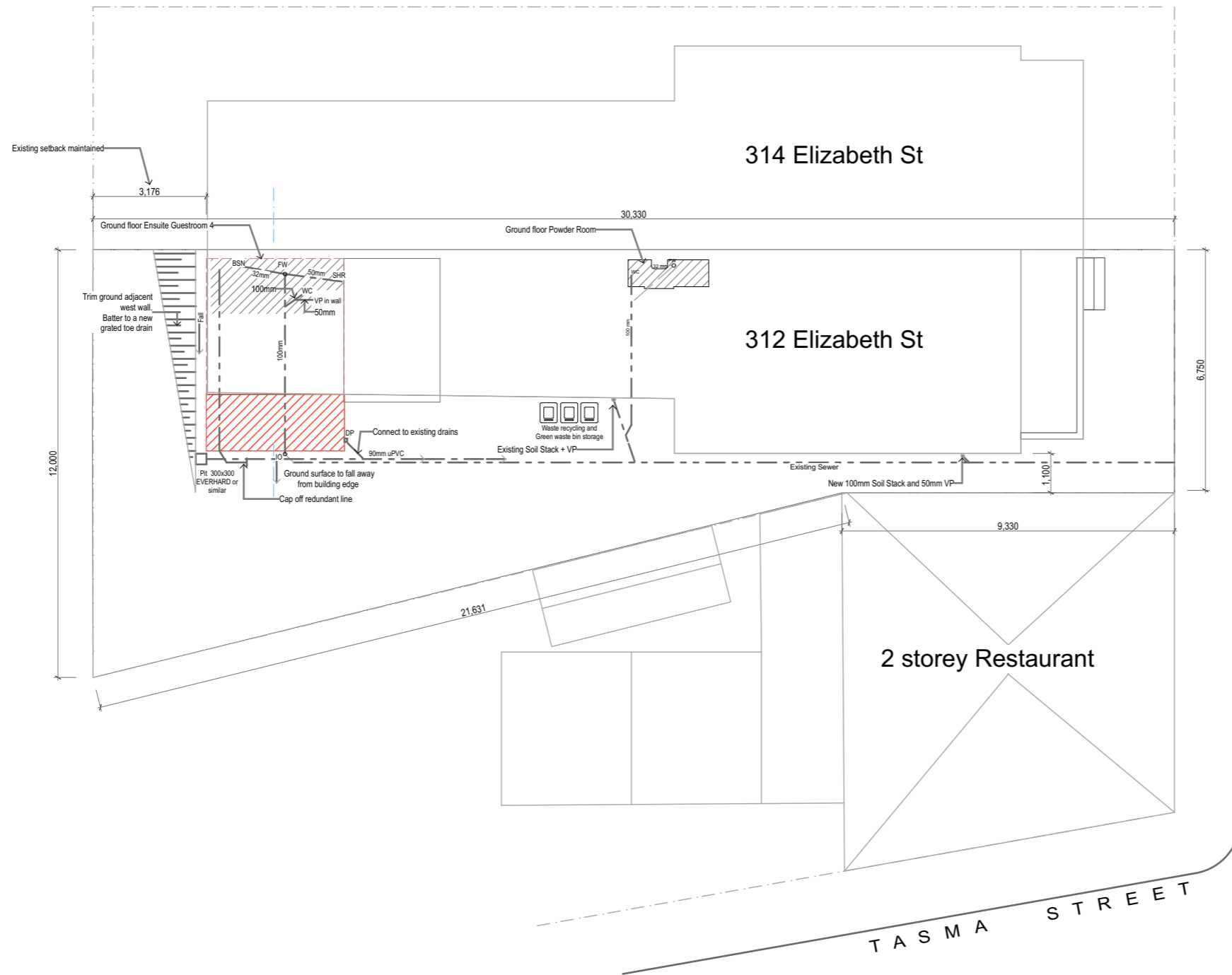
Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FLL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

Notes:

Amendments:

Revision: ###
 A Rear set back confirmed and bin storage 27 02 26



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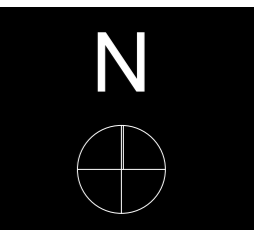
carste STUDIO pty ltd
 Heritage Architects
 ABN 16122394450 ACN 122394450
 nominated architect - stephen booker
 ARB NSW Reg No. 4613
 p: 0427 432 720 e: admin@carste.com.au
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Project Number: #P1n
 Project Name: Guest Accommodation
 312 Elizabeth Street
 North Hobart 7000
 Proprietor: Mr Andy Van Emmerik

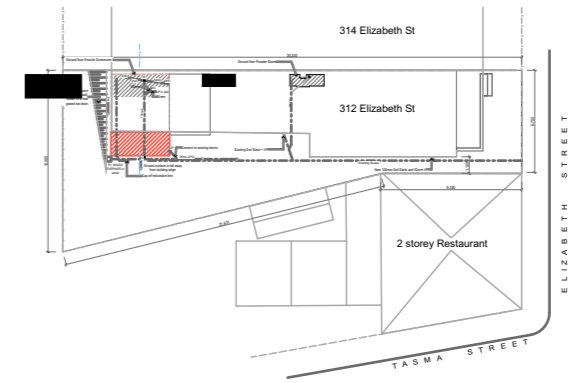
Drawing: Site Plan
 Title: Stormwater and Minor Earthworks, Proposed Ground Floor
 Scale: 1:150 @ A3
 Status:
 Drawn Date:
 Plot Date: Friday, 27 February 2026

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: A04-A
 Drawn By: SRB
 Reviewed By: SB



Legend:

AAC	Aerated Concrete Block
AW	Awning window
B	Basin
BK	Block
BFD	BI Fold door
BTH	Bath
Br	Broom Finish
Bwk	Brickwork
CL	Ceiling Level
CFC	Compressed Fibre Cement
Conc	Concrete
CPD	Cupboard
cpt	Carpet
CS	Cavity Slider
CRT	Ceramic tiles
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CW	Casement window
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FFL	Finished Floor Level
FG	Fixed glass
FRZ	Freezer
FW	Floor waste
FXW	Fixed window
HWS	Hot Water System
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LT	Laundry Tub
MWC	Metal wall cladding
OH	Overhead
OHC	Overhead cupboard/s
PBD	Plasterboard
PNT	Paint
PNY	Pantry
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REF	Refrigerator
RH	Range hood
RL	Reduced Level
S	Sink
SS	Stainless Steel
SD	Sliding door
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SL	Skylight
SQS	Square set
SSD	Sliding stack door
STF	Steel Trowel Finish
SW	Sliding window
T	Tiles
TC	Terra Cotta
Timb	Timber
TR	Towel Rail
UBO	Under bench oven
U/S	Underside
VB	Vanity basin
WC	Water closet (Toilet)
WF	Wood Float finish
WO	Wall oven
WM	Washing Machine



Key Plan Ground Floor Wet Areas

LEGEND & NOTES

--- Stormwater line (90mm UPVC) DWG A101

--- Sewer line (100mm UPVC) DWG A100

Wet areas shown hatched. Refer to notes on drawing A100 for waterproofing information.

Install inspection openings at major bends for stormwater and all low points of downpipes.

Alternatively install 300x300 pits at each downpipe and finish spout offset 150mm above pit.

All plumbing & drainage to be in accordance with local Council requirements.

Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing footing excavation.

Services

The heated water system must be designed and installed with Part B2 of NCC Volume Three - Plumbing Code of Australia.

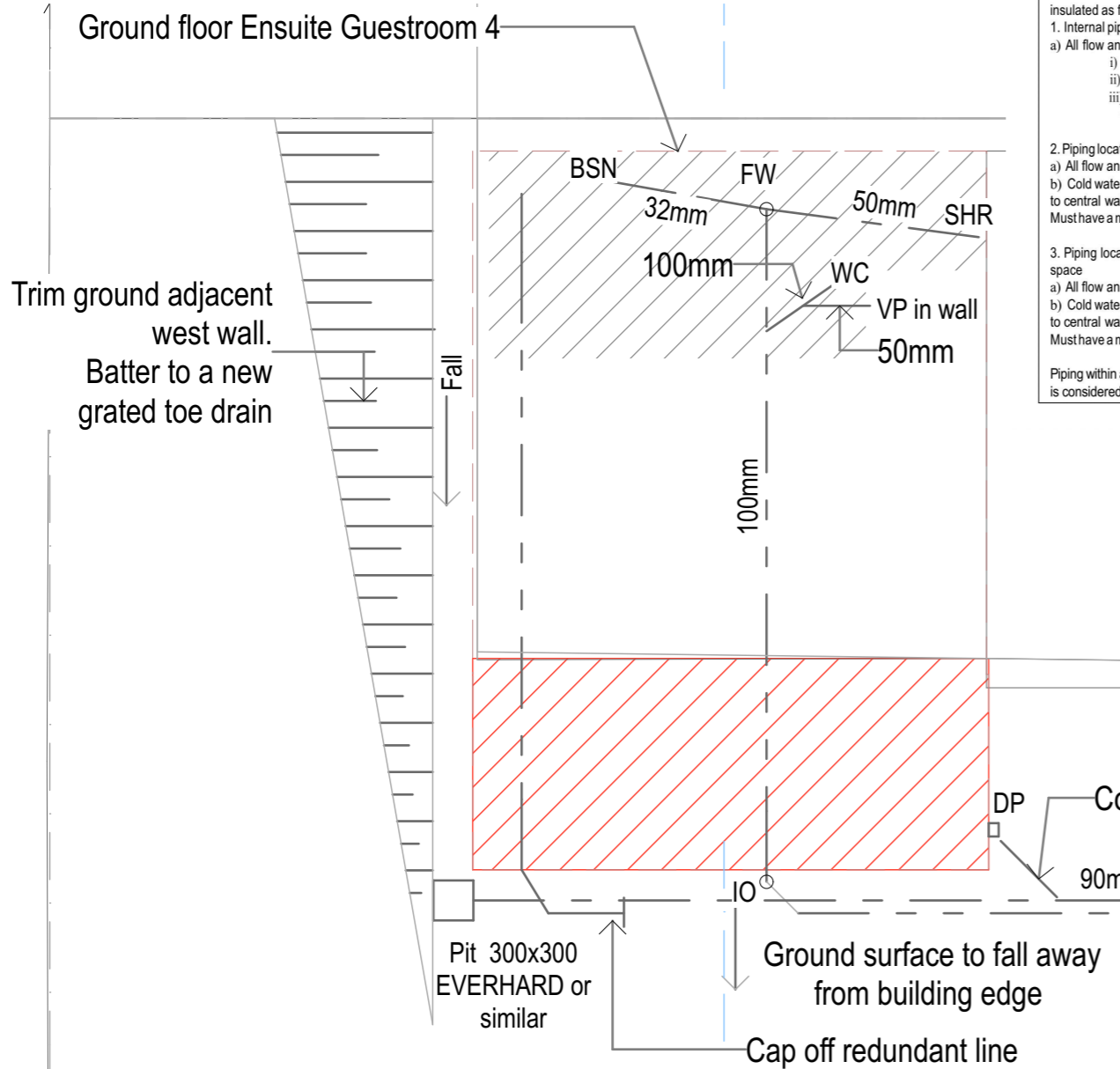
Thermal insulation for heated water piping must:

- be protected against the effects of weather and sunlight; and
- be able to withstand the temperatures within the piping; and
- use thermal insulation in accordance with AS/NZS 4859.1

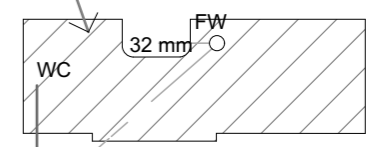
Heated water piping that is not within a conditioned space must be thermally insulated as follows:

- Internal piping
 - All flow and return internal piping that is -
 - within an unventilated wall space
 - within an internal floor between storeys; or
 - between ceiling insulation and a ceiling Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space
 - All flow and return piping
 - Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space
 - All flow and return piping
 - Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.



Ground floor Powder Room



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Notes:

Amendments:

Revision: ###

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Project Number: # P1n
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: S/W Drainage and Sewer - G Floor Bar Scale:
Title: Drainage Plan
Scale: 1:50, 1:500 @ A3
Status:
Drawn Date:
Plot Date: Monday, 26 January 2026

0 1 2 3 4 5 6 7 8 9 10

Drawing No: A 100
Drawn By: SRB
Reviewed By: SB


Legend :

AAC	Aerated Concrete Block
AW	Awning window
B	Basin
BK	Block
BFD	Bi Fold door
BTH	Bath
Br	Broom Finish
Bwk	Brickwork
CL	Ceiling Level
CFC	Compressed Fibre Cement
Conc	Concrete
CPD	Cupboard
cpt	Carpet
CS	Cavity Slider
CRT	Ceramic tiles
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DN	Down
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OHC	Overhead cupboard/s
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PNT	Paint
PNY	Pantry
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S	Sink
SS	Stainless Steel
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SHR	Shower
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U/S	Underside
VB	Vanity basin
WC	Water closet (Toilet)
WF	Wood Float finish
WO	Wall oven
WM	Washing Machine

LEGEND & NOTES

--- Stormwater line (90mm UPVC) DWG A101

--- Sewer line (100mm UPVC) DWG A100

 Wet areas shown hatched. Refer to notes on drawing A100 for waterproofing information.

Install inspection openings at major bends for stormwater and all low points of downpipes.

Alternatively install 300x300 pits at each downpipe and finish spout offset 150mm above pit.

All plumbing & drainage to be in accordance with local Council requirements.

Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing footing excavation.

Services

The heated water system must be designed and installed with Part B2 of NCC Volume Three - Plumbing Code of Australia.

Thermal insulation for heated water piping must:

- a) be protected against the effects of weather and sunlight; and
- b) be able to withstand the temperatures within the piping; and
- c) use thermal insulation in accordance with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

1. Internal piping

- a) All flow and return internal piping that is -
 - i) within an unventilated wall space
 - ii) within an internal floor between storeys; or
 - iii) between ceiling insulation and a ceiling Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)

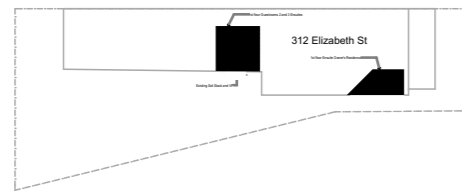
2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space

- a) All flow and return piping
- b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)

3. Piping located outside the building or in an unenclosed building sub-floor or roof space

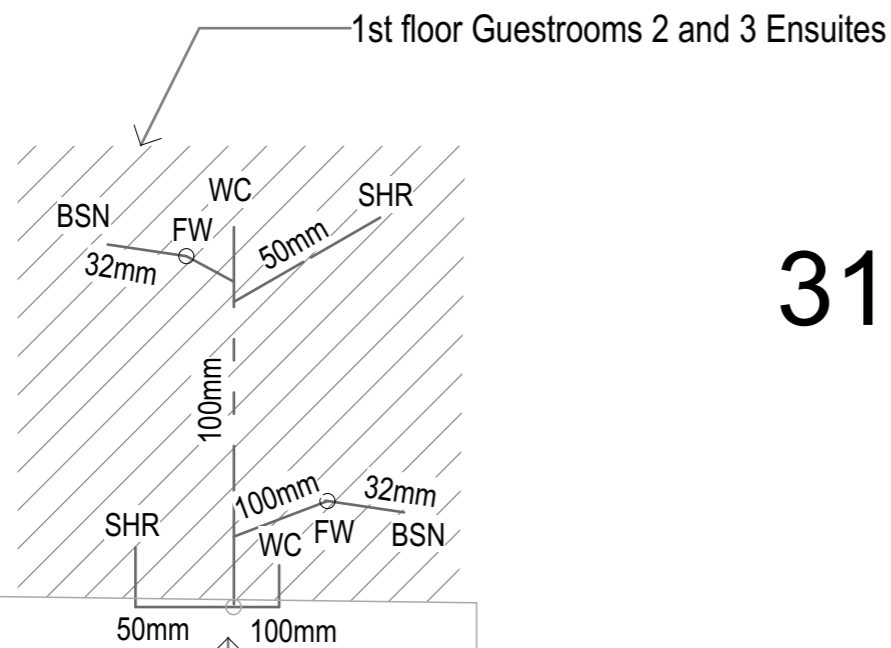
- a) All flow and return piping
- b) Cold water supply piping and Relief valve piping- within 500mm of the connection to central water heating system Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)

Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

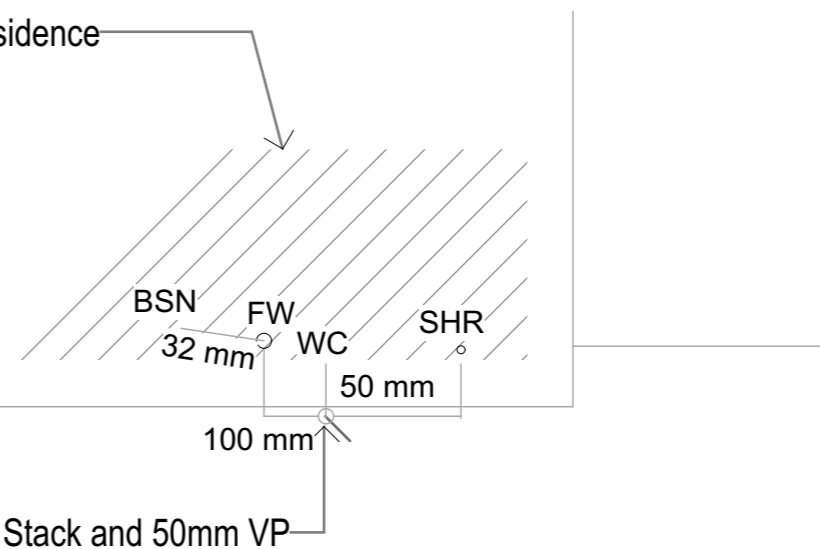


Key Plan First Floor Wet Areas

312 Elizabeth St



1st floor Ensuite Owner's Residence



Existing Soil Stack and VP

First Floor Drainage Plan

New 100mm Soil Stack and 50mm VP

Notes :

Amendments :

Revision: ###
A Owner's Residence defined 27 02 26

NOT FOR CONSTRUCTION

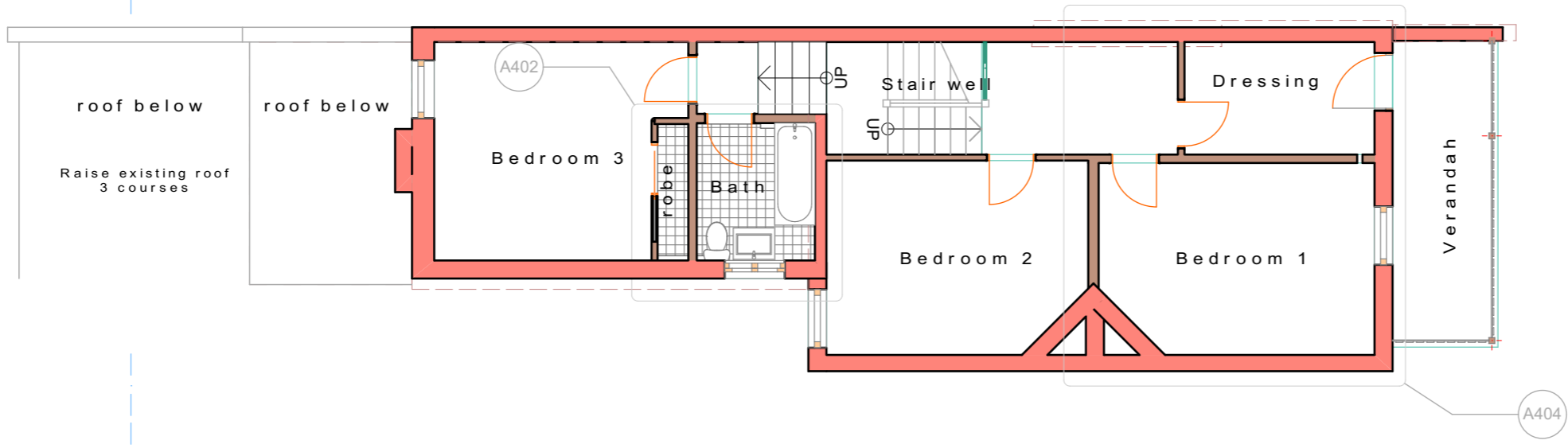
Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CFC Compressed Fibre Cement
- Conc Concrete
- CPD Cupboard
- cpt Carpet
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- DR Drier
- DW Dishwasher
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- FBK Face Brick
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- FFL Finished Floor Level
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- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

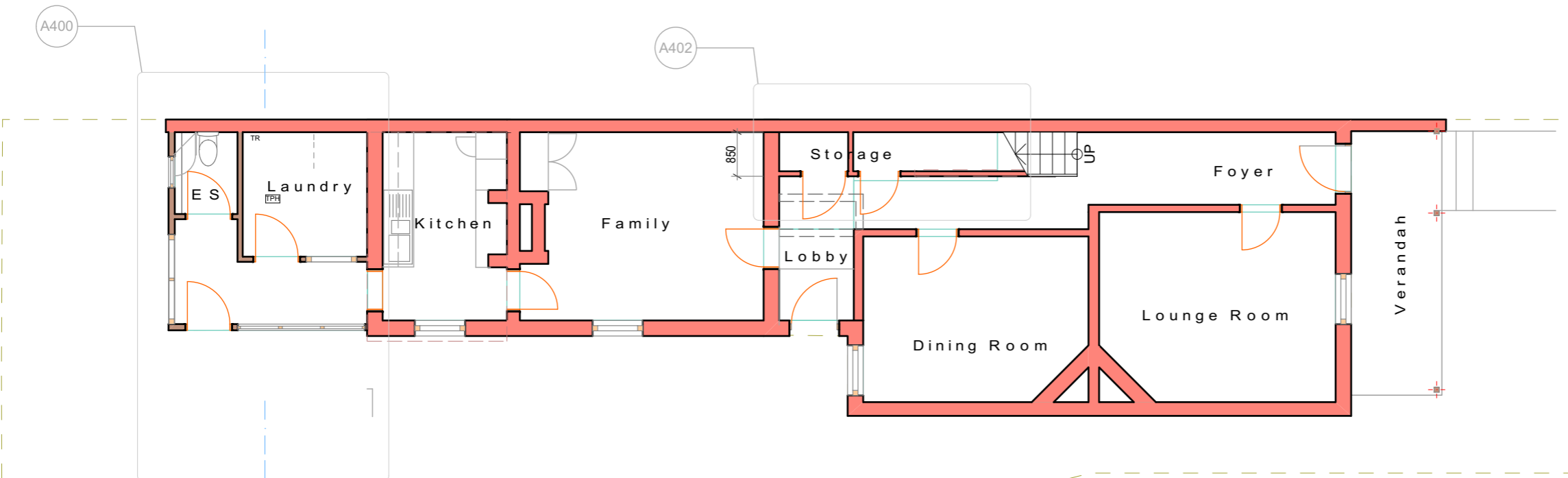
Notes:

Amendments:

Revision: ###



Existing First Floor Plan



Existing Ground Floor Plan

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Project Number: #PIN
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: Existing Floor Plans
Title: Existing First Floor, Existing Ground Floor
Scale: 1:100 @ A3
Status:
Drawn Date:
Plot Date: Monday, 26 January 2026

Bar Scale:
0 1 2 3 4 5 6 7 8 9 10

Drawing No: A 102
Drawn By: SRB
Reviewed By: SB

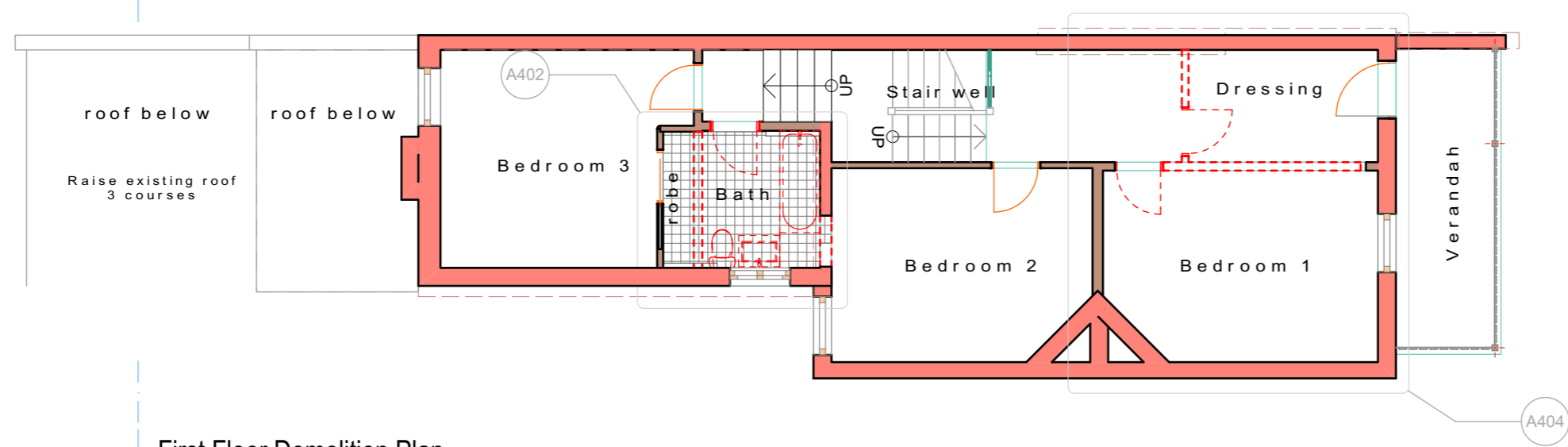
Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FLL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

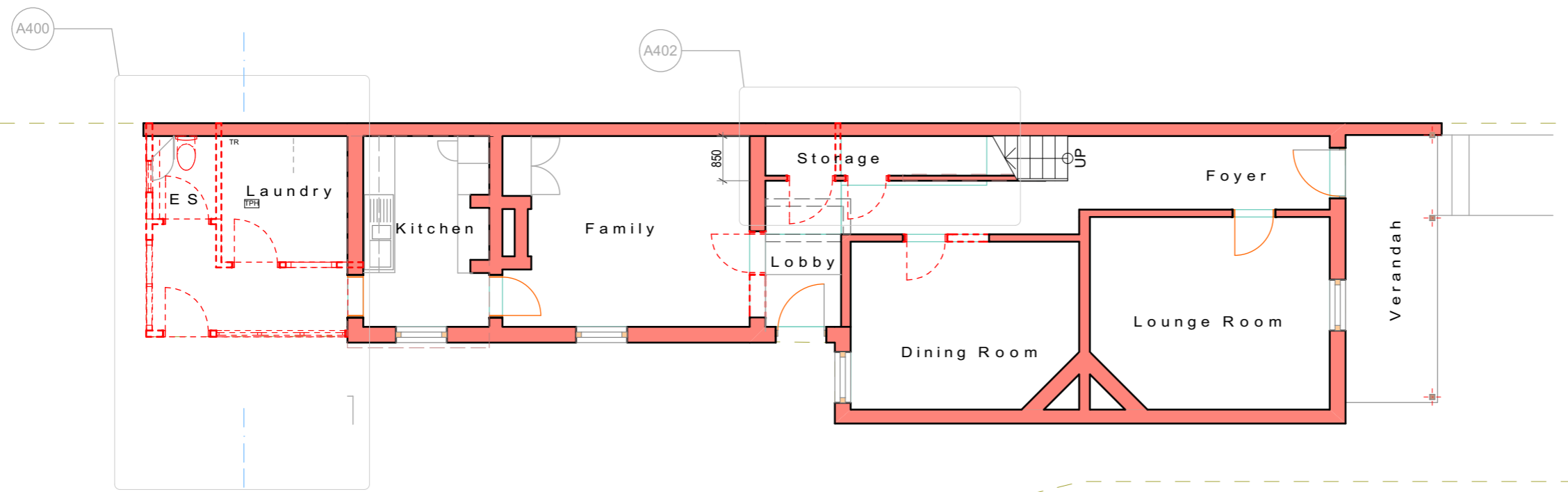
Notes:

Amendments:

Revision: ###



First Floor Demolition Plan



Ground Floor Demolition Plan

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 Heritage Architect
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 Heritage Architects
 ABN 16122394450 ACN 122394450
 nominated architect - stephen booker
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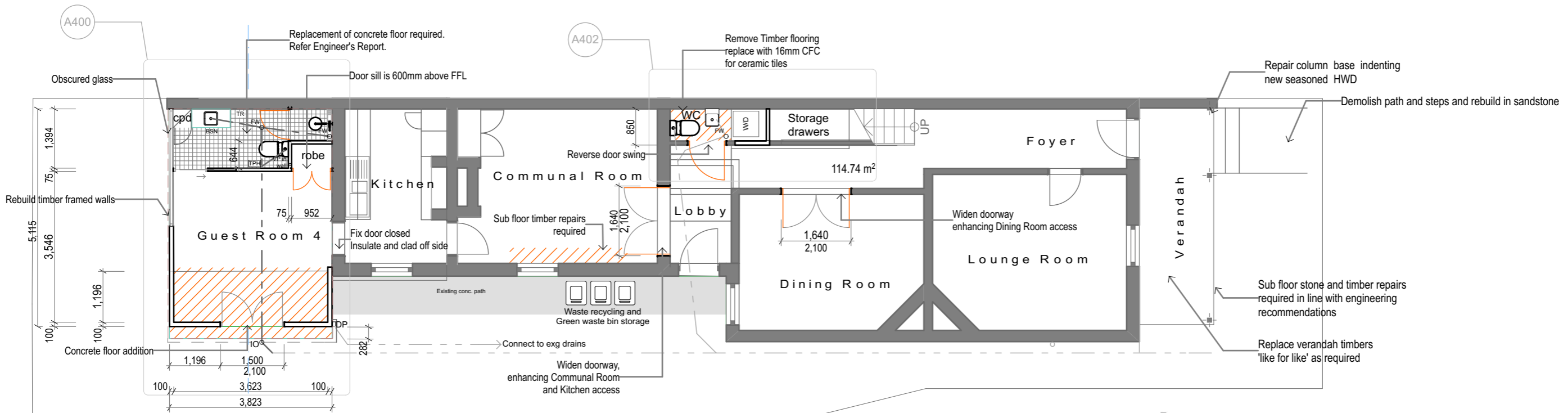
Project Number: #PIN
 Project Name: Guest Accommodation
 312 Elizabeth Street
 North Hobart 7000
 Proprietor: Mr Andy Van Emmerik

Drawing: Demolition Plan
 Title: First Floor Demolition, Ground Floor Demolition
 Scale: 1:100 @ A3
 Status:
 Drawn Date:
 Plot Date: Monday, 26 January 2026

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: A 103
 Drawn By: SRB
 Reviewed By: SB

Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FLL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine



Wet Areas (To comply with BCA 3.8.1.2 and AS 3740)					
Area and Substrate	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (applies to Ensuite, Guest room 1)					
Timber floor Supplementary raised CFC floor over	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	Ceramic tiles to shower walls 1800mm above finished floor level of the shower.	Membrane 'M01'.	Membrane 'M01'.	Waterproof tap and spout penetrations in vertical surfaces with 'Waterbar' tap penetration flange and silicone.
Area outside shower area (applies to Ensuite 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	N/A	N/A	Membrane 'M02'.	N/A
Area adjacent to bath (Guest room 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	a) 150mm min. high ceramic tile splashback to perimeter of Ensuite	White silicone to skirting the 150mm above basin	Ceramic tile skirting the generally	Waterproof tap and spout penetrations in horizontal surfaces with 'Waterbar' tap penetration flange and silicone.
Other areas					
Laundry and WC	Sheet vinyl over new CFC floor.	N/A	N/A	Membrane 'M02' + Ceramic tile skirting.	
Walls adjoining basin and laundry tub	N/A	150mm min. high ceramic tile splashback for extent of vessel, where the vessel is within 75mm of a wall.	Waterproof wall junction where vessel is fixed to a wall with silicone.	N/A	Waterproof tap and spout penetrations in splashback with 'Waterbar' tap penetration flange and silicone.
KEY Membrane 'M01': Dunlop (or similar) shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone and membrane to manufacturer's recommendations. Membrane 'M02': Dunlop (or similar) water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturer's recommendations.					

Notes:

Amendments:

Revision: ###
A Bin Storage Area defined 27 02 26

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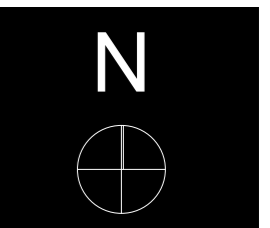
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nominated architect - stephen booker
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Project Number: # P I n
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: Ground Floor Plan
Title: Proposed Ground Floor
Scale: 1:100 @ A3
Status:
Drawn Date:
Plot Date: Friday, 27 February 2026

Bar Scale:
0 1 2 3 4 5 6 7 8 9 10
Drawing No: A 104 - A
Drawn By: S R B
Reviewed By: S B



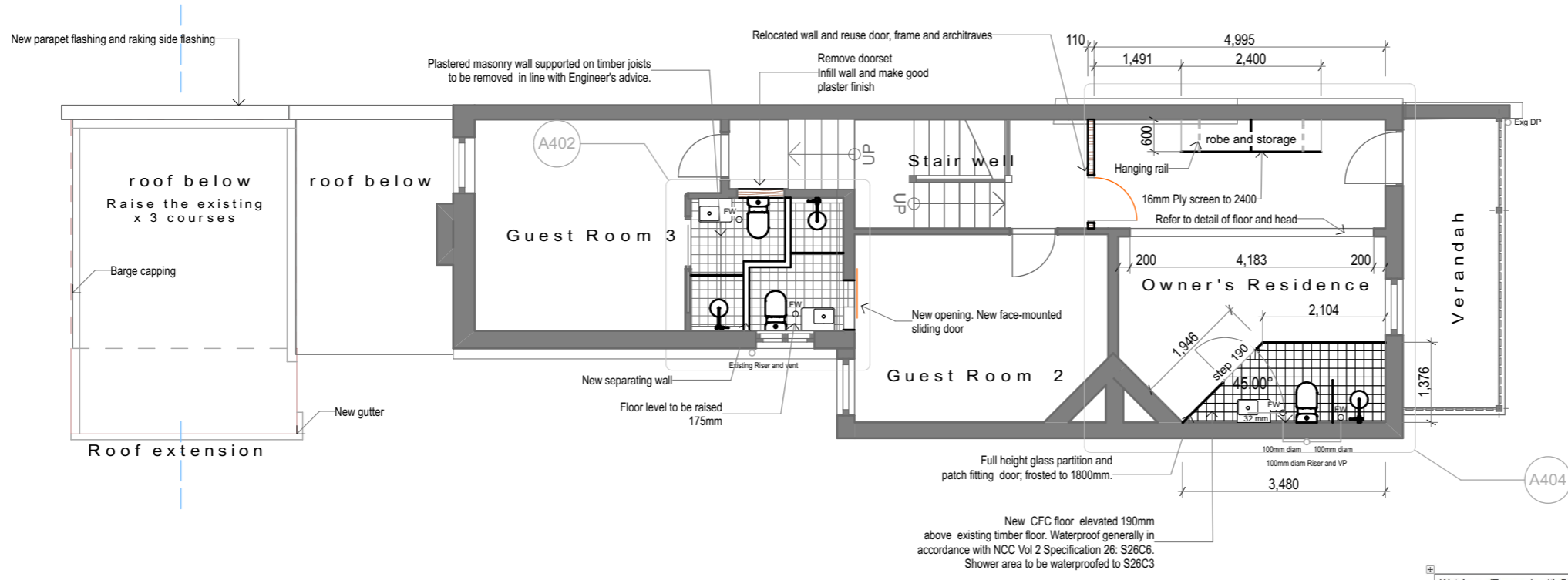
Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CFC Compressed Fibre Cement
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DN Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FLL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
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- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

Notes:

Amendments:

Revision: ###
A Owner's Residence defined 27 02 26



Wet Areas (To comply with BCA 3.8.1.2 and AS 3740)					
Area and Substrate	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (applies to Ensuite, Guest room 1)					
Timber floor Supplementary raised CFC floor over	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	Ceramic tiles to shower walls 1800mm above finished floor level of the shower.	Membrane 'M01'.	Membrane 'M01'.	Waterproof tap and spout penetrations in vertical surfaces with 'Waterbar' tap penetration flange and silicone.
Area outside shower area (applies to Ensuite, 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	N/A	N/A	Membrane 'M02'.	N/A
Area adjacent to bath (Guest room 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	a) 150mm min. high ceramic tile splashback to perimeter of Ensuite.	White silicone to junctions within 150mm above basin	Ceramic tile skirting generally	Waterproof tap and spout penetrations in horizontal surfaces with 'Waterbar' tap penetration flange and silicone.
Other areas					
Laundry and WC	Sheet vinyl over new CFC floor.	N/A	N/A	Membrane 'M02' + Ceramic tile skirting.	
Walls adjoining basin and laundry tub	N/A	150mm min. high ceramic tiled splashback for extent of vessel, where the vessel is within 75mm of a wall.	Waterproof wall junction where vessel is fixed to a wall with silicone.	N/A	Waterproof tap and spout penetrations if within splashback with 'Waterbar' tap penetration flange and silicone.
KEY Membrane 'M01': Dunlop (or similar) shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone and membrane to manufacturer's recommendations. Membrane 'M02': Dunlop (or similar) water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturer's recommendations.					

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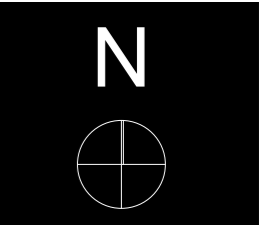
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 nominated architect - stephen booker
 ARB NSW Reg No. 4613
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Project Number: #PIN
 Project Name: Guest Accommodation
 312 Elizabeth Street
 North Hobart 7000
 Proprietor: Mr Andy Van Emmerik

Drawing: First Floor Plan
 Title: First Floor Demolition
 Scale: 1:100 @ A3
 Status:
 Drawn Date:
 Plot Date: Friday, 27 February 2026

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: A 105 - A
 Drawn By: SRB
 Reviewed By: SB

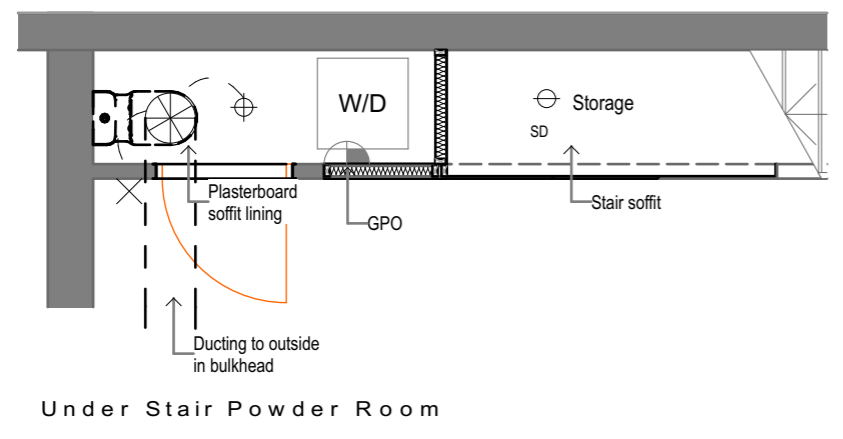
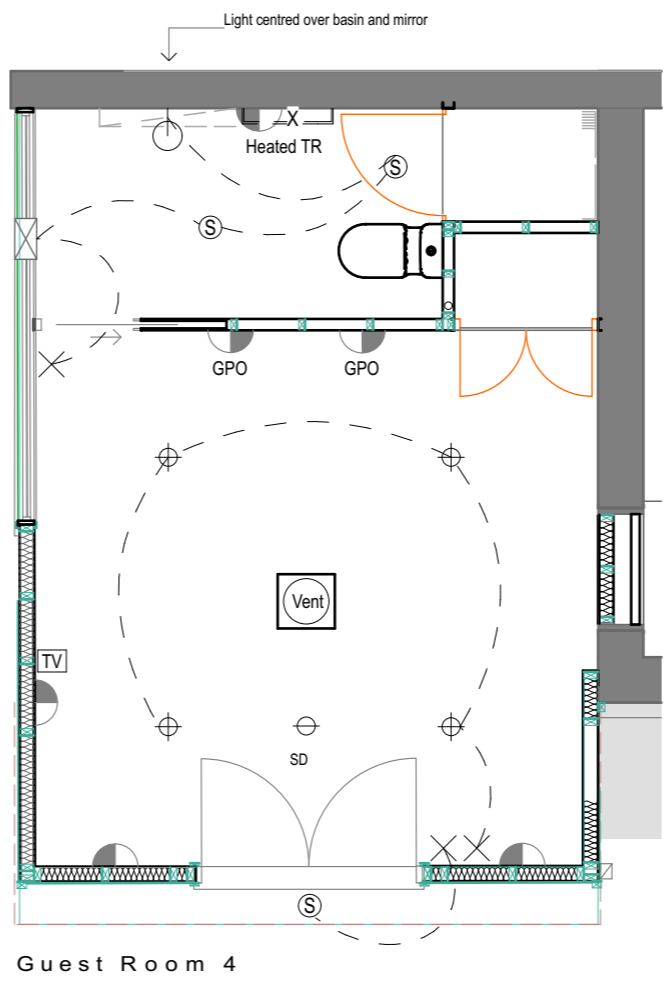
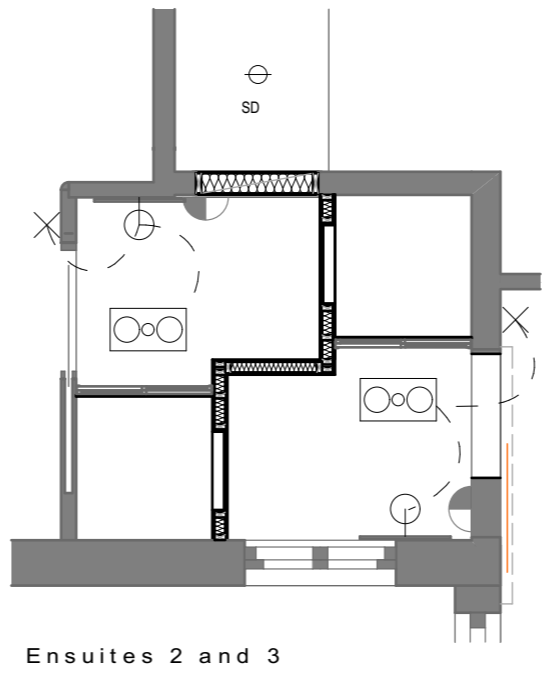
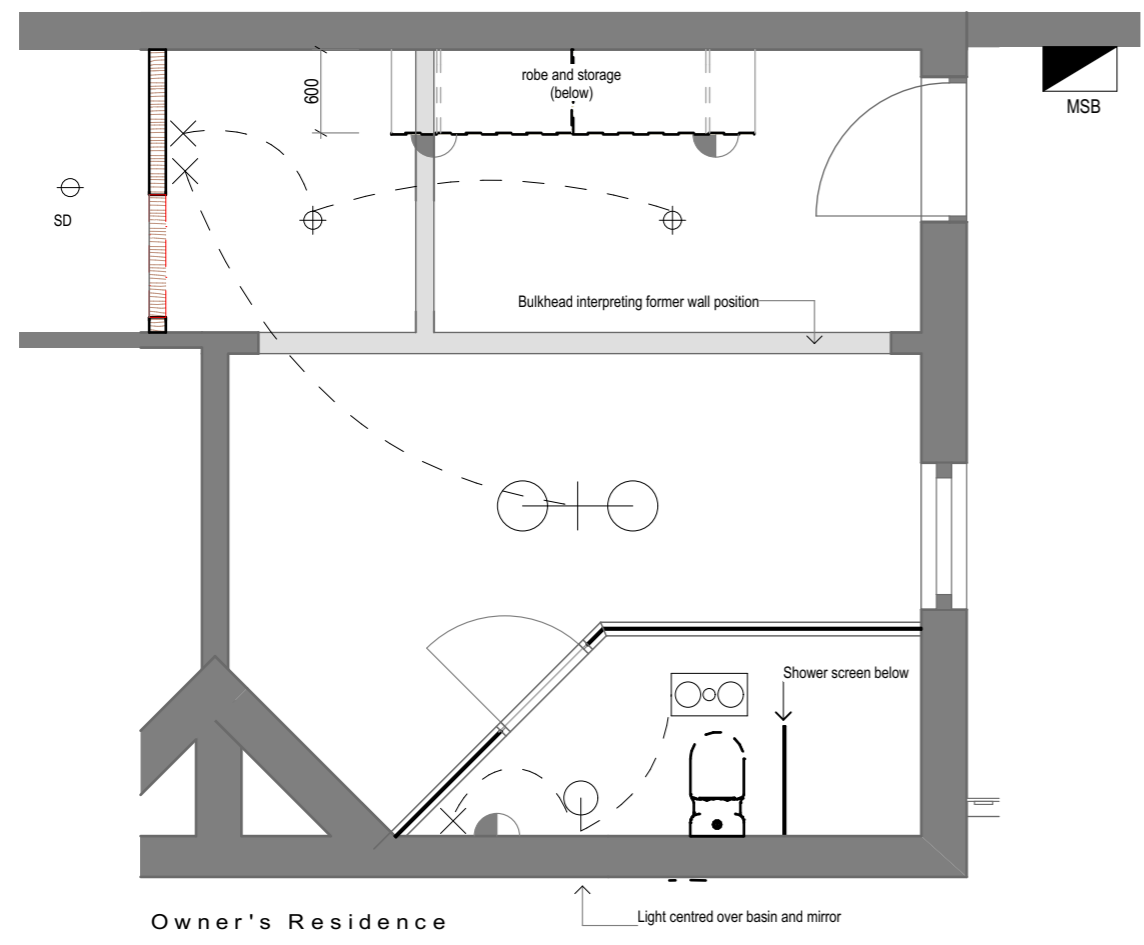


Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CFC Compressed Fibre Cement
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FFL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

Legend

- MSB Main Switchboard and Metering
- E External weatherproof Double Power Outlet
- X Double GPO + switch
- Single Power Outlet
- Double Power Outlet
- Single light switch
- 2 way light switch
- Surface mounted light fitting (to selection)
- Recessed LED light (to selection)
- Wall bracket light (to selection)
- Suspended light (to selection)
- Directional Flood / Spotlight
- IXL Tastic Exhaust fan heat lamps. Fan ducted to outside.
- Smoke Detector positioned in accordance with NCC Vol 2 d 3.7.2. All to be interconnected.
- Ceiling fan (to selection)
- Wall Exhaust Fan ducted to outside fitted with backdraught control
- Ceiling Exhaust Fan ducted to outside
- Internet connection
- TV Aerial Outlet



Notes:

Amendments:

Revision: ###
A Owner's Residence defined 27 02 26

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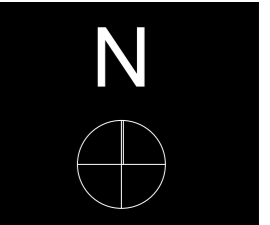
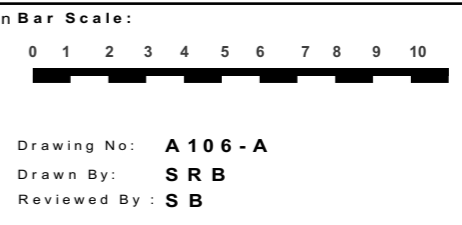


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Project Number: # P I n
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: Relected Ceiling and Electrical Plan Bar Scale:
Title: RCP, Legend
Scale: 1:100, 1:50 @ A3
Status:
Drawn Date:
Plot Date: Friday, 27 February 2026





Existing West Elevation



Existing East Elevation



Existing South Elevation

NOT FOR CONSTRUCTION

Legend:

AAC	Aerated Concrete Block
AW	Awning window
B	Basin
BK	Block
BFD	Bi Fold door
BTH	Bath
Br	Broom Finish
Bwk	Brickwork
CL	Ceiling Level
CFC	Compressed Fibre Cement
Conc	Concrete
CPD	Cupboard
cpt	Carpet
CS	Cavity Slider
CRT	Ceramic tiles
CT	Cook Top / Freestanding cooker
CW	Casement window
DH	Double Hung window
DN	Down
DP	Downpipe
DR	Drier
DW	Dishwasher
EC	External closet (Toilet)
EXG	Existing
FBK	Face Brick
FC	Fibre Cement
FL	Floor level
FF	Floating Flooring (Hybrid)
FFL	Finished Floor Level
FG	Fixed glass
FRZ	Freezer
FW	Floor waste
FXW	Fixed window
HWS	Hot Water System
J	Expansion Joint
LT	Laundry Tub
MWC	Metal wall cladding
OH	Overhead
OHC	Overhead cupboard/s
PBD	Plasterboard
PNT	Paint
PNY	Pantry
R	Render
REF	Refrigerator
RH	Range hood
RL	Reduced Level
S	Sink
SS	Stainless Steel
SD	Sliding door
SHR	Shower
SL	Skylight
SQS	Square set
SSD	Sliding stack door
STF	Steel Trowel Finish
SW	Sliding window
T	Tiles
TC	Terra Cotta
Timb	Timber
TR	Towel Rail
UBO	Under bench oven
U/S	Underside
VB	Vanity basin
WC	Water closet (Toilet)
WF	Wood Float finish
WO	Wall oven
WM	Washing Machine

Notes:

Amendments:
Revision: ###



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Project Number: # P1n
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: Existing Elevations
Title: First Floor Demolition, Existing West Elevation, 1st Floor Drainage Plan
Scale: 1:100 @ A3
Status:
Drawn Date:
Plot Date: Monday, 26 January 2026

Bar Scale:
0 1 2 3 4 5 6 7 8 9 10
Drawing No: A 200
Drawn By: SRB
Reviewed By: SB

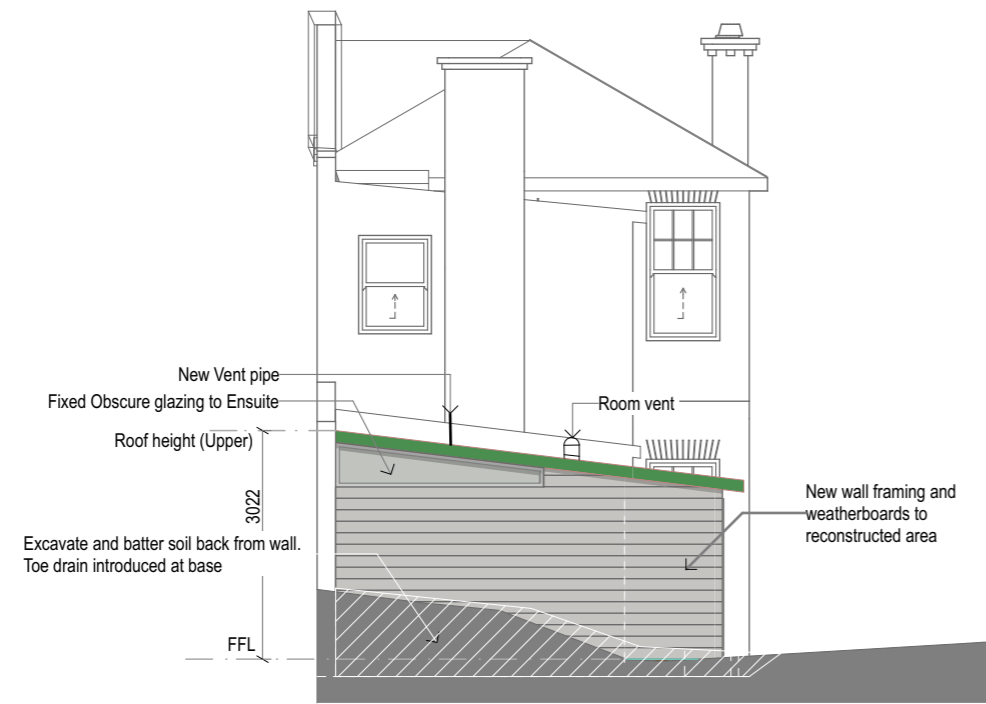
Legend:

- AAC Aerated Concrete Block
- AW Awning window
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- UBO Under bench oven
- U/S Underside
- VB Vanity basin
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- WO Wall oven
- WM Washing Machine

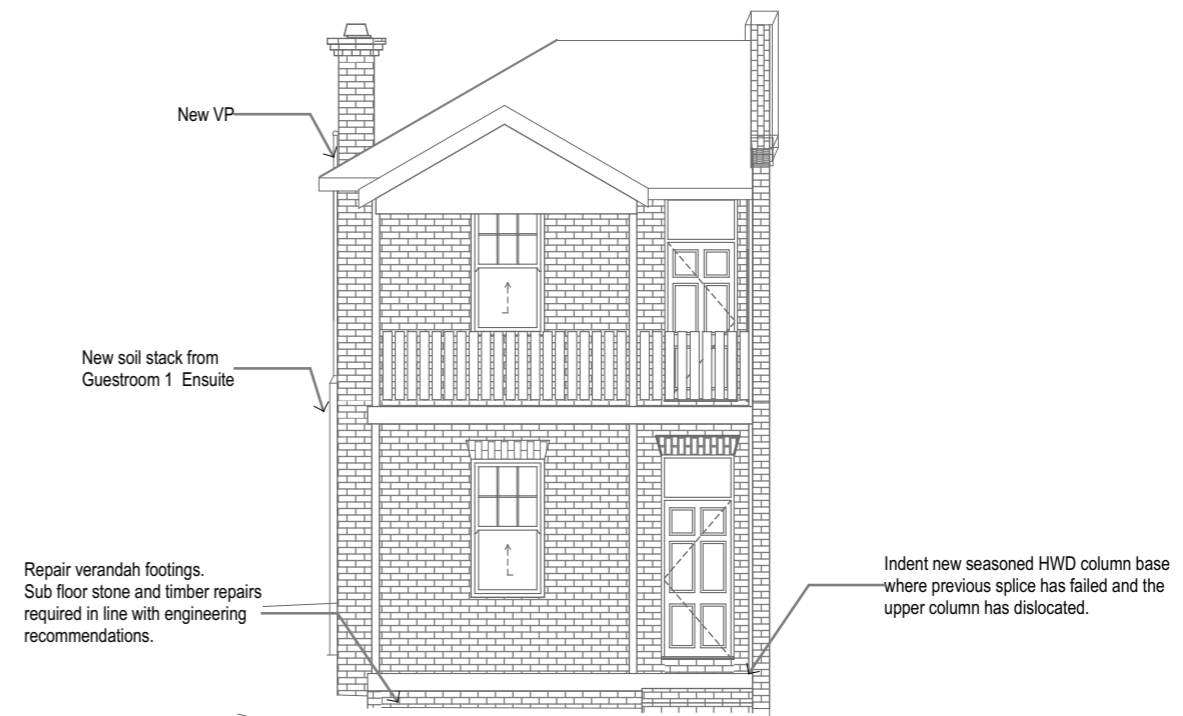
Notes:

Amendments:

Revision: ###
 A Rear roof height defined 27 02 26
 Bin storage shown



West Elevation



East Elevation



South Elevation

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Project Number:
P1n
 Project Name:
Guest Accommodation
 312 Elizabeth Street
 North Hobart 7000
 Proprietor:
Mr Andy Van Emmerik

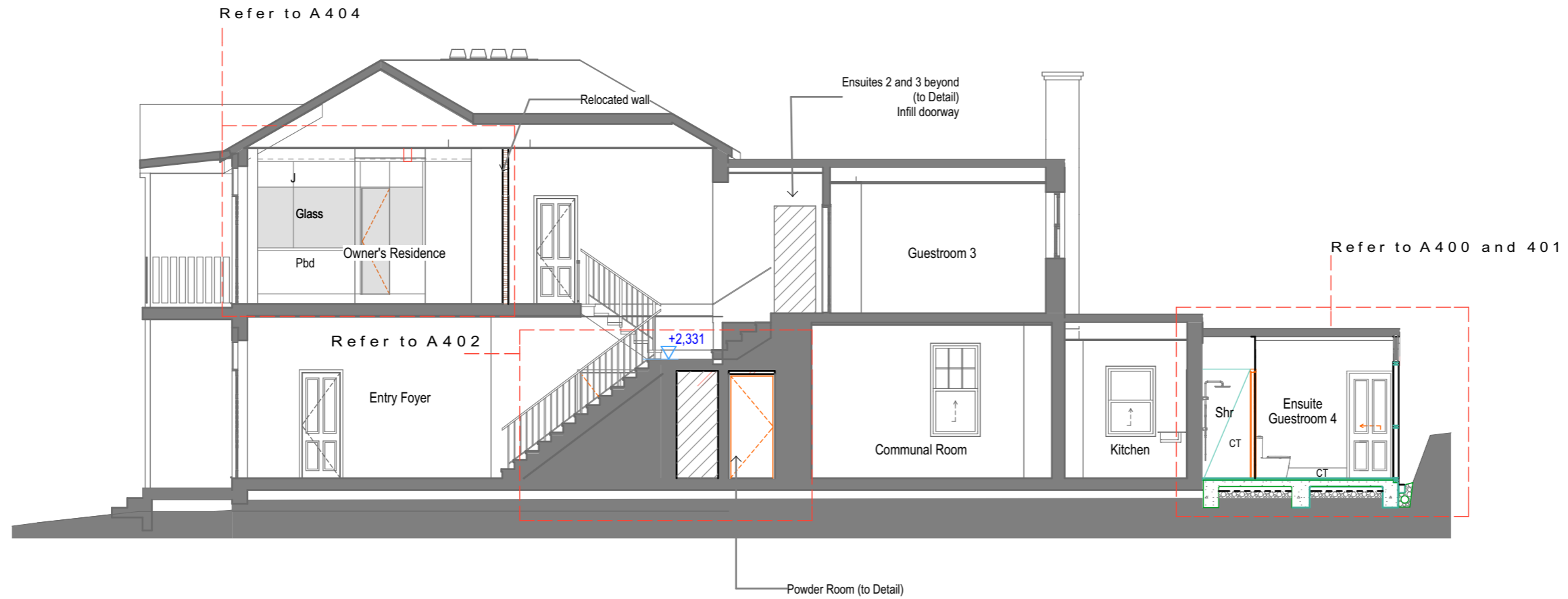
Drawing: **Proposed Elevations**
 Title: **Elevations**
 Scale: **1:100 @ A3**
 Status:
 Drawn Date:
 Plot Date: **Friday, 27 February 2026**

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10

Drawing No: **A 201-A**
 Drawn By: **SRB**
 Reviewed By: **SB**

Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
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- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine



Notes:

Amendments:

Revision: ###
 A Owner's Residence defined 27 02 26

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 Heritage Architect
 Preserving the past for the future

carste STUDIO pty ltd
 Heritage Architects
 ABN 16122394450 ACN 122394450
 nominated architect - stephen booker
 ARB NSW Reg No. 4613
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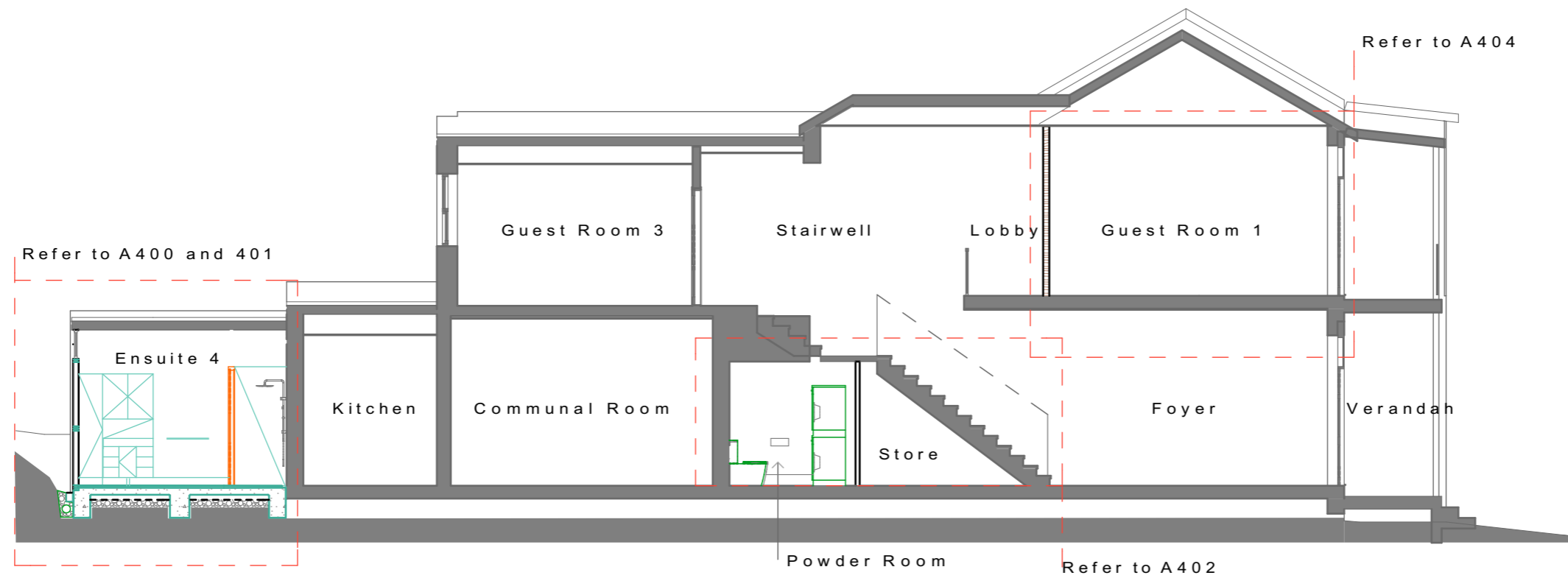
Project Number:
P I n
 Project Name:
Guest Accommodation
 312 Elizabeth Street
 North Hobart 7000
 Proprietor:
Mr Andy Van Emmerik

Drawing: Section 1-1
 Title: Section 1-1
 Scale: 1:100 @ A3
 Status:
 Drawn Date:
 Plot Date: Friday, 27 February 2026

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: **A 300-A**
 Drawn By: **SRB**
 Reviewed By: **SB**

Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CFC Compressed Fibre Cement
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FFL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine



Notes:

Amendments:

Revision: ###

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Project Number:
P1n

Project Name:
Guest Accommodation
312 Elizabeth Street
North Hobart 7000

Proprietor:
Mr Andy Van Emmerik

Drawing: Section8-8

Title: Section 8-8

Scale: 1:100 @ A3

Status:

Drawn Date:

Plot Date: Monday, 26 January 2026

Bar Scale:
0 1 2 3 4 5 6 7 8 9 10

Drawing No: **A 301**
Drawn By: **SRB**
Reviewed By: **SB**

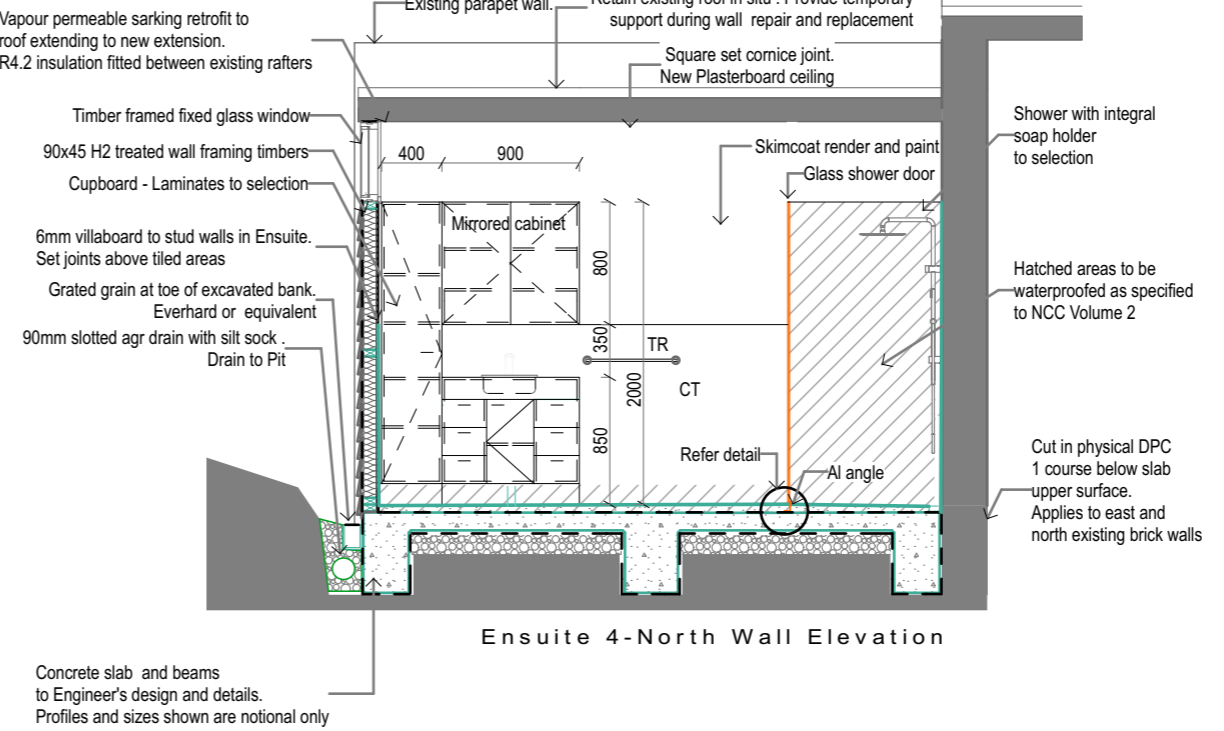
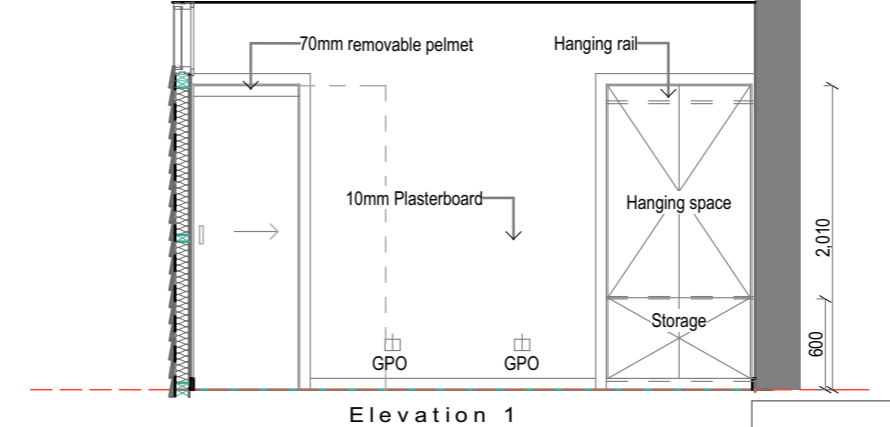
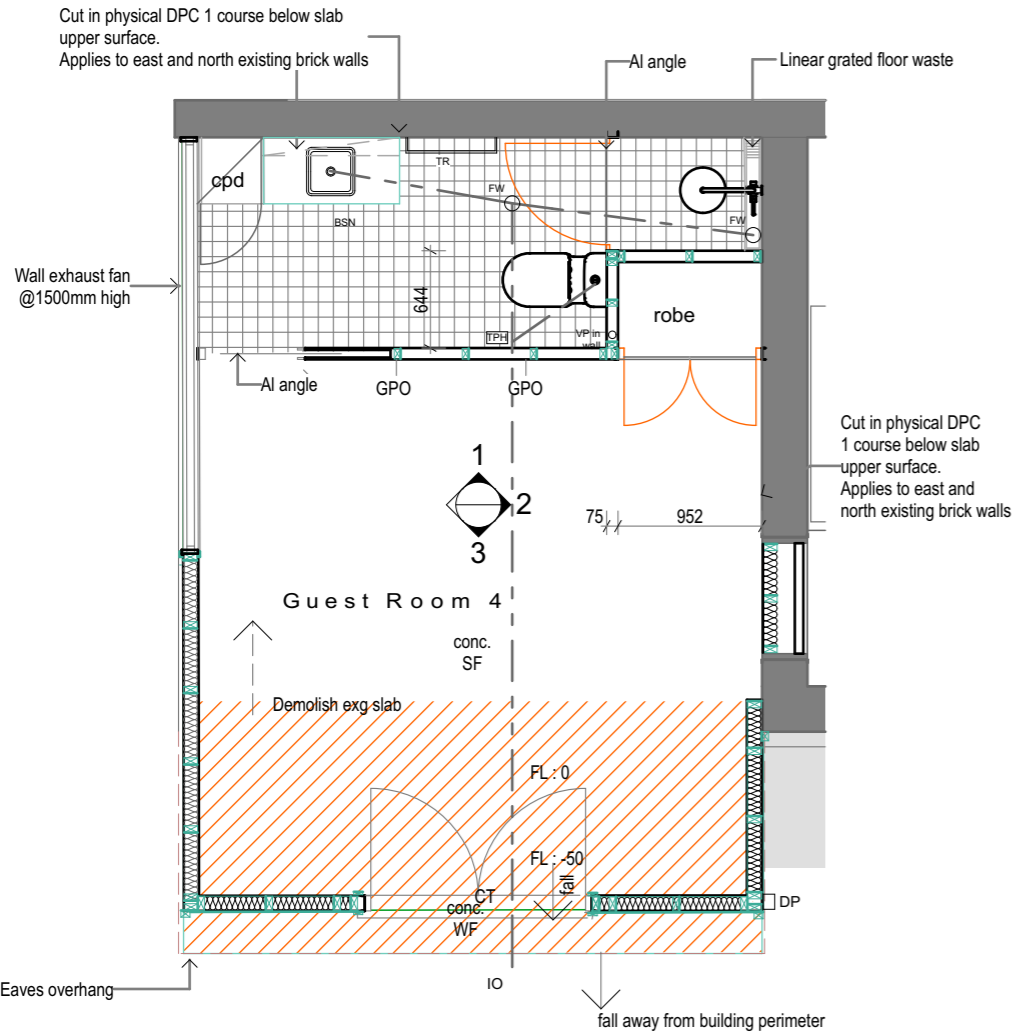
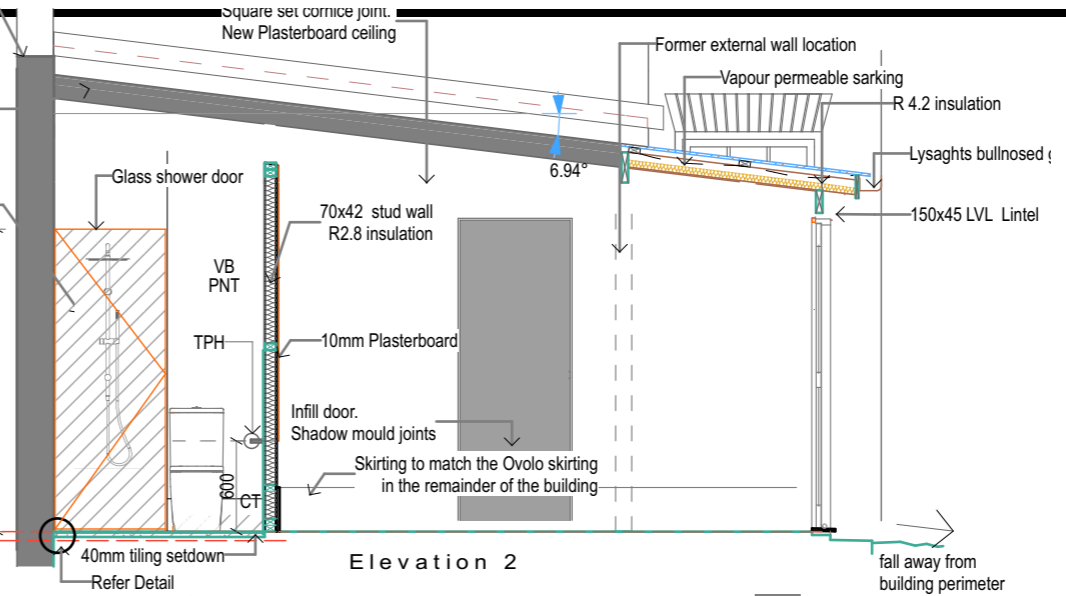
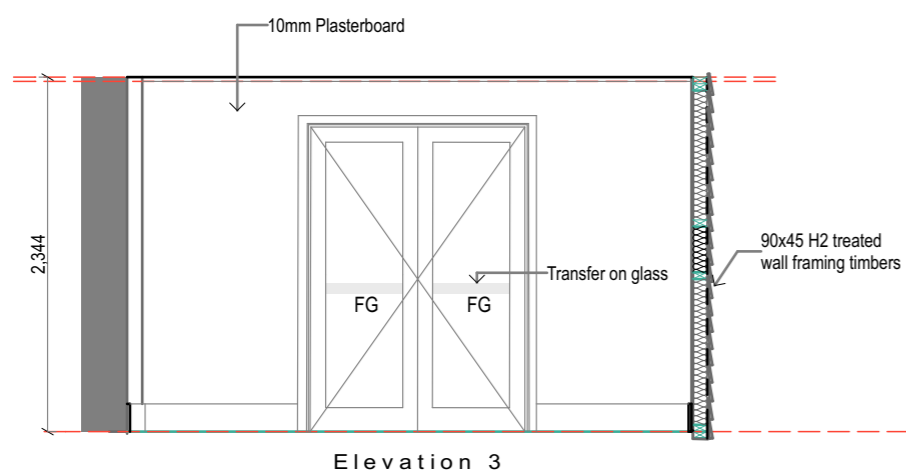
Legend:

AAC	Aerated Concrete Block
AW	Awning window
B	Basin
BK	Block
BFD	BI Fold door
BTH	Bath
Br	Broom Finish
Bwk	Brickwork
CL	Ceiling Level
CFC	Compressed Fibre Cement
Conc	Concrete
CPD	Cupboard
cpt	Carpet
CS	Cavity Slider
CRT	Ceramic tiles
CT	Cook Top / Freestanding cooker
CW	Casement window
DH	Double Hung window
DN	Down
DP	Downpipe
DR	Drier
DW	Dishwasher
EC	External closet (Toilet)
EXG	Existing
FBK	Face Brick
FC	Fibre Cement
FL	Floor level
FF	Floating Flooring (Hybrid)
FLL	Finished Floor Level
FG	Fixed glass
FRZ	Freezer
FW	Floor waste
FXW	Fixed window
HWS	Hot Water System
J	Expansion Joint
LT	Laundry Tub
MWC	Metal wall cladding
OH	Overhead
OHC	Overhead cupboard/s
PBD	Plasterboard
PNT	Paint
PNY	Pantry
R	Render
REF	Refrigerator
RH	Range hood
RL	Reduced Level
S	Sink
SS	Stainless Steel
SD	Sliding door
SHR	Shower
SL	Skylight
SQS	Square set
SSD	Sliding stack door
STF	Steel Trowel Finish
SW	Sliding window
T	Tiles
TC	Terra Cotta
Timb	Timber
TR	Towel Rail
UBO	Under bench oven
U/S	Underside
VB	Vanity basin
WC	Water closet (Toilet)
WF	Wood Float finish
WO	Wall oven
WM	Washing Machine

Notes:

Amendments:

Revision: ###
A Northern wall height defined 27/02/26



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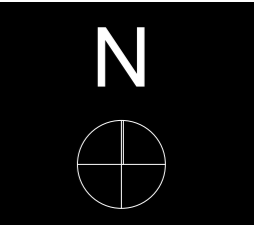
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Heritage Architects
ABN 16122394450 ACN 122394450
nominated architect - stephen booker
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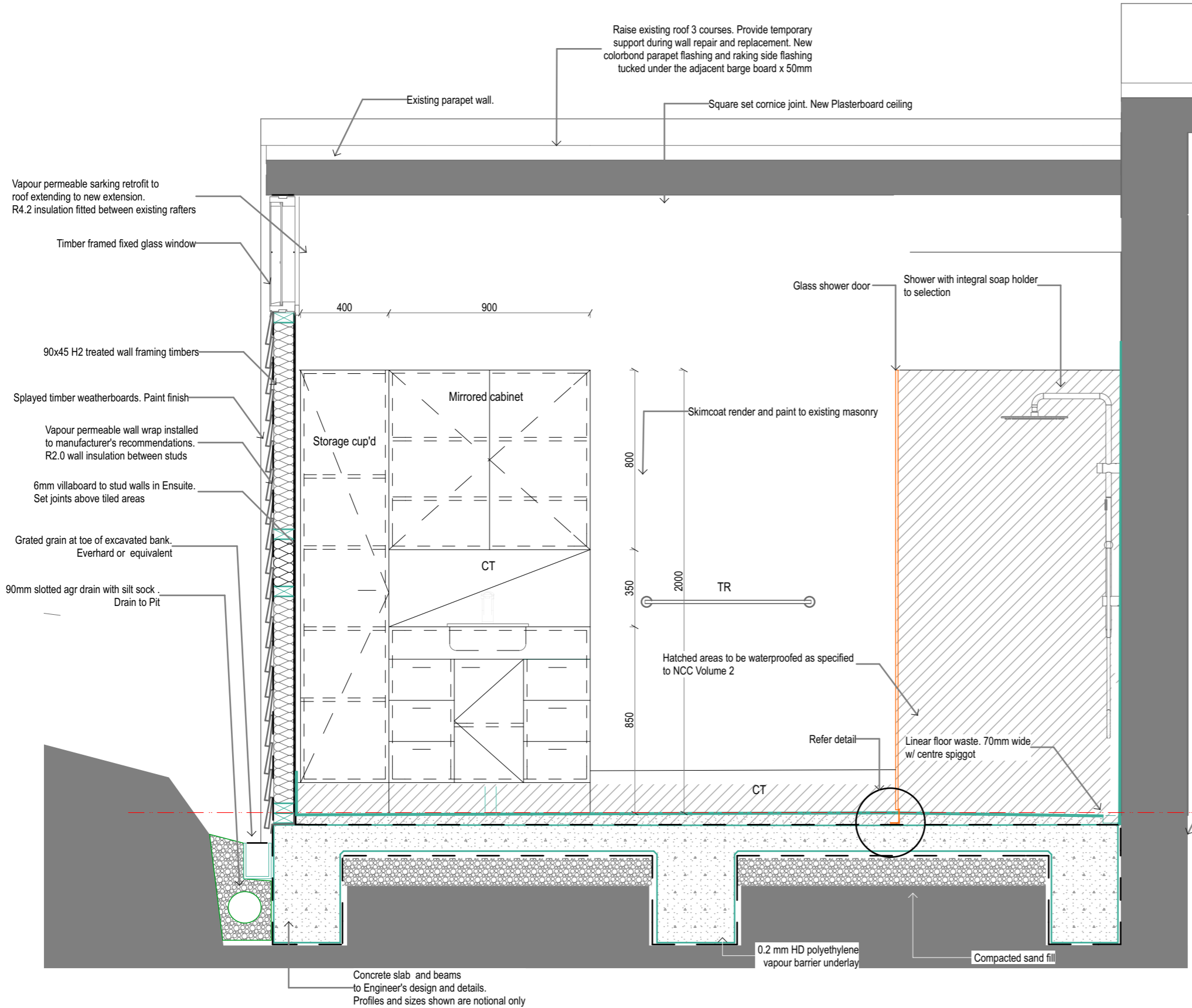
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Project Number: # P I n
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: Details - Guest Bedroom 4
Title: Guestroom 4 Interior Details
Scale: 1:50 @ A3
Status:
Drawn Date:
Plot Date: Friday, 27 February 2026

Bar Scale: 0 1 2 3 4 5 6 7 8 9 10
Drawing No: A 400 - A
Drawn By: S R B
Reviewed By: S B





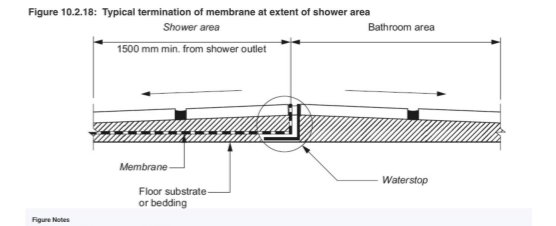
Typical Wall to Floor Waterproofing Detail

Wet Areas (To comply with BCA 3.8.1.2 and AS 3740)

Area and Substrate	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (applies to Ensuite Guest room 1)					
Timber floor Supplementary raised CFC floor over	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	Ceramic tiles to shower walls 150mm above finished floor level of the shower.	Membrane 'M01'	Membrane 'M01'	Waterproof tap and spout penetrations in vertical surfaces with 'Waterbar' tap penetration flange and silicone.
Area outside shower area (applies to Ensuite 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	N/A	N/A	Membrane 'M02'	N/A
Area adjacent to bath (Guest room 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	a) 150mm min. high ceramic tile splashback to perimeter of Ensuite	White silicone to junctions within 150mm above basin	Ceramic tile skirting tile generally	Waterproof tap and spout penetrations in horizontal surfaces with 'Waterbar' tap penetration flange and silicone.
Other areas					
Laundry and WC	Sheet vinyl over new CFC floor.	N/A	N/A	Membrane 'M02' + Ceramic tile skirting	N/A
Walls adjoining basin and laundry tub	N/A	150mm min. high ceramic tile splashback to extent of vessel, where the vessel is within 75mm of a wall.	Waterproof wall junction where vessel is fixed to a wall with silicone.	N/A	Waterproof tap and spout penetrations: if within splashback with 'Waterbar' tap penetration flange and silicone.

KEY
 Membrane 'M01': Dunlop (or similar) shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone and membrane to manufacturer's recommendations.
 Membrane 'M02': Dunlop (or similar) water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturer's recommendations.

Cut in physical DPC 1 course below slab upper surface.
 Applies to east and north existing brick walls



Shower Recess Waterstop Detail

Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD BI Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CFC Compressed Fibre Cement
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FLL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SSS Square set
- STD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

Notes:

Amendments:

Revision: ###

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 nominated architect - stephen booker
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Project Number: # P I n
 Project Name: Guest Accommodation
 312 Elizabeth Street
 North Hobart 7000
 Proprietor: Mr Andy Van Emmerik

Drawing: Details - Guest Bedroom 4
 Title: Section
 Scale: 1:20 @ A3
 Status:
 Drawn Date:
 Plot Date: Monday, 26 January 2026

Bar Scale:
 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: A 4 0 1
 Drawn By: S R B
 Reviewed By: S B

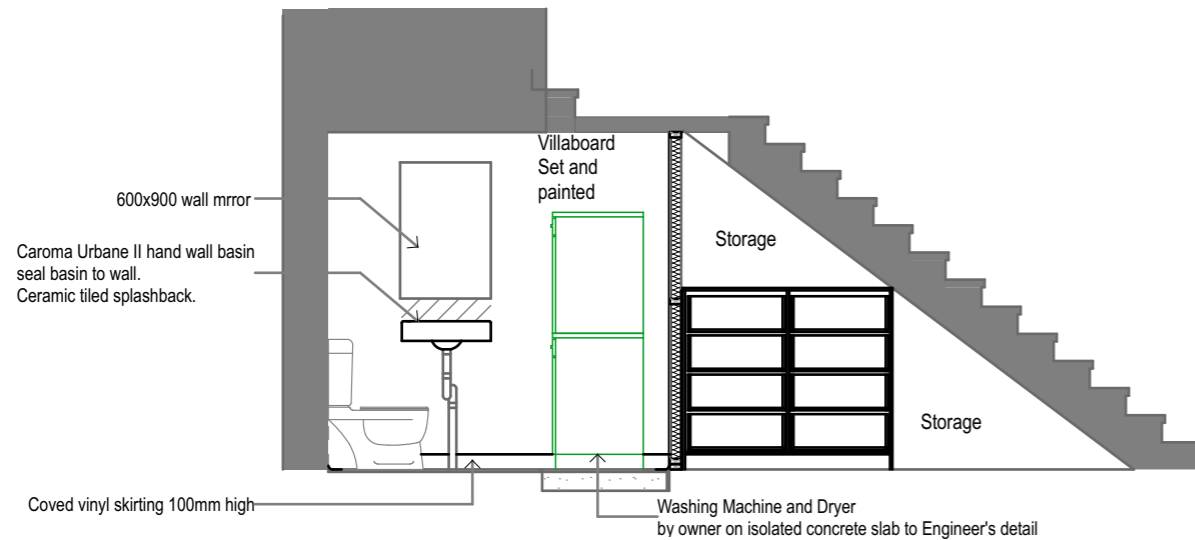
Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- CFC Compressed Fibre Cement
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FFL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

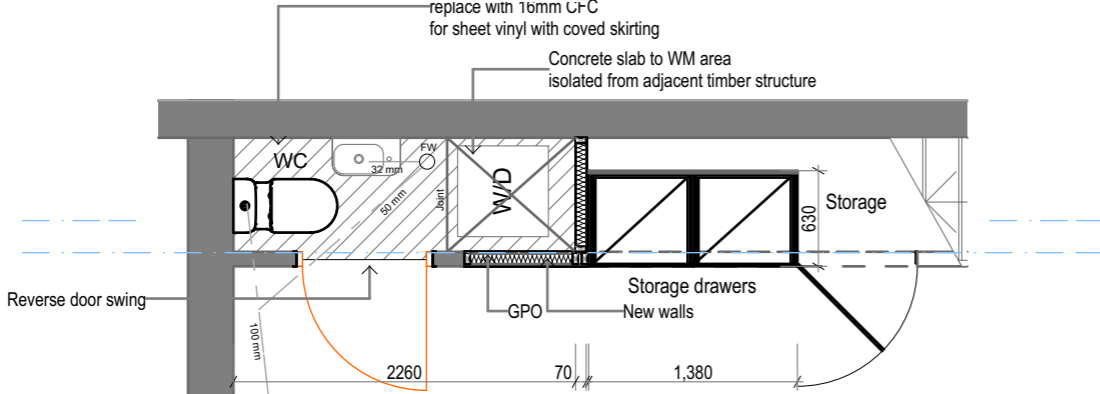
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Amendments:

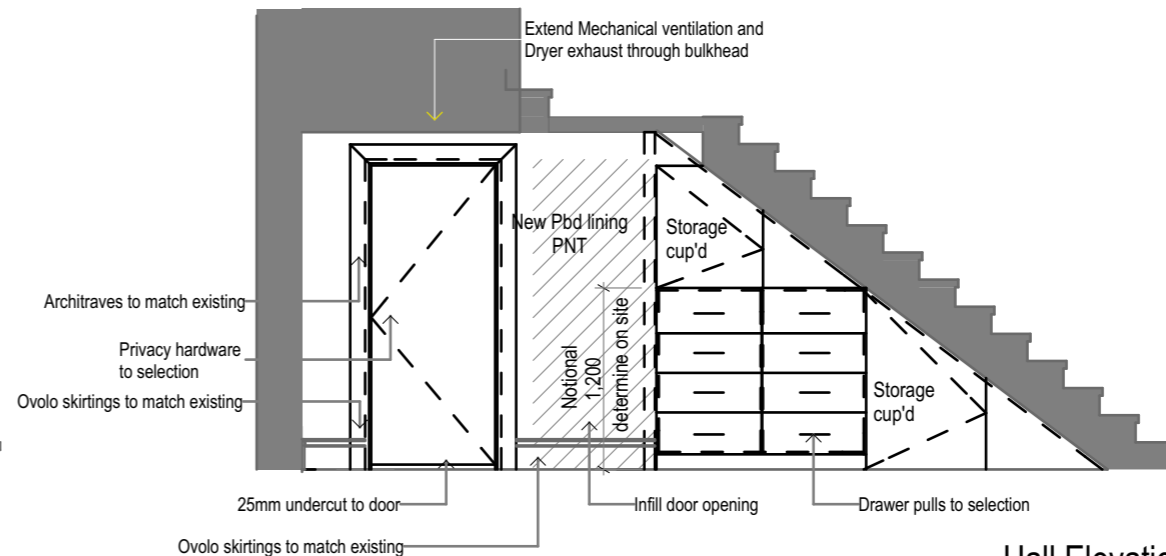
Revision: ###



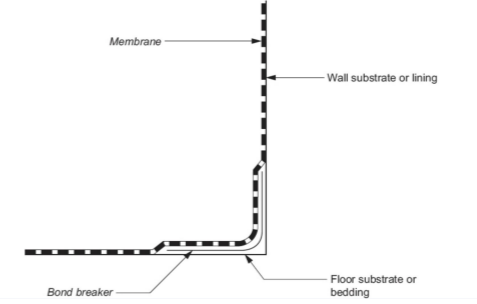
Sectional Elevation Detail



Plan Detail



Hall Elevation



Typical Wall to Floor Waterproofing Detail

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Project Number: #P1n
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

Drawing: Details - Powder Room and Laundry
Title: Powder Room
Scale: 1:50 @ A3
Status:
Drawn Date:
Plot Date: Monday, 26 January 2026

Bar Scale: 0 1 2 3 4 5 6 7 8 9 10

Drawing No: A402
Drawn By: SRB
Reviewed By: SB

Legend:

- AAC Aerated Concrete Block
- AW Awning window
- B Basin
- BK Block
- BFD Bi Fold door
- BTH Bath
- Br Broom Finish
- Bwk Brickwork
- CL Ceiling Level
- Conc Concrete
- CPD Cupboard
- cpt Carpet
- CS Cavity Slider
- CRT Ceramic tiles
- CT Cook Top / Freestanding cooker
- CW Casement window
- DH Double Hung window
- DN Down
- DP Downpipe
- DR Drier
- DW Dishwasher
- EC External closet (Toilet)
- EXG Existing
- FBK Face Brick
- FC Fibre Cement
- FL Floor level
- FF Floating Flooring (Hybrid)
- FLL Finished Floor Level
- FG Fixed glass
- FRZ Freezer
- FW Floor waste
- FXW Fixed window
- HWS Hot Water System
- J Expansion Joint
- LT Laundry Tub
- MWC Metal wall cladding
- OH Overhead
- OHC Overhead cupboard/s
- PBD Plasterboard
- PNT Paint
- PNY Pantry
- R Render
- REF Refrigerator
- RH Range hood
- RL Reduced Level
- S Sink
- SS Stainless Steel
- SD Sliding door
- SHR Shower
- SL Skylight
- SQS Square set
- SSD Sliding stack door
- STF Steel Trowel Finish
- SW Sliding window
- T Tiles
- TC Terra Cotta
- Timb Timber
- TR Towel Rail
- UBO Under bench oven
- U/S Underside
- VB Vanity basin
- WC Water closet (Toilet)
- WF Wood Float finish
- WO Wall oven
- WM Washing Machine

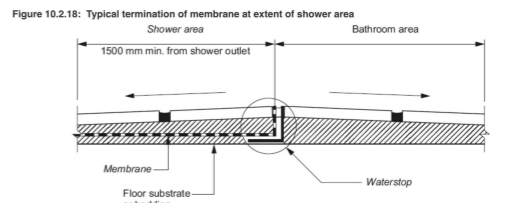
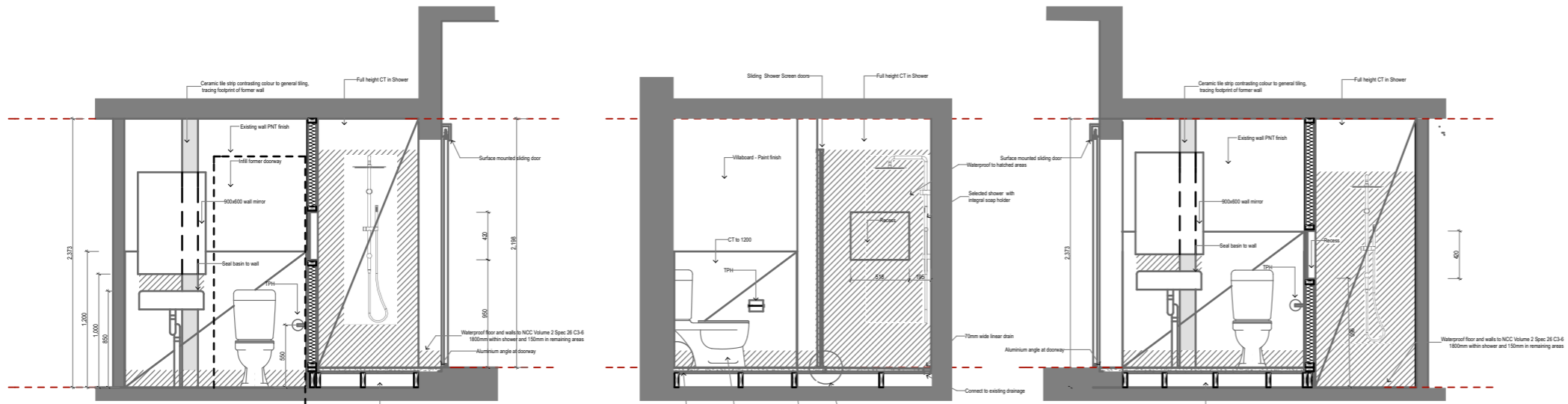
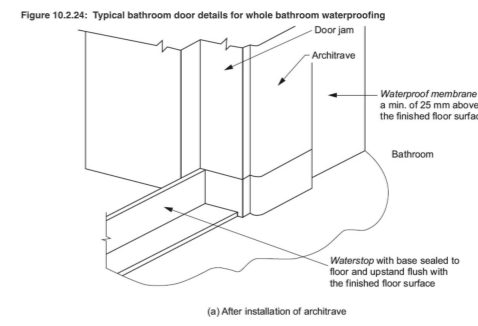
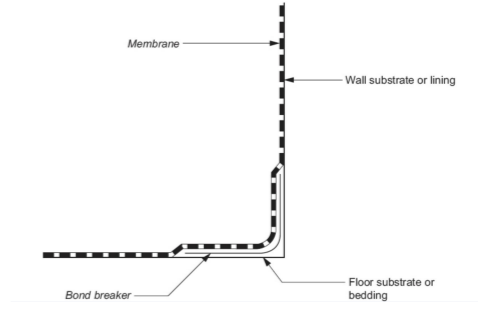


Figure Notes
Fall to be provided in accordance with 10.2.12.

Shower Recess Waterstop Detail



Door Jamb Waterproofing Detail



Typical Wall to Floor Waterproofing Detail

Wet Areas (To comply with BCA 3.8.1.2 and AS 3740)					
Area and Substrate	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (applies to Ensuite, Guest room 1)					
Timber floor Supplementary raised CFC floor over	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	Ceramic tiles to shower walls 1800mm above finished floor level of the shower.	Membrane 'M01'	Membrane 'M01'	Waterproof tap and spout penetrations in vertical surfaces with 'WaterSeal' tap penetration flange and silicone.
Area outside shower area (applies to Ensuite, 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	N/A	N/A	Membrane 'M02'	N/A
Area adjacent to bath (Guest room 4)					
Concrete floor	Membrane 'M01' to entire floor of room. Ceramic floor tiles.	a) 150mm min. high ceramic tile splashback to perimeter of Ensuite.	White silicone to junctions within 150mm above basin	Ceramic tile skirting tile generally	Waterproof tap and spout penetrations in horizontal surfaces with 'WaterSeal' tap penetration flange and silicone.
Other areas					
Laundry and WC	Sheet vinyl over new CFC floor.	N/A	N/A	Membrane 'M02' + Ceramic tile skirting.	
Walls adjoining basin and laundry tub	N/A	150mm min. high ceramic tiled splashback for extent of vessel, where the vessel is within 75mm of a wall.	Waterproof wall junction where vessel is fixed to a wall with silicone.	N/A	Waterproof tap and spout penetrations if within splashback with 'WaterSeal' tap penetration flange and silicone.

KEY
Membrane 'M01': Dunlop (or similar) shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone and membrane to manufacturer's recommendations.
Membrane 'M02': Dunlop (or similar) water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturer's recommendations.

Notes:

Amendments:

Revision: ###

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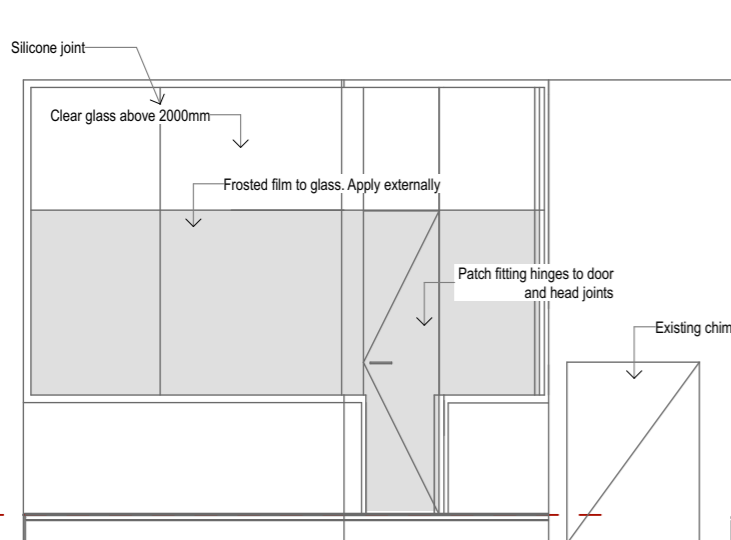
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Project Number: #PIN
Project Name: Guest Accommodation
312 Elizabeth Street
North Hobart 7000
Proprietor: Mr Andy Van Emmerik

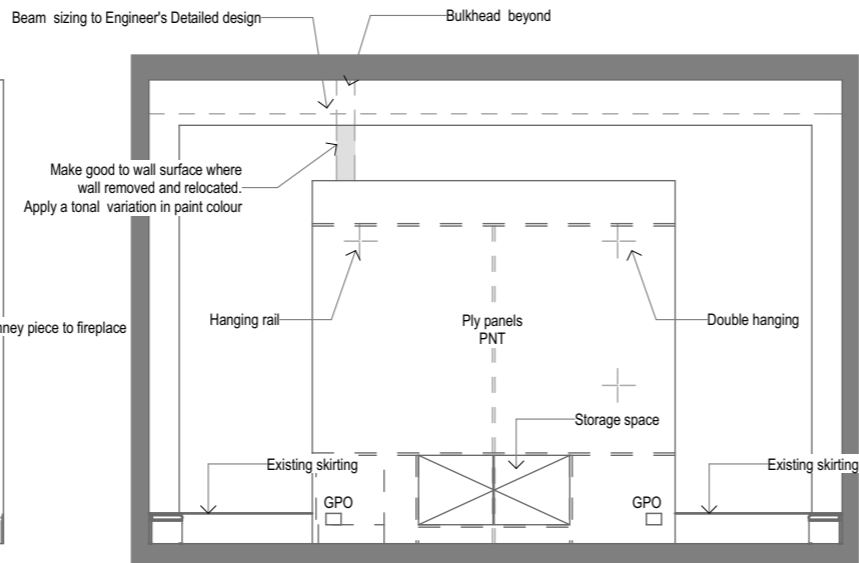
Drawing: Details -Ensuites 2 and 3
Title: Ensuites 2 and 3
Scale: 1:50 @ A3
Status:
Drawn Date:
Plot Date: Tuesday, 27 January 2026

Bar Scale:
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Drawing No: A 403
Drawn By: SRB
Reviewed By: SB

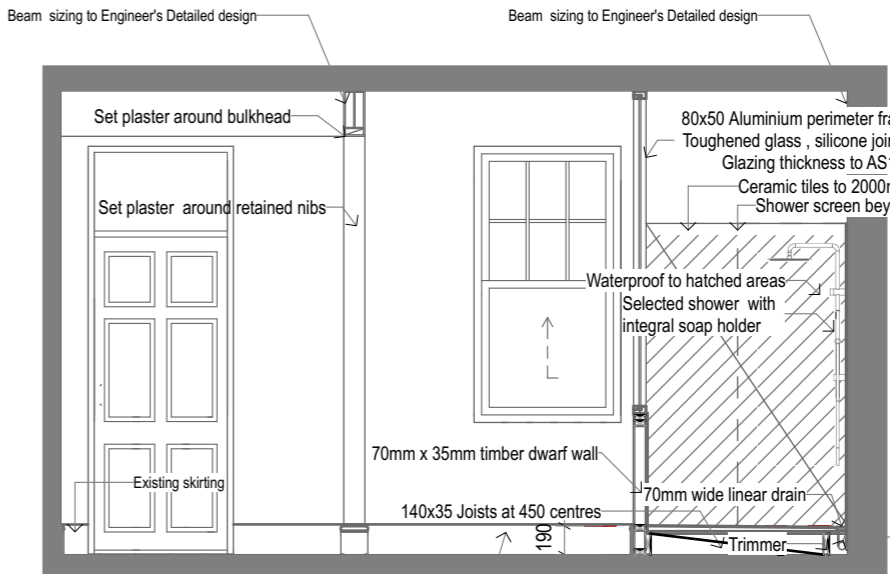




Elevation 1



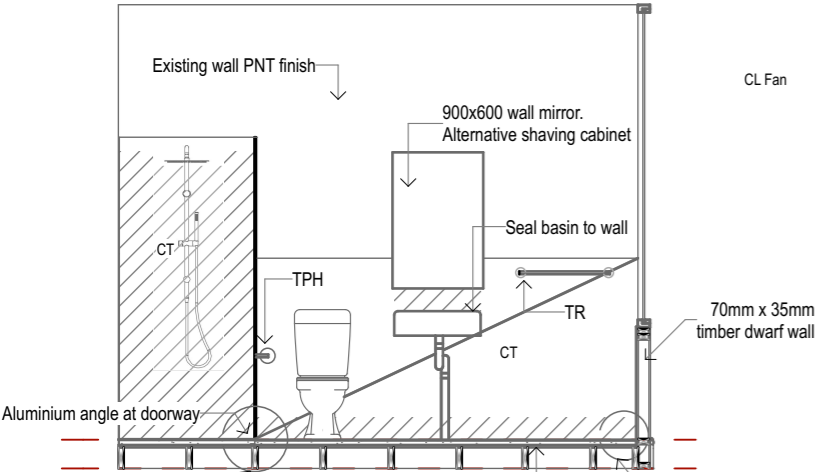
Elevation 2



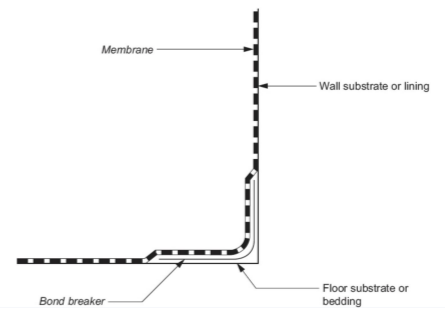
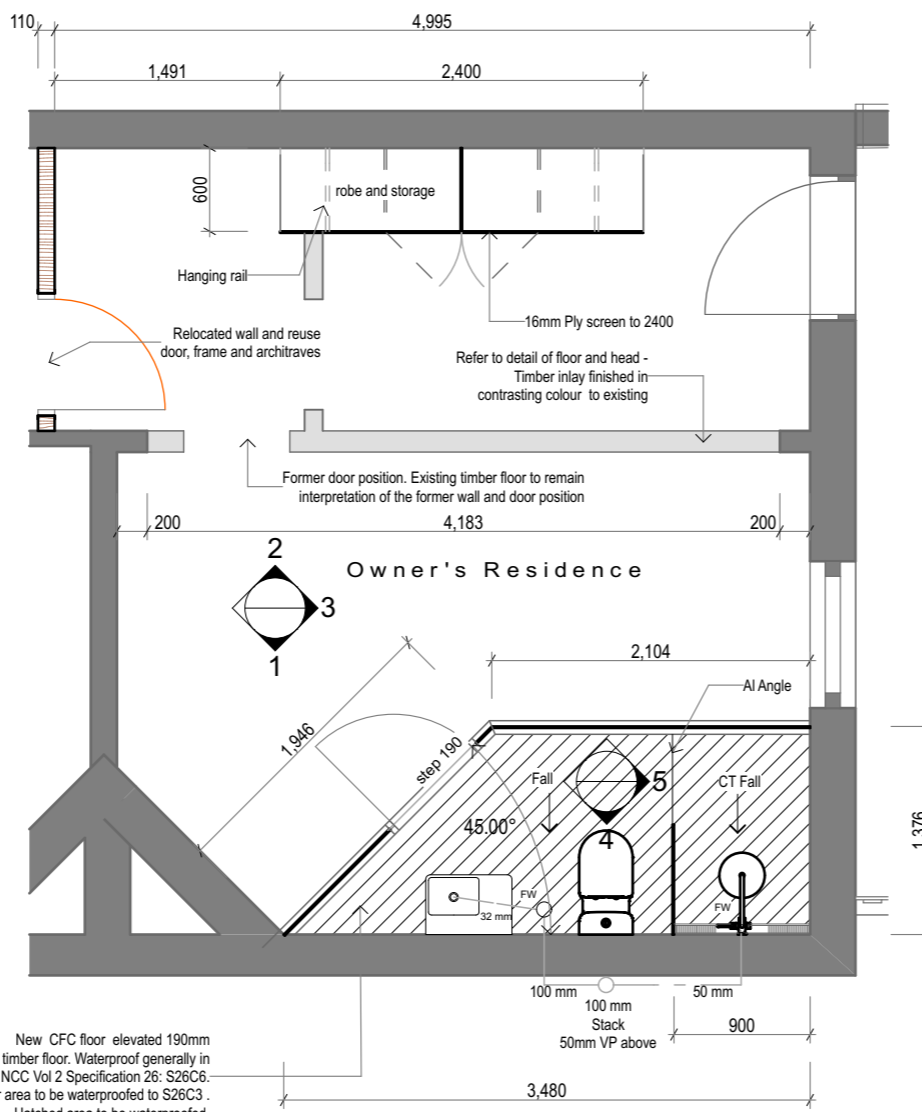
Elevation 3

Elevation 5

- Legend:**
- AAC Aerated Concrete Block
 - AW Awning window
 - B Basin
 - BK Block
 - BFD BI Fold door
 - BTH Bath
 - Br Broom Finish
 - Bwk Brickwork
 - CL Ceiling Level
 - CFC Compressed Fibre Cement
 - Conc Concrete
 - CPD Cupboard
 - cpt Carpet
 - CS Cavity Slider
 - CRT Ceramic tiles
 - CT Cook Top / Freestanding cooker
 - CW Casement window
 - DH Double Hung window
 - DN Downpipe
 - DR Drier
 - DW Dishwasher
 - EC External closet (Toilet)
 - EXG Existing
 - FBK Face Brick
 - FC Fibre Cement
 - FL Floor level
 - FF Floating Flooring (Hybrid)
 - FLL Finished Floor Level
 - FG Fixed glass
 - FRZ Freezer
 - FW Floor waste
 - FXW Fixed window
 - HWS Hot Water System
 - J Expansion Joint
 - LT Laundry Tub
 - MWC Metal wall cladding
 - OH Overhead
 - OHC Overhead cupboard/s
 - PBD Plasterboard
 - PNT Paint
 - PNY Pantry
 - R Render
 - REF Refrigerator
 - RH Range hood
 - RL Reduced Level
 - S Sink
 - SS Stainless Steel
 - SD Sliding door
 - SHR Shower
 - SL Skylight
 - SQS Square set
 - SSD Sliding stack door
 - STF Steel Trowel Finish
 - SW Sliding window
 - T Tiles
 - TC Terra Cotta
 - Timb Timber
 - TR Towel Rail
 - UBO Under bench oven
 - U/S Underside
 - VB Vanity basin
 - WC Water closet (Toilet)
 - WF Wood Float finish
 - WO Wall oven
 - WM Washing Machine



Elevation 4



Typical Wall to Floor Waterproofing Detail

Wet Areas (To comply with BCA 3.8.1.2 and AS 3740)

Area and Substrate	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (applies to Ensuite, Guest room 1)					
Timber floor Supplementary raised CFC floor over	Membrane M01 to entire floor of room. Ceramic floor tiles.	Ceramic tiles to shower walls 1800mm above finished floor level of the shower.	Membrane M01.	Membrane M01.	Waterproof tap and spout penetrations in vertical surfaces with 'WaterStar' tap penetration flange and silicone.
Area outside shower area (applies to Ensuite, 4)					
Concrete floor	Membrane M01 to entire floor of room. Ceramic floor tiles.	N/A	N/A	Membrane M02.	N/A
Area adjacent to bath (Guest room 4)					
Concrete floor	Membrane M01 to entire floor of room. Ceramic floor tiles.	e) 150mm min. high ceramic tile splashback to perimeter of Ensuite	White silicone to junctions within 150mm above basin	Ceramic tile skirting tile generally	Waterproof tap and spout penetrations in horizontal surfaces with 'WaterStar' tap penetration flange and silicone.
Other areas					
Laundry and WC	Sheet vinyl over new CFC floor.	N/A	N/A	Membrane M02 + Ceramic tile skirting.	N/A
Walls adjoining basin and laundry tub	N/A	150mm min. high ceramic tiled splashback for extent of vessel, where the vessel is within 75mm of wall.	Waterproof wall junction where vessel is fixed to a wall with silicone.	N/A	Waterproof tap and spout penetrations if within splashback with 'WaterStar' tap penetration flange and silicone.

KEY
 Membrane M01: Durlup (or similar) shower waterproofing kit complete with reinforcing mat, primer, neutral cure silicone and membrane to manufacturer's recommendations.
 Membrane M02: Durlup (or similar) water based acrylic polyurethane membrane applied by either brush or roller in a consistent thickness to manufacturer's recommendations.

Notes:

Amendments:
 Revision: ###
 A Owner's Residence defined 27 02 26

NOT FOR CONSTRUCTION



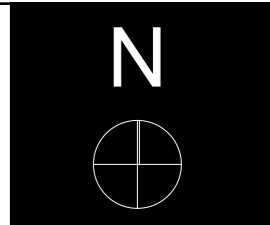
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Project Number: # P I N
 Project Name: Guest Accommodation
 312 Elizabeth Street North Hobart 7000
 Proprietor: Mr Andy Van Emmerik

Drawing: Details -Owner's Residence
 Title: Owner's Residence Details
 Scale: 1:50 @ A3
 Status:
 Drawn Date:
 Plot Date: Friday, 27 February 2026

Bar Scale: 0 1 2 3 4 5 6 7 8 9 10
 Drawing No: A 404 - A
 Drawn By: S R B
 Reviewed By: S B



Traffic Impact Statement



312 Elizabeth Street, North Hobart
Residential property to include
short term guest accommodation

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Version	Date	Reason for Issue
Draft	March 2026	Draft issued for client feedback
Final	March 2026	Final issued

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1. Introduction

Hubble Traffic Pty Ltd has been engaged by the owner of 312 Elizabeth Street, North Hobart to prepare a Traffic Statement in support of a development application for internal renovations to the existing dwelling. The proposed renovations will reconfigure the dwelling to provide four bedrooms and four bathrooms, enabling the owner to reside at the property on a full-time basis while offering the remaining three bedrooms as guest accommodation.

As the owner will continue to reside at the property and the guest rooms are located wholly within the existing dwelling, the activity can be characterised as visitor accommodation within a residential dwelling, rather than a standalone Visitor Accommodation use. The guest rooms do not operate as self-contained units, do not contain separate facilities, and do not function independently of the primary dwelling. On this basis, the guest accommodation is treated as a subservient component of the Residential use, and the residential character and function of the dwelling remain unchanged.

The property is a heritage-listed two-storey residence conjoined with 314 Elizabeth Street, with similar conjoined dwellings at 316 and 318 Elizabeth Street. Due to its heritage age and built form, the site was not constructed with off-street parking, and no opportunity exists to provide compliant on-site parking without compromising the heritage fabric of the building.

In assessing the application, Hobart City Council has requested a Traffic Statement addressing the requirements of Clause C2.5.1 – Car Parking Numbers, to demonstrate that the proposed use can be accommodated without unreasonable impact on the availability of on-street parking for surrounding properties.

2. Parking context

The site is located at the southern end of the North Hobart commercial and restaurant precinct, an area characterised by high demand for on-street parking due to the mix of residential, commercial, and food services uses. The property has been issued with two residential parking permits under Council's Residential Parking Scheme, reflecting its long-standing reliance on on-street parking.

On-street parking in this section of Elizabeth Street is limited and well-utilised; however, the existing residential use has operated without on-site parking for decades, consistent with other heritage dwellings in the immediate area.

The primary use of the site will continue to be a residential dwelling, with the owner residing at the property full-time. The short-term visitor accommodation component will operate as a subservient, low-intensity use, with occupancy varying according to visitor demand and unlikely to result in all three guest rooms being occupied simultaneously.

The accommodation will be advertised specifically to guests who do not require a vehicle, as no on-site parking is available, and the surrounding on-street parking is time restricted. This approach is consistent with comparable inner-urban locations, where guests typically arrive without a vehicle due to the walkable location, proximity to food services, and access to high-frequency public transport. As a result, the parking demand generated is expected to be minimal and can be accommodated within the supply of existing on-street parking.

2.1. On-street parking supply

On-street parking is available on both sides of Elizabeth Street and Tasma Street. Both roads have sufficient width to accommodate parking while maintaining two-way traffic flow. The commercial, retail and food-service uses along Elizabeth Street are supported by a range of kerbside parking restrictions, with time limits matching the adjoining land use and typically operating seven days per week. Outside residential properties, two-hour parking restrictions generally apply between 8 am and 6 pm Monday to Friday, with many of these zones forming part of the Residential Parking Scheme.

There is a high volume of on-street parking within reasonable walking distance of the site, with all spaces subject to time restrictions during weekdays. The level of parking control is lower on weekends when parking demand is typically reduced.

Overall, the weekday on-street parking supply is actively managed through time restrictions that promote turnover and ensure availability for all users. Any guest vehicle would be required to comply with these restrictions, and this parking management framework minimises the potential for adverse impacts on surrounding land uses.

3. Parking Demand Assessment

3.1. Owner Occupancy

The owner's parking demand is unchanged from the existing residential use and continues to be managed through the two residential parking permits already issued for the property.

3.2. Short-Term Visitor Accommodation Demand

The accommodation will be advertised as best suited to guests without a vehicle, having regard to the site's location, the absence of on-site parking, with the surrounding on-street spaces controlled by short term restrictions.

The accommodation component is expected to generate low and variable parking demand, influenced by several factors.

- The visitor profile is oriented toward short-stay intercity travellers who typically do not hire a vehicle for local travel.
- The site is highly walkable, being within easy walking distance of the North Hobart restaurant precinct and the Hobart CBD, and is located on a high-frequency public bus corridor providing direct access to the CBD and northern suburbs.
- Guest accommodation rarely results in full occupancy across all available rooms, and guests who do arrive by car typically park for short durations and outside peak commercial demand periods.
- On the occasional instance where a guest hires a vehicle for a day trip, the vehicle is most likely to be parked overnight only, at a time when on-street parking demand in the surrounding area is typically lower.

Consistent with typical parking behaviour associated with inner-urban short-term visitor accommodation, the expected parking demand is low, with most guests not requiring a vehicle; even with three rooms available, the likelihood of three vehicles being generated simultaneously is low, and collectively these factors demonstrate that the parking demand associated with the proposed use will be minimal.

4. Assessment against the planning scheme

Under Table 6.2 of the planning scheme, the primary use of the site is a residential dwelling, as the owner will reside at the property on a full-time basis. Under Table C2.1, any dwelling containing more than two bedrooms is required to provide two on-site parking spaces to satisfy the Acceptable Solution.

The short-term accommodation component is considered a subservient use, as the three guest bedrooms are unlikely to be fully occupied at all times and do not operate independently of the main dwelling. Under Table C2.1, visitor accommodation requires one parking space per self-contained accommodation unit, allocated tent or caravan space, or one space per four beds, whichever is the greater.

The wording of the table creates some ambiguity as to whether the three short-term accommodation bedrooms require one space (based on one space per four beds) or three spaces (if each bedroom is interpreted as a separate accommodation unit).

Applying a conservative, worst-case interpretation, each bedroom could be considered to require one parking space, resulting in a total requirement of five on-site parking spaces for the combined residential and visitor accommodation uses.

In practice, the number of parking spaces required by the short-term accommodation is immaterial, as it is highly unlikely that guests will arrive with a vehicle given the walkable location, high-frequency public transport, and the accommodation being advertised as unsuitable for guests with cars.

Irrespective of the calculated requirement, the property is a heritage-listed conjoined dwelling constructed without off-street parking, and no opportunity exists to provide compliant parking on the site. As a result, the Acceptable Solution cannot be met, and the proposal must be assessed against the Performance Criteria of Clause C2.5.1 – Car Parking Numbers.

Council's Request for Further Information indicates that the assessment should be undertaken under P1.1 for non-dwelling use, which introduces some ambiguity given that the site will continue to operate primarily as a residential dwelling with a subservient short-term visitor accommodation component. While Performance criteria P1.2 is used for dwellings.

Notwithstanding this, the short-term visitor accommodation component is expected to generate a very low level of parking demand, and any occasional parking demand can be accommodated within the surrounding on-street parking supply. Vehicles would be required to comply with existing parking restrictions, which are designed to promote turnover and ensure availability for all land uses. On this basis, the impact of the proposed use on surrounding land uses is expected to be minimal and complies with the intent of the performance criteria.

Performance Criteria P1.1

The number of on-site car parking spaces for use, excluding dwellings, must meet the reasonable needs of the use, having regard to:	
Criteria	Assessment
a) The availability of off-street public car parking spaces within reasonable walking distance of the site.	There are several public car parking areas within reasonable walking distance of the site, primarily within the North Hobart commercial precinct. These facilities provide additional capacity that can accommodate any occasional visitor vehicle generated by the short-term accommodation use, noting that the expected parking demand is low.
b) The ability of multiple users to share spaces because of: (i) variation in car parking demand over time; or (ii) efficiencies gained by consolidation of car parking spaces;	Parking demand in the surrounding area varies throughout the day due to the mix of residential, food services and commercial uses. Residential demand peaks in the evening and overnight, while commercial demand peaks during late afternoon and evening dining periods. Short-term visitor accommodation generates low and irregular parking demand, with many guests not requiring a vehicle. This variation enables shared use of the existing parking supply without conflict.
c) The ability and frequency of public transport within reasonable walking distance of the site;	The site is located on a high-frequency public transport corridor, with multiple bus routes operating along Elizabeth Street. Bus stops are located within a short walking distance, providing regular services throughout the day, evenings, and weekends. This level of service offers a practical alternative to private vehicle use.
d) The availability and frequency of other transport alternatives;	The site is located within a walkable inner-urban environment, with continuous footpaths and safe pedestrian connections to nearby services and the Hobart CBD. Rideshare services, taxis, and cycling are readily available in this location, providing additional alternatives to private vehicle use for both residents and visitors.
e) Any site constraints such as existing buildings, slope, drainage, vegetation and landscaping;	The property is a heritage-listed conjoined dwelling with a low-setback frontage and no rear access. The existing building footprint occupies the width of the site, leaving no physical opportunity to provide on-site parking without demolition or significant alteration to the heritage fabric. These constraints prevent the provision of compliant on-site parking.
f) The availability, accessibility and safety of on-street parking having regard to the nature of the roads, traffic management and other uses in the vicinity;	On-street parking along Elizabeth Street and Tasma Street is actively managed through time-restricted controls that support high utilisation while maintaining safe and efficient two-way traffic flow. Despite the high turnover generated by nearby commercial uses, the parking remains safely accessible and appropriately regulated through these existing controls. The short-term accommodation use is expected to generate minimal parking demand, and any occasional guest parking can be accommodated within the surrounding on-street supply without affecting traffic safety or the functioning of nearby land uses.
g) The effect on streetscape; and	No physical works are proposed to the outside of the building, and the existing streetscape will remain unchanged. The absence of on-site parking avoids the need for new crossovers, hardstand areas

	or loss of heritage fabric, thereby maintaining the established character of the Elizabeth Street frontage.
h) Any assessment by a suitably qualified person of the actual car parking demand determined having regard to the scale and nature of the use and development.	This assessment concludes that the actual parking demand generated by the proposed short-term accommodation use is expected to be minimal. The accommodation will be advertised as unsuitable for guests with vehicles, and the visitor profile is expected to consist largely of guests arriving without a car. Combined with the site's walkable location and high-frequency public transport, the actual parking demand is significantly lower than the theoretical requirement under the Acceptable Solution, and unlikely to cause adverse impact to surrounding land uses.

5. Conclusion

The proposed internal renovations at 312 Elizabeth Street will enable the owner to continue residing at the property on a full-time basis while offering three bedrooms as short-term guest accommodation within the existing dwelling. The guest rooms do not operate as self-contained units and do not function independently of the primary residence, and the activity is therefore characterised as visitor accommodation within a residential dwelling. The residential character, scale and function of the dwelling remain unchanged.

The property is a heritage-listed conjoined dwelling constructed without off-street parking, and no opportunity exists to provide compliant on-site parking without compromising the heritage fabric.

The assessment demonstrates that the reasonable needs of the use can be met within the existing parking environment. The owner's parking demand remains unchanged, and the short-term visitor accommodation component is expected to generate very minimal and irregular parking demand, with most guests arriving without a vehicle due to the walkable location, proximity to the North Hobart restaurant precinct, and access to high-frequency public transport.

Any occasional parking demand can be accommodated within the surrounding on-street parking supply, with vehicles required to comply with existing parking restrictions that promote turnover and ensure availability for all land uses.

Having regard to the availability of public parking, shared-use patterns, public transport, active transport alternatives, site constraints, on-street parking conditions, streetscape considerations, and the actual parking demand generated by the use, the proposal satisfies the Performance Criteria of Clause C2.5.1. The development will not result in an unreasonable impact on the availability of on-street parking for surrounding properties and is considered acceptable from a parking perspective.

Heritage Conservation Architect

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Project No: 25-27

STATEMENT OF HERITAGE IMPACT for Bed and Breakfast Accommodation Residence 312 Elizabeth Street, NORTH HOBART TAS 7000



Figure 1. Elizabeth Street Elevation

for
Mr Andy Van Emmerik

Prepared By: Stephen Booker
carste STUDIO Pty Ltd

DRAFT: 5th September 2025
Pre DA: 7th September 2025
Revision 1 DA Issue: 27th January 2026



Nominated Architect: Stephen Booker
B.Sc.(Arch.), B.Arch., M.Herit. Cons., ACA. M.ICOMOS, APTI, IA
ARB NSW Reg. No. 4613
ARB TAS Reg. No. 1129
Building Services Provider 968374330

5.4.6 Internal skirtings, architraves being of an ovolo profile and doors are four panelled with Carpentry Box locks, typical of the High Victorian period.

5.4.7 The stair handrail, balustrade and newels have Arts and Crafts characteristics with a range of Tasmanian timbers being utilised and represented true to their character. The balusters are Huon and Celery Top Pine, the Newel and handrail in Blackwood. The Newel is gently tapered from the ornate Newel Cap mould to the floor level. Treads and risers are of Oregon and the stringers are Baltic Pine.

5.4.8 Bathroom windows are casement with patterned glass and casement stays to secure the sashes.

5.4.9 Windows other than the street front elements are double hung and clear glazed.

5.4.10 The ground floor hallway is fitted with a curved fretwork frieze located at the return wall near the base of the stair.

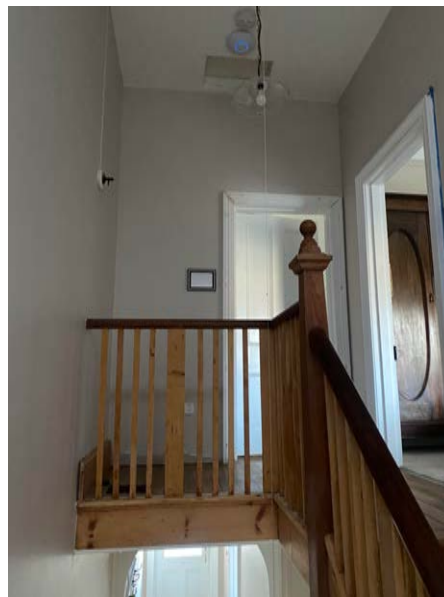


Figure 11: Stair balustrade and Newel Source: carste STUDIO

5.4.10 The western-most structure comprises the Laundry and a toilet cubicle. In earlier form, both areas were external to the dwelling, accessed from an open verandah. The walls are of timber framing and weatherboard clad. The verandah has subsequently been enclosed, the differentiation in weatherboard profile to the earlier claddings and the adoption of hopper windows and four paned sliding sashes indicative of the use of materials salvaged from elsewhere. A glazed door with mid rail provides access to the yard space.

5.4.11 Mentioned hereinbefore, the western wall of the toilet is masonry to approximately 600mm height against which the adjacent soil is retained. No sub surface drainage is provided, leading to persistent damp conditions internally.

5.4.12 The Laundry has fibre cement sheet wall linings to the west and south walls, painted brick to the north and east with a level, reeded edged timber boarded ceiling. The enclosed verandah has a raked sheeted ceiling.

5.4.12 As discussed in the Engineer's Advice, the floor to the western Laundry, Toilet and enclosed verandah is of thin unreinforced concrete, set down from the adjacent Kitchen and has failed.

5.4.13 In summary, the interior represents a medley of styles, typical of the transitional stylistic period in which it was constructed. There is nothing of notable aesthetic significance internally. It is a representative, relatively intact example of its kind.

5.4.14 The internal planning is typical of terrace housing of the period, robust in construction and well represented in form, detail and integrity and is a positive contributor to the overall significance of this group of buildings.

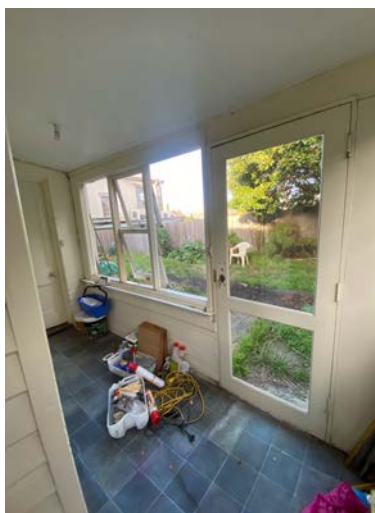


Figure 12: Enclosed verandah south wall
Source: carste STUDIO

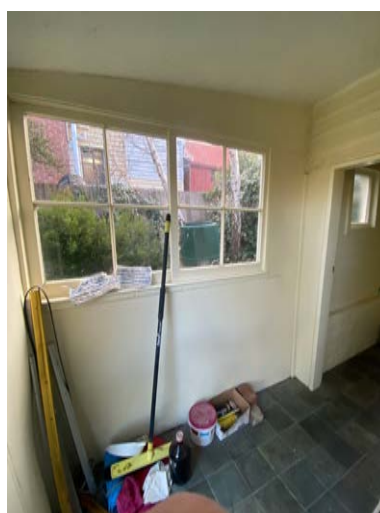


Figure 12: Enclosed verandah west wall
Source: carste STUDIO



Figure 13: Laundry interior looking north east
Source: carste STUDIO

5.5 Condition Assessment

5.5.1 The appended Engineer's Inspection Report identifies the key areas of structural deterioration against which a time frame for remediation has been ascribed based on the degree of seriousness of the deficiency.

5.5.2 Other building fabric deterioration was noted by the writer, that will be addressed within the conservation scope of works. These include-

- Rising damp in the south western masonry section of the building. stemming from the lack of ventilation in the subfloor, the presence of a concrete path abutting the external wall resulting in mortar sacrifice in the lower brickwork. Salt removal and repointing will be required in these areas.
- Coping bricks are missing from the rear parapets.
- Rear downpipes are not securely fixed allowing stormwater overflowing into the adjacent soil, exacerbating the presence and impacts of rising damp.
- Lower level guttering to the enclosed verandah is choked with vegetative growth obstructing the downpipe.
- Service reticulation should be rationalised along the south and west walls of the building.

5.5.3 The Engineer's Advice on Damage to the building identifies five areas requiring attention.

The Front Verandah: Tree root damage to the sandstone footings generally to the verandah and timber supporting post on the north side of the building against the party wall. Repairs include realignment of sandstone footing blocks and timber floor structure repair and realignment. A DPC should be incorporated in these repairs.

Family Room Floor: With little sub floor clearance to the floor timbers and no sub floor ventilation, the external wall has subsided. Internal evidence is also shown in the southern perimeter flooring that has dropped relative to the skirting. Internal flooring shall be lifted to enable inspection of the immediate floor structure and to effect repairs/ replacement of members as necessary.

Dining Room Floor: The floor in the south west corner of the room has deteriorated. This is the area that has externally been subjected to wetting as a result of the defective overflowing downpipe. The source of water needs to be repaired and dried out prior to addressing the remediation of the floor internally.

Laundry Floor: The floor comprises a thin, unreinforced concrete slab that has failed. Removal complete and replacement is recommended with a 100mm thick reinforced concrete slab as recommended by the Engineer.

Bedroom 3 Floor: As shown in Figure 9 hereinbefore, the western Bathroom wall is of plastered masonry supported over the Family Room on timber floor joists. The floor structure is inadequate for supporting a masonry wall. The engineer recommends removal and replacement with a light-weight timber framed wall. This proposal includes removal of the wall and adapting the space as Ensuities servicing each respective Guestroom.

5.5.4 The structural issues have been taken into consideration and addressed in the proposed alterations.

5.6 The Proposed Works

5.6.1 Ground Floor

The intention is to establish the building as Bed and Breakfast / short stay accommodation, with the owner occupying a section of the premises. In order to achieve this result, appropriate to the character and hospitality available in this location, the following modifications are intended.

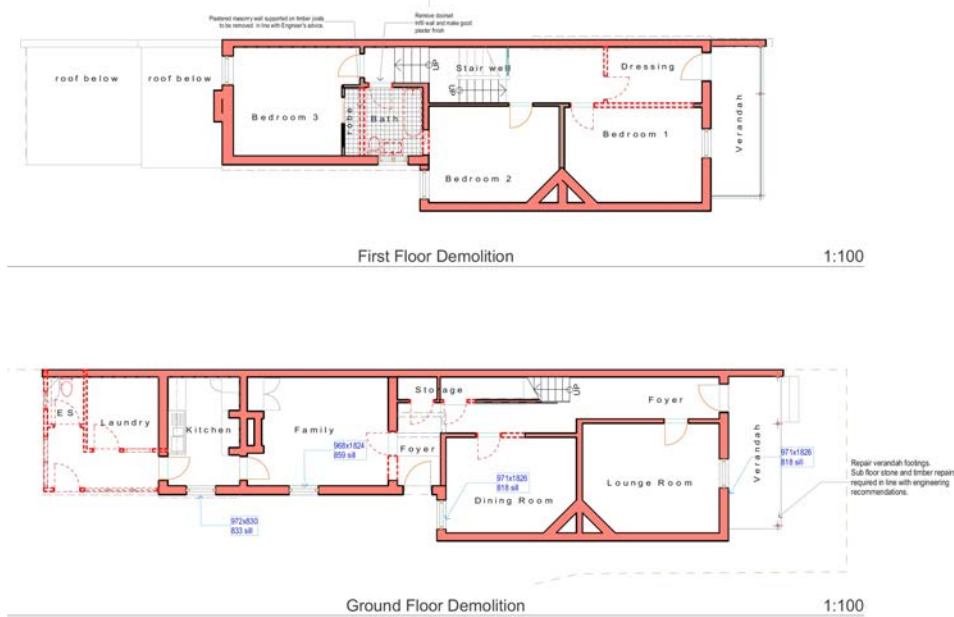


Figure 14: Floor Plan of the proposed demolition works (Shown in broken red lines)

5.6.1.1 The Lounge Room remains unaltered.

5.6.1.2 Access from the Hallway to the Dining Room is to be improved through widening the doorway and fitting a pair of doors compatible in style with the existing four panelled doors.

5.6.1.3 The sub stair area, is an appropriate location to install a central Powder Room and space for a washing machine and dryer. The door to the WC area requires to be reverse handed for enhanced privacy. Sub floor clearance for drainage and plumbing reticulation is possible in this area.

The floor will require lifting to obtain sub floor access, the floor beneath the stair being replaced with CFC and vinyl sheet finish following plumbing. An isolated concrete slab is proposed for the floor beneath the washing machine and dryer to contain vibration from affecting the stair and surrounding timber fitments.

Mechanical ventilation exhaust shall be achieved through the construction of a bulkhead in the mid length Foyer extending to the highlight over the southern door. One pane of the highlight shall be replaced by a vent with backdraught control. This provides a minimal intervention in that the ceiling in this area is substantially lower than the remainder of the Hall and the highlight remains intact with one pane being adapted as a ventilation outlet.

will be incorporated, and a raking flashing will be applied to the east roof abutment, the upstand tucked behind the abutting roof's barge board by a minimum of 50mm.

A new pair of doors are shown to be inward opening glazed doors, but could equally be sliding glazed timber doors to economise on circulation space.

This extended area increases the floor area without impacting on the overall mass and form of the building, and discreetly located away from direct view from the public domain. The compatibility of the extended area is seen in the elevations appended.

This work addresses the structural deficiencies outlined in the Engineer's Report.

5.6.1.8 The front verandah footings and timber decking is to be stabilised and repaired.

The northern column base adjacent the party wall is to be repaired by indenting seasoned hardwood column base spliced into the sound material above the damage. The joint between new material and existing should be dovetailed to ensure continuity of support and to avoid future recurrence of the current damage. This work is the subject of a Minor Works Approval from Tasmanian Heritage as before identified.

5.7 First Floor

5.7.1 The First Floor provides for general accommodation spaces and wet area facilities.

5.7.2 Guestroom 1:

The wall between the Stairwell and the Dressing Area is relocated 1500mm to the west.

The wall between the Dressing Room and the Bedroom is to be demolished, leaving a projection below the ceiling in order to retain the square set cornice in each room. The wall is demolished retaining nib projections at each side in line with the Works Guidelines recommendation on appropriate outcomes'... *keep wall nibs and ceiling bulkheads to demonstrate the former location of a wall rather than completely removing the wall.*' This also provides the opportunity for reinstatement of the former arrangement when the opportunity arises, there being a contrasting timber inlay within the floor, following the wall position. Within the ceiling, the former walls will be interpreted through the incorporation of bulkheads tracing the former wall position

An **Ensuite** is established on the southern side of the room arranged in a manner to retain the integrity of the fireplace and mantle. The defining wall is a frosted glass partition with silicon joints running from a 900mm high lower wall ceiling to satisfy waterproofing requirements. A supplementary floor is to be constructed over the existing flooring to facilitate waterproofing and plumbing and drainage reticulation without impacting on the existing timber floor. Note that the southern side of the building is in the closest proximity to site drainage lines.

Behind the intended bed position, a ply panel 2400 wide x 2400 high set 600mm nominally off the wall and provides robe and storage space behind the bed. A central divider and hanging rails on both ends stiffens and supports the partition.

None of the internal changes to this area have physical implications on the significant external fabric for which the building is valued as a contributory element in the Elizabeth Street Historic Heritage Precinct. Plumbing and drainage will be the only external element exposed on the south wall as a result of this adaptation. It will not detract from its urban contribution nor its heritage significance values.

This facet of the proposal has been the subject of discussions between the writer and Heritage Tasmania (Mr Russell Dobie). Following correspondence, we met on 17 October 2025. The various options for positioning were discussed and dismissed for various logistical reasons and potential irreversible damage to the significant fabric.

My memo of the meeting outcome for this facet of the work is as follows:

Introduction of an Ensuite into the upper floor front room.

The positioning of the Ensuite along the northern wall is not viable as a result of the required falls from the fittings. The intent is to create a raised floor within the proposed Ensuite footprint on the southern side, to facilitate drainage without major disturbance to significant fabric. Pipe discharge through the southern wall will not be visible given that the adjacent building is 1100mm away from the subject building at this point. The splayed end of the space is arranged to maintain the prominence of the fireplace within the room. It was agreed that this is a good solution in this instance.

Removal of the dividing wall between the existing Bedroom and the Dressing area.

In line with the Works Guidelines I retained nibs at either side of the opening and a bulkhead across the opening, retaining the square set cornice treatment. The floor is carpeted. It was agreed that at floor level, the line of the wall be interpreted through either screed coating the wall at floor level or in setting a timber cover board and finishing it in a differing colour to the surrounding floor. This will be concealed by carpet, but will be clear upon future discovery, that a wall has been removed.

Remove and relocate the wall between the Dressing Area and the Stairwell to achieve a workable Bedroom.

Likewise, the former position of the doorway will be evident as the timber will remain at the former threshold. The same treatment as above shall be adopted for the relocated wall. Planning-wise, it would not be feasible to retain the doorway and wall in its current position. The overall result will be a workable Bedroom, a reduced stair landing, trading the excessive landing space to the enlarged Bedroom, with no visible changes externally. The foregoing as agreed, will be included in the DA documentation illustrated on a Reflected Ceiling Plan.

It was agreed that the internal planning arrangement of the original building is a significant aspect to these dwellings and likewise, the proposed changes would not be visible externally, but that interpretation of the original layout should be incorporated to guide any potential reinstatement of the floor plan layout.

A new beam will be required to span the new opening and will necessitate a set down tracing the original wall position. While not structurally necessary along the line of the Stairwell/ Dressing Room wall, it is none the less incorporated as an interpretative device. Refer to the Reflected Ceiling Plan.(Figure 16)

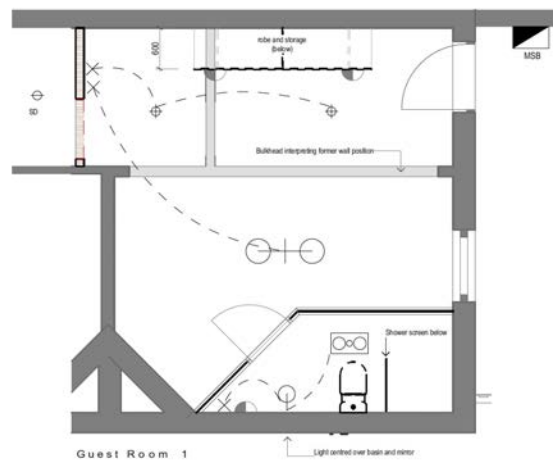


Figure 16: RCP Guestroom 1. Source: carste STUDIO

5.7.3 **Guestroom 2:**

A doorway is to be formed between the current Bathroom and the Bedroom. The Bathroom is to be reconfigured to create an Ensuite for each adjacent room. Bedroom 2 Ensuite floor is to be raised 175 mm, level with the Bedroom floor. The new dividing wall in the Bathroom retains the existing Bathroom window in Bedroom 2 Ensuite.

5.7.4 **Bathroom to Ensuites:**

The Bathroom existing fitout is relatively recent.

The Bathroom is proposed to be divided into two Ensuites, retaining the existing casement window.

The existing Bedroom 3 wardrobe stud wall shall be retained as the western Ensuite wall.

The doorway between the stair landing and the Bathroom is to be infilled, heavily insulated, with the door being reused as the Ensuite door to Guestroom 2. Architraves shall be reused in ground floor doorways where changes are proposed.

The masonry wall which is supported on the timber floor structure is to be removed, addressing the structural issue. This matter was discussed with Russell Dobie and the following interpretative approach was agreed and is illustrated in Figure 18 and as follows:



Figure 17: The existing bathroom. Source: carste STUDIO

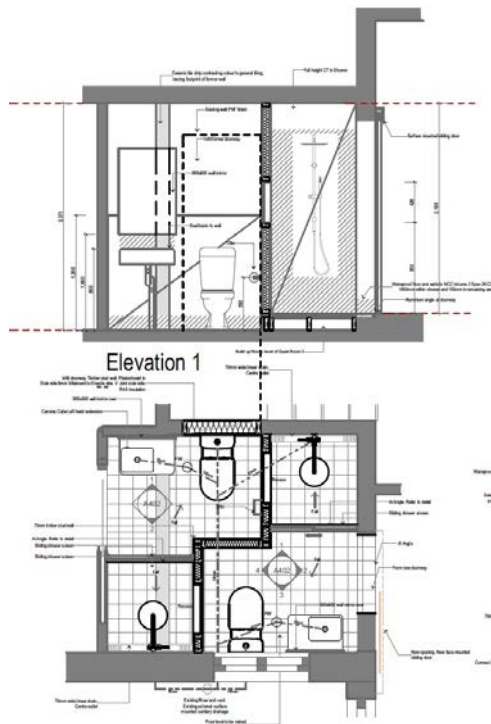


Figure 18: Ensuites 2 and 3 Source: carste STUDIO

Developing Ensuites within the footprint of the existing main Bathroom.

It was explained that the wall proposed to be demolished has caused long term deflection creep to the supporting timber floor joists.

The upstairs brick wall does not align with the lower floor wall (as shown in Figure 9). The structural engineer recommended demolition and reconstruction in lightweight construction.

This was seen as an opportunity to remove the wall and enlarge the space, developing an Ensuite to each of the adjoining rooms.

This will have no external impact, will rectify a flaw in the initial construction and add to the amenity of the property as short stay accommodation, as shared Bathroom facilities are not a popular arrangement with house guests.

In order to interpret the prior presence of the wall, introduction of nibs in this space was not seen as viable.

In the circumstance a contrasting wall and floor tile tracing the wall position would satisfy the interpretative criteria. This will be detailed in the documents (an extract in Figure 18) and this SOHI.

5.7.5 Guestroom 3:

No changes are proposed to this area.

5.7.6 Guestroom 4 and Ensuite:

This involves the conversion of the existing Laundry and adjacent WC to a Bedroom and Ensuite.

There are a number of existing building issues to address in this part of the proposal:

- The existing slab is no more than a slurry across the earthen substrate. The Engineer identified that the slab has failed and recommended its replacement with an engineered concrete slab.
- The presence of a damp proof course is dubious and needs to be addressed prior to the slab replacement.
- Soil is retained against the western wall of the WC and as a result perpetual dampness is experienced.

In detailing the addition, it was recognised that the head height at the extended southern wall was just above 2100mm floor to ceiling and is too low.

To address this, without impacting on the integration of the area with the remaining adjacent skillion roof, the whole of the existing roof is proposed to be raised 3 brick courses (258mm) retaining the parapet upstand to the north, enabling effective flashing to be achieved on the upper end of the roof, and facilitate a raking side flashing to the east abutment to the existing brick wall. The roof pitch will be retained relative to the adjacent structure, and a small eaves overhang provided as protection to the wall.

The soil on the western side is to be raked back and a trench drain and substrate agricultural drain installed to divert water to the proposed pit and protect the west wall from dampness.

Internally, the lowest head height on the south wall is 2355mm.

Skirtings shall emulate those of the existing residence, the remaining detail and finishes being contemporary, the exterior remaining weatherboard clad and colorbond corrugated steel finished roofing.

The discussion with Russell Dobie was in the following vein:

The existing slab is nothing more than rendered earth, and there are attendant structural issues with it and the external west wall.

It was agreed that detailing of new work had to ensure that the new slab doesn't exacerbate rising damp into the existing adjacent walls. This is addressed by cutting in a physical DPC to the east and north walls.

This will be described on the final drawings.

5.4 Materials, Finishes and Colours

5.4.1 The prevailing internal colour scheme shall be retained.

5.4.2 Note that differentiating tile colour in floor and walls of the Ensuites 2 and 3 shall mark the former Bathroom wall position as detailed in Figure 18 hereinbefore.

5.4.3 Likewise the flooring inlay and silhouette painted on the north wall of Guestroom 1, tracing the former wall position shall interpret the footprint and wall position in that space, as detailed on the accompanying drawings.

6.0 HERITAGE IMPACTS

6.1 A Statement of Heritage Impact (SOHI) is prepared to assist in the review and approval process when a project could impact upon a heritage item and / or Heritage Conservation Area (HCA)/ overlay. The purpose of a SOHI is to explain how the heritage value of an item or area might be affected by development or change. Impact may be positive when an item is to be conserved or enhanced or be detrimental if the site is to be disturbed or destroyed.

6.2 Three statements shall be addressed in relation to proposed works as part of a SOHI as follows:

- The following aspects of the proposal respect the heritage character of the heritage item.
- The following aspects of the proposal could detrimentally impact heritage significance. The reasons are explained as well as the measures taken to minimise negative impacts.
- The following aspects of the proposal respect the heritage character of the heritage item/s in the vicinity
- What sympathetic solutions have been considered and if not pursued, why were they discounted.

6.3 The following section addresses the potential impacts and mitigating measures taken to lessen any potential impact of the proposed facets of the development.

6.4 This Statement of Heritage Impact analyses the extent of these potential impacts and the measures taken to mitigate any negative impacts.

6.5 Identification of Impacts.

6.5.1 Potential impacts of the proposed development are examined as follows:

1. The manner in which the development meets the objectives and appropriate outcomes of the Tasmanian Heritage Council Works Guidelines. Consultation and meeting with Heritage Tasmania heritage Advisor, Russell Dobie has guided the detailing and introduction of interpretative facets to offset potential negative impacts of the proposal on the significance of the property.
2. The manner in which the development meets the objectives of the Hobart interim Planning Scheme
3. Impacts on the setting of the heritage items in the vicinity of the proposed development.
4. How does the proposal respond to the Elizabeth Street Historic Heritage Precinct?

1. The manner in which the development meets the objectives and appropriate outcomes of the Tasmanian Heritage Council Works Guidelines.

Type of Works	When a Discretionary permit is required and the appropriate outcomes.	Response/ Compliance
9.1 Internal partitions a). Conversion of Bathroom to two Ensuites	Installing new internal partitions or walls in significant spaces or in a manner that may damage significant fabric or the character of the interior space. Appropriate outcomes: 1. Avoid dividing or breaking up spaces of high significance. If a space has some significance but must be divided, use walls or partitions that do not extend to ceiling, or partitions that have their upper part made of glass.	a). Conversion of Bathroom to two Ensuites 1. The Bathroom fitout is non-significant, while the footprint of the space in the overall space planning of the building is significant. Division of the space to form two Ensuites necessitates the construction of a new full height partition.

	<p>2. Partitioning rooms into smaller spaces should be carefully considered and planned in such a way as to retain significant elements. For example, by keeping chimney breasts and fireplace mantels in one space and not dividing them between separate rooms.</p> <p>3. Partitions should be designed to be reversible so they can be removed at a later date if required, enabling recovery of the space without causing damage to significant historic fabric.</p> <p>4. New walls should be configured to minimise the need for alteration of significant features such as windows, stairs, fireplaces, skirtings and cornices</p>	<p>2. The internal division maintains the existing Bathroom window within the Guestroom 2 Ensuite. Guestroom 3 Ensuite was proposed to have a Velux style openable skylight for light and ventilation over the shower recess. In lieu of this roof penetration we have opted for mechanical ventilation with a roof vent penetration required to expel to the outside air.</p> <p>3. The reversibility of this alteration is limited as a result of the raising of the eastern floor by 175mm and the plumbing fixtures and extension of drainage.</p> <p>4. See point 2 above.</p> <p>It was agreed with heritage Tasmania to trace out the former wall position in the wall and floor tiling by differentiating the tile colour in both areas to mark the former wall position.</p> <p>The removal of this wall addresses the Engineering concern as to the existing masonry wall being supported off timber floor joist, leading to structural deflection. Removal of the wall is a positive structural outcome and facilitates the larger footprint to accommodate the two ensuites.</p>
<p>b). Installation of Ensuite to Guestroom 1.</p>	<p>1. Avoid dividing or breaking up spaces of high significance. If a space has some significance but must be divided, use walls or partitions that do not extend to ceiling, or partitions that have their upper part made of glass.</p> <p>2. Partitioning rooms into smaller spaces should be carefully considered and planned in such a way as to retain significant elements. For example, by keeping chimney breasts and fireplace mantels in one space and not dividing them between separate rooms.</p> <p>3. Partitions should be designed to be reversible so they can be removed at a later date if required, enabling recovery of the space without causing damage to significant historic fabric.</p> <p>4. New walls should be configured to minimise the need for alteration of significant features such as windows, stairs, fireplaces, skirtings and cornices</p>	<p>b). Installation of Ensuite to Bedroom 1.</p> <p>1. While the partition breaks up the space, the use of glazing above a lower solid wall provides a degree of transparency while containing the steam etc. The glazing is to be partly obscured with a film, leaving the upper section transparent to maintain the visibility of the ceiling and extent of the room perimeter.</p> <p>2. The partition west end has been arranged at a 45° angle to maintain the fireplace and mantle as a focal point within the room.</p> <p>3. The introduction of a raised supplementary floor and the lightweight solid and glazed partition are reversible. This also allows the plumbing to be installed without interfering with the existing flooring</p> <p>4. Refer to point 2. above.</p>
<p>c). Freestanding ply partition to the north of Bedroom 1.</p>		<p>c). Freestanding ply partition to the north of Bedroom 1.</p> <p>1. The introduction of the ply partition provides hanging space and storage with minimal intrusion on the usability of the space and access to the verandah. The partition extends to 2400mm and is free standing.</p> <p>2. The position and form of the partition does not obscure any significant elements.</p> <p>3. The partition and its appurtenant hanging and storage is reversible.</p> <p>4. No alteration of the significant features will be required to facilitate the partition.</p>

<p>9.4 Internal alterations– (generally)</p> <p>a). Enlargement of Bedroom 1.</p> <p>b). Installation of WC and compact laundry in the space below the stair flight on the Ground Floor.</p>	<p>Alterations that involve disturbance or removal of significant fabric such as walls, floors, ceilings, fireplaces stairs, joinery, or decorative plasterwork.</p> <p>Appropriate outcomes:</p> <p>1. In places where the fabric has varying levels of significance, altering fabric with lower levels of significance is preferable to altering fabric with higher levels of significance.</p> <p>2. Retaining significant internal aspects of the place is preferable. This may include:</p> <ul style="list-style-type: none"> - the overall room layout and circulation patterns; - significant elements such as historic staircases, fireplace mantels, cornices, skirtings, floorboards, dado rails, doors, door and window architraves, ceiling roses etc.; <p>3. Where alterations involve the removal of early fabric that forms spatial divisions, the work should be planned to retain significant details such as stairs, fireplaces, ornamental ceilings, doors and windows; and the vestiges (ie: traces) should be kept of the fabric that is removed.</p> <p>For example, keep wall nibs and ceiling bulkheads to demonstrate the former location of a wall rather than completely removing the wall.</p> <p>4. Where significant internal elements (eg: historic doors, panelling etc.) are to be removed, it is preferable that they be kept on-site in a secure location, so that they can be returned to their original location at a future date if required.</p>	<p>a). Enlargement of Guestroom 1.</p> <p>The dividing walls represent significant internal fabric. When viewed against the heritage significance citation, neither has impact beyond the interior of the building. The wall removal in Guestroom 1 will not have any external impact on the building's aesthetic value, nor its representative value and contributory value to the urban fabric nor streetscape of the heritage precinct.</p> <p>There are two facets to this alteration: Demolition of the dividing wall between the dressing area and the Bedroom retaining a bulkhead below the ceiling and nibs at each end of the former wall position.</p> <p>2. The room layout is altered as a result. The extensive area at the head of the stair is reduced and the space incorporated as usable area within the expanded Guestroom 1.</p> <p>As significant wall fabric is disturbed and removed as a result of the demolition, requisite nibs and bulkheads are being retained tracing and interpreting the wall position in line with the Works Guidelines. As a result of consultation with Heritage Tasmania, it was agreed that the interpretative treatment of the floor where the wall is removed will be to retain the brickwork just below the floor level with sufficient space to cap the wall with a scribed timber inlay, to be finished in a colour differentiated from the main timber floor. In the final finish, the floor will be carpeted. The former doorway position will be marked by the existing floor.</p> <p>Skirtings are to be salvaged and stored on site where they aren't otherwise incorporated into the works.</p> <p>3. The wall vestiges are retained as above.</p> <p>4. Skirtings are to be salvaged and stored on site where they aren't otherwise incorporated into the works</p> <p>b). Installation of WC and compact laundry in the space below the stair flight on the Ground Floor.</p> <p>1. The western door is to be rehung to provide increased privacy to the WC area.</p> <p>The final detail of fittings in the sub stair space is to be determined. it is likely that an eastern door would be retained and widened to provide increased access to the area designated as the compact Laundry. The under stair partition wall is inconsistent with the other walling in the building</p>
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		<p>and is likely a later inclusion and certainly fabric of lower order significance.</p> <p>2. The adaptation of the sub stair space does not change the nature nor character of the entry hallway nor the stair and stairwell, the installation being discreet.</p> <p>3. To facilitate expelling air from the mechanical ventilation, a bulkhead will run from the sub stair space to the highlight over the door to the central Foyer. One pane of glass in the highlight shall be removed and replaced with a grille with backdraught control. No other external implications arise.</p> <p>4. The floor will be replaced with CFC and vinyl to facilitate waterproofing. A concrete slab will be placed to the area of the washing machine and drier to isolate vibration from the surrounding timber stair and structure.</p>
<p>9.5 Additions / extensions Ground Floor West Laundry, WC and Enclosed Verandah.</p>	<p>Additions or extensions to structures or parts of structures that are significant, or to other structures where the work will result in a physical or a visual impact on the significant elements or spaces of the place.</p> <p>Appropriate outcomes:</p> <p>1. Additions or extensions should be subservient to the main historic building. That is, an addition should not visually dominate the historic structure.</p> <p>2. Significant public views of a place should be retained when additions or extensions are planned and implemented.</p> <p>3. The design used for new additions or extensions should be sympathetic to the significance of the place. Where minor or small scale additions or extensions are proposed, a higher level of conformity with the heritage place is desirable.</p>	<p>The Engineer's Advice arising from inspection drew attention to the structural deficiencies in this location of the building and the attendant waterproofing and failures that require remediation.</p> <p>Laundry and WC functions are being truncated and relocated to a central position beneath the stair.</p> <p>The area will be adapted as Guestroom 4 with a new Ensuite, the area being accessible separately from Elizabeth Street. The door between the Kitchen and Guestroom 4 shall be closed, sealed off from the Guestroom side. The cavity shall be well insulated and the sheeted finish shall join up to the adjacent skim coated brickwork with a shadow mould or v-joint to identify the former door way presence.</p> <p>1. The weatherboard walled component of the building is at variance with the remainder of the brick building and is not a publicly visible element of the building. The proposed addition is of small scale (approximately 1300mm overall and of compatible form, materiality and colour. In design detailing the southern ceiling height has been found to be too low. To remedy this, the roof is proposed to be raised by 3 brick courses, maintaining the pitch and a parapet upstand at the north, enabling effective capping and flashing of the roof to be achieved.</p> <p>2. Public view of this area of the building is not available. However all efforts have been made to ensure compatibility of form, material and colour is maintained.</p> <p>3. The addition conforms to a high degree, with the existing structure it largely replaces.</p>

	<p>4. The new fabric can be distinguished from historic fabric by subtle means. New fabric can also be distinguished by incorporating date or marking devices and by keeping records to document the feature as new works.</p> <p>5. Take care to avoid ongoing conservation problems at the interface between the historic place and the addition or extension.</p> <p>6. Position additions or extensions so that significant trees, gardens or garden features are retained.</p>	<p>4. It is suggested that the new work be discreetly date stamped where possible. The work is evidenced and recorded by the accompanying design, construction and approval documentation which shall remain with the building.</p> <p>5. The work remediates current building deficiencies. The scope and nature of the work addresses a serious deficiency in the floor slab of the building, while enhancing amenity. A physical Damp proof course shall be let into the adjacent masonry walls prior to the slab be laid to ensure that the presence of the slab doesn't result in rising damp in the existing walls.</p> <p>Adjacent soil levels shall be adjusted and effective surface and sub surface stormwater drainage is to be effected to avert dampness currently experienced.</p> <p>6. No significant trees nor landscaping are impacted by the extension, the enlarged footprint extending south and not west.</p>
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The proposed works preserve, protect and respect the significant qualities of the building and its neighbouring heritage listed elements, without impacting the external character and quality of the elements that ascribe the group its aesthetic physical and representative significance.

Where there has been significant fabric removed, suitable options for effective interpretation and preservation of remnants have been introduced to provide clear footprints and markers for accurate future reinstatement if and when possible.

Collaboration and consultation with Heritage Tasmania has resulted in detailed amendment of the proposal to meet the requirements as agreed.

2. The manner in which the development meets the objectives of the Hobart interim Planning Scheme

The Statement of Local Historic Heritage Significance identifies the subject property in the description of the building stock of the area '*...Important groups include the uninterrupted rows of mid to late Victorian commercial buildings that line either side of Elizabeth Street; and the two pairs of Federation conjoined houses at 312-318 Elizabeth Street which have ornate timber verandahs and balconies.*'¹²

Design Criteria and Conservation Policies for the Elizabeth Street Heritage Precinct are as follows (HOB-C6.2.27 p225) where specifically relevant to the subject site.

Control	Compliance/ Response
<p>1. To retain and conserve shop fronts and commercial structures that have heritage value or contribute to the historic character of the precinct.</p>	<p>While not a commercial building it does sit within a commercial character precinct. None of the work proposed to the building detracts nor impacts on the contributory value of the building within the Historic Heritage Precinct</p>
<p>2. Elements which contribute to the precinct should be retained. These are identified as comprising the following elements on the subject property:</p> <ol style="list-style-type: none"> 1. Prominent brick chimneys 2. Conjoined townhouses 4. Original iron and timber detailing 	<p>The characteristics identified as being significant to the property and within the precinct that shall be preserved and retained are not being disturbed by the proposed development.</p>

¹² City of Hobart Local heritage Precincts. Description, Statement of local Historic Heritage Significance and Design Criteria / Conservation policy January 2019. p221.

5. Galvanised iron roofing 12. Groupings of houses sharing similar features 14. Low fencing	
3. Non contributory elements may be removed to enhance the character of the precinct.	Not applicable
4. Alterations and additions should not dominate or detract from the original building.	The alterations to the building are to the interior and not visible from the outside and in the public domain. An earlier iteration of the proposal included an Ensuite projecting onto the Elizabeth Street verandah; an unsatisfactory and insensitive proposal. Where significant fabric is being removed or relocated internally, interpretation has been effected to the extent agreed with Heritage Tasmania's Heritage Advisor. Rebuilding, repair and extensions to the western end are compatible with the existing section of the building it is replacing and as such will not detract from the aesthetic qualities of the building, whose principle significance lay in its presentation to Elizabeth Street. The extension is minor, is compatible with and will not dominate the existing building.
5. New buildings, extensions or structures should be compatible with and sympathetic to the height, bulk, setback, materials and finishes and general character of contributory and heritage listed places.	The addition/ extension fulfils this control in all aspects. Minor external impacts are limited to service pipe penetration of external southern wall from the Guestroom 1 Ensuite and an exhaust fan in the roof, not visible from Elizabeth Street.
6. New buildings, extensions or additions to contributory and heritage listed buildings should be compatible and visually subservient when viewed from any road or public open space.	There is no external change that would impact on the presentation to the Elizabeth Street Historic Heritage Precinct ,nor diminish the significance criteria which apply to this building and the associated group.
7. Garages, carports, and ancillary structures should be setback from the principal facade to enable the original building form to remain unobscured and prominent within the streetscape.	Not applicable to this proposal.
8. Driveways and hard stand areas should be located at the side of the house.	Not applicable to this proposal.
9. Alterations and additions should respect the uniformity of properties which form part of a consistent row, semi-pair or group of buildings.	There is no variation to the conjoined /shared elements including the party wall and general roofscape. There are no publicly visible outward impacts of the development to its contributory streetscape value. Work to the verandah is remedial, repairing the footings and foundation walls and the supporting columns. A Minor Works Approval has been sought and granted.
10. Fences and gates should be appropriate in form, scale, height and materials appropriate to the architecture of the main building. Styles include low Federation/Victorian timber picket, Inter-War masonry, brick and ironwork fences and gates. Detailed design guidance may be found in City of Hobart publication, New fences for old houses.	Reference to the photographs included on THR listing Data sheet show the picket fences to be recent additions; fences shown on that document are welded wire. Any work to the fence shall be compatible with the fretwork nature of the verandahs.
11. Established and/or significant planted garden settings, hedges, and visually prominent trees should be retained, unless removal is exempt under the planning scheme.	No significant plantings a present on the site. The existing Silver Birch at the rear of the property is not impacted by the proposal.
12. Unpainted and unrendered masonry and brick exterior surfaces should remain as such.	No painted brickwork is proposed.

The proposal meets the Historic Heritage Controls pertinent to the Heritage Precinct of Elizabeth Street and the Hobart City Interim Planning Scheme.

Impacts on the setting of the heritage items in the vicinity of the proposed development.

Presentation of the host building to the public domain remains unchanged as a result of the proposed internal alterations nor the remedial work to the western end of the building and the allied additions.

How does the proposal respond to the Elizabeth Street Historic Heritage Precinct?

Presentation of the host building to the public domain remains unchanged as a result of the proposed internal alterations nor the remedial work to the western end of the building and the allied additions.

The established significance criteria are respected and safe-guarded as a result of the proposal, while providing additional accommodation to visitors which will be of ongoing benefit to the precinct and a compatible reuse/ adaptation of this building in its location and setting.

The following alternative proposal was considered but not employed for the following reasons:

An earlier proposal included the Bedroom 1 upper floor Ensuite projecting eastwards from the building interior incorporating a section of the verandah. This was considered to be an inappropriate proposal, both from the preservation and respect of the heritage significant qualities of the building , its conjoined nature and neighbour as well as the uniformity across the listed group.

As such the contributory value of the building to the Historic Heritage Precinct of Elizabeth Street would be diminished. The proposal was discounted and discarded.

Suggestion had been made that the most appropriate location for Guestroom 1 Ensuite would be in the 'Dressing Room' area of the eastern 1st floor. Examination of the impact on the floor of drainage from this side of the building showed that the northern location would result in significant damage to the floor and / or the ceiling below. Locating the Ensuite on the south enables drainage to exit the building and hook into a new stack and vent pipe, or within the raised floor area of the Ensuite, all junctions and traps could be contained and drain to the exterior stack via a single 100mm pipe.

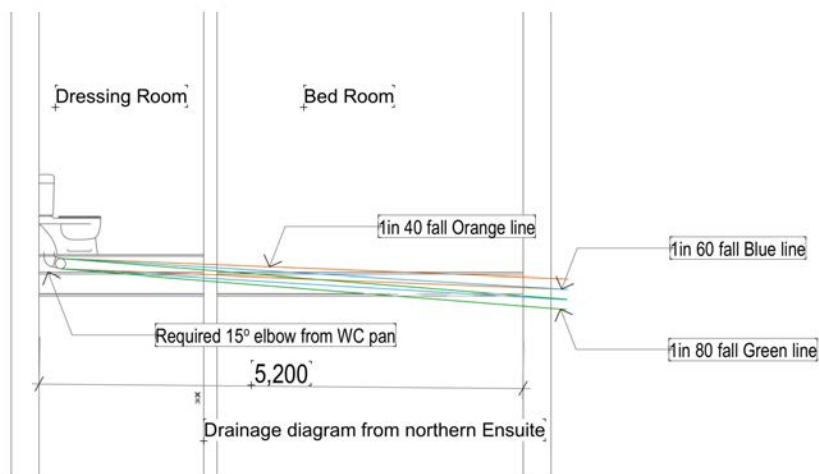


Figure 19: Drainage limitations on positioning Guestroom 1 Ensuite on the north wall Source: carste STUDIO

7.0 RECOMMENDATIONS AND CONCLUSIONS

7.1 The design complies with the applicable legislation to the state and local jurisdictions and is a permissible and compatible use of the building without compromising its heritage significant qualities.


7.2 The proposed works have no outward impact on the principle elevations and the streetscape contribution of the building to Elizabeth Street.

7.3 The potential heritage impacts of this proposal have been minimised through consultation and the adoption of agreed interpretation strategies.

External impacts are limited to service penetrations and external drainage lines on the southern elevation and exhaust fan roof penetrations. Alterations are constrained to the interior areas of the building having no external visual presence nor impact particularly to the public domain.

The work to the western end of the building is compatible in form, scale and materiality and not visibly accessible from the public domain. They do not dominate the host building.

7.4 We look forward to Works Approval from Heritage Tasmania, based on the compatibility of the alterations and the fact that there were potential detrimental aspects of the proposal to the significant facets of the subject property which have been averted and addressed in line with discussion and agreement with Heritage Tasmania. The proposal is good for its support of the commercial development in the area and is a suitable use for a residential building in this location.



carste STUDIO pty ltd

8.0 APPENDICES

CERTIFICATE OF TITLE (3 PAGES)

THR DATA SHEET #127

SALTMARSH & ESCOBAR: DAMAGE INSPECTION AND REPORT

ARCHITECTURAL DRAWINGS

134 Macquarie Street (GPO Box 618)
Hobart Tasmania 7001
Phone: 1300 850 332 (local call cost)
Email: enquiries@heritage.tas.gov.au
Web: www.heritage.tas.gov.au

Name: Terraces
Status: Permanently Registered
Tier: State

THR ID Number: 127
Municipality: Hobart City Council
Boundary: Whole of Title

<u>Location Addresses</u>	<u>Title References</u>	<u>Property Id</u>
312 ELIZABETH ST, NORTH HOBART 7000 TAS	132776/1	1934913
314 ELIZABETH ST, NORTH HOBART 7000 TAS	132776/2	1934921
316 ELIZABETH ST, NORTH HOBART 7000 TAS	132776/3	1934948
318 ELIZABETH ST, NORTH HOBART 7000 TAS	132776/4	1934956



Untitled
No copyright on file



Untitled
No copyright on file

Statement of Significance: (non-statutory summary)

No Statement is provided for places listed prior to 2007

Why is it significant?:

The Heritage Council may enter a place in the Heritage Register if it meets one or more of the following criteria from the Historic Cultural Heritage Act 1995:

- The place is important to the course or pattern of Tasmania's history.**
- The place possesses uncommon or rare aspects of Tasmania's history.**
- The place has the potential to yield information that will contribute to an understanding of Tasmania's history.**
- The place is important in demonstrating the principal characteristics of a class of place in Tasmania's history.**

These two pairs of terrace houses are of historic heritage significance because they are able to demonstrate the principal characteristics of a two storey brick Federation Filigree terrace house.

- e) **The place is important in demonstrating a high degree of creative or technical achievement.**

- f) **The place has a strong or special association with a particular community or cultural group for social or spiritual reasons.**

This building is of historic heritage significance because its townscape associations are regarded as important to the community's sense of place.
- g) **The place has a special association with the life or works of a person, or group of persons, of importance in Tasmania's history.**

- h) **The place is important in exhibiting particular aesthetic characteristics.**

Heritage approval is required for work that will result in changes to the nature or appearance of the fabric of a Heritage place, both internal and external.

Please refer to the Heritage Council's Works Guidelines (www.heritage.tas.gov.au) for information about the level of approval required and appropriate outcomes.

Heritage Advisors are also available to answer questions and provide guidance on enquiries@heritage.tas.gov.au or Tel 1300850332

This data sheet is intended to provide sufficient information and justification for listing the place on the Heritage Register. Under the legislation, only one of the criteria needs to be met. The data sheet is not intended to be a comprehensive inventory of the heritage values of the place, there may be other heritage values of interest to the Heritage Council not currently acknowledged.

Setting:

These buildings are significant elements in the urban streetscape.

Description:

This is two pairs of brick Federation Filigree terrace houses. They are detailed with a common fire wall, verandah at each floor and a projecting gable.

History:

No Data Recorded

15/08/2025

ENGINEER'S ADVICE 25269 EA01

312 ELIZABETH STREET, NORTH HOBART

DAMAGE INSPECTION & REPORT

We have been engaged to inspect and comment on the structural condition of 312 Elizabeth Street, North Hobart (refer Figure 1). A visual inspection was undertaken by Leigh Saltmarsh on 07/08/2025 (refer Images 1-6).

This report is not intended as an exhaustive dilapidation survey of all defects and damage. It is intended to generally convey the main engineering issues and contributing factors as understood by the author. Similarly, recommendations for remedial works are indicative.

BACKGROUND

The property is a two storey, cojoined, double brick house, with timber floors and sheet roof, constructed circa 1900's.

OBSERVATIONS / DISCUSSION

FRONT VERANDAH

Our observations indicate damage of the sandstone and timber support post (refer Images 1-3). The damage is likely due to exposure to weather over the life of the house. Repairs should be undertaken as required within the next 3 months.

FAMILY ROOM FLOOR

The timber floor has been constructed close to the ground with no sub floor ventilation. There was no access beneath the floor framing. The external south wall appears to have subsided (refer Image 4). This is likely due to minor movement of the sandstone footings. The damage does not threaten the structural integrity of the house. At this stage we do not suggest underpinning or soil improvement with epoxy injection or expanding resin is warranted. We suggest the flooring is removed along this wall to assess the condition of the timber framing and repairs undertaken as required within the next 12 months.

DINING ROOM FLOOR

The construction of the dining room floor is similar to that observed in the family room. The south west corner has deteriorated, most likely as a result of damaged floor framing. We suggest the floor boards are removed to allow access and repair the damage as required. Repairs should be undertaken within the next 3 months and in the interim, no furniture is to be located in the near vicinity of the damaged corner.

LAUNDRY FLOOR

The laundry is a single storey, timber frame located at the rear of the house (refer Image 5). The floor has been replaced with a thin, unreinforced concrete slab which has failed. The slab is structurally inadequate and should be removed and replaced with a 100mm minimum slab. Repairs should be undertaken within the next 3 months.

BEDROOM 3 FLOOR

It appears the wall dividing the upstairs bathroom and Bedroom 3 is constructed of brick and supported by timber floor joists (refer Image 6 and Figure 2). We suggest the floor framing is inadequate for this purpose and the brickwork should be removed and replaced with a timber framed wall. Works should be undertaken within the next 12 months.

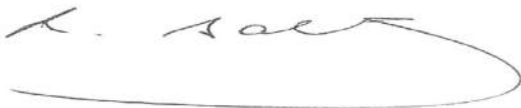
RECOMMENDATIONS

We recommend works to be undertaken as follows:

- Repair verandah stonework and timber framing as required.
- Repair family and dining room floors as required.
- Remove laundry floor and reinstate with 100mm slab.
- Remove Bedroom 3 / bathroom dividing wall and reconstruct with timber framing.

Repairs to the laundry may require a building designer, building surveyor and structural engineer for the provision of suitable documentation.

If you have any queries in relation to this report, please contact me.



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Saltmarsh & Escobar Consulting Engineers

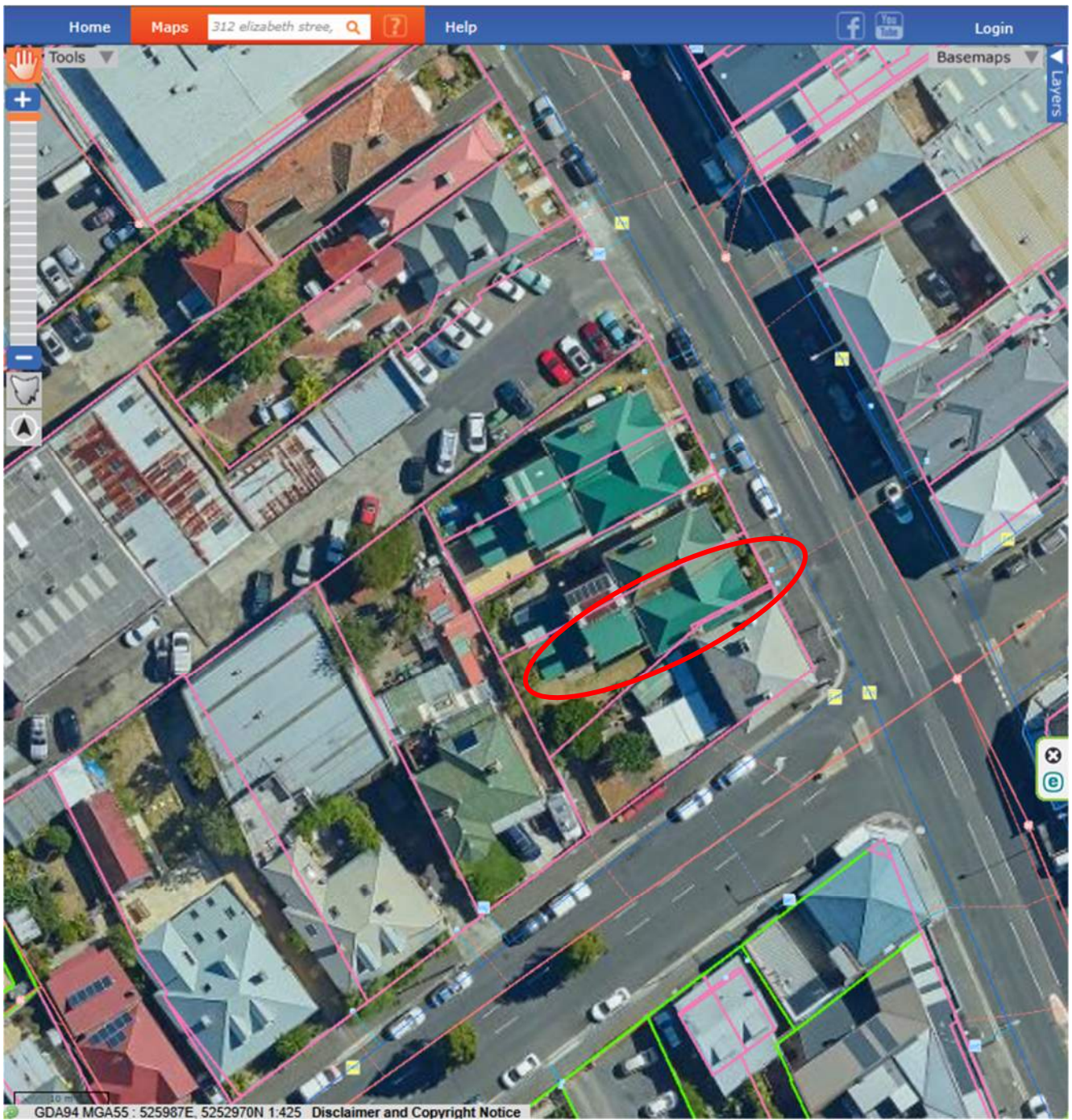


Figure 1 - Site location (source The List)



Image 1



Image 2



Image 3

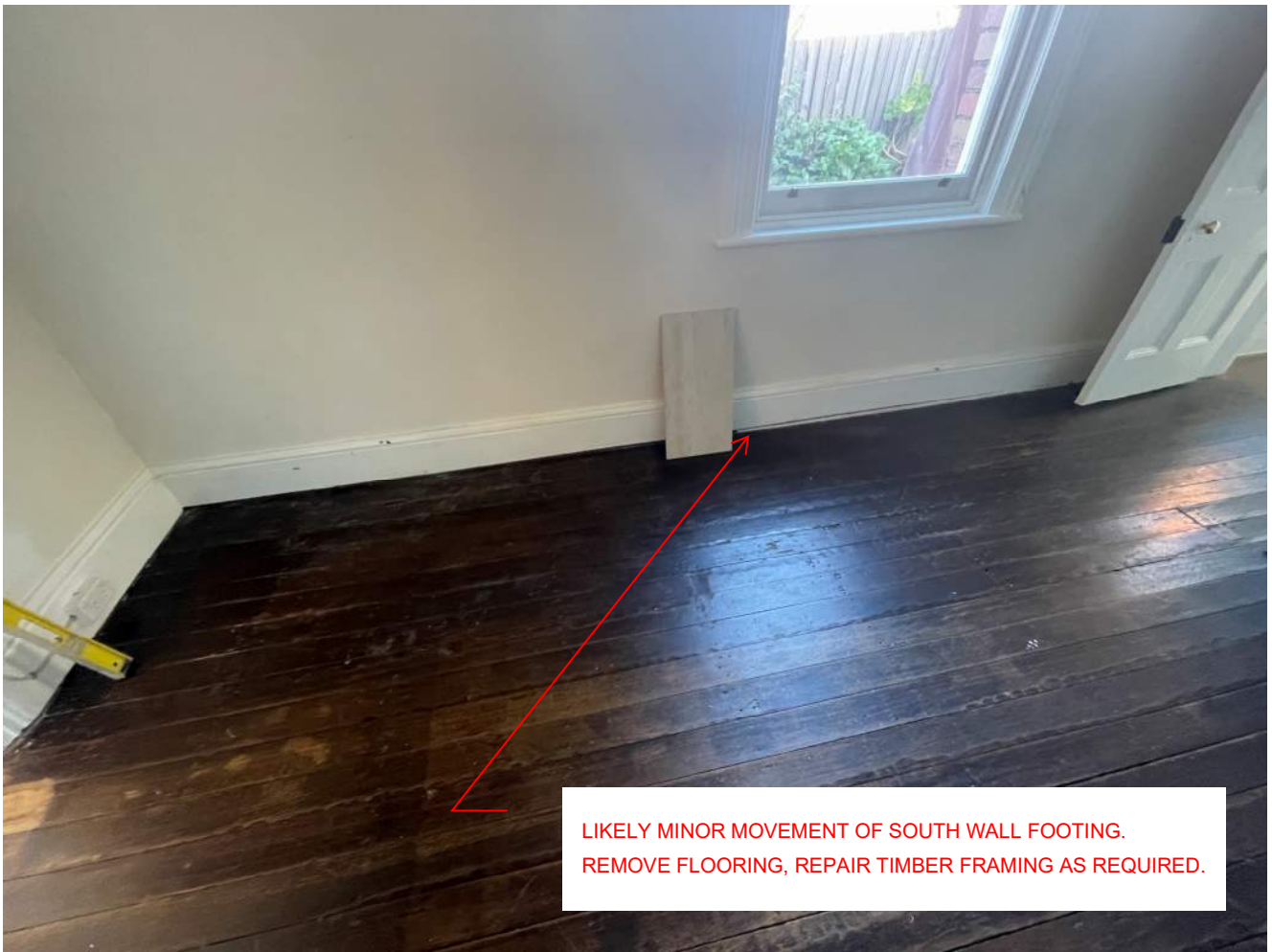


Image 4 - Family room



Image 5 - Laundry



Image 6 - Upstairs Bedroom 3 / bathroom wall