



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>Heald Building &amp; Construction - PA\26\0070</b>
PROPERTY ADDRESS:	<b>139 Dexter Street WESTBURY (CT: 187278/3)</b>
DEVELOPMENT:	<b>Single dwelling - building envelope.</b>

The application can be inspected until **Tuesday, 14 October 2025**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 27 September 2025.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

#### PROPERTY DETAILS:

Address:	<input type="text" value="139 Dexter Street"/>	Certificate of Title:	<input type="text" value="187278"/>
Suburb:	<input type="text" value="Westbury Tas"/>	<input type="text" value="7303"/>	Lot No: <input type="text" value="3"/>
Land area:	<input type="text" value="591"/>	<i>m<sup>2</sup> / ha</i>	
Present use of land/building:	<input type="text" value="Residential lot"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box	<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
	<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		
Total cost of development (inclusive of GST):	<input type="text" value="\$475,000"/>	<i>Includes total cost of building work, landscaping, road works and infrastructure</i>		
Description of work:	<input type="text" value="New dwelling"/>			
Use of building:	<input type="text" value="Residential dwelling"/>	<i>(main use of proposed building – dwelling, garage, farm building, factory, office, shop)</i>		
New floor area:	<input type="text" value="232.2"/> m <sup>2</sup>	New building height:	<input type="text" value="5809"/> m	
Materials:	External walls: <input type="text" value="Bricks"/>	Colour: <input type="text" value="Grey/Black"/>		
	Roof cladding: <input type="text" value="Steel"/>	Colour: <input type="text" value="Grey/black"/>		

SEARCH OF TORRENS TITLE

VOLUME 187278	FOLIO 3
EDITION 2	DATE OF ISSUE 09-Sep-2025

SEARCH DATE : 18-Sep-2025

SEARCH TIME : 01.40 PM

DESCRIPTION OF LAND

Town of WESTBURY

Lot 3 on Sealed Plan [187278](#)

Derivation : Part of 3A-3R-24P (Sec. H) Gtd. to John Taylor

Prior CT [31062/1](#)

SCHEDULE 1

[N276315](#) TRANSFER to RAYMOND CHARLES HEALD and DONNA MAREE HEALD Registered 09-Sep-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP187278](#) EASEMENTS in Schedule of Easements

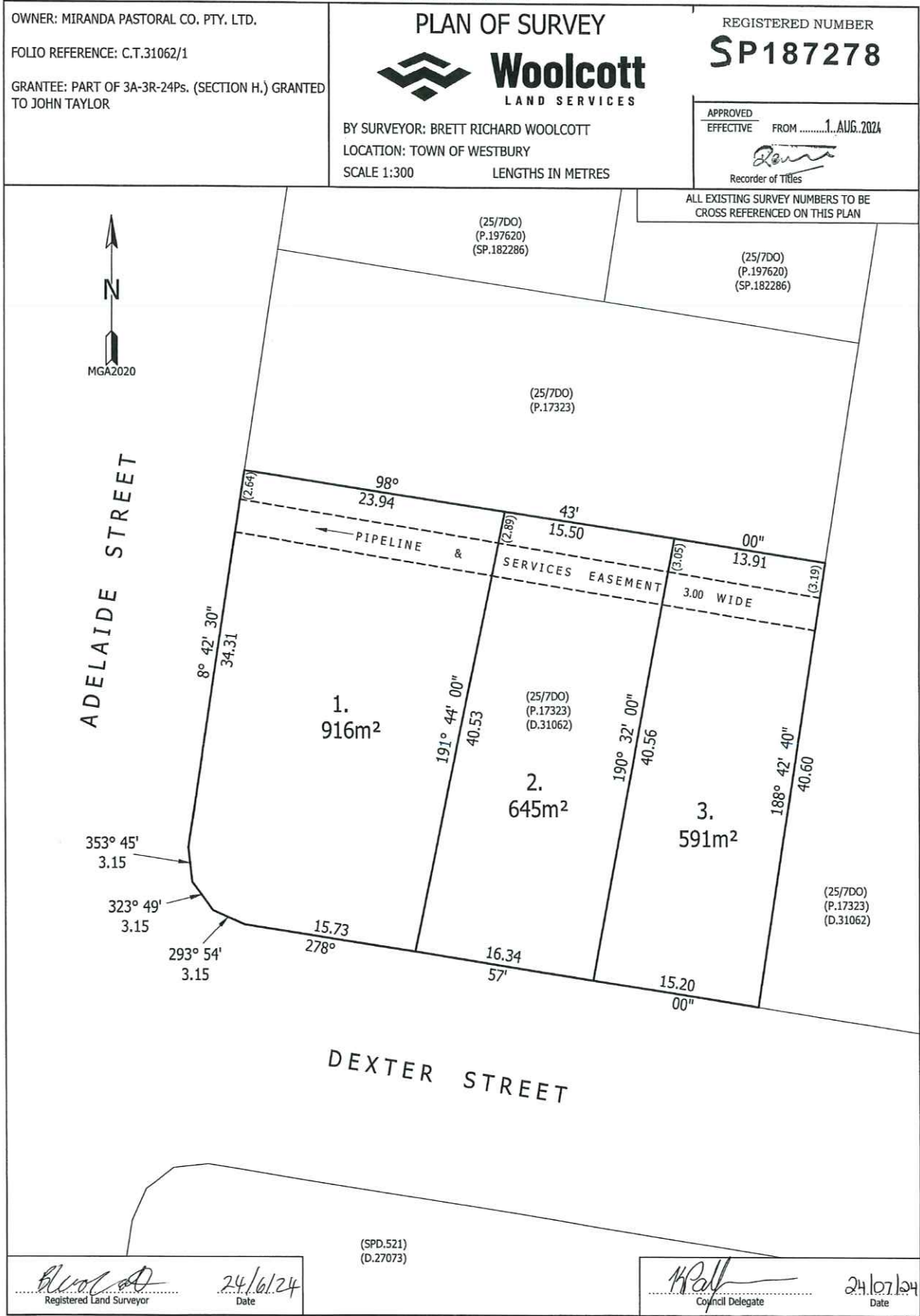
[SP187278](#) FENCING PROVISION in Schedule of Easements

[26/8731](#) CONVEYANCE Made Subject to Boundary Fences Condition

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PRIORITY FINAL PLAN



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	<b>SP 187278</b>

PAGE 1 OF 2 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1-3 are each subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through such lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Miranda Pastoral Co Pty Ltd) shall not be required to fence

INTERPRETATION


"TasWater" means the Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means:-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: MIRANDA PASTORAL CO P/L FOLIO REF: 31062-1 SOLICITOR: SIMONE REID - 20 ST GEORGES SQUARE EAST LAUNCESTON TAS 7250	PLAN SEALED BY: MEANDER VALLEY COUNCIL DATE: 24/07/24 PA-24-0216 REF NO.
 Council Delegate	
<p><b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 2 PAGES</p>	<p>Registered Number</p> <p><b>SP 187 278</b></p>
<p>SUBDIVIDER: MIRANDA PASTORAL CO P/L FOLIO REFERENCE: 31062-1</p>	

(a) without doing unnecessary damage to the Easement Land; and

(b) leaving the Easement Land in a clean and tidy condition;

(6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices); \
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Executed by MIRANDA PASTORAL CO PTY LTD (ACN 003 604 911)

pursuant to section 127(1) Corporations Act 2001 (C'th) by-

Graeme John Walkem: 

sole director and sole secretary

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

# CONSTRUCTION ISSUE

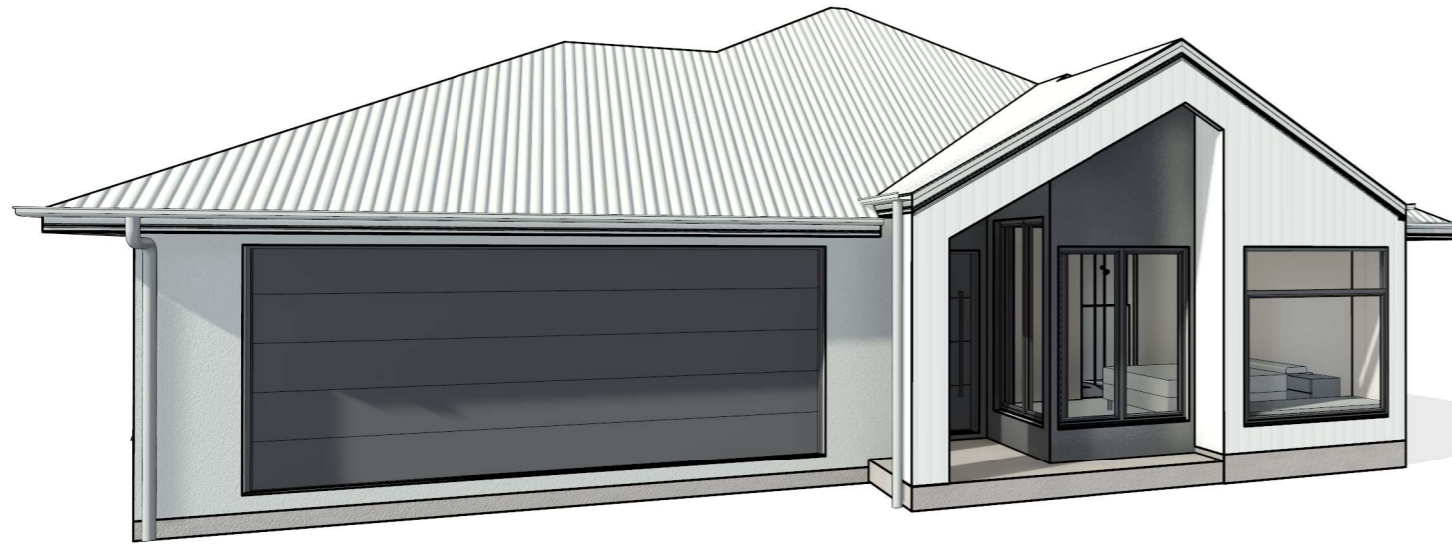
## REVISION B

PROPOSED RESIDENCE FOR

## HEALD BUILDERS

AT

## LOT 3 NO. 139 DEXTER STREET WESTBURY TAS 7303



### PAGE LIST

PAGE NO	PAGE TITLE
01	COVER
02	SITE PLAN
03	FLOOR PLAN
04	3D VIEWS
05	ELEVATIONS A & B
06	ELEVATIONS C & D
07	CROSS SECTION
08	FOUNDATION PLAN
09	ROOF DRAINAGE
10	ELECTRICAL & FIXTURES PLAN
11	LIGHTING CALCULATOR
12	DRAINAGE PLAN
13	NCC WATERPROOFING 1
14	NCC WATERPROOFING 2
15	LIVABLE HOUSING REQUIREMENTS

#### GENERAL NOTES:

- ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
  - THE CURRENT NATIONAL CONSTRUCTION CODES (NCC)
  - THE STATE DEVELOPMENT CODE
  - BUILDING REGULATIONS
  - CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
- SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
- ALL DIMENSIONS IN MILLIMETERS.
- DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK. EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
- ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFIRMED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
- MANUFACTURER'S SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE THESE DRAWINGS ARE AVAILABLE DIGITALLY, IF REQUIRED.
- ANY DATA SUPPLIED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THIS DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA.
- OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING. STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.
- ALL WINDOW AND DOOR DIMENSIONS ARE NOMINAL.

#### SITE WORKS NOTES:

- POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
- ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH THE CURRENT **ABC B HOUSING PROVISIONS PART 3.3** AND STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
- BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MANHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- BUILDER TO DETERMINE APPROPRIATE PLATFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVEL IS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITIES REQUIREMENTS & TO COMPLY WITH THE CURRENT **ABC B HOUSING PROVISIONS PART 3.3.3**
- FALL OF LAND UNKNOWN AND IS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT **ABC B HOUSING PROVISIONS PART 4.2.2**, AS 3798, AS4200 & **AS 4678**.
- THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM.
- STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE -
  - STORMWATER KERB ADAPTERS TO STREET (2 MAX.)
  - ROOFWATER/STORMWATER PIPE
  - BUBBLERS TO COUNCIL SPECIFICATION.
  - RAINWATER TANK, OVERFLOW MUST CONNECT TO STORMWATER SYSTEM.
- SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
- ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.
- THE HEIGHT OF FENCES, INCLUDING THE HEIGHT OF RETAINING WALLS ARE NOT TO EXCEED 2.0m ABOVE FINISHED GROUND LEVEL **UNLESS** INDICATED ON THE PLANS AND TO LOCAL AUTHORITY APPROVAL.
- WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

#### PATH/DRIVEWAY NOTES:

- DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB.
- PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB, COMPACTED AND LEVELED.
- SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

#### 3D VIEW NOTES:

- GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

#### ELECTRICAL NOTES:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT **ABC B HOUSING PROVISIONS PART 9.5** SMOKE ALARMS MUST COMPLY WITH AS 3786.
  - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
  - ALL SMOKE ALARMS TO BE INTERCONNECTED
  - INSTALL LOCATIONS:
    - ON EACH LEVEL OF LIVING SPACE
    - OUTSIDE EACH BEDROOM AREA
    - IN EVERY BEDROOM **(OLD)**
- THIS PLAN IS INDICATIVE ONLY AND IS TO BE USED ONLY AS AN EXAMPLE. OWNERS TO NOMINATE FINAL POSITIONS OF ELECTRICAL APPLIANCES, LIGHTING AND ELECTRICAL FITTINGS.

#### ELEVATION NOTES:

- WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
- GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- ELEVATIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

#### SECTION NOTES:

- TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS.
- ALL PINE TO BE JD4 MIN.
- ALL HWD. TO BE F14 MIN.
- GROUND LINE SHOWN DOES NOT RELATE TO ACTUAL SLOPE OF SITE.
- FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- SECTIONS ARE INTENDED TO BE A VISUAL AID ONLY, THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

#### FOUNDATION NOTES:

- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY INSPECTION OF FOOTING EXCAVATIONS.
- PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
- WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE.
- REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm, AND SHOWER RECESSES 50mm IN LOCATIONS SHOWN.
- ACCORDING TO MANUF' SPEC. OR BUILDERS DIRECTIONS.
- MINIMUM COVER TO GROUND - 50mm.
- TOP COVER TO SLAB REINFORCEMENT - 30mm.
- GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
- WATERPROOF MEMBRANE IS 0.2mm POLYETHYLENE. JOINTS ARE TO BE LAPPED 300mm AND TAPED.
- REINFORCEMENT TO BE SUPPORTED ON PLASTIC CHAIRS AT 1000mm CRS.
- ALL CONCRETE IS TO BE MECHANICALLY VIBRATED DURING PLACING.
- FILL MATERIAL AND SAND UNDER SLABS IS TO BE COMPACTED TO 95% OF MAX. DRY DENSITY.
- FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.

#### SITE INFORMATION:

LAND TITLE REFERENCE: 187278/3  
SUBURB: WESTBURY  
LOCALITY: WESTBURY  
LOCAL AUTHORITY: MEANDER VALLEY  
ZONING: 8 GENERAL RESIDENTIAL

LAND SIZE: 591m<sup>2</sup>  
DWELLING FLOOR AREA: 232.2m<sup>2</sup>  
SITE COVERAGE: 39.3%  
PORCH/PATIO AREA: 4.6m<sup>2</sup>

#### OVERLAYS:

- PRIORITY VEGETATION AREA
- WIND CLASSIFICATION: N- (-m/s)  
TERRAIN CATEGORY: TC ???  
SHIELDING: ???  
BAL LEVEL: ???  
TOPOGRAPHIC: ???  
CLIMATE ZONE: 7  
CORROSION ENVIRONMENT: ???  
SOIL TYPE: CLASS ???

#### FLOOR PLAN NOTES:

- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT **ABC B HOUSING PROVISIONS PART 9.5**. SMOKE ALARMS MUST COMPLY WITH AS3786.
  - ONLY USE PHOTOELECTRIC TYPE SMOKE ALARMS
  - ALL SMOKE ALARMS TO BE INTERCONNECTED
  - INSTALL LOCATIONS:
    - ON EACH LEVEL OF LIVING SPACE
    - OUTSIDE EACH BEDROOM AREA
    - IN EVERY BEDROOM **(OLD ONLY)**
- WALL FINISHES AND WINDOW TYPES ON 3D VIEWS ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
- ALL GLAZING TO BE IN ACCORDANCE WITH AS1288. WINDOWS SIZES MAY VARY DUE TO MANUFACTURER'S SPECIFICATIONS.
- BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO).
- S.S. BALUSTRADING TO COMPLY WITH THE CURRENT **ABC B HOUSING PROVISIONS PART 11.3.6**
- DOORS TO W.C.'S TO HAVE LIFT OFF HINGES (ONLY IF THE DOORS SWING IN TOWARDS THE W.C.)
- MASONRY CONSTRUCTION TO AS 3700.
- REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLAB/FOOTING DETAILS.
- SEAL WET AREAS IN ACCORDANCE WITH AS3740 & THE CURRENT **ABC B HOUSING PROVISIONS PART 10.2**.
- PROVIDE FLOOR WASTE TO ALL WET AREAS.

#### ROOF DRAINAGE NOTES:

- ALL GUTTER AND DOWNPIPE WORKS TO AS/NZS 3500.3 AND THE CURRENT **ABC B HOUSING PROVISIONS PART 7.4**.
- DOWNPIPES (DP) TO BE 90mmØ UPVC.
- TEMPORARY DOWNPIPES TO BE PROVIDED AT DP LOCATIONS DURING CONSTRUCTION DRAINING ROOFWATER ONTO GROUND, 2M MIN AWAY FROM BUILDING.
- ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT/ PLUMBER IN ACCORDANCE WITH **THE CURRENT NCC VOL. 3 PART B6 AND B7**. THE CURRENT **ABC B HOUSING PROVISIONS PART 7.4**. STATE LEGISLATION/ LOCAL PLANNING SCHEME HOUSE CODE AND AS 3500 ALL PARTS.
- THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING.
- THE AREA SPECIFIC RAINFALL INTENSITY **FOR GUTTERING SELECTION, OVERFLOW MEASURES & DOWNPIPES MUST BE SELECTED FROM THE RELEVANT TABLES IN THE CURRENT ABC B HOUSING PROVISIONS PART 7.4** OR FROM AS/NZ3500.
- EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 500 WITH SUPPORT BRACKETS AT 1.2m MAXIMUM CENTRES.
- BOX GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 100 IN ACCORDANCE WITH AS/NZ3500.3.
- DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. EAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.



M: 0403 508 705  
E: plans@areidesigns.com.au  
W: areidesigns.com.au  
QLD QBCC: 15040886  
VIC VBA: CDB-U 73620  
TAS BSP: 071565667  
ABN: 31 615 195 818

PLAN NUMBER:  
#2492/25  
BUILDERS NUMBER:  
AREI PLAN CODE:  
AREI DESIGNS

CLIENT:  
**HEALD BUILDERS**  
DRAWING NAME:  
**COVER**

PROJECT:  
**PROPOSED RESIDENCE FOR  
HEALD BUILDERS AT  
LOT 3 NO. 139 DEXTER STREET  
WESTBURY TAS 7303**

CHECKED:  
RL  
PAGE NO:  
01 OF 15  
SCALE @ A3  
NTS

REV	DESCRIPTION	DRAWN	DATE
A	PRELIMINARY ISSUE	RL	20/08/25
A.2	CONSTRUCTION ISSUE	SM	03/09/25
B	CONSTRUCTION ISSUE	SM	09/09/25

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SCALE NOT APPLICABLE

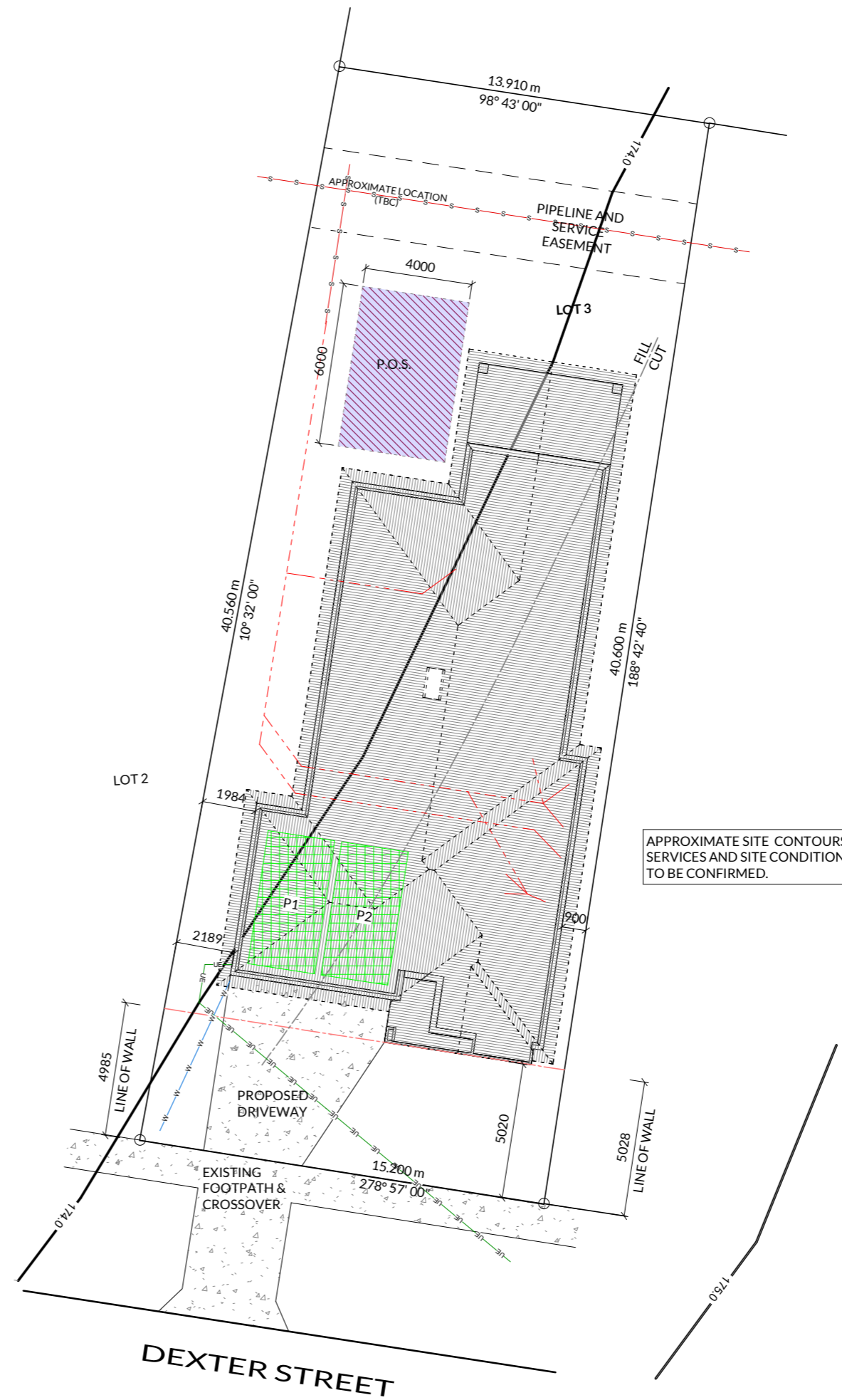


**SITE / HOUSE FFLS (TBC - PENDING CONTOURS & SOIL)**

PAD LEVEL - 174.100  
 MAIN FLOOR LEVEL - 174.400  
 GARAGE LEVEL - 174.400  
 PORCH / PATIO LEVEL - 174.330 (TBC)

**LEGEND**

- UNDERGROUND GAS MARKER
- HYDRANT
- STORM WATER PIT
- WATER CONNECTION
- ELECTRICAL TURRET
- TELSTRA PIT
- MAN HOLE
- 100mm DOWN PIPE
- POWER POLE
- STREET LIGHT
- SITE BENCH MARK
- SEWER LINE
- CONTOUR LINE
- EXISTING RETAINING
- NEW RETAINING
- ROOF LINE
- DOWNPIPE (DP) STORM WATER LINE
- FENCE
- ELECTRICAL
- TELSTRA COMMUNICATIONS
- WATER LINE



APPROXIMATE SITE CONTOURS,  
 SERVICES AND SITE CONDITIONS  
 TO BE CONFIRMED.



M: 0403 508 705  
 E: plans@areidesigns.com.au  
 W: areidesigns.com.au  
 QLD QBCC: 15040886  
 VIC VBA: CDB-U 73620  
 TAS BSP: 071565667  
 ABN: 31 615 195 818

PLAN NUMBER:  
 #2492/25  
 BUILDERS NUMBER:  
 AREI PLAN CODE:  
 AREI DESIGNS

CLIENT:  
**HEALD BUILDERS**  
 DRAWING NAME:  
**SITE PLAN**

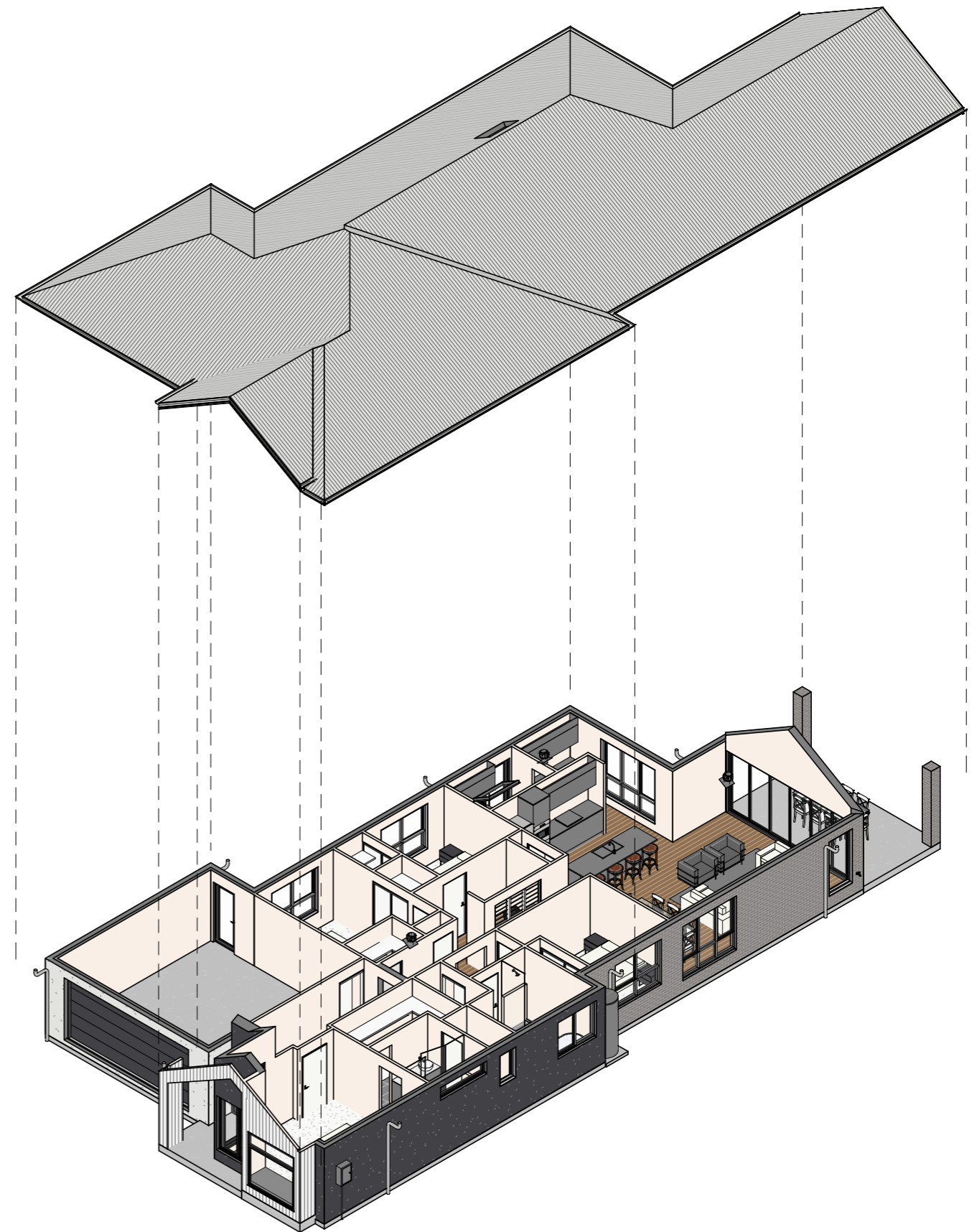
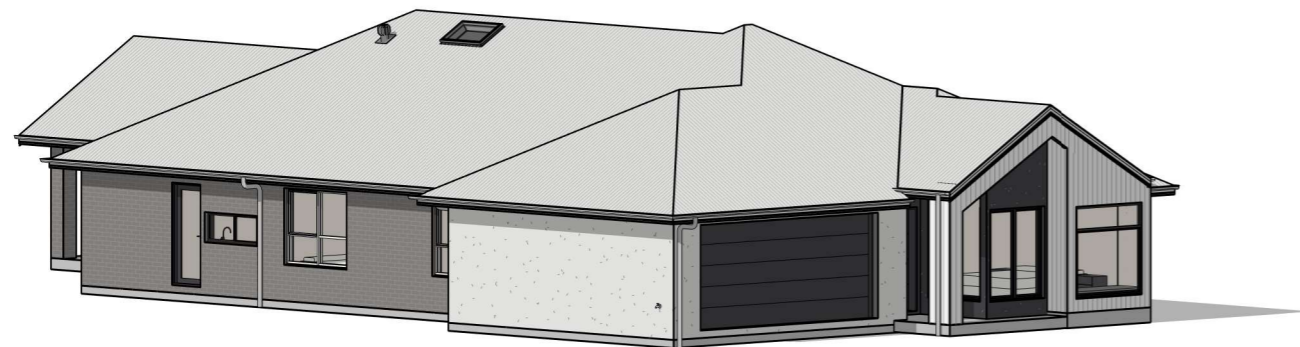
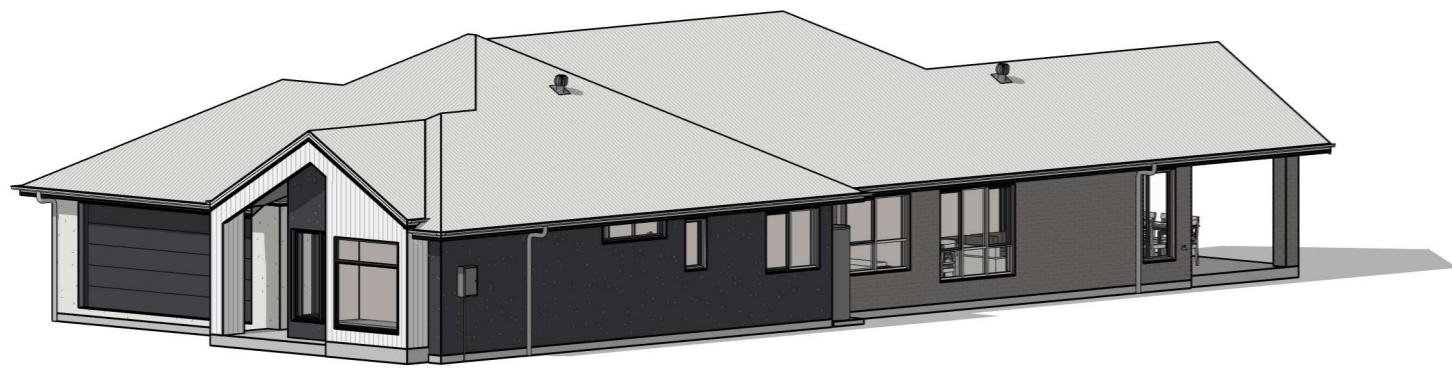
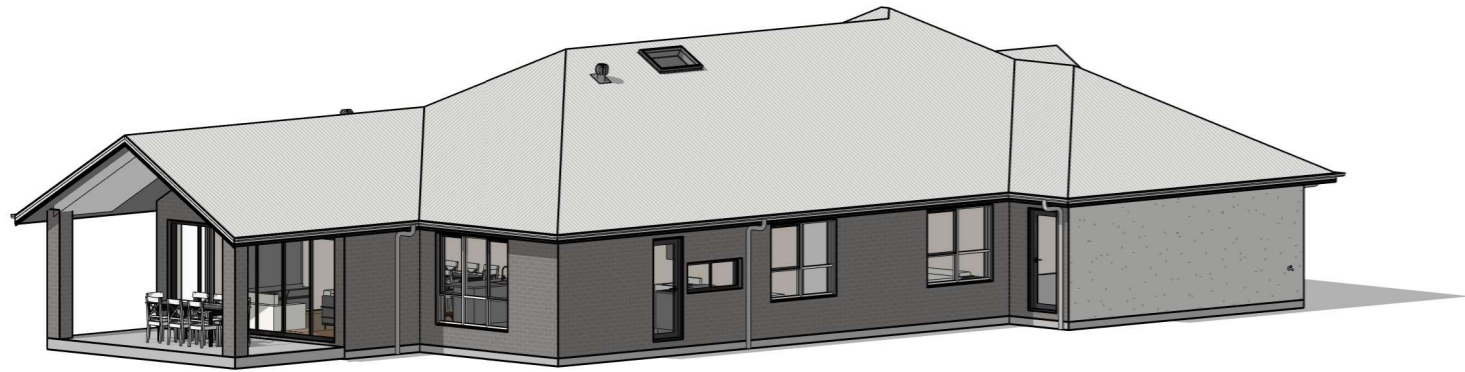
PROJECT:  
**PROPOSED RESIDENCE FOR  
 HEALD BUILDERS AT  
 LOT 3 NO. 139 DEXTER STREET  
 WESTBURY TAS 7303**

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CLIENT:  
**HEALD BUILDERS**  
 DRAWING NAME:  
**3D VIEWS**

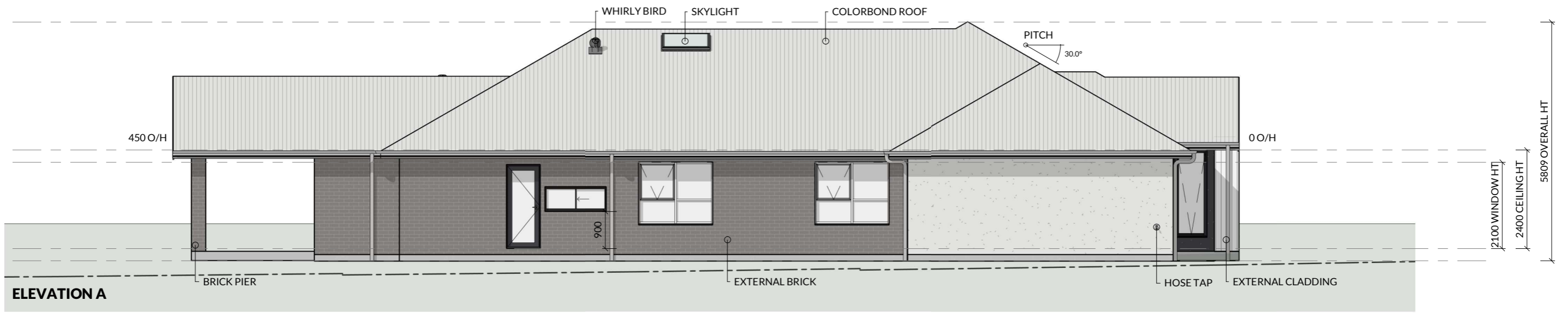
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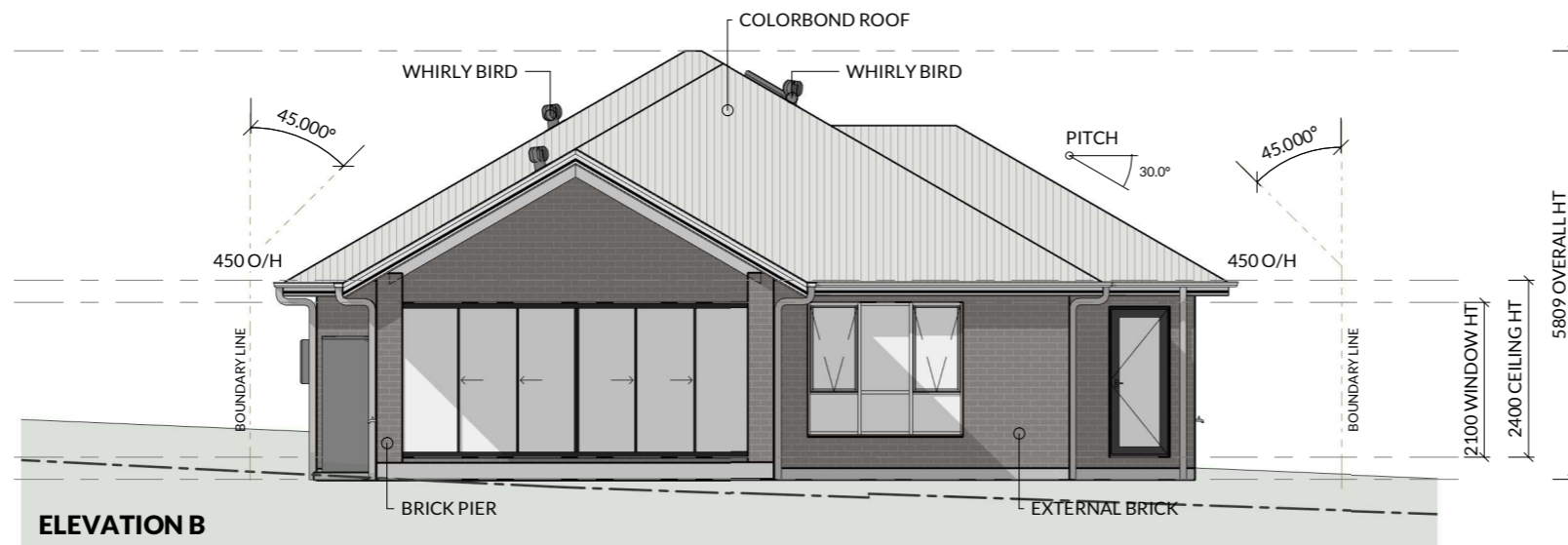
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SCALE NOT APPLICABLE



**ELEVATION A**



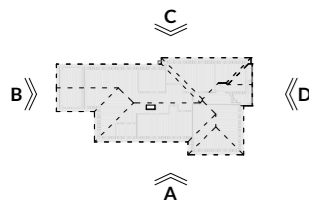
**ELEVATION B**

**DOOR SCHEDULE**

MARK	SIZE	DOOR TYPE
D1	2 OF 2040 x 1020	SOLID ENTRY DOOR
D2	2100 x 4800	PANEL LIFT DOOR
D3	2040 x 820	GLASS ENTRY DOOR
D4	2040 x 920	HOLLOW CORE CAVITY SLIDER
D5	2100 x 720	HOLLOW CORE SWING
D6	2040 x 720	HOLLOW CORE SWING
D7	2040 x 870	HOLLOW CORE SWING
D8	2040 x 870	HOLLOW CORE SWING
D9	2040 x 820	GLASS ENTRY DOOR
D10	2 OF 2040 x 620	HOLLOW CORE SWING
D11	2040 x 870	HOLLOW CORE SWING
D12	2040 x 870	HOLLOW CORE SWING
D13	2040 x 870	HOLLOW CORE CAVITY SLIDER
D14	2040 x 770	HOLLOW CORE SWING
D15	2040 x 920	HOLLOW CORE SWING

**WINDOW SCHEDULE**

MARK	SIZE	DESCRIPTION
W1	1800 x 1800	ALUM. FRAMED AWNING
W2	1800 x 1500	ALUM. FRAMED AWNING
W3	2100 x 1500	ALUM. FRAMED AWNING
W4	1500 x 1800	ALUM. FRAMED AWNING
W5	1500 x 1800	ALUM. FRAMED AWNING
W6	600 x 1500	ALUM. FRAMED SLIDING WINDOW
W7	1800 x 2100	ALUM. FRAMED AWNING
W8	2100 x 4800	ALUM. FRAMED SLIDING GLASS DOOR
W9	1800 x 900	ALUM. FRAMED AWNING
W10	1800 x 2100	ALUM. FRAMED AWNING
W11	1500 x 1800	ALUM. FRAMED AWNING
W12	1200 x 1500	ALUM. FRAMED AWNING
W13	1000 x 600	ALUM. FRAMED AWNING
W14	400 x 1800	ALUM. FRAMED AWNING



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**HEALD BUILDERS**  
 DRAWING NAME:  
**ELEVATIONS A & B**

PROJECT:  
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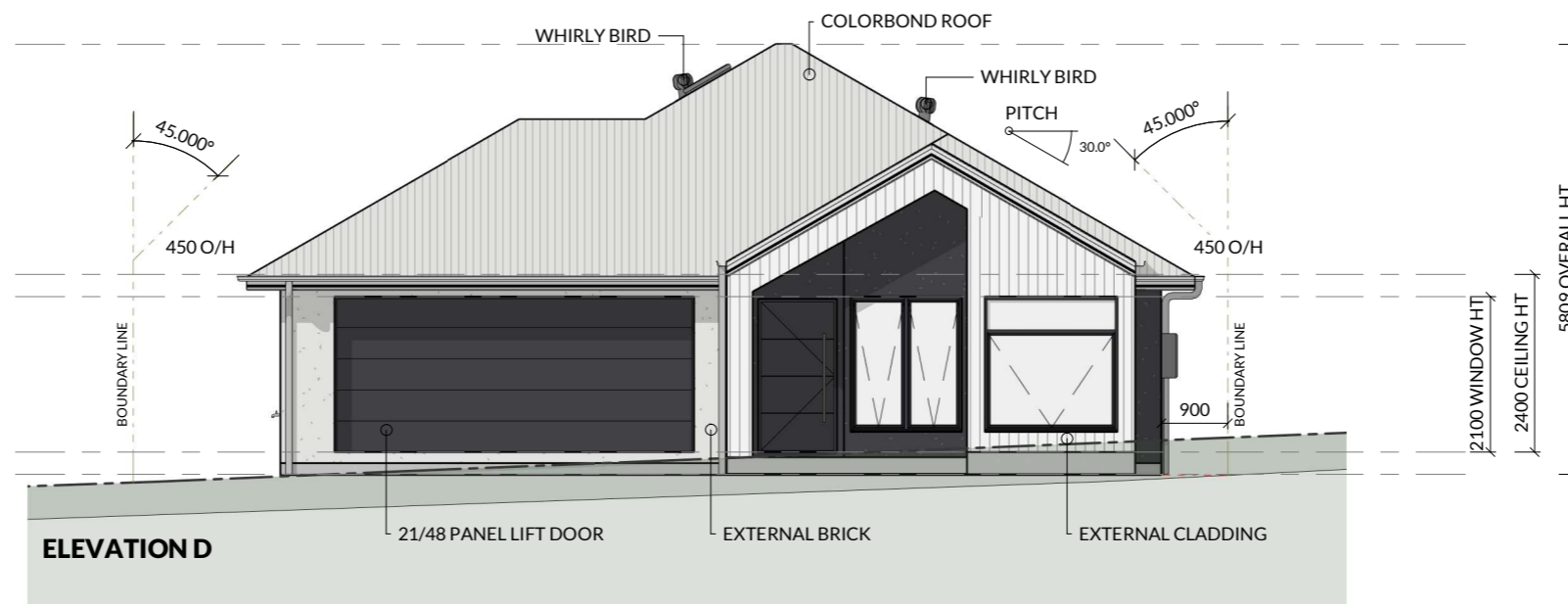
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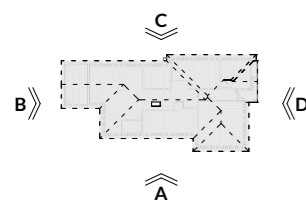




**ELEVATION C**



**ELEVATION D**



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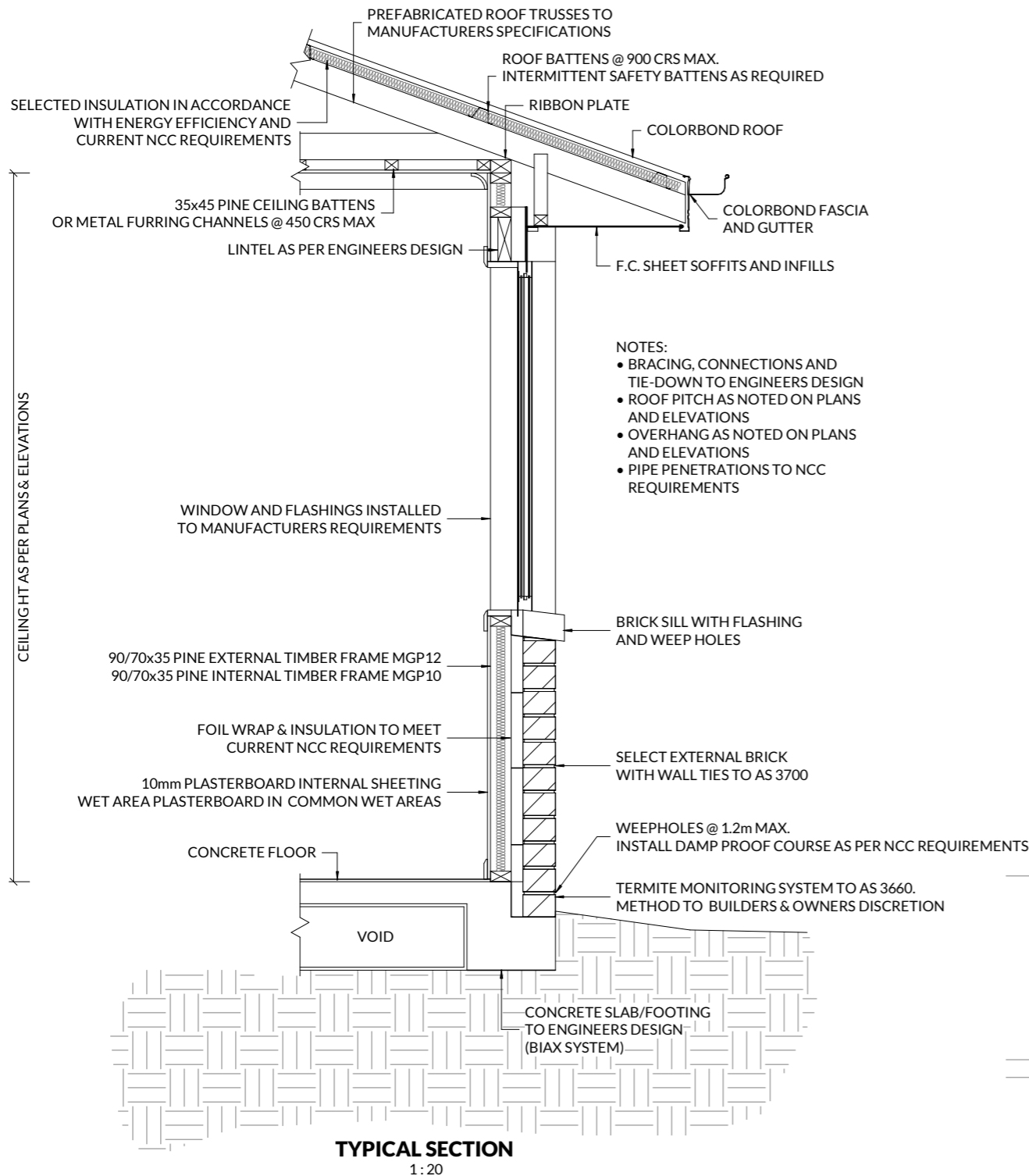
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**HEALD BUILDERS**  
 DRAWING NAME:  
**ELEVATIONS C & D**

PROJECT:  
**PROPOSED RESIDENCE FOR  
 HEALD BUILDERS AT  
 LOT 3 NO. 139 DEXTER STREET  
 WESTBURY TAS 7303**

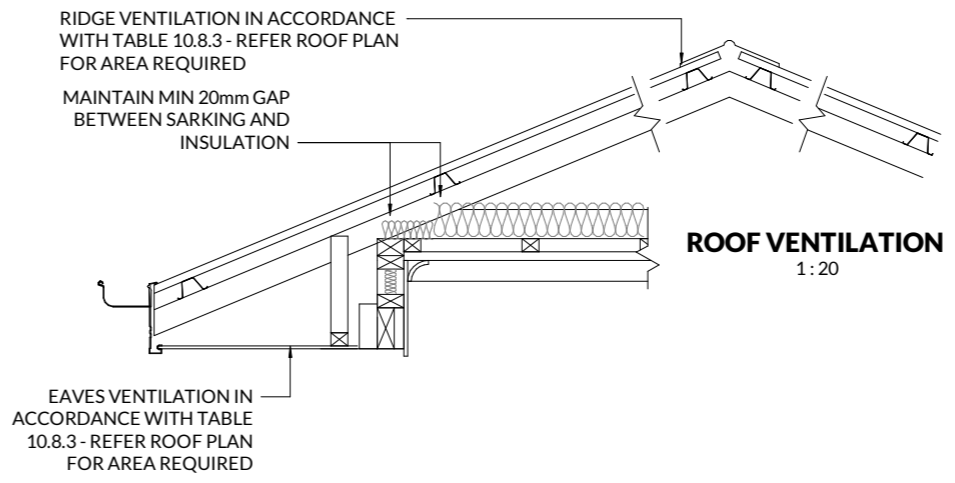
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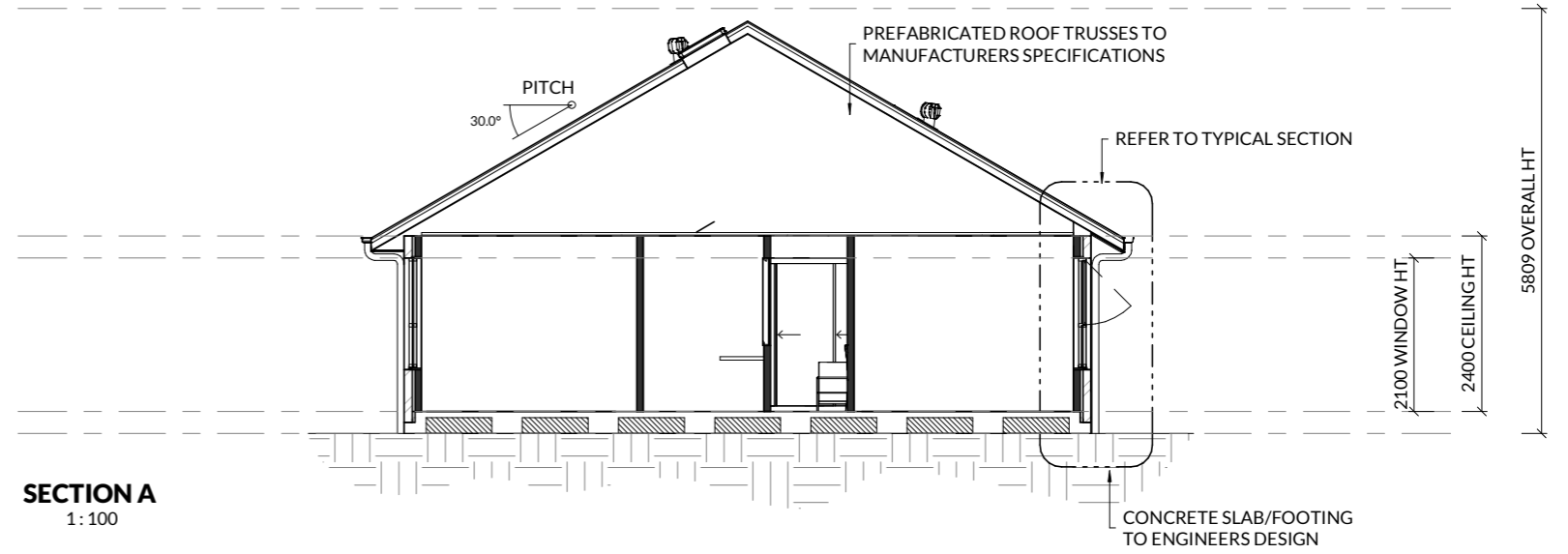
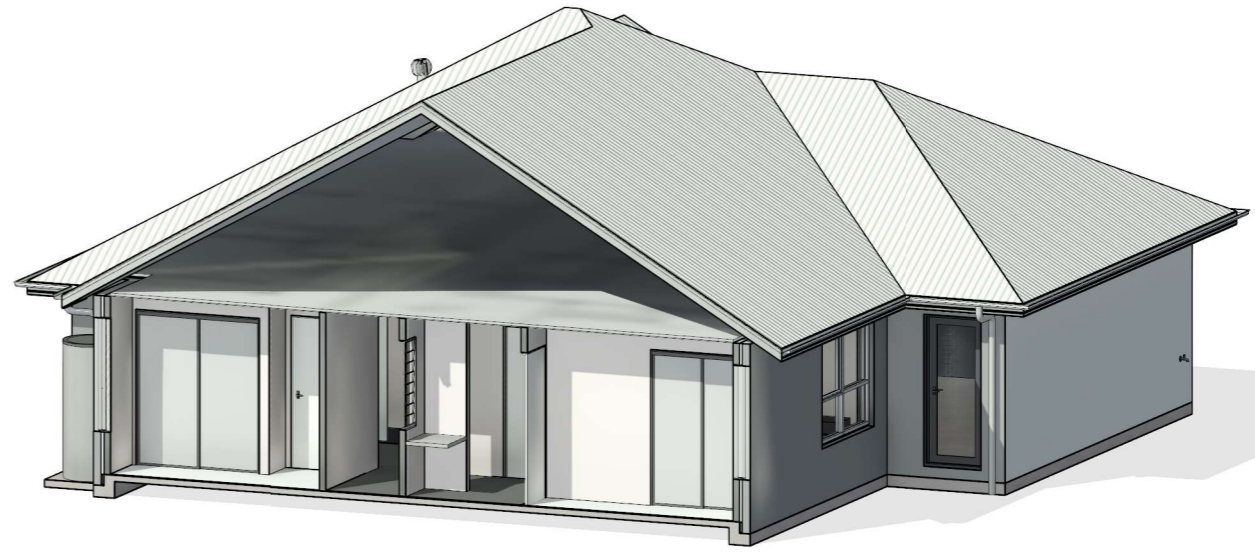
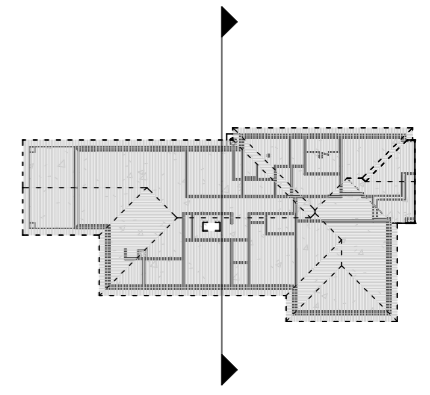
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**TYPICAL SECTION**  
1:20



**ROOF VENTILATION**  
1:20



**SECTION A**  
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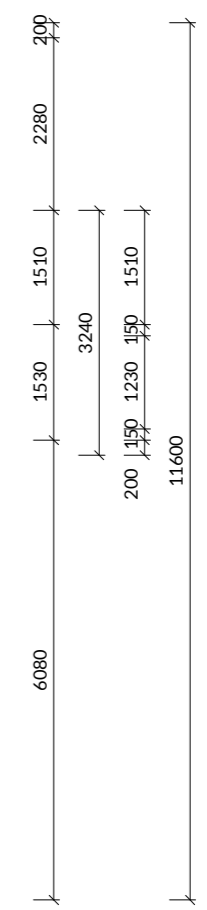
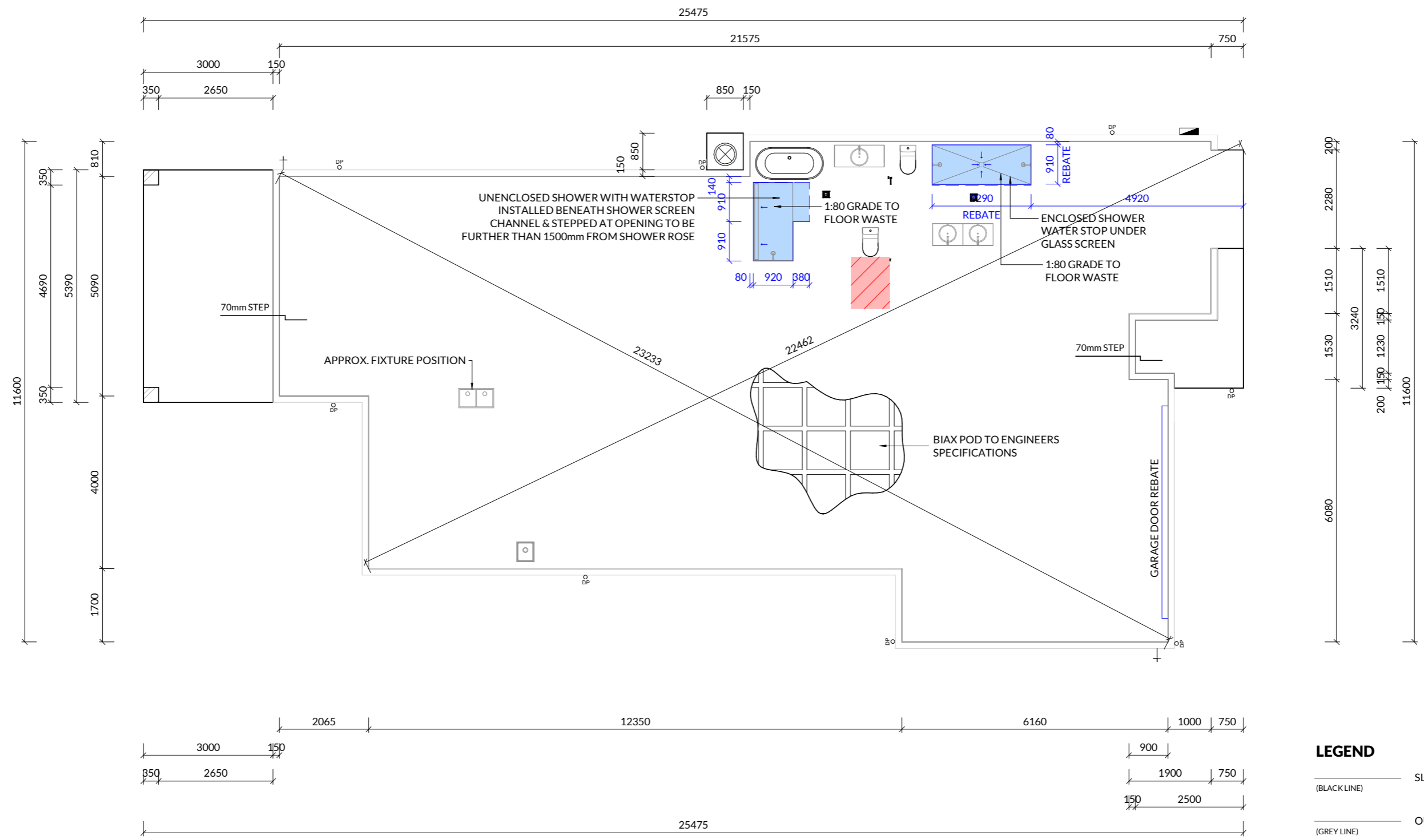
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**HEALD BUILDERS**  
DRAWING NAME:  
**CROSS SECTION**

PROJECT:  
**PROPOSED RESIDENCE FOR  
HEALD BUILDERS AT  
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0m 5 1m 5 2m 5 3m 5 4m 5 5m



- LEGEND**
- (BLACK LINE) SLAB TOP EDGE
  - (GREY LINE) OUTSIDE FACE OF EXTERNAL WALL
  - (BLUE LINE) SLAB REBATE

**NOTE:**  
DIMENSIONS ARE TO SLAB TOP EDGE WITH 150mm WIDE REBATE



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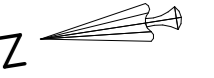
CLIENT:  
**HEALD BUILDERS**  
DRAWING NAME:  
**FOUNDATION PLAN**

PROJECT:  
**PROPOSED RESIDENCE FOR  
HEALD BUILDERS AT  
LOT 3 NO. 139 DEXTER STREET  
WESTBURY TAS 7303**

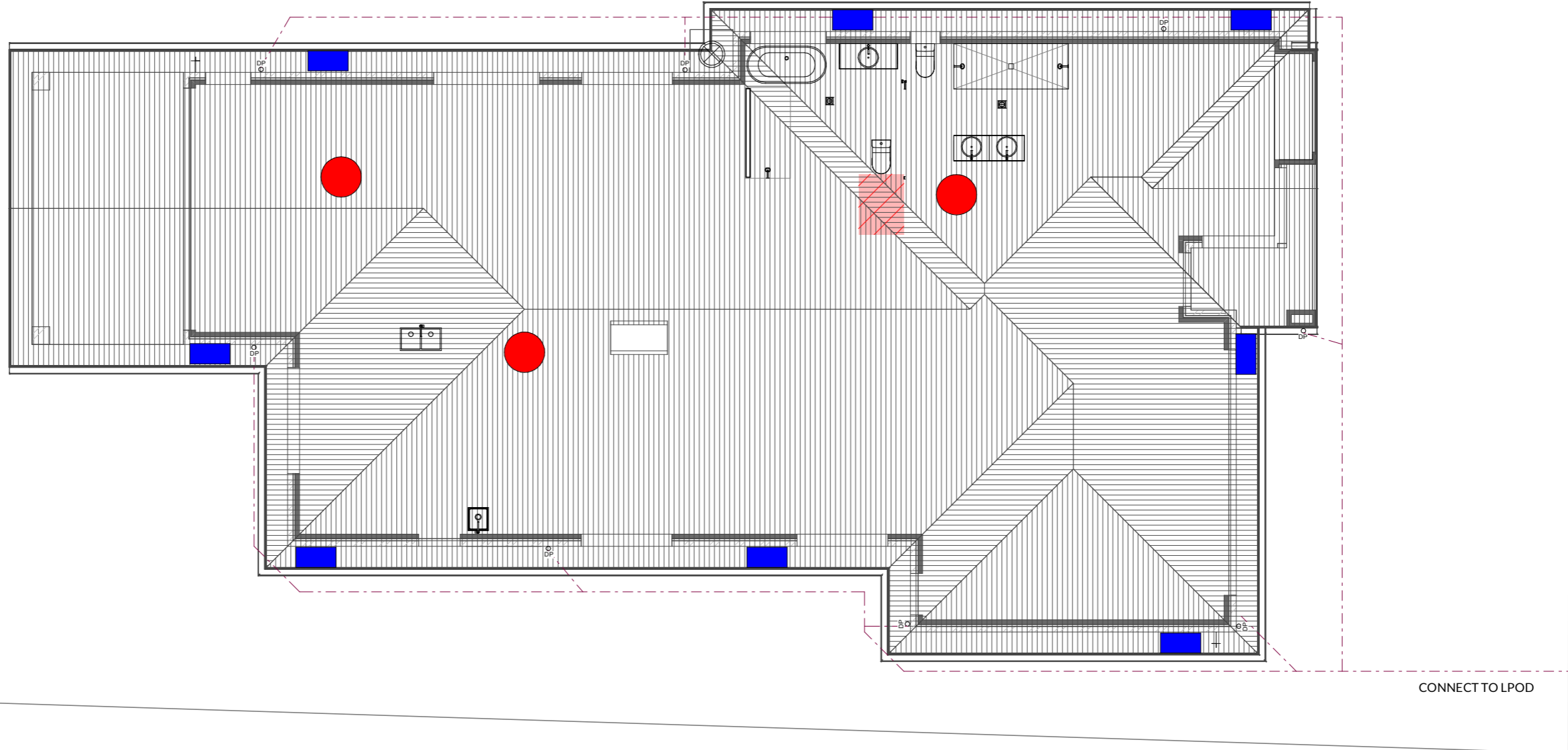
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**TOTAL ROOF AREA = 271.8 m<sup>2</sup>**  
 ROOF TYPE: COLORBOND  
 FASCIA & GUTTER TYPE: COLORBOND  
 EAVES (TYP. O/H): 450mm  
 ROOF PITCH: 30°



CONNECT TO LPOD

**DOWNPIPES (DP):**  
 DP MAX. LINEAL SPACING: 12 m  
 RAINFALL INTENSITY LOCATION: TAS - LAUNCESTON  
 ARI ONCE IN 20 YEARS mm/hr: 90 mm  
 ARI ONCE IN 100 YEARS mm/hr: 121 mm  
 MIN. DP DIAMETER (ø): 90 mm  
 MIN. GUTTER CROSS SECTION: 5400 mm<sup>2</sup>  
 MAX. ROOF AREA PER DP: 45 m<sup>2</sup>



**ROOF VENTILATION**  
 Clause F8D5 (Vol 1) 10.8.3(Housing Provisions)  
 CLIMATE ZONE: 7  
 VENTILATION IN ROOF SPACES SELECTIONS:  
**STANDARD ROOF SECTION VENTILATION**  
 SUPPLY VENTILATION SELECTION  
 = 25.93m/3.3m = 8 BRADFORD POLY EAVE VENT  
 EXHAUST VENTILATION SELECTION  
 = 25.93m/12.5m = 3 WINDMASTER ROOF VENTILATOR VENT

Table 1. NCC 2022 Bradford Deemed-To-Satisfy Solution

Products	WindMaster Roof Ventilator Requirement	Bradford Metal Eave Vent Requirement	Bradford Poly Eave Vent Requirement
Roof Pitch			
<10°		Install 1 Metal Eave Vent for every 0.7m of the longest horizontal roof length. These must be equally divided between the two opposing ends of the roof.	Install 1 Poly Eave Vent for every 0.4m of the longest horizontal roof length. These must be equally divided between the two opposing ends of the roof.
≥10° and <15°	1 WindMaster for every 12.5m of the longest horizontal roof length.	1 Metal Eave Vent for every 1.4m of the longest horizontal roof length.	1 Poly Eave Vent for every 0.9m of the longest horizontal roof length.
≥15° and <75°	1 WindMaster for every 12.5m of the longest horizontal roof length.	1 Metal Eave Vent for every 5.0m of the longest horizontal roof length.	1 Poly Eave Vent for every 3.3m of the longest horizontal roof length.
≥15° and <75° Cathedral	1 WindMaster for every 12.5m of the longest horizontal roof length.	1 Metal Eave Vent for every 1.4m of the longest horizontal roof length.	1 Poly Eave Vent for every 0.9m of the longest horizontal roof length.



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PLAN NUMBER: #2492/25  
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 AREI PLAN CODE: AREI DESIGNS

CLIENT: HEALD BUILDERS  
 DRAWING NAME: ROOF DRAINAGE

PROJECT: PROPOSED RESIDENCE FOR HEALD BUILDERS AT LOT 3 NO. 139 DEXTER STREET WESTBURY TAS 7303

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**ELECTRICAL & FIXTURES LEGEND**

- LIGHTING**
- | SYMBOL | DESCRIPTION               |
|--------|---------------------------|
| ●      | DOWN LIGHT RECESSED       |
| —      | FLUORO SINGLE 1200mm      |
| —      | FLUORO DOUBLE 1200mm      |
| ●      | DOWN LIGHT RECESSED 200mm |
| ○      | PENDANT                   |
| ○      | OYSTER LED LIGHT          |
| —      | TRACK LIGHT               |
| □      | WALL LIGHT                |
| ⚡      | EXTERIOR SENSOR LIGHT     |
| ⚡      | FLOOD LIGHT EXTERNAL      |
| ⚡      | FLOOD LIGHT EXTERNAL (2)  |
| ⊠      | HEAT LAMP LIGHT           |
| ⊠      | HEAT EXHAUST LIGHT (3in1) |
| ⊠      | EXHAUST LIGHT             |
| —      | LED STRIP LIGHTING        |

**POWER & COMMS**

- | SYMBOL | DESCRIPTION  |
|--------|--|
| ⚡      | GPO SINGLE   |
| ⚡      | UBO & R/HOOD CONNECTIONS W/ EXHAUST FAN (EXHAUST MIN. 40L/s) |
| ⚡      | GPO DOUBLE   |
| ⚡      | GPO DOUBLE WITH USB  |
| ⚡      | GPO SINGLE WATERPROOF  |
| ⚡      | GPO DOUBLE WATERPROOF  |
| ⚡      | TELEVISION POINT   |
| ⚡      | PHONE/DATA POINT   |
| ⚡      | DISTRIBUTION BOX   |
| ⚡      | METER BOX  |
| ⚡      | NBN CONNECTION   |

**FIXTURES**

- | SYMBOL | DESCRIPTION          |
|--------|----------------------|
| ⊕      | SMOKE ALARM          |
| —      | AIR CON HEAD (SPLIT) |
| —      | AIR CON UNIT (SPLIT) |
| ⊗      | HOT WATER SYSTEM     |
| ⊗      | FLOOR WASTE          |
| ⊗      | GAS BOTTLES          |
| ⊗      | GAS CONNECTION       |
| ⊗      | HOSE COCK            |
| ⊗      | EXHAUST CEILING FAN  |
| ⊗      | EXHAUST WALL FAN     |
| ⊗      | CEILING FAN          |
| ⊗      | CEILING FAN W/ LIGHT |
| MH     | MANHOLE              |
| DHU    | DUCTED HEATING UNIT  |
| —      | ELECTRICAL LINE      |
| —      | CLOTHES LINE         |

**ELECTRICAL ITEMS SCHEDULE**

DESCRIPTION	QTY
DOWN LIGHT RECESSED	50
PENDANT LIGHT	4
WALL LIGHT	2
SMOKE ALARM	3
EXHAUST CEILING FAN	1
GPO USB	2
THREE WAY SWITCH	3

**NOTES:-**

**MECHANICAL VENTS**

ALL MECHANICAL VENTS TO COMPLY WITH NCC 10.8.2. AND DISCHARGE TO OUTDOOR AIR. MIN. FLOW RATE OF 25L/s FOR BATHROOMS & SANITARY COMPARTMENTS, 40L/s FOR KITCHEN AND LAUNDRY.

**ARTIFICIAL LIGHTING**

ARTIFICIAL LIGHTING WATTAGES TO COMPLY WITH NCC 13.7.6. 5W/m<sup>2</sup> FOR MAIN RESIDENCE, 4W/m<sup>2</sup> FOR VERANDAHS & BALCONIES, 3 W/m<sup>2</sup> FOR GARAGES/CARPORTS.

**SPECIAL SWITCH TYPES**

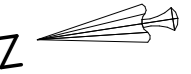
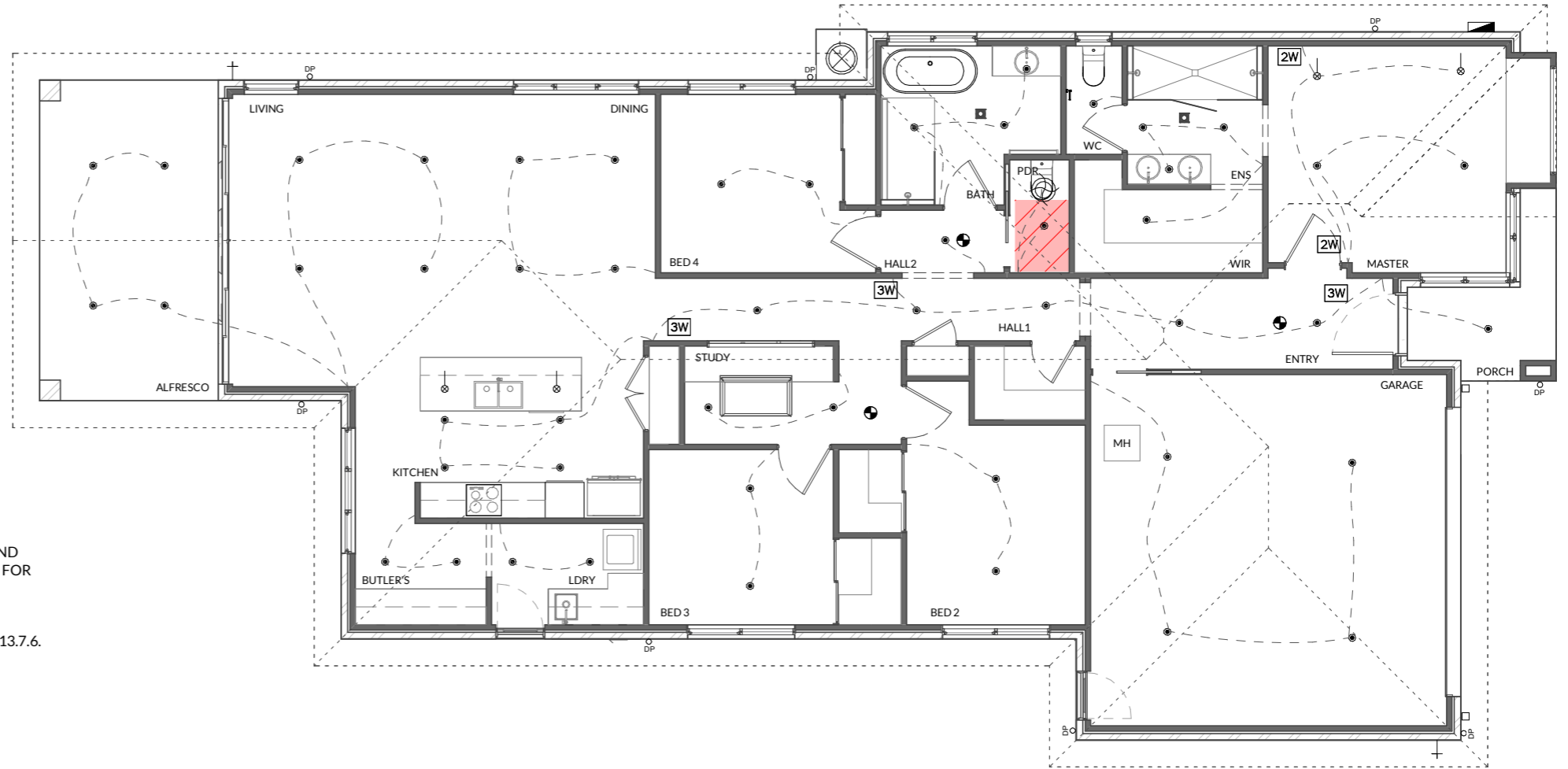
- 2W** TWO WAY SWITCH
- 3W** THREE WAY SWITCH

**POWER POINT HEIGHTS AFL**

LIGHT SWITCHES	1150mm	AFL
WALL MOUNTED LIGHTS	2000mm	AFL
POWER OUTLETS (STANDARD)	300mm	AFL

**POWER OUTLETS OTHER**

M/WAVE OVEN POWER	1800mm	AFL
M/WAVE UNDER BENCH	300mm	AFL
KITCHEN BENCH	1000mm	AFL
REFRIGERATOR	1500mm	AFL
RANGEHOOD	1800mm	AFL
D/WASH	300mm	AFL
VANITY BASINS	1000mm	AFL
LAUNDRY BENCH	1000mm	AFL
W/MACHINE	1500mm	AFL



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CLIENT:  
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 DRAWING NAME:  
**ELECTRICAL & FIXTURES PLAN**

PROJECT:  
**PROPOSED RESIDENCE FOR  
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# Lighting

## Class 1 & 10a buildings



Calculator

Building name/description	
LOT 3, 139 DEXTER STREET, WESTBURY	
Number of rows preferred in table below	20 (as currently displayed)

Classification
Class 1

Separate aggregate allowances are calculated for Class 1 cases; for a verandah or balcony; or for a Class 10 building. The % of allowance used outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6			
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used	
1	PORCH	Verandah or balcony	4.4 m <sup>2</sup>	9 W	Verandah or balcony					4.0 W/m <sup>2</sup>	2.0 W/m <sup>2</sup>	48% of 55%
2	ENTRY	Corridor	8.0 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	2.3 W/m <sup>2</sup>	3% of 58%
3	GARAGE	Other	35.3 m <sup>2</sup>	36 W	Class 10a building					3.0 W/m <sup>2</sup>	1.0 W/m <sup>2</sup>	100% of 33%
4	BED 2	Bedroom	10.8 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	1.7 W/m <sup>2</sup>	3% of 58%
5	BED 3	Bedroom	9.1 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	2.0 W/m <sup>2</sup>	3% of 58%
6	STUDY	Other	6.1 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	3.0 W/m <sup>2</sup>	4% of 58%
7	HALL 1	Corridor	7.4 m <sup>2</sup>	27 W	Class 1 building					5.0 W/m <sup>2</sup>	3.6 W/m <sup>2</sup>	5% of 58%
8	LAUNDRY	Laundry	4.3 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	4.2 W/m <sup>2</sup>	6% of 58%
9	BUTLERS	Kitchen	4.3 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	4.2 W/m <sup>2</sup>	6% of 58%
10	KITCHEN	Kitchen	11.9 m <sup>2</sup>	54 W	Class 1 building					5.0 W/m <sup>2</sup>	4.5 W/m <sup>2</sup>	7% of 58%
11	ALFRESCO	Verandah or balcony	16.4 m <sup>2</sup>	36 W	Verandah or balcony					4.0 W/m <sup>2</sup>	2.2 W/m <sup>2</sup>	52% of 55%
12	LIVING	Living room	21.3 m <sup>2</sup>	36 W	Class 1 building					5.0 W/m <sup>2</sup>	1.7 W/m <sup>2</sup>	3% of 58%
13	DINING	Living room	11.8 m <sup>2</sup>	36 W	Class 1 building					5.0 W/m <sup>2</sup>	3.1 W/m <sup>2</sup>	5% of 58%
14	BED 4	Bedroom	9.7 m <sup>2</sup>	18 W	Class 1 building					5.0 W/m <sup>2</sup>	1.9 W/m <sup>2</sup>	3% of 58%
15	HALL 2	Corridor	2.2 m <sup>2</sup>	9 W	Class 1 building					5.0 W/m <sup>2</sup>	4.1 W/m <sup>2</sup>	6% of 58%
16	BATH	Bathroom	1.9 m <sup>2</sup>	27 W	Class 1 building					5.0 W/m <sup>2</sup>	14.2 W/m <sup>2</sup>	21% of 58%
17	POWDER	Toilet	7.2 m <sup>2</sup>	9 W	Class 1 building					5.0 W/m <sup>2</sup>	1.3 W/m <sup>2</sup>	2% of 58%
18	MASTER	Bedroom	16.6 m <sup>2</sup>	36 W	Class 1 building					5.0 W/m <sup>2</sup>	2.2 W/m <sup>2</sup>	3% of 58%
19	ENSUITE	Bathroom	5.1 m <sup>2</sup>	27 W	Class 1 building					5.0 W/m <sup>2</sup>	5.3 W/m <sup>2</sup>	8% of 58%
20	W.C.	Toilet	1.1 m <sup>2</sup>	9 W	Class 1 building					5.0 W/m <sup>2</sup>	8.1 W/m <sup>2</sup>	12% of 58%

194.8 m <sup>2</sup>	477 W
----------------------	-------

	Allowance	Design average
Class 1 building	5.0 W/m <sup>2</sup>	2.9 W/m <sup>2</sup>
Verandah or balcony	4.0 W/m <sup>2</sup>	2.2 W/m <sup>2</sup>
Class 10a building (associated with a Class 1 building)	3.0 W/m <sup>2</sup>	1.0 W/m <sup>2</sup>

if inputs are valid



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DRAWING NAME:  
**LIGHTING CALCULATOR**

PROJECT:  
**PROPOSED RESIDENCE FOR  
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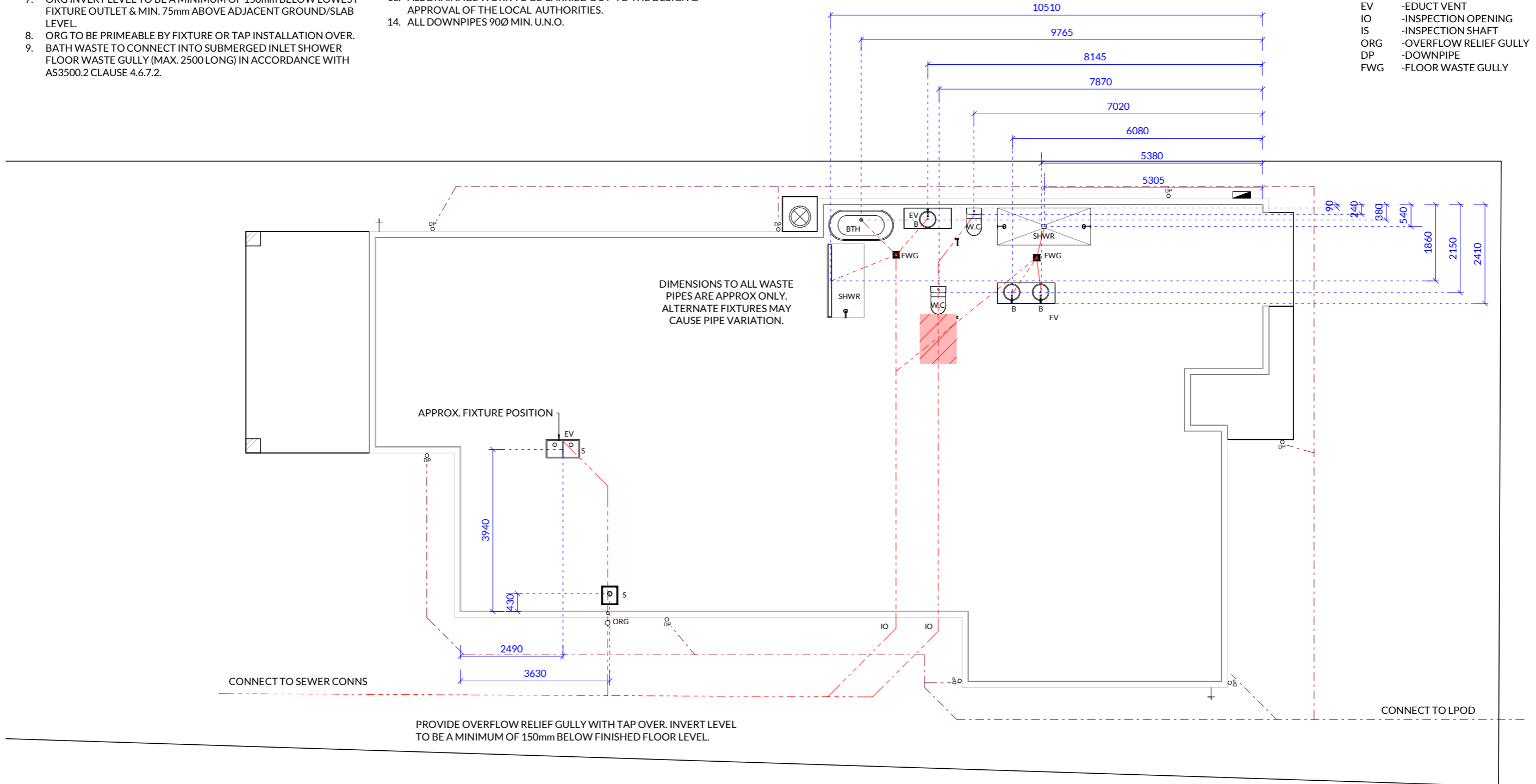
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**DRAINAGE**

1. DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY.
2. STORMWATER PIPES TO BE UPVC CLASS HD - 900
3. SEWER PIPES TO BE UPVC CLASS SH - 1000
4. PROVIDE 200 K2 POLYETHYLENE WATER RETICULATION TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY.
5. BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR.
6. ORG INVERT LEVEL TO BE A MINIMUM OF 150mm BELOW LOWEST FIXTURE OUTLET & MIN. 75mm ABOVE ADJACENT GROUND/SLAB LEVEL.
7. ORG TO BE PRIMEABLE BY FIXTURE OR TAP INSTALLATION OVER.
8. BATH WASTE TO CONNECT INTO SUBMERGED INLET SHOWER FLOOR WASTE GULLY (MAX. 2500 LONG) IN ACCORDANCE WITH AS3500.2 CLAUSE 4.6.7.2.
9. CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NATIONAL CONSTRUCTION CODE TABLE 3.1.1.1
10. PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3.
11. PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 2011 SECTION 5.6.4 FOR ALL CLASS H & E SITES. REFER GEOTECH FOR YS.
12. ALL DRAINAGE WORK TO BE CARRIED OUT TO THE DESIGN & APPROVAL OF THE LOCAL AUTHORITIES.
13. ALL DOWNPIPES 900 MIN. U.N.O.
14. ALL DOWNPIPES 900 MIN. U.N.O.

**LEGEND:**

- WC -TOILET
- S -SINK
- SH -SHOWER
- B -BASIN
- BTH -BATH
- TB -TUB
- SHWR -SHOWER
- SFW -SUBMERGED FLOOR WASTE
- RE -ROD EYE
- EV -DUCT VENT
- IO -INSPECTION OPENING
- IS -INSPECTION SHAFT
- ORG -OVERFLOW RELIEF GULLY
- DP -DOWNPIPE
- FWG -FLOOR WASTE GULLY



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# NCC 2022 REQUIREMENTS FOR WATERPROOFING

As detailed in Part 10.2 WET AREA WATERPROOFING of the ABCB (NCC) Housing Provisions Standard.

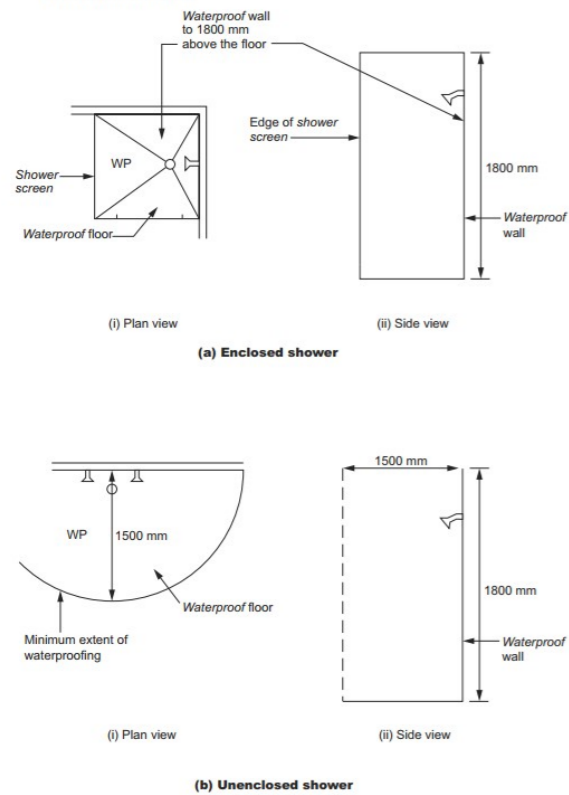
## WET AREAS REQUIRED TO BE PROTECTED WITH WATERPROOFING

- 10.2.1 Wet areas**  
 (1) Building elements in wet areas within a building must be protected with a waterproofing system.  
 (2) The waterproofing system in (1) must be either waterproof or water resistant in accordance with 10.2.2 to 10.2.6.

## WATERPROOFING OF SHOWER AREAS

- 10.2.2 Shower area (enclosed and unenclosed)**  
 (1) For a shower area with a hob, step-down or level threshold, the following applies:  
 (a) The floor of the shower area must be waterproof, including any hob or step-down (see Figure 10.2.2); and  
 (b) The walls of the shower area must be waterproof not less than 1800 mm above the floor substrate (see Figure 10.2.2).  
 (c) Wall junctions and joints within the shower area must be waterproof not less than 40 mm either side of the junction (see Figure 10.2.2).  
 (d) Wall/floor junctions within the shower area must be waterproof (see Figure 10.2.2).  
 (e) Penetrations within the shower area must be waterproof.  
 (2) A shower with a preformed shower base must also comply with the requirements of (1), except for (a) which is not applicable.

Figure 10.2.2: Extent of treatment for shower areas — concrete compressed fibre-cement and fibre-cement sheet floors



## WATERPROOFING AREA OUTSIDE SHOWER AREA

- 10.2.3 Area outside shower area**  
 (1) For concrete, compressed fibre-cement and fibre-cement sheet flooring, the floor of the room must be water resistant.  
 (2) For timber floors including particleboard, plywood and other timber based flooring materials, the floor of the room must be waterproof.  
 (3) Wall/floor junctions must be—  
 (a) waterproof; and  
 (b) where a flashing is used, the horizontal leg must be not less than 40 mm.

## WATERPROOFING AREAS ADJACENT TO BATHS

- 10.2.4 Areas adjacent to baths and spas without showers**  
 (1) For areas adjacent to all baths and spas, the following applies:  
 (a) For concrete, compressed fibre-cement and fibre-cement sheet flooring, the floor of the room must be water resistant.  
 (b) For timber floors including particleboard, plywood and other timber based flooring materials, the floor of the room must be waterproof.  
 (c) Tap and spout penetrations must be waterproof where they occur in horizontal surfaces.  
 (2) For areas adjacent to non-freestanding baths and spas, the following applies:  
 (a) Walls must be water resistant (see Figure 10.2.4a and Figure 10.2.4b)—  
 (i) to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall; and  
 (ii) for all exposed surfaces below vessel lip.  
 (b) Wall junctions and joints must be water resistant within 150 mm above a vessel for the extent of the vessel.  
 (c) Wall/floor junctions must be waterproof for the extent of the vessel (see Figure 10.2.4a and Figure 10.2.4b).  
 (3) For inserted baths and spas, the following applies:  
 (a) For floors and horizontal surfaces:  
 (i) Any shelf area adjoining the bath or spa must be waterproof and include a waterstop under the vessel lip.  
 (ii) There are no requirements for the floor under a bath or spa.  
 (b) For walls:  
 (i) Waterproof to not less than 150 mm above the lip of a bath or spa.  
 (ii) There are no requirements for the floor under a bath or spa.  
 (c) For wall junctions and joints, the following applies:  
 (i) Waterproof junctions within 150 mm of a bath or spa.  
 (ii) There are no requirements for junctions and joints in walls beneath the lip of a bath or spa.  
 (d) Tap and spout penetrations must be waterproof where they occur in horizontal surfaces.

Figure 10.2.4a: Areas adjacent to baths and spas without showers for concrete, compressed fibre-cement and fibre-cement sheet flooring

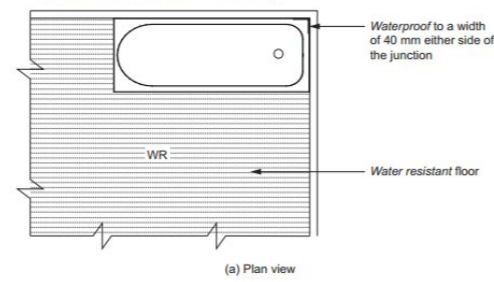


Figure 10.2.4b: Areas adjacent to baths and spas without showers for timber floors including particleboard, plywood and other floor materials

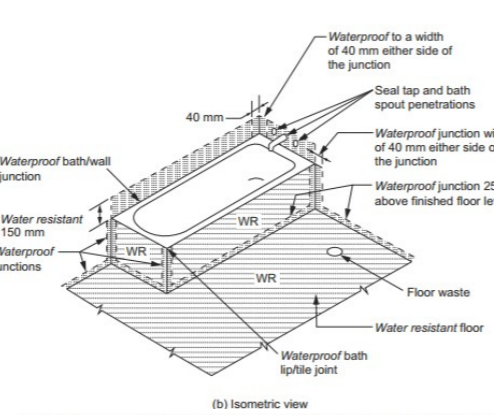
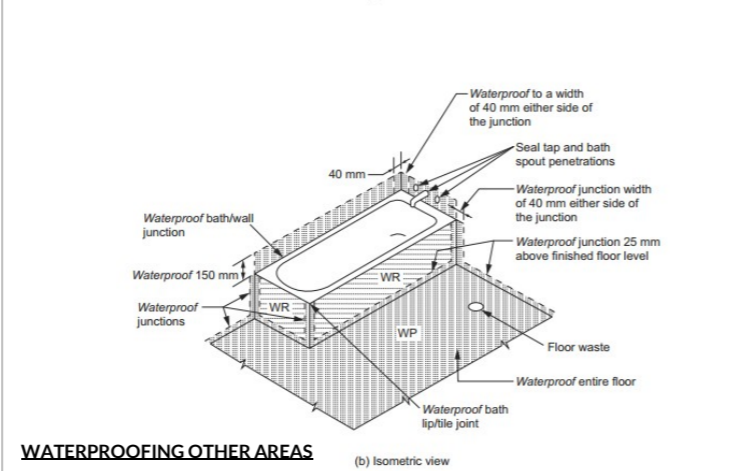
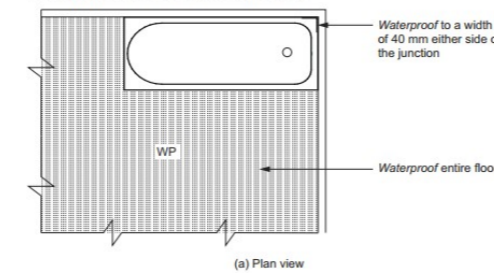


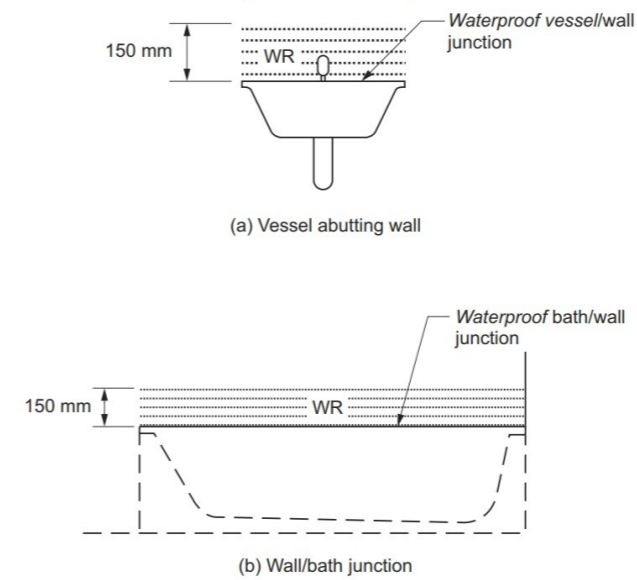
Figure 10.2.4a: Areas adjacent to baths and spas without showers for concrete, compressed fibre-cement and fibre-cement sheet flooring



## WATERPROOFING OTHER AREAS

- 10.2.5 Other areas**  
 (1) For walls adjoining other types of vessels (e.g. sink, basin or laundry tub), the following applies:  
 (a) Walls must be water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall (see Figure 10.2.5).  
 (b) Waterproof wall junctions where a vessel is fixed to a wall.  
 (c) Waterproof tap and spout penetrations where they occur in surfaces required to be waterproof or water resistant.  
 (2) For laundries and WCs, the following applies:  
 (a) The floor of the room must be water resistant.  
 (b) Wall/floor junctions must be water resistant, and where a flashing is used, the horizontal leg must not be less than 40 mm.  
 (3) For WCs with handheld bidet spray installations, the following applies:  
 (a) The floor of the room must be waterproof.  
 (b) Walls must be—  
 (i) waterproof in WC area within a 900 mm radius from the wall connection of the handheld bidet spray device to a height of not less than 150 mm above the floor substrate; and  
 (ii) water resistant in WC area within a 900 mm radius from the wall connection of the handheld bidet device to not less than 1200 mm above the finished floor level of the WC.  
 (c) Wall junctions within the WC area within 900 mm radius from the wall connection of the handheld bidet spray device must be waterproof.  
 (d) Wall/floor junctions within the WC area within 1000 mm radius from the wall connection of the handheld bidet spray device must be waterproof.  
 (e) Penetrations in the WC area must be waterproof.

Figure 10.2.5: Bath and vessel abutting wall — areas to be protected



## WATERPROOFING SYSTEMS

- 10.2.6 Waterproofing systems**  
 (1) For the purposes of this Part, a waterproofing system is deemed—  
 (a) waterproof, if it complies with (2); or  
 (b) water resistant, if it complies with (3).  
 (2) For a waterproofing system required to be waterproof in accordance with 10.2.2 to 10.2.5, the materials nominated in 10.2.8 must be used.  
 (3) For a waterproofing system required to be water resistant in accordance with 10.2.2 to 10.2.5, the materials nominated in 10.2.9 must be used in conjunction with the materials in 10.2.10.

## WATERPROOFING MATERIALS

- 10.2.7 Materials**  
 Where required to be installed in accordance with 10.2.2 to 10.2.6, materials used in wet areas forming a waterproofing system must be either waterproof or water resistant in accordance with 10.2.8 and 10.2.9.

- 10.2.8 Materials — waterproof**  
 The following materials used in waterproofing systems are deemed to be waterproof:  
 (a) Stainless steel.  
 (b) Flexible waterproof sheet flooring material with waterproof joints.  
 (c) Membranes complying with AS/NZS 4858.  
 (d) Waterproof sealant.

- 10.2.9 Materials — water resistant substrates**  
 The following materials are deemed to be water resistant:  
 (a) For walls:  
 (i) Concrete complying with AS 3600, treated to resist moisture movement.  
 (ii) Cement render, treated to resist moisture movement.  
 (iii) Compressed fibre-cement sheeting manufactured in accordance with AS/NZS 2908.2.  
 (iv) Water resistant plasterboard sheeting.  
 (v) Masonry in accordance with AS 3700, treated to resist moisture movement.

- (b) For floors:  
 (i) Concrete complying with AS 3600.  
 (ii) Concrete slabs complying with AS 2870.  
 (iii) Compressed fibre-cement sheeting manufactured in accordance with AS/NZS 2908.2 and supported on a structural floor.

- 10.2.10 Materials — water resistant surface materials**  
 The following surface materials are deemed to be water resistant:

- (a) For walls:  
 (i) Thermosetting laminate.  
 (ii) Pre-decorated compressed fibre-cement sheeting manufactured in accordance with AS/NZS 2908.2.  
 (iii) Tiles when used in conjunction with a substrate listed in 10.2.9.  
 (iv) Water resistant flexible sheet wall material with sealed joints when used in conjunction with a substrate listed in 10.2.9.  
 (v) Sanitary grade acrylic linings.  
 (b) For floors, when used in conjunction with a substrate listed in 10.2.9:  
 (i) Tiles.  
 (ii) Water resistant flexible sheet flooring material with sealed joints.  
 (c) Concrete treated to resist moisture movement.

## Explanatory Information

- Sheet vinyl or linoleum would satisfy the requirements of this clause  
**10.2.11 Construction of wet areas — wall and floor substrate materials**  
 For the purposes of this Part, materials used in wall and floor substrates must comply with 10.2.9.

- 10.2.12 Construction of wet area floors — falls**  
 Where a floor waste is installed—  
 (a) the minimum continuous fall of a floor plane to the waste must be 1:80; and  
 (b) the maximum continuous fall of a floor plane to the waste must be 1:50.

- 10.2.13 Construction of wet areas — wall and floor surface materials**  
 For the purposes of this Part, wall and floor surface materials must comply with 10.2.10.

- 10.2.14 Shower area requirements**  
 Shower areas must be designed as either enclosed or unenclosed—  
 (a) to include a floor waste with falls complying with 10.2.12; and  
 (b) with a—  
 (i) stepdown complying with 10.2.15; or  
 (ii) hob complying with 10.2.16; or  
 (iii) level threshold complying with 10.2.17.

- 10.2.15 Stepdown showers**  
 For stepdown showers, the highest finished floor level of the shower area must be stepped down a minimum of 25 mm lower than the finished floor level outside the shower (see Figures 10.2.15a, 10.2.15b, 10.2.15c and 10.2.15d).

- 10.2.16 Hob construction**  
 (1) Hobs must be constructed of—  
 (a) masonry; or  
 (b) concrete; or  
 (c) autoclaved aerated concrete; or  
 (d) extruded polystyrene foam, in accordance with Figure 10.2.16.  
 (2) All gaps, joints and intersections of the hob substrate must be made flush before application of a membrane.  
 (3) Hobs must be adequately secured to the floor and sealed against the wall prior to applying a membrane.  
 (4) Timber must not be used for hob construction.

Figure 10.2.15a: Typical enclosed stepped down shower construction (membrane below tile bed)

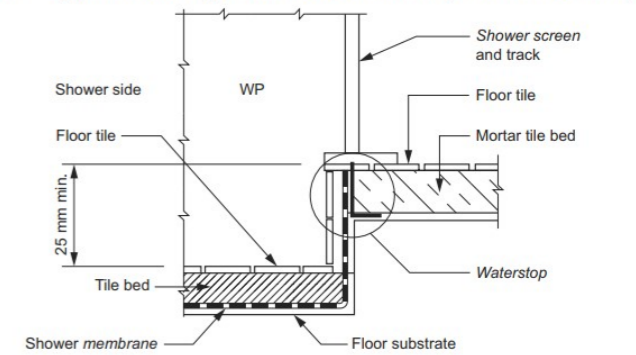


Figure 10.2.15b: Typical enclosed stepped down shower construction (membrane above tile bed)

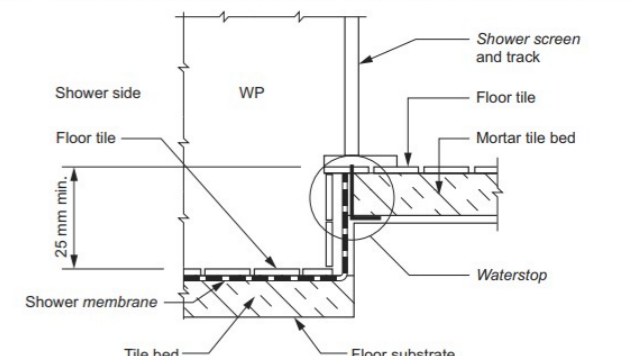


Figure 10.2.15c: Typical unenclosed stepped down shower construction (membrane below tile bed)

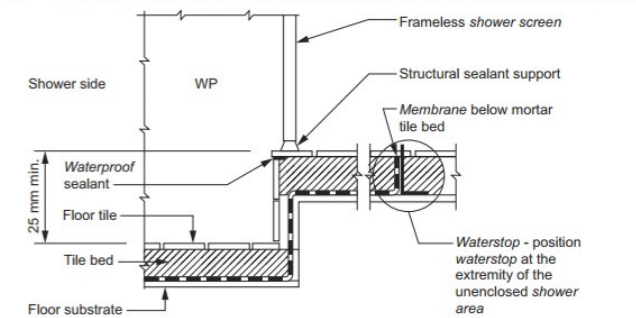


Figure 10.2.15d: Typical unenclosed stepped down shower construction (membrane above tile bed)

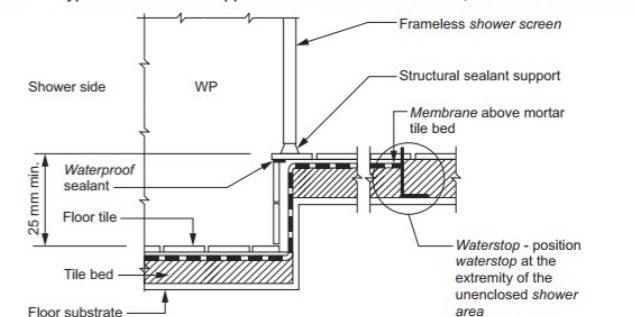
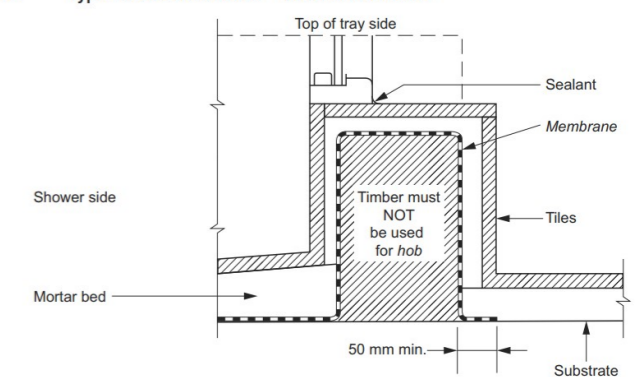


Figure 10.2.16: Typical hob construction — internal membrane



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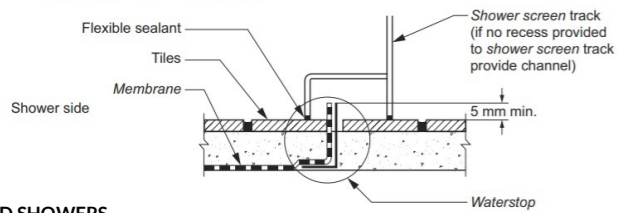
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**ENCLOSED SHOWERS WITH LEVEL THRESHOLD**

**10.2.17 Enclosed showers with level threshold (without hob or set down)**  
 For enclosed showers without a stepdown or a hob, at the extremity of the shower area, a waterstop must be positioned so that its vertical leg finishes—  
 (a) where a shower screen is to be installed, not less than 5 mm above the finished floor level (see Figure 10.2.17); and  
 (b) where the waterstop intersects with a wall or has a joint, the junction must be waterproof.

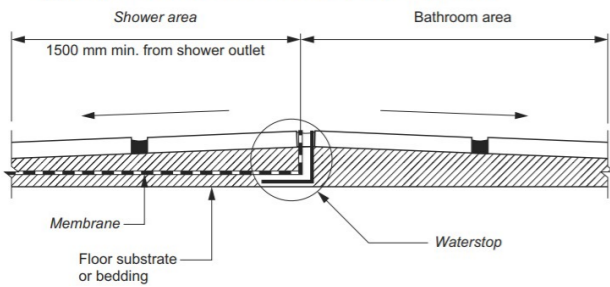
Figure 10.2.17: Typical hobless construction



**UNENCLOSED SHOWERS**

**10.2.18 Unenclosed showers**  
 (1) Unenclosed showers must be constructed as follows:  
 (a) A waterstop must be installed a minimum horizontal distance of 1500 mm from the shower rose.  
 (b) The vertical leg of the waterstop must finish—  
 (i) flush with the top surface of the floor (see Figure 10.2.18); and  
 (ii) where the waterstop intersects with a wall or is joined—  
 (A) the junction must be waterproof; or  
 (B) the whole wet area floor must be waterproofed and drained to a floor waste as for the shower area.  
 (2) In the case of (1)(b)(ii)(B), at doorways, where the height of the tiling angle needs to be adjusted for tiling purposes, the angle must be fixed with a sealant compatible with the waterproofing membrane without damaging the waterproofing system.

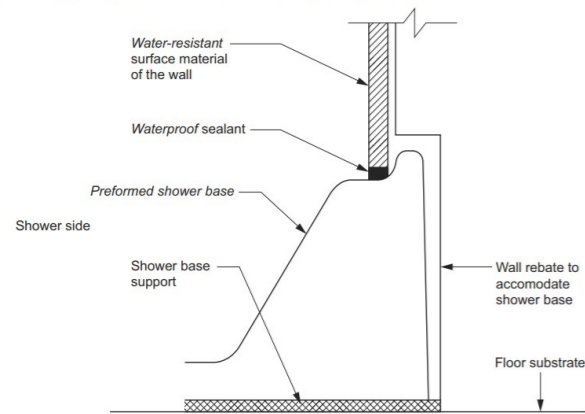
Figure 10.2.18: Typical termination of membrane at extent of shower area



**PREFORMED SHOWER BASES**

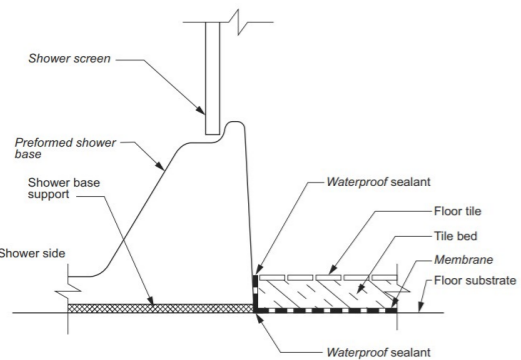
**10.2.19 Preformed shower bases**  
 Preformed shower bases must—  
 (a) have an upturn lip (see Figure 10.2.19a and Figure 10.2.19b); and  
 (b) be recessed into the wall to allow the water resistant surface materials and substrate materials to pass down inside the perimeter upturn lip of the shower base (see Figure 10.2.19a and Figure 10.2.19b); and  
 (c) be supported to prevent distortion or cracking.

Figure 10.2.19a: Typical preformed shower base wall/floor junction



**Figure Notes**  
 (1) Rebating of timber and steel framed walls must be in accordance with AS 1684 or NASH Standard Part 2 as appropriate.  
 (2) Where rebating of masonry walls is required, it must be accommodated in the design in accordance with AS 3700.

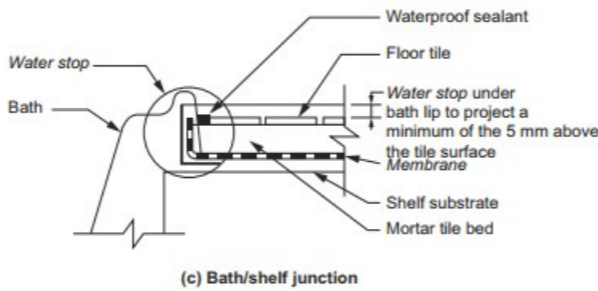
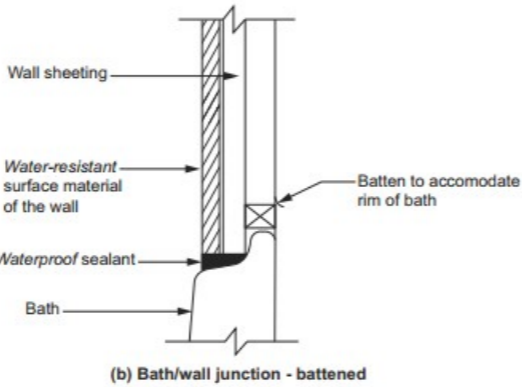
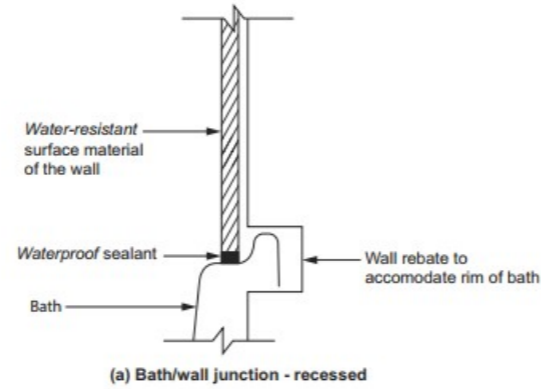
Figure 10.2.19b: Typical preformed shower base/floor junction on timber floors, including particleboard, plywood and other timber materials



**BATHS & SPAS**

**10.2.20 Baths and spas**  
 Baths and spas, except freestanding baths and spas, must—  
 (a) have an upturn lip; and  
 (b) be recessed into the wall (see Figure 10.2.20); and  
 (c) have the water resistant substrate materials of the wall pass down inside the upturn lip (see Figure 10.2.20).

Figure 10.2.20: Typical bath junctions



**Figure Notes**  
 (1) Rebating of timber and steel framed walls must be in accordance with AS 1684 or NASH Standard Part 2 as appropriate.  
 (2) Where rebating of masonry walls is required, it must be accommodated for in the design in accordance with AS 3700.  
 (3) For diagram (c), where a waterstop cannot be provided, a Type 1 or Type 2 junction can be used with AS 3740.

**MEMBRANES, PENETRATIONS & FLASHINGS**

**10.2.21 Membrane installation for screed**  
 Where a screed is used in conjunction with a waterproof membrane, the waterproof membrane can be installed either above or below the tile bed or screed.

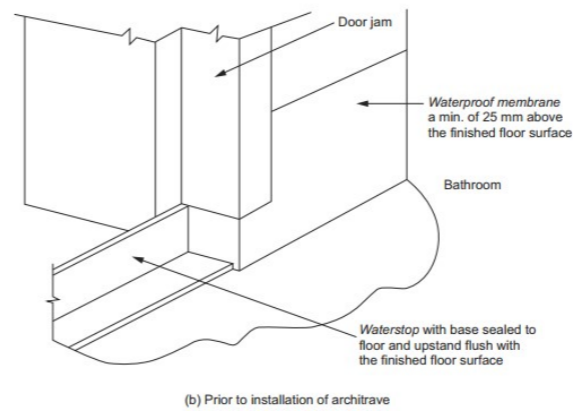
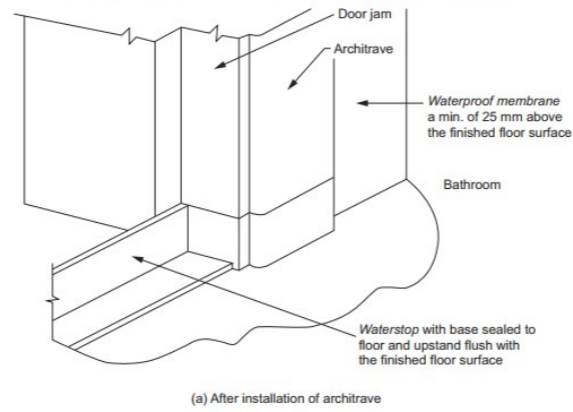
**10.2.22 Substrate surface preparation for application of membrane**  
 The substrate surface area where a membrane is to be applied must—  
 (a) be clean and dust free; and  
 (b) free of indentations and imperfections.

**10.2.23 Penetrations**  
 Penetrations within shower areas must comply with the following:  
 (a) Penetrations for taps, shower nozzles and the like must be waterproofed by sealing with—  
 (i) sealants; or  
 (ii) proprietary flange systems; or  
 (iii) a combination of (i) and (ii).  
 (b) The spindle housing of the tap body must be able to be removed to enable replacement of the washer without damaging the seal.  
 (c) The following must be waterproofed:  
 (i) All penetrations due to mechanical fixings or fastenings of substrate materials.  
 (ii) Any penetration of the surface materials due to mechanical fixings or fastenings.  
 (iii) Recessed soap holders (niches) and the like.  
 (d) Tap and spout penetrations on horizontal surfaces surrounding baths and spas must be waterproofed by—  
 (i) sealing the tap body to the substrate with sealants; or  
 (ii) proprietary flange systems.

**10.2.24 Flashings/junctions**  
 Flashings must be installed in accordance with 10.2.2 to 10.2.5 and the following:  
 (a) Perimeter flashing to wall/floor junctions must have a—  
 (i) vertical leg that extends a minimum of 25 mm above the finished floor level, except across doorways; and  
 (ii) horizontal leg that has a minimum width of not less than 50 mm.  
 (b) Where a water resistant substrate is used in conjunction with a water resistant surface material, a waterproof sealant must be installed at the substrate junction at the wall/floor junction.

(c) Perimeter flashings at a floor level opening must comply with the following:  
 (i) Where the whole wet area floor is waterproof, at floor level openings, a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level with the floor membrane being terminated to create a waterproof seal to the perimeter flashing (see Figure 10.2.24).  
 (ii) In any other case, at a floor level opening a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level and waterproofed to the perimeter flashing.  
 (d) A vertical flashing, either external to the wet area or internal, must extend a minimum of 1800 mm above the finished floor level.

Figure 10.2.24: Typical bathroom door details for whole bathroom waterproofing



**Explanatory Information**  
 Vertical flashing may be used as follows:  
 (a) External vertical flashing may be used with external membrane systems and installed behind the wall sheeting or render. They must have legs of sufficient width to allow the wall sheeting or render to overlap by not less than 32 mm.  
 (b) Internal vertical flashing may be used with both external and internal membrane systems provided each leg has a minimum overlap of 40 mm to the wall sheeting or render and where used with—  
 (i) internal membrane, must extend vertically from the shower tray; and  
 (ii) external membranes, must overlap the top edge of the floor waterproofing system by not less than 20 mm; and  
 (iii) preformed shower bases or baths, must extend to the bottom edge of the wall sheeting or render.

**10.2.25 Shower area floor membrane application**  
 For hobless showers, or showers with hobs or stepdowns, the membrane must be applied over the floor and up the vertical face of the wall substrate to a minimum height of 1800 mm above the finished tile level of the floor.

**10.2.26 Shower area membrane requirements for wall sheeting substrates**  
 (1) Where wall sheeting is used with an external membrane system in a shower area it must be waterproof to prevent water movement by capillary action.  
 (2) Where water resistant plasterboard is used all cut edges that have the potential to be affected by water and moisture must be waterproofed, including the bottom edge over a preformed shower base.

**10.2.27 Bond breaker installation for bonded membranes**  
 (1) Bond breakers must be installed at all wall/wall, wall/floor, hob/wall junctions and at movement joints where the membrane is bonded to the substrate.  
 (2) Bond breakers must be of the type compatible with the flexibility class of the membrane to be used.

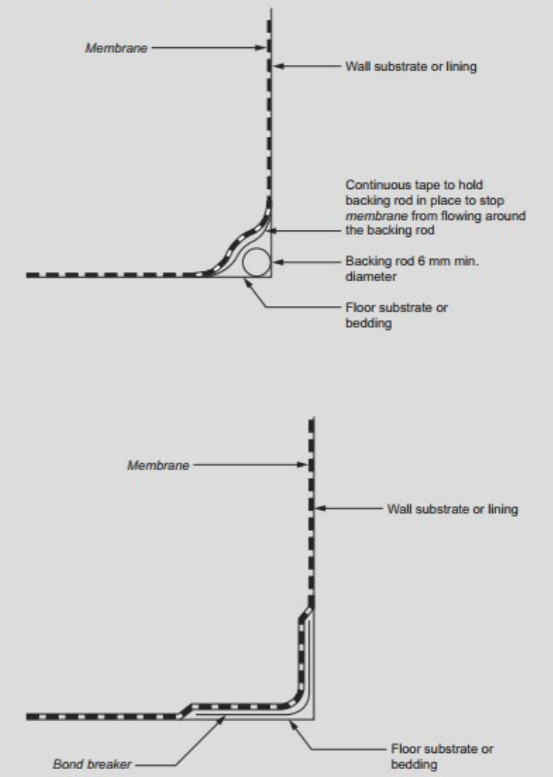
**Explanatory Information**  
 Typical details for bond breaker types are given in Explanatory Figure 10.2.27.

**10.2.28 Installation of internal membranes**  
 (1) Where a shower has a hob the membrane must be brought over the top of the hob, down the outside face and terminate not less than 50 mm onto the floor (see Figure 10.2.16).  
 (2) Where the shower has a waterstop, the membrane must be brought to the top of the finished floor, except where it is under a framed shower screen where it must terminate not less than 5 mm above the finished tile surface (see Figure 10.2.17 and Figure 10.2.18).

**10.2.29 Membrane to drainage connection**  
 (1) Membrane drainage connections in concrete floors must comply with one of the following:  
 (a) A drainage flange must be installed with the waterproofing membrane terminated at or in the drainage flange to provide a waterproof connection (see Figure 10.2.29).  
 (b) Where a preformed shower base is used, provision must be made to drain the tile bed and provide a waterproof connection to the drain.  
 (2) For membrane drainage connections in other floors, a drainage flange must be installed with the waterproofing membrane terminated at or in the drainage flange to provide a waterproof connection (see Figure 10.2.29).  
 (3) Where a preformed shower base is used, provision must be made to drain the tile bed and provide a waterproof connection to the drain.  
 (4) Floor wastes must be of sufficient height to suit the thickness of the tile and tile bed at the outlet position.

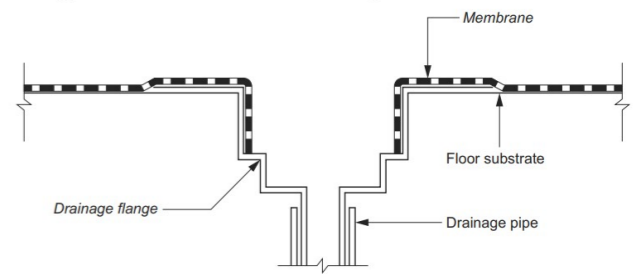
**10.2.30 Drainage riser connection**  
 (1) Where a preformed shower base is used, the drainage riser must be connected to the tray with a waterproof joint.  
 (2) Where an in situ shower tray is used, the membrane must be able to form a permanent waterproof seal to the drainage riser or drainage flange (see Figure 10.2.29).

Figure 10.2.27 (explanatory): Typical bond breaker details



**Figure Notes**  
 (1) Bond breakers for Class I membranes (low extensibility) allow the membrane to flex rather than stretch.  
 (2) Bond breakers for Class II membranes (medium extensibility) allow the membrane to stretch. If a tape is used as a bond breaker, either the membrane must not bond to the tape or the tape must have elastic properties similar to the membrane.  
 (3) Bond breakers for Class III membranes (high extensibility) allow the membrane to have an even thickness.

Figure 10.2.29: Typical membrane termination at drainage outlet



**Explanatory Information: Drainage flanges**  
 • For membrane drainage connections in concrete floors: drainage flange may be either cast into the concrete slab or set into the top surface of the concrete slab or the tile bed.  
 • For membrane drainage connections in other floors: drainage flange may be either set into the floor substrate or the tile bed.

**10.2.31 Door jambs on tiled floors**  
 Where the bottom of a door jamb does not finish above the floor tiling, the portion of the door frame below the floor tiling must be waterproofed to provide a continuous seal between the perimeter flashing and the waterstop.

**10.2.32 Shower screens**  
 (1) For a shower with a hob, the shower screen must be installed flush with the shower area side of the hob or overhang into the shower area.  
 (2) For a shower with a stepdown, the shower screen must be installed flush with the finished vertical surface of the stepdown of the shower area.  
 (3) For a shower without a hob or stepdown, the shower screen must incorporate or be mounted on an inverted channel, positioned over the top of the waterstop, that defines the shower area.  
 (4) For bath end walls and dividing walls abutting a shower, the shower screen must be positioned so that the bottom edge within the shower area is either flush with the outside edge of the bath or overhanging into the shower area.

**Explanatory Information**  
 A self-draining sub-sill is considered to be part of the shower screen.

REV	DESCRIPTION	DRAWN	DATE
A	PRELIMINARY ISSUE	RL	20/08/25
A.2	CONSTRUCTION ISSUE	SM	03/09/25
B	CONSTRUCTION ISSUE	SM	09/09/25

# NCC 2022 LIVABLE HOUSING REQUIREMENTS

As detailed in the ABCB (NCC) Livable Housing Design Standard

## GENERAL SUMMARY OF REQUIREMENTS

THE BELOW SUMMARY IS INTENDED TO PROVIDE A GENERAL OVERVIEW OF THE LIVABLE DESIGN REQUIREMENTS, AND IS NOT PRESCRIPTIVE OR EXHAUSTIVE. ALWAYS REFER TO THE NCC LIVABLE HOUSING DESIGN STANDARD FOR COMPLIANCE PURPOSES.

### DWELLING ACCESS

PROVIDE A SAFE, CONTINUOUS STEP-FREE PATHWAY FROM THE FRONT BOUNDARY OF THE PROPERTY TO AN ENTRY DOOR TO THE DWELLING.

#### 1. PATH OF TRAVEL TO HAVE:

- MIN. CLEAR WIDTH OF 1000mm
- NO STEPS
- AN EVEN, FIRM, SLIP RESISTANT SURFACE
- A CROSSFALL OF NOT MORE THAN 1:40
- A MAXIMUM PATHWAY SLOPE OF 1:14

#### 2. ENTRY DOOR TO HAVE A MIN. 820mm CLEAR OPENING WIDTH.

#### 3. A LEVEL STEP-FREE TRANSITION AND THRESHOLD (MAX. VERTICAL TOLERANCE OF 5mm BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

#### 4. A LANDING AREA OF MIN. 1200mm x 1200mm IS TO BE PROVIDED AT THE LEVEL (STEP-FREE) ENTRY.

#### 5. THIS ACCESS PATH MAY BE VIA THE GARAGE/CARPORT AREA.

### INTERNAL DOORS & CORRIDORS

- DOORWAYS TO ROOMS ON THE ENTRY OR GROUND LEVEL PROVIDING ACCESS TO HABITABLE ROOMS (LIVING SPACES AND BEDROOMS), LAUNDRY AND THE ACCESSIBLE SANITARY COMPARTMENT & STEP-FREE SHOWER NOMINATED ON THE PLANS ARE TO HAVE A MIN. 820mm CLEAR OPENING WIDTH, A LEVEL TRANSITION & THRESHOLD (MAXIMUM VERTICAL TOLERANCE OF 5mm BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED)
- INTERNAL CORRIDORS/PASSAGEWAYS TO THE DOORWAYS REFERRED TO ABOVE, SHOULD PROVIDE A MINIMUM CLEAR WIDTH OF 1000mm

### TOILET/WC (SANITARY COMPARTMENT)

A W.C./TOILET TO SUPPORT EASY ACCESS IS REQUIRED ON GROUND LEVEL/ENTRY LEVEL OF A DWELLING.  
TO TOILET MUST HAVE A CLEAR CIRCULATION SPACE AS FOLLOWS:

- FOR SANITARY COMPARTMENTS LOCATED IN A SEPARATE ROOM, A CLEAR WIDTH OF NOT LESS THAN 900mm BETWEEN FINISHED SURFACES OF WALLS
- FOR SANITARY COMPARTMENTS LOCATED IN A COMBINED BATHROOM, TOILET PAN MUST BE LOCATED AT LEAST 450mm FROM ANY OTHER FIXED OBSTRUCTION
- A CLEAR CIRCULATION SPACE OF 1200mm x 900mm MUST BE PROVIDED FROM THE FRONT EDGE OF THE TOILET PAN.
- IF THE TOILET PAN IS LOCATED IN A COMBINED BATHROOM, THE TOILET PAN SHOULD BE LOCATED IN THE CORNER OF THE ROOM TO ALLOW FOR REINFORCEMENT OF WALLS FOR INSTALLATION OF FUTURE GRABRAILS.
- IN A COMBINED BATHROOM THE TOILET PAN TO THE SIDE WALL IS TYPICALLY MEASURED AT 460mm.

### STEP-FREE SHOWER (AND ASSOCIATED BATHROOM)

- AT LEAST ONE SHOWER IN THE DWELLING MUST HAVE A HOBLESS, STEP-FREE ENTRY.
- A LIP NOT MORE THAN 5mm CAN BE PROVIDED TO ASSIST WITH WATER RETENTION.
- THE SHOWER RECESS SHOULD BE LOCATED IN THE CORNER OF THE BATHROOM TO ALLOW FOR REINFORCEMENTS OF WALLS FOR FUTURE INSTALLATION OF GRABRAILS.
- SHOWER TO BE MIN. 900mm x 900mm IN SIZE.
- SHOWER SCREENS MUST BE ABLE TO BE REMOVED AT A LATER DATE.
- A BUILT-IN BATH, IF PROVIDED IN THE ROOM WITH THE STEP-FREE SHOWER, MUST BE PROVIDED WITH WALL REINFORCEMENTS TO ALLOW FOR FUTURE GRABRAILS.

### REINFORCEMENT OF BATHROOM & TOILET WALLS

THE WALLS AROUND THE TOILET, BATH & HOBLESS SHOWER THAT ARE REQUIRED TO BE ACCESSIBLE ARE

TO BE REINFORCED BY INSTALLING EITHER:

- 12mm (MIN) THICK PLYWOOD OR
- TIMBER NOGGINGS WITH A MIN. THICKNESS OF 25mm.

## ABCB (NCC) LIVABLE HOUSING DESIGN STANDARD

### PART 1 DWELLING ACCESS

#### 1.1 Step-free access path

(1) A continuous path to a dwelling entrance door must be provided from—

- the pedestrian entry at the allotment boundary from the ground level of the adjoining land; or
- an appurtenant Class 10a garage or carport; or
- a car parking space within the allotment that is provided for the exclusive use of the occupants of the dwelling.

(2) Access for the purposes of (1) must be—

- via a pathway that—
  - has no steps; and
  - except for a step ramp provided under (5), has a maximum gradient of 1:14 in the direction of travel; and
  - if crossfall is provided, has a crossfall not more than 1:40; and
  - has a minimum width of 1000 mm; and
  - if it incorporates a section suspended above finished ground level, is able to take loading forces in accordance with AS/NZS 1170.1; and
  - connects to a dwelling entrance door that complies with Section 2; or
- provided directly from an attached Class 10a garage or carport, via a door complying with the requirements of Section 2, other than Clause 2.3.

(3) For the purposes of (2), the following applies:

- Any gates along the access path must have a minimum clear opening width of 820 mm, measured as if the gate were an entrance door.
- A deck or boardwalk-style path constructed in accordance with AS 1684 or NASH Standard – Residential and

Low-rise Steel Framing would satisfy the requirements of (2)(a)(v).

(4) Where one or more ramps are used, the following applies:

- The aggregate length of ramping (excluding landings) must not be more than—
  - 9 m for a 1:14 gradient; or
  - 15 m for a 1:20 gradient; or

- a length determined by linear interpolation for ramps with a gradient between 1:14 and 1:20.
- The minimum width of the ramp must be maintained at 1000 mm between any handrails and/or kerbs (if provided) at each side of the ramp.
- At each end of a ramp there must be a landing that is—
  - not less than 1200 mm long; and
  - at least as wide as the ramp to which it connects; and
  - level, or has a gradient not more than 1:40 if a gradient is necessary for drainage.
- A landing area required by Clause 2.3 may also be counted as a landing for the purposes of (c).
- The access path may incorporate one step ramp having a—
  - height of not more than 190 mm; and
  - gradient not more than 1:10; and
  - width of at least 1000 mm or equivalent to that of the access path, whichever is the greater; and
  - maximum length of 1900 mm.

Applications  
Clause 1.1 only applies to a Class 1a building.

Information: Access via a garage, carport or parking space

Where step-free access is provided from a garage, carport or parking space, this can be through a connecting door between the garage, carport or parking space and the dwelling. The connecting door need not be the main entrance door (sometimes referred to as the 'front' door) but would need to comply with Section 2. Any carparking spaces forming part of the required path of travel must be free of obstructions, including structural elements such as columns or engaged brick piers that would otherwise reduce the space for free movement.

Information: Class 2 buildings

For a Class 2 building, requirements for a step-free access path are provided in Section D of NCC Volume One and the 'Disability (Access to Premises – Buildings) Standards 2010'. Therefore, Clause 1.1 only applies to Class 1a buildings.

#### 1.2 Parking space incorporated into step-free access path

(1) Where one or more car parking spaces are connected to or form part of a required access path, at least one of the car parking spaces must have—

- a minimum unobstructed car parking space of 3200 mm wide x 5400 mm long; and
- a gradient not more than 1:33 for bitumen, or 1:40 for any other surface material.

(2) For the purposes of (1), a required access path means an access path provided for the purposes of compliance with

Clause 1.1.

Applications

(1) Clause 1.2 only applies to a car parking space provided for the exclusive use of the occupants of the dwelling.

(2) Clause 1.2 does not apply—

- if there are no car parking spaces provided for the exclusive use of the occupants of the dwelling; or
- to a Class 2 building.

### PART 2 DWELLING ENTRANCE

#### 2.1 Clear opening width

- At least one entrance door to the dwelling must have a minimum clear opening width of 820 mm.
- The minimum clear opening width required by (1) must be measured in accordance with Figure 2.1.

Figure 2.1:

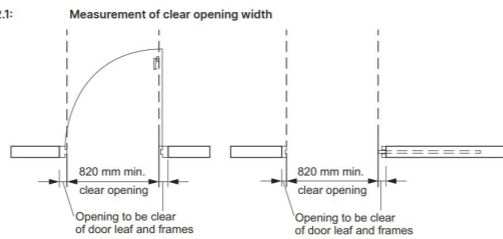


Figure Notes

- Double doors, bi-fold doors, stacking doors, multiple sliding door panels and other types of hinged door sets may use a smaller leaf provided the overall clear opening width with the doors fully open is not less than 820mm.
- Clear opening width for sliding doors must be measured with the door panel(s) installed and in the fully open position.
- The door handle may encroach the required minimum clear opening width.

Information: Door leaf dimensions

An 820 mm clear opening width, for a single swinging door, can generally be achieved using an 870 mm door leaf.

Information: Meaning of 'entrance door'

An entrance door for the purposes of 2.1 may be a door other than the front door, provided that the door connects to the step-free access path in accordance with Clause 1.1(2). For example, compliance with 2.1 could be achieved via a side door that is connected to the garage via a step-free path.

#### 2.2 Threshold

The threshold of an entrance door that is subject to Clause 2.1 must—

- be level; or
- have a sill height not more than 5 mm if the lip is rounded or bevelled; or
- have a ramped threshold that—
  - does not extend beyond the depth of the door jamb; and
  - has a gradient not steeper than 1:8; and
  - is at least as wide as the minimum clear opening width of the entrance door; and
  - does not intrude into the minimum dimensions of a landing area that is required by Clause 2.3; or

(iv) for external entrance doors, have a sill with a total lip height not more than 15 mm and with no part of the profile or upstand greater than 5 mm in any part of its profile.

Information: Termite management

For termite management, where required by the NCC, the NCC referenced document AS 3660.1 includes solutions for termite management in cases where there is no step-up into a dwelling: see clauses 2.2, 2.3, 4.4 and 6.5 of AS 3660.1.

AS 3660.1 is referenced in the NCC, therefore an appropriate solution for termite management that complies with AS 3660.1 can be used as part of a Deemed-to-Satisfy Solution under the NCC.

Information: Damp-proof course

For masonry construction, a damp-proof course is to be located above the external finished surface (e.g. clause 5.7.4 of the ABCB Housing Provisions). Therefore, the construction of a ramp, threshold or the like is to maintain compliance with this requirement.

#### 2.3 Landing area

An entrance door that is subject to Clause 2.1 must have a space of at least 1200 mm x 1200 mm on the external (arrival) side of the door that is—

- unobstructed (other than by a gate or a screen door); and
- level, or has a gradient not more than 1:40 if a gradient is necessary to allow for drainage.

Applications

- Clause 2.3 only applies to a Class 1a building.
- Clause 2.3 does not apply to a dwelling that is exempt from compliance with Clause 1.1.
- Clause 2.3 does not apply to an entrance door that serves an appurtenant Class 10a garage or carport in accordance with 1.1(b).

Information: Entrance doors to Class 2 sole-occupancy units

Requirements for landing areas outside the entrance door to a Class 2 sole-occupancy unit located on an accessible floor are set out in Section D of NCC Volume One and the Disability (Access to Premises – Buildings) Standards 2010.

### 2.4 Weatherproofing for external step-free entrance

Weatherproofing for an external step-free entrance must be provided in accordance with one or a combination of the following:

- Where the external surface is concrete or another impermeable surface, a channel drain that meets the requirements of Volume Two H2D2 is to be provided for the width of the entrance.
- Where the external trafficable surface is decking or another raised permeable surface, a drainage surface below the trafficable surface is to be provided that meets the requirements of Volume Two H2D2, and drainage gaps in the trafficable surface, such as those between decking boards, are to be no greater than—
  - 8 mm; or
  - if in a designated bushfire prone area, that permitted by AS 3959.
- A roof covering an area no smaller than 1200 mm by 1200 mm, where the area is provided with a fall away from the building not greater than 1:40.

Applications (1) The provisions of 2.4 do not apply to an entrance door that is provided through an interconnected garage. (2) A channel drain provided in accordance with (a) can also act as an inspection zone for the purposes of termite management provisions provided the inspected zone required by AS 3660.1 can be accessed. (3) Consideration should be given to the ability for cleaning drains in (a), particularly in bushfire prone areas. (4) For the purposes of (c), any posts, columns, or structural supports for the roof cover, must not encroach the clear space required by 1.1(4) for a landing or entrance path provided under 1.1.

### PART 3 INTERNAL DOORS & CORRIDORS

#### 3.1 Clear opening width

Internal doorways must provide a minimum clear opening width of 820 mm, measured in accordance with Figure 2.1.

Applications

Clause 3.1 only applies to a doorway that connects to, or is in the path of travel to, any of the following:

- Habitable room or laundry on the ground or entry level.
- Attached Class 10a garage or carport that forms part of an access path required by Clause 1.1.
- Sanitary compartment on the ground or entry level complying with Parts 4 and 6.
- Room containing a shower complying with Parts 5 and 6.

Information: Clear opening width

An 820 mm clear opening width, for a single swinging door, can generally be achieved using an 870 mm door leaf.

Information: Split level designs

The requirements of 3.1 do not prevent the use of split levels within the dwelling, including on the ground or entrance level. However, where a split level is used in the path of travel to one or more of the doors listed in the Application, those doors will still need to comply with 3.1.

#### 3.2 Threshold

The threshold of an internal doorway that is subject to Clause 3.1 must—

- be level; or
- have a height not more than 5 mm if the lip is rounded or bevelled; or
- have a ramped threshold that—
  - does not extend beyond the depth of the door jamb; and
  - has a gradient not steeper than 1:8; and
  - is at least as wide as the minimum clear opening width of the doorway it serves.

#### 3.3 Corridor width

Internal corridors, hallways, passageways or the like, if connected to a door that is subject to Clause 3.1, must have a minimum clear width of 1000 mm, measured between the finished surfaces of opposing walls.

Applications Clause 3.3 does not apply to a stairway that is in the path of travel to a shower complying with Parts 5 and 6 that is on a level other than the ground or entry level.

Information Skirting boards, architraves, timber mouldings, skirting tiles, door stops, conduits, general power outlets and the like may be disregarded for the purposes of compliance with Clause 3.3. Door hardware may encroach the required minimum corridor width.

### PART 4 SANITARY COMPARTMENT

#### 4.1 Location

There must be at least one sanitary compartment located on the ground or entry level of a dwelling.

Information

The term sanitary compartment refers to a room or space containing a toilet. It applies equally to any type of room or space containing a toilet, such as a bathroom, ensuite, powder room or other separate room. It is used in place of the word 'toilet' for consistency with the wording of the NCC and to avoid confusion with the use of the word 'toilet' to refer to a plumbing fixture rather than the room in which that fixture is located.

\*At least one sanitary compartment\* means that in a dwelling with two or more sanitary compartments, only one needs to be located on the ground or entry level and comply with the requirements of this Part.

#### 4.2 Circulation space

A sanitary compartment that is subject to Clause 4.1 must be constructed in accordance with the following:

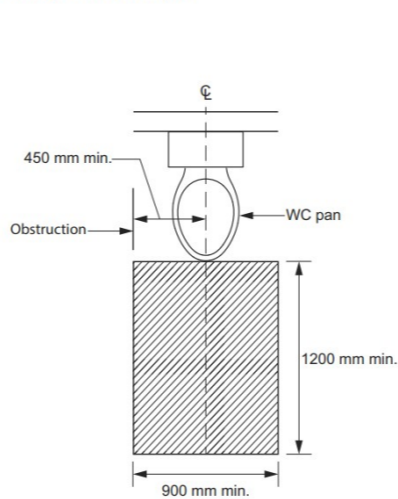
- For a toilet pan located in a separate sanitary compartment, there must be a clear width of not less than 900 mm between the finished surfaces of opposing walls either side of the toilet pan; or
- For a toilet pan located in a sanitary compartment that is combined with a bathroom, the toilet pan must be located at least 450 mm from any other fixed obstruction, such as a basin or a vanity unit.
- A clear minimum circulation space of 1200 mm by 900 mm must be provided from the front edge of the toilet pan.
- Compliance with (c) must be determined in accordance with Figure 4.2.

Applications 4.2(c) requires that a minimum circulation space of 1200 mm long by 900 mm wide clear space be provided in front of the toilet pan, and this applies for both a separate sanitary compartment and for a sanitary compartment that is combined with a bathroom. The minimum circulation space must be clear of the door swing and applies regardless of whether the door is inwards or outwards swinging or is a cavity slider.

Information: Meaning of 'circulation space'

The circulation space for a toilet pan is the clear space in front of the toilet pan, measured from the front edge of the toilet pan to the obstruction, and is to be at least 900 mm wide and 1200 mm deep.

Figure 4.2: Circulation space for a toilet pan



### PART 5 SHOWER

#### 5.1 Application

At least one shower must comply with Clause 5.2.

Information \*At least one shower\* means that in a dwelling with two or more showers, only one of the showers needs to comply with the requirements of this Part. A shower subject to this Part is not required to be located on the ground or entry level of the dwelling.

#### 5.2 Hobless and step-free entry

(1) At least one shower must have a hobless and step-free entry.

(2) A lip not more than 5 mm in height may be provided for water retention purposes.

Applications

For the purposes of 5.2, a lip meeting the requirements of 5.2(b) is not a step.

Information: Hobless and step-free Clause 5.2(1) refers to a shower entry being 'hobless' and 'step-free' because those two terms have different meanings. A shower where the floor within the shower compartment is level with the floor adjacent to its entry would be 'step-free' but could still have a hob. Conversely, a shower with a step-down into the shower recess does not have a 'hob' (i.e. 'hobless'), but would not be 'step-free'. Therefore, to achieve the intent of Clause 5.2(1), it is necessary to specify that the shower is both 'hobless' and 'step-free'.

Information: Waterproofing AS 3740 and Part 10.2 of the ABCB Housing Provisions include specific requirements for waterproofing a hobless, step-free shower area. Both are referenced in the NCC Deemed-to-Satisfy Provisions for general waterproofing of wet areas (note that Part 10.2 of the ABCB Housing Provisions only applies to Class 1 and 10 buildings).

### PART 6 REINFORCEMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

#### 6.1 Location

(1) Reinforcing in accordance with Clause 6.2 must be provided to any—

- sanitary compartment that is subject to Part 4; and
- bathroom containing a—
  - shower that is subject to Part 5; or
  - bath (if provided), other than a freestanding bath where the bath is located in a room that also contains a shower that is subject to Part 5.

(2) The requirements of (1) need not be complied with if the walls of the room are constructed of concrete, masonry or another material capable of supporting grabrails without additional reinforcement.

(3) Where the wall supporting the reinforcement includes a cavity slider, it must be designed and constructed in way to support loads imposed by reinforcement, linings and the future provision of handrails and provided for the extent required by Figures 6.2a, 6.2b, 6.2c, 6.2d, 6.2e, 6.2f and 6.2g.

Information: Intent of Part 6 The intent of this Part is to ensure that walls adjacent to toilet pans, showers and baths provide a fixing surface able to support the future installation of grabrails, if needed. This Part does not require the installation of grabrails at the time of construction. A freestanding bath is excluded from Clause 6.1(1)(b)(ii) because it does not have any adjoining walls to which grabrails could be fixed. A bath with only one adjoining wall need only have reinforcing provided in the adjoining wall (unless exempted by Clause 6.1(2)). Care is required when locating a cavity sliding door adjacent to a fixture which requires reinforcement to 6.1(1) as the framing that surrounds the cavity into which the door retracts demands careful consideration of fixings and members that will safely support a grabrail and not impede the operation of the door.

Information: Non-combustibility of walls Where noggings are required to achieve compliance with this Part, provided they do not extend further than necessary, these NOGGINGS may be installed within an external wall that is required to be non-combustible under C2D10(4)(i)(ii) of NCC Volume 1.

#### 6.2 Construction

(1) Reinforcing constructed in accordance with the requirements of (3) must be provided in the locations depicted in—

- Figures 6.2a or 6.2b for walls surrounding a bath; and
  - Figures 6.2c or 6.2d for shower walls; and
  - Figure 6.2e for a wall adjacent to and within 460 mm of the centreline of a toilet pan; and
  - Figures 6.2f or 6.2g for a wall behind a toilet pan where a wall described in (c) is not provided or a window sill or a door encroaches on the area required to be provided with reinforcing or where the toilet pan is not provided in a corner of the bathroom.
- (2) Reinforcing need only be provided across the available width of the wall where a wall referred to in (1)(a) or (b)—
- is narrower than the width of the area required to be provided with reinforcing; or
  - terminates at a window sill lower than the height or the area required to be provided with reinforcing.
- (3) Reinforcing required by (1) must be constructed using one of the following materials:
- A minimum of 12 mm thick structural grade plywood, or similar.
  - Timber noggings with a minimum thickness of 25 mm.
  - Light gauge steel framing noggings or metal plate in accordance with the NASH Standard.

Figure 6.2a: Location of noggings for walls surrounding a bath

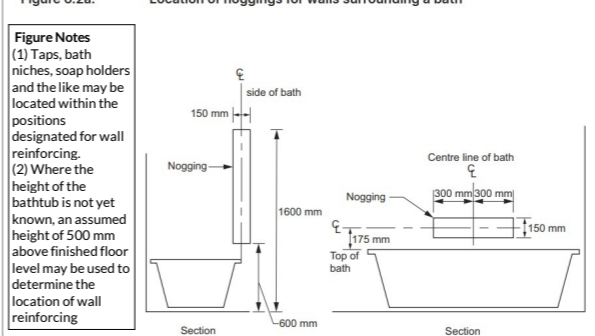


Figure 6.2b: Location of sheeting for walls surrounding a bath

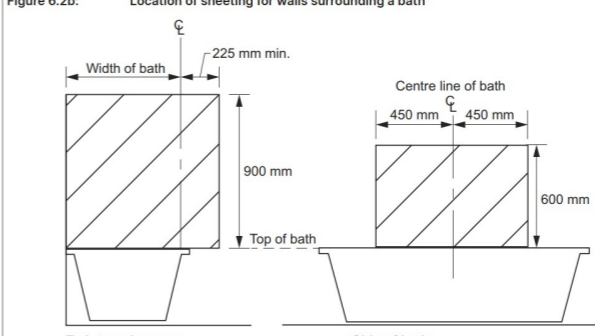


Figure Notes (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing. (2) Where the height of the bath tub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure 6.2c: Location of noggings for shower walls

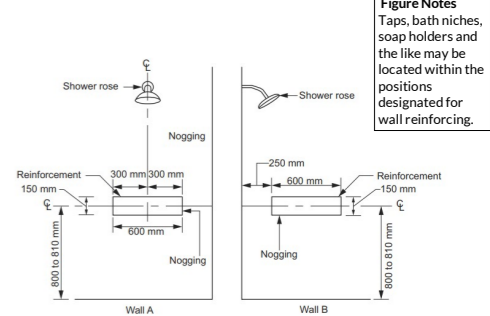


Figure 6.2d: Location of sheeting for shower walls

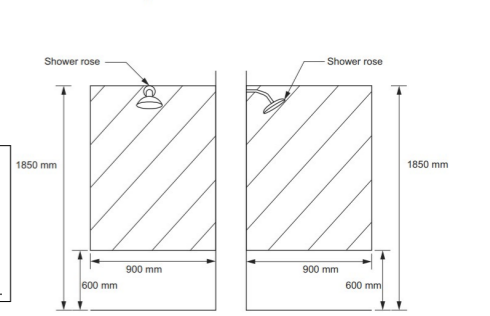


Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To:  Owner name  
 Address  
  Suburb/postcode

## Designer details:

Name:  Category:   
 Business name:  Phone No:   
 Business address:   
  Fax No:   
 Licence No:  Email address:

## Details of the proposed work:

**Owner/Applicant**  Designer's project reference No.   
**Address:**  Lot No:

**Type of work:** Building work  Plumbing work  (X all applicable)

### Description of work:

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

### Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  (X the appropriate box)

Other details:

**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers: #2492/25 Sheets 1-15	Prepared by: SM / AREI Designs	Date: 09/09/25
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:**


NCC Volume 2  
All relevant Australian Standards

**Any other relevant documentation:****Attribution as designer:**

I Natasha Wiltshire am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Natasha Wiltshire		17/09/25
Licence No:	071565667		

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**


**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

**Certification:**

I Natasha Wiltshire being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Natasha Wiltshire		17/09/25

**18/09/2025**  
**Heald Building & Construction**  
**95 Bishopsbourne Road**  
**Carrick Tas 7291**  
**Mobile 0459304444**

139 DEXTER STREET WESTBURY TAS 7303

Please find attached architectural plans, application forms and titles for planning application new dwelling 139 Dexter Street Westbury.

Crossover is in place; site has been leveled, a few small fruit trees to be removed

No major earthwork is required

KIND REGARDS  
RAY HEALD  
HEALD BUILDING & CONSTRUCTION



Reply Reply All Forward  
Tue 23/09/2025 6:54 PM

Raymond Head <ray@headbuilding.com.au>  
To: Planning - Meander Valley Council  
Cc: Matthew Head

Hi Guys

As per our phone chat driveway for 139 Dexter street is Concrete



95 Bishopsbourne Road Carrick, Tas 7291  
03 90024272 mobile 0459 304 444  
Kind Regards Ray Head