



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	Design to Live - PA\26\0091
PROPERTY ADDRESS:	1657 Birralee Road BIRRALEE (CT: 39136/4)
DEVELOPMENT:	Single dwelling & Residential outbuilding (garage) - driveway, parking area, attenuation area.

The application can be inspected until **Tuesday, 4 November 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 18 October 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="1657 BIRRALEE ROAD"/>	Certificate of Title:	<input type="text" value="39136/4"/>
Suburb:	<input type="text" value="BIRRALEE"/>	<input type="text" value="7303"/>	Lot No: <input type="text"/>
Land area:	<input type="text" value="17.94"/>	<input type="text" value="m<sup>2</sup> / ha"/>	
Present use of land/building:	<input type="text" value="VACANT"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: *(main use of proposed building – dwelling, garage, farm building, factory, office, shop)*

New floor area: m² New building height: m

Materials:	External walls:	<input type="text" value="METAL"/>	Colour:	<input type="text" value="TBC"/>
	Roof cladding:	<input type="text" value="METAL"/>	Colour:	<input type="text" value="TBC"/>

SEARCH OF TORRENS TITLE

VOLUME 39136	FOLIO 4
EDITION 4	DATE OF ISSUE 07-Oct-2025

SEARCH DATE : 14-Oct-2025

SEARCH TIME : 01.57 PM

DESCRIPTION OF LAND

Parish of SELBORNE, Land District of DEVON
 Lot 4 on Diagram [39136](#)
 Derivation : Part of Lot 9028 Granted to J. Reid
 Prior CT [41001/1](#)

SCHEDULE 1

[N266796](#) TRANSFER to LOUIS JOSEPH STONE and KRISTY LEE STONE
 Registered 07-Oct-2025 at 12.01 PM

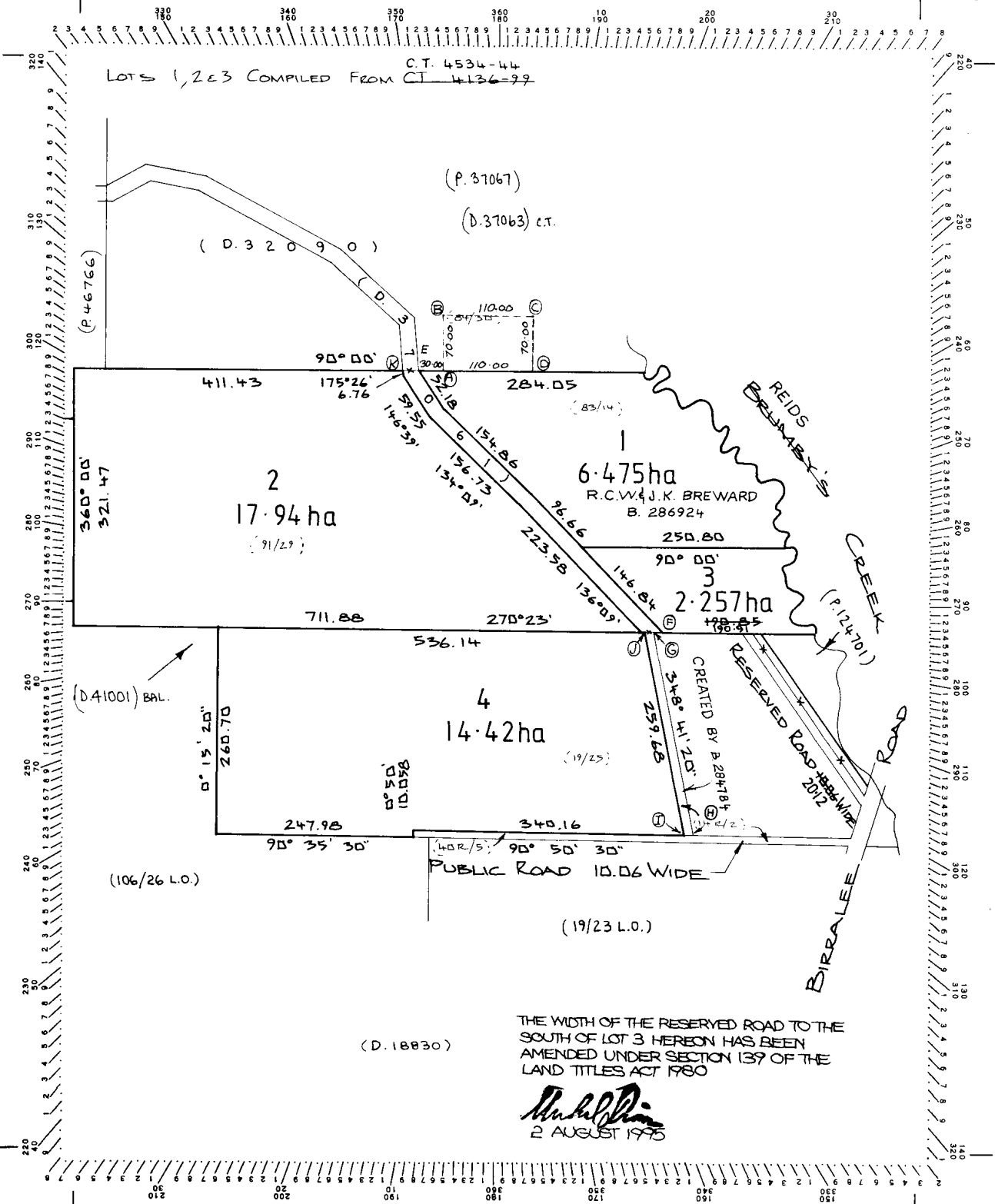
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[B187209](#) BENEFITING EASEMENT: Right of carriageway over the
 land marked G.H.I.J. on Diagram No. [39136](#)
[E428155](#) MORTGAGE to Commonwealth Bank of Australia
 Registered 07-Oct-2025 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

Owner: B.V. LOCKWOOD	PLAN OF SURVEY by Surveyor <u>M.G. JACK</u> of of land situated in the FISHER & JACK PTY LTD	Registered Number: D39136
Title Reference: CT 4534-44 4136-99	LAND DISTRICT OF DEVON PARISH OF SELBORNE	Approved Effective from:
Grantee: Lot 1437 16°00' CT TO ADA MEADOW CROFT, Lot 15512 49°32'25" CT TO ADA BULLOCK & Lot 9028 51°12' CT TO JOHN REID	SCALE 1: 5000 MEASUREMENTS IN METRES	Recorder of Titles





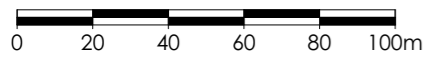
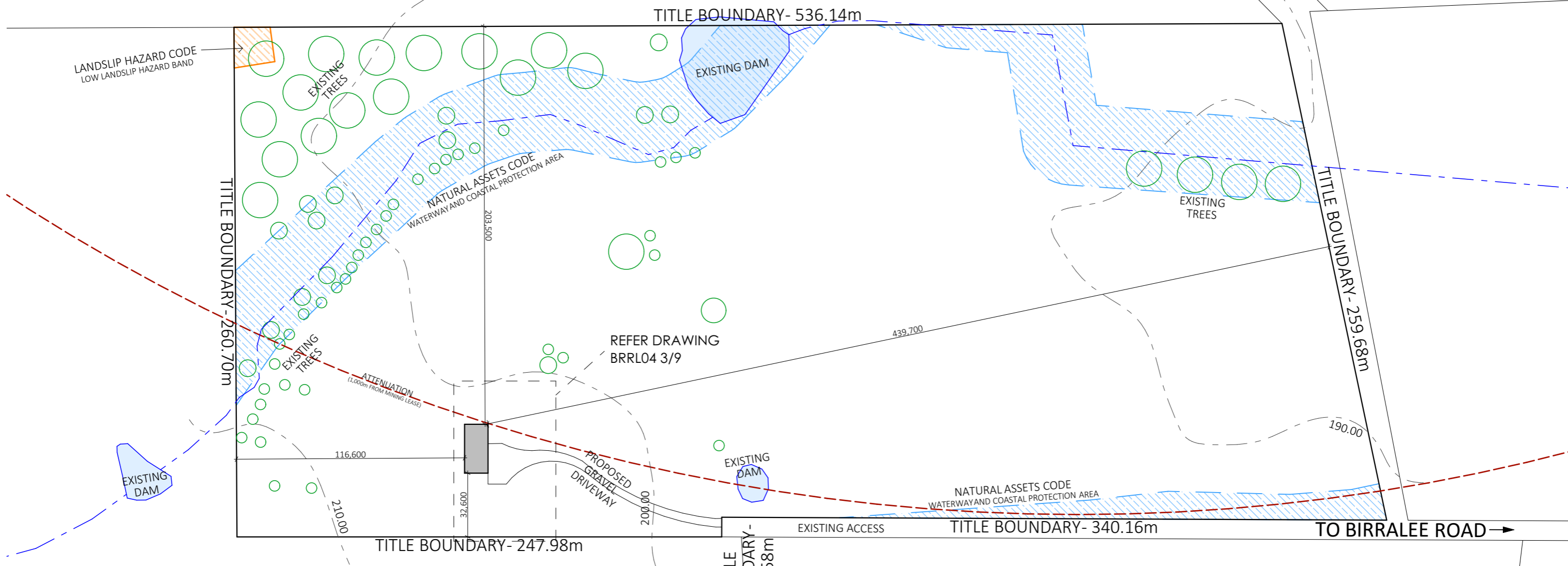
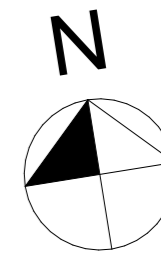
PROPOSED DWELLING
1657 BIRRALEE ROAD,
BIRRALEE, 7303.

DRAWING #	DRAWING
BRRLO4-1	COVER PAGE
BRRLO4-2	LOCATION PLAN
BRRLO4-3	SITE PLAN
BRRLO4-4	GROUND FLOOR PLAN
BRRLO4-5	FIRST FLOOR PLAN
BRRLO4-6	EXTERNAL SERVICES
BRRLO4-7	FIRST FLOOR EXTERNAL SERVICES
BRRLO4-8	ELEVATIONS NTH-STH
BRRLO4-9	ELEVATIONS EST-WST

AREAS	(m ²)	COUNCIL MEANDER VALLEY	ZONE RURAL LIVING
DWELLING	300.00	LAND TITLE REFERENCE 39136/4	ENERGY STAR RATING TBC
FIRST FLOOR	114.48	PROPERTY ID 7866309	CLIMATE ZONE 7
		LOT SIZE (ha) 14.42	ALPINE AREA N/A
		BAL RATING TBC	CORROSION ENV' TBC
		DESIGN WIND CLASS TBC	SITE HAZARDS TBC
		SOIL CLASSIFICATION TBC	
		PLANNING OVERLAY	Priority vegetation area, Waterway and coastal protection area, Bushfire-prone areas, Low landslip hazard band

ATTACHMENTS

<p>ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au</p>	<p>CLIENT/S: KRISTY & LOUIS STONE</p>	<p>DRAWING COVER PAGE</p>	<p>I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.</p> <p>SIGNATURE: DATE: SIGNATURE: DATE:</p>	<p>COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.</p>	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BRRLO4
					R1	28/07/2025	FOR D.A.	DRAWN	L.S.	DRAWING	1/9
					R2	29/09/2025	FOR D.A.	CHECKED	M.L.	SCALE (@A3)	NTS




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CLIENT/S:
 KRISTY & LOUIS STONE

SITE ADDRESS:
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 BIRRALEE, 7303.

**DRAWING
 LOCATION
 PLAN**

I/WE APPROVE THESE DRAWING TO BE
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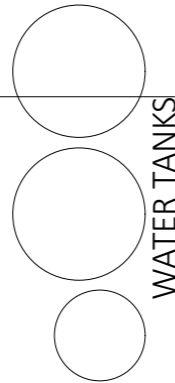
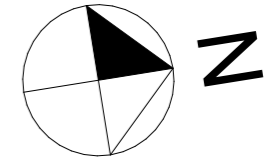
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R1	28/07/2025	FOR D.A.				
R2	29/09/2025	FOR D.A.				
			DRAWN	L.S.	DRAWING	2/9
			CHECKED	M.L.	SCALE (@A3)	1:2000

TITLE BOUNDARY - 247.98m

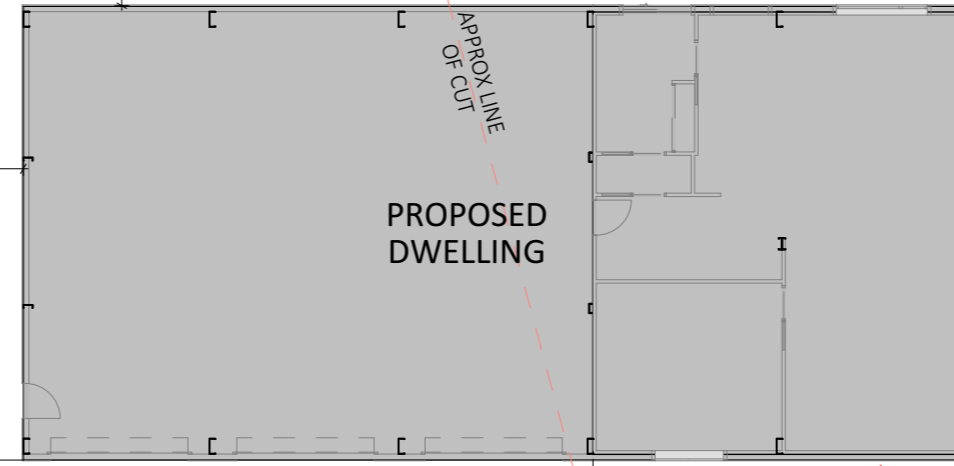
32,600

116,600
TO BOUNDARY

NOTE:
MAX 1m CUT AND FILL TO CREATE LEVEL
PAD FOR DWELLING CONSTRUCTION



APPROX LINE
OF CUT



**PROPOSED
DWELLING**

APPROX
AREA OF FILL

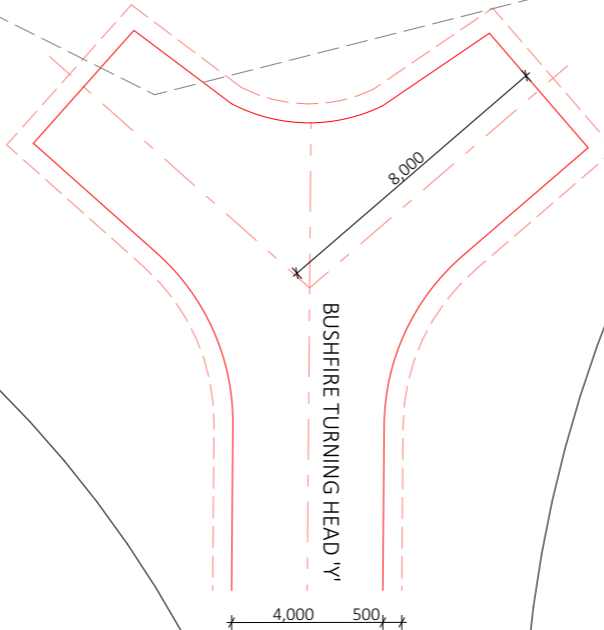
203,500
TO BOUNDARY

200,00



ADDRESS OF WORKS
1657 BIRRALEE ROAD,
BIRRALEE

LOCALITY PLAN
NOT TO SCALE



PROPOSED
GRAVEL
DRIVEWAY

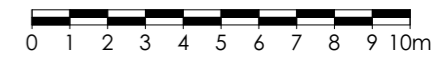


WASTE WATER SYSTEM
SEE SPECIALIST REPORT- TBC

IRRIGATION/
RESERVE BED
SEE SPECIALIST
REPORT- TBC
350.00 m²

439,700
TO BOUNDARY

AREA	m²
DWELLING	300.00
FIRST FLOOR	114.48



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CLIENT/S:
KRISTY & LOUIS STONE

SITE ADDRESS:
1657 BIRRALEE ROAD,
BIRRALEE, 7303.

**DRAWING
SITE PLAN**

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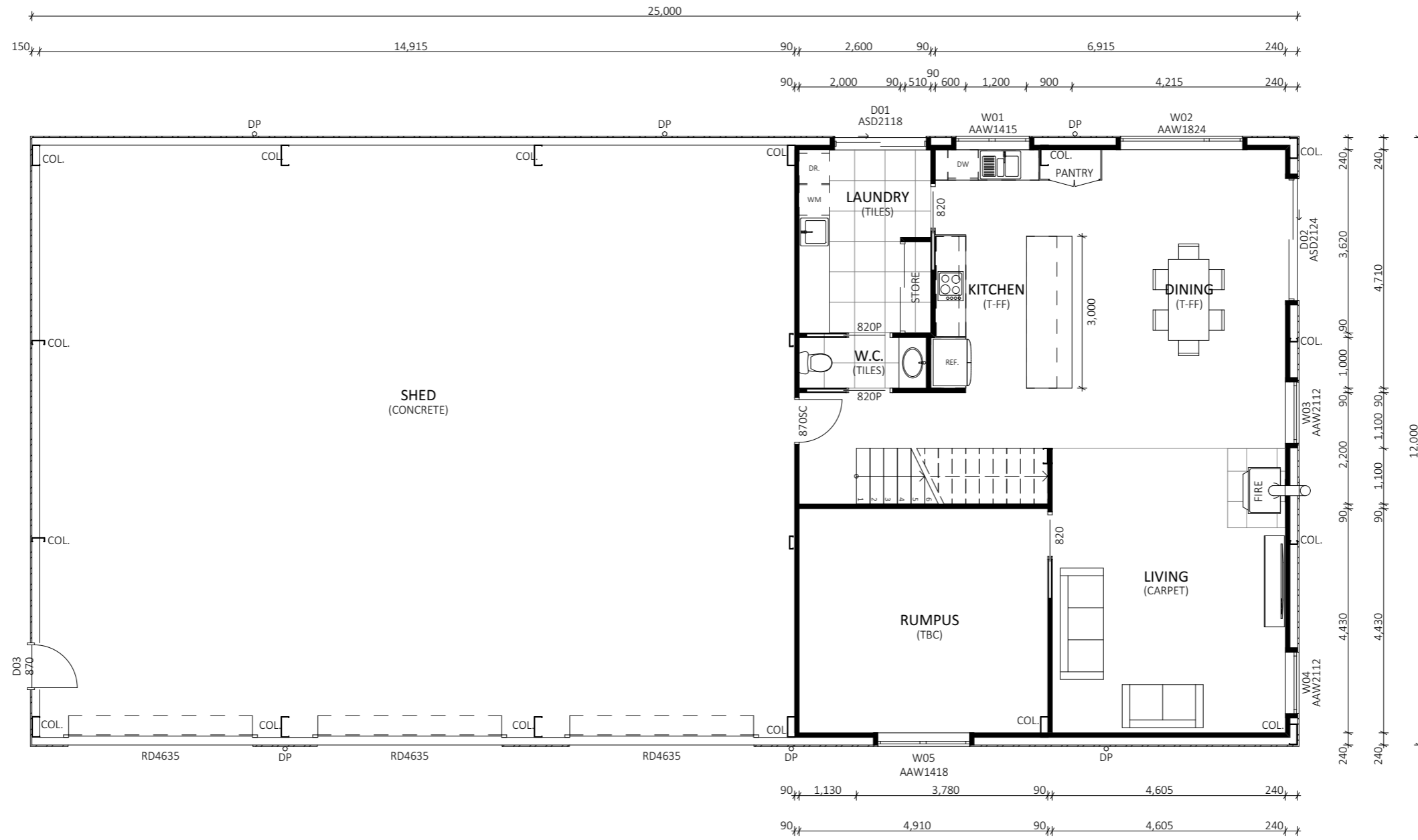
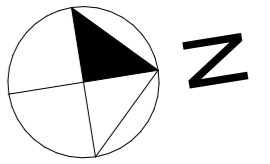
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	BRRLO4
R1	28/07/2025	FOR D.A.				
R2	29/09/2025	FOR D.A.				
			DRAWN	L.S.	DRAWING	3/9
			CHECKED	M.L.	SCALE (@A3)	1:200



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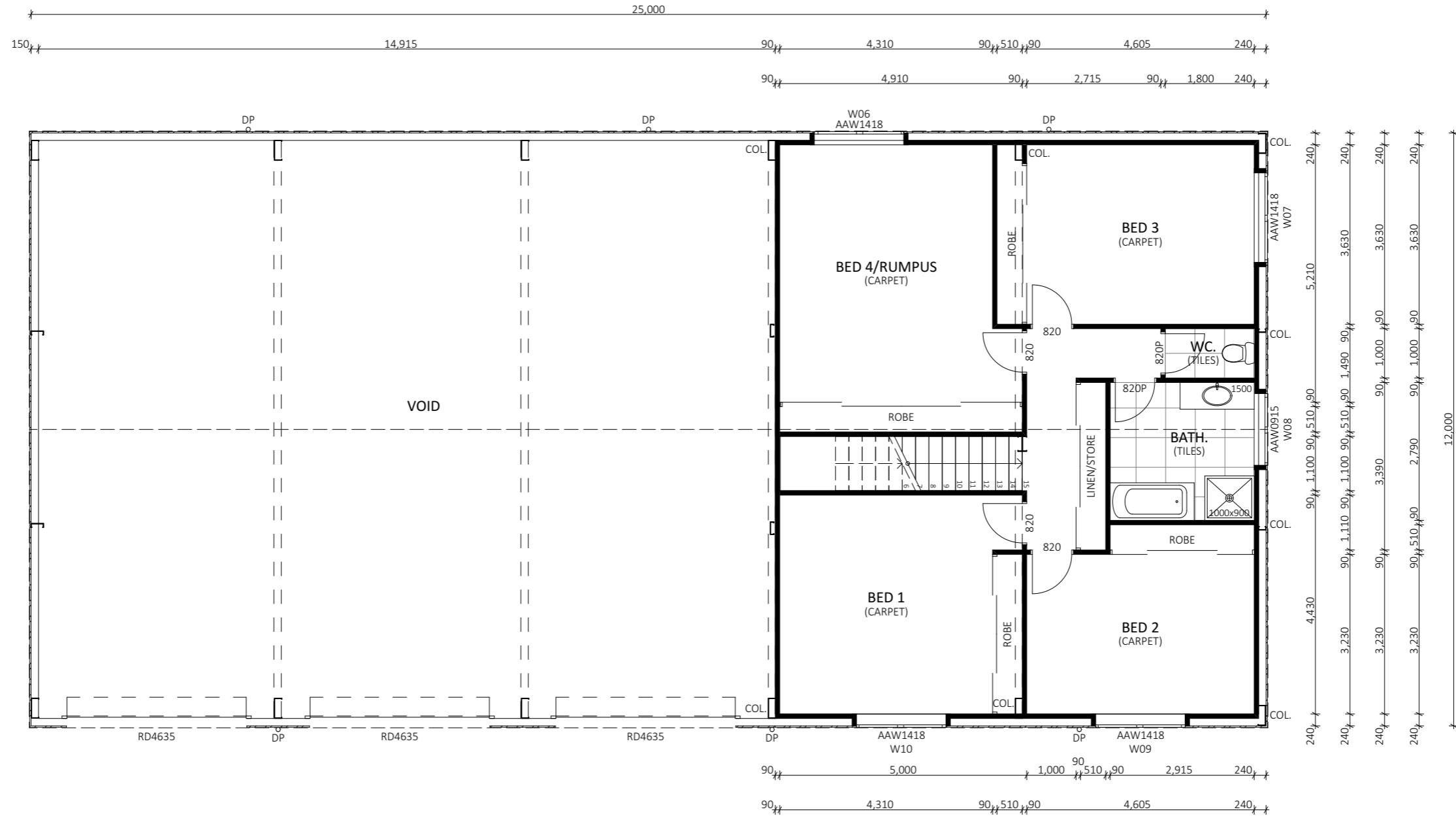
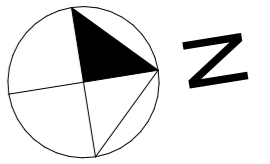
**DRAWING
 GROUND
 FLOOR PLAN**

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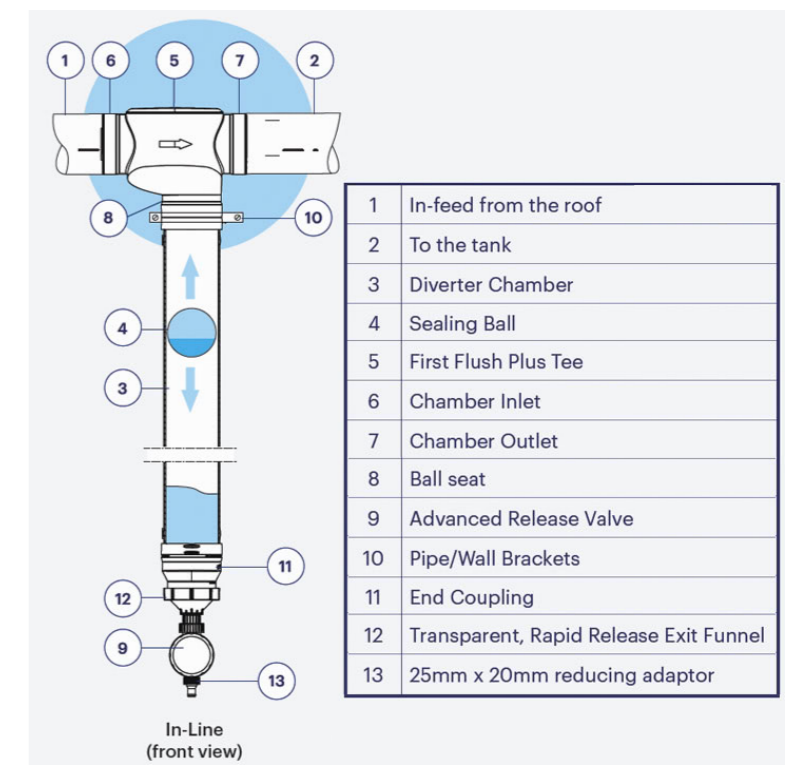
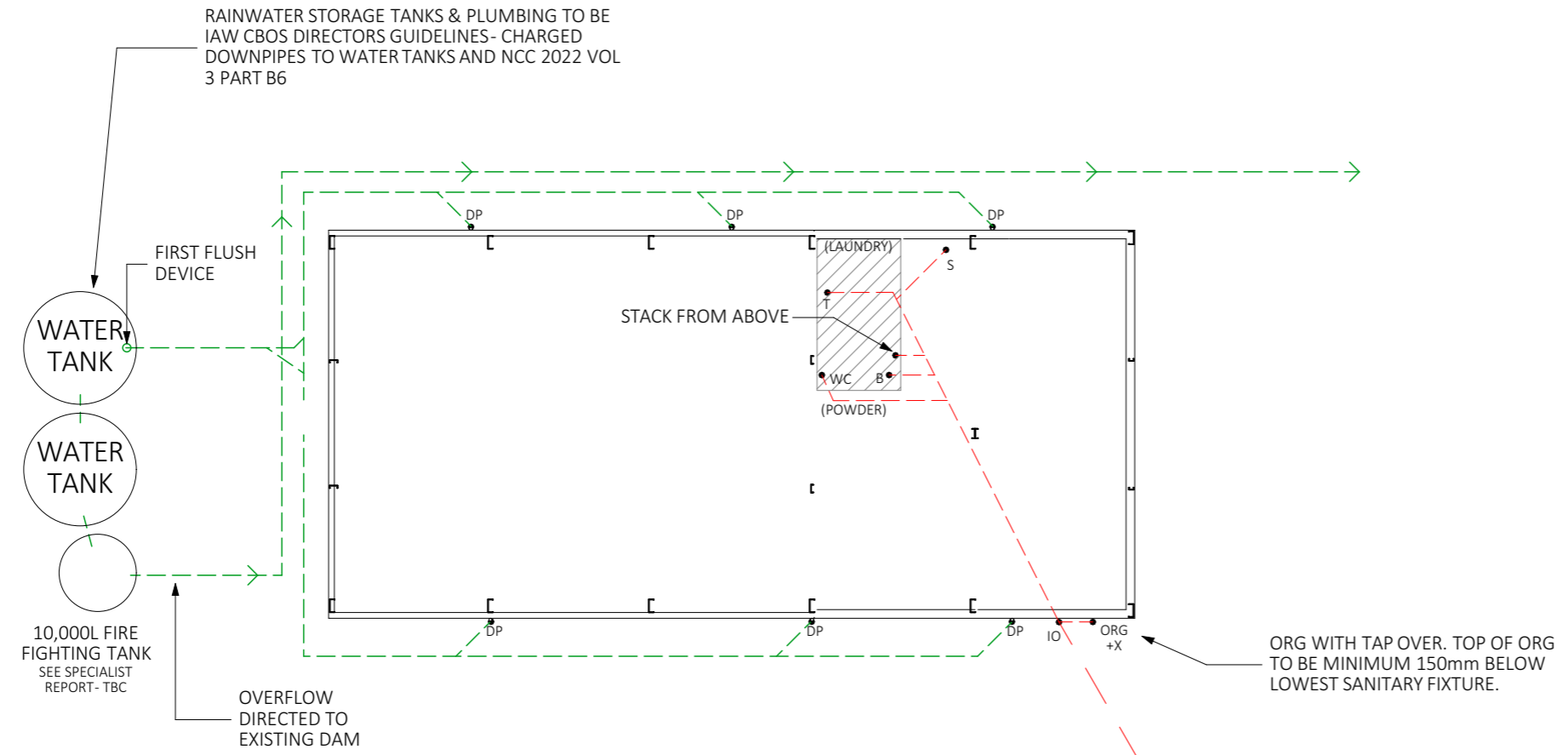
DRAWING
FIRST FLOOR
PLAN

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			CHECKED	M.L.	SCALE (@A3)	1:100




FIRST FLUSH DEVICE

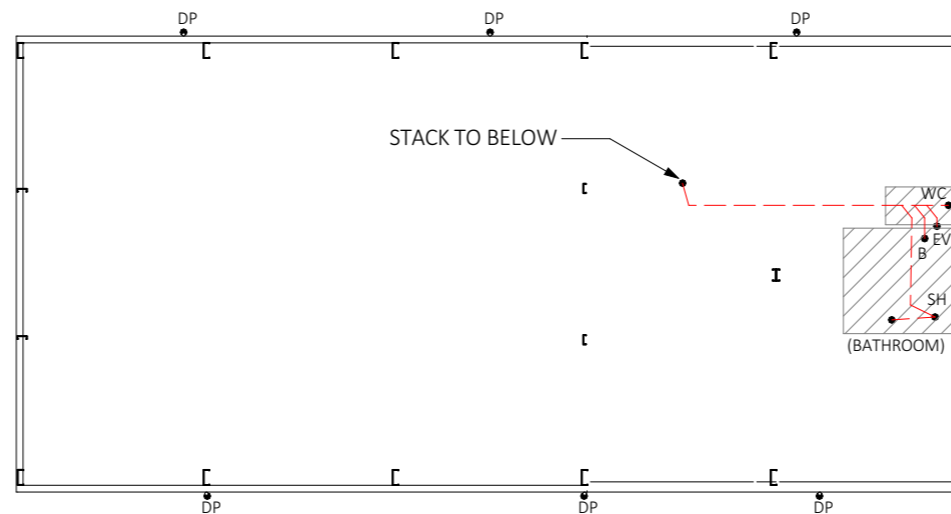


REFER TO FIRST FLOOR
EXTERNAL SERVICES PLAN FOR
NOTES AND LEGEND

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.

LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
WC	WATER CLOSET
FW	FLOOR WASTE
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
ORG	O/FLOW RELIEF GULLY
RE	RODDING EYE
X	EXTERNAL TAP
P	DRAINAGE PIT (450 x 450mm)
DP	DOWNPIPE (90Ø)
	WET AREAS
	STORMWATER LINE (100mm PVC)
	SEWER LINE (100mm PVC)
	AG. DRAIN

THIS PAGE IS TO BE PRINTED AND READ IN COLOUR.



NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
 A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
 B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
 C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

1. INTERNAL PIPING

- a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
 - i) WITHIN AN UNVENTILATED WALL SPACE
 - ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
 - iii) BETWEEN CEILING INSULATION AND A CEILING
 MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.



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 BIRRALEE, 7303.

DRAWING
FIRST FLOOR
EXTERNAL
SERVICES

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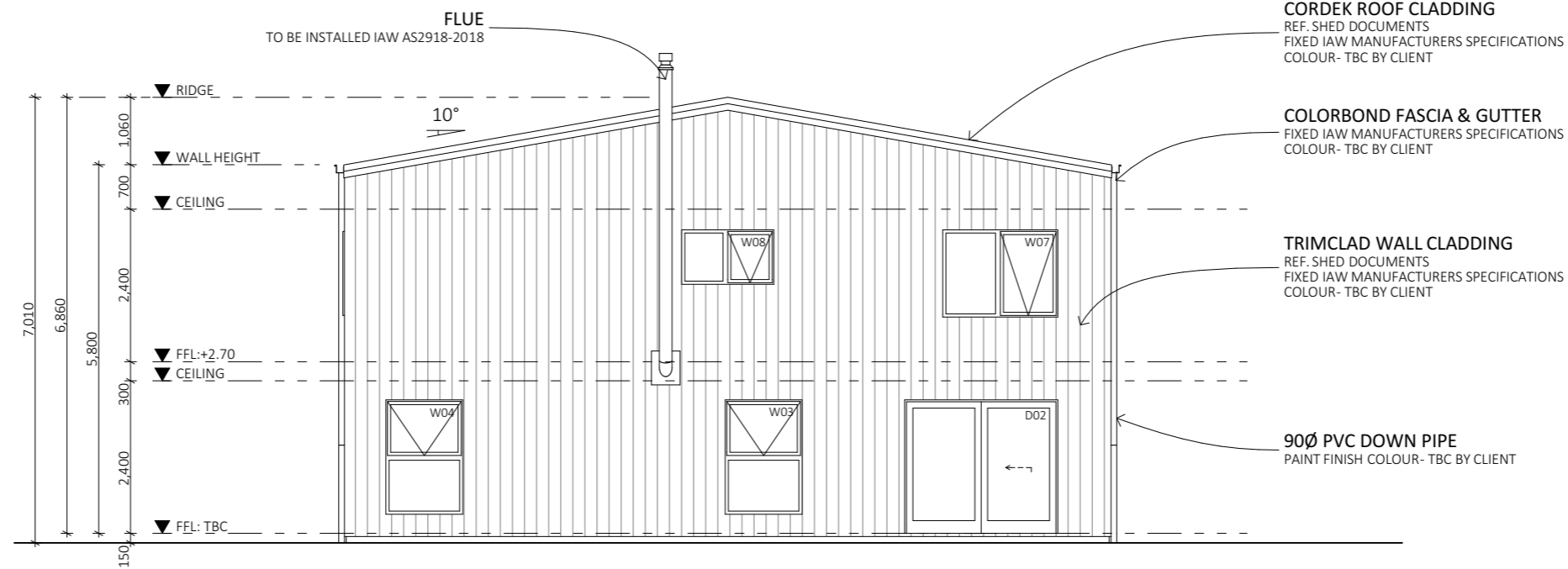
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DATE:
DATE:

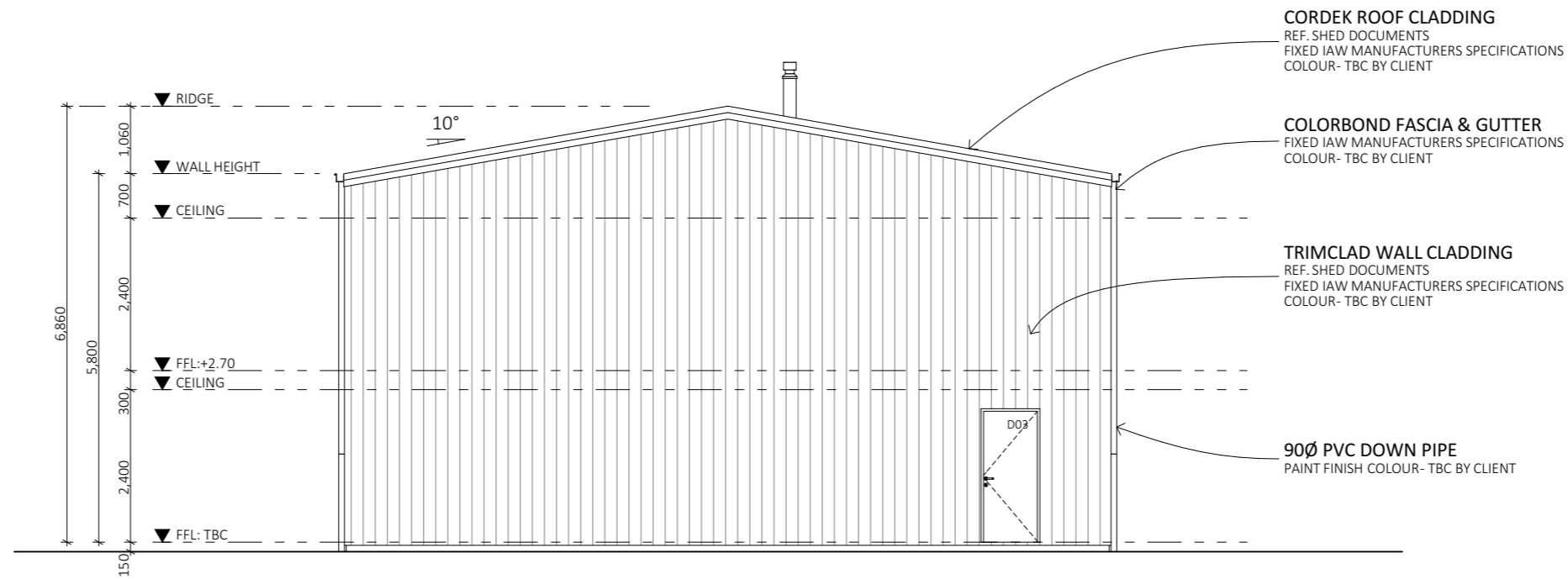
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			DRAWN	L.S.	DRAWING	7/9
			CHECKED	M.L.	SCALE (@A3)	1:200



NORTH ELEVATION



SOUTH ELEVATION



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BIRRALEE, 7303.

**DRAWING
ELEVATIONS
NTH-STH**

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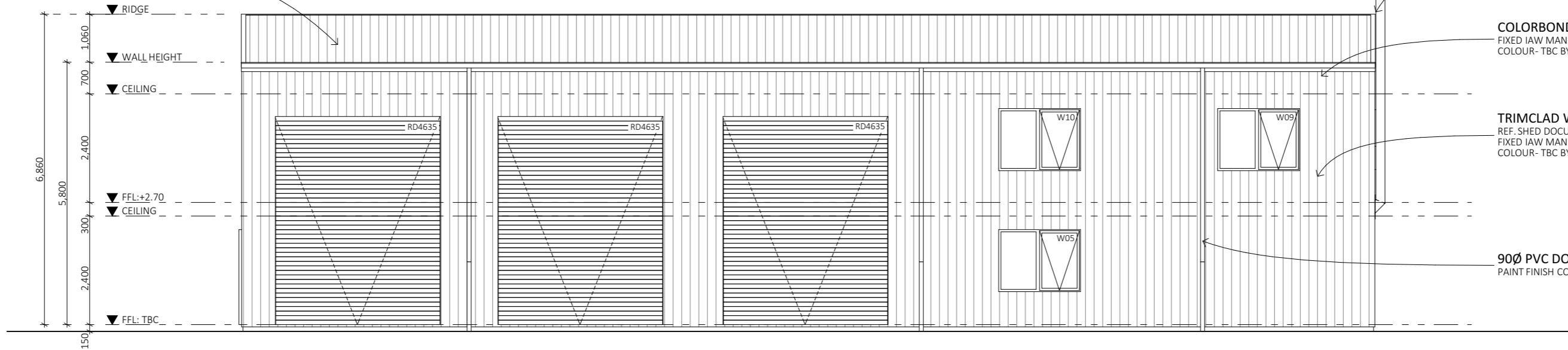
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R2	29/09/2025	FOR D.A.				
			CHECKED	M.L.	SCALE (@A3)	1:100

CORDEK ROOF CLADDING
 REF. SHED DOCUMENTS
 FIXED IAW MANUFACTURERS SPECIFICATIONS
 COLOUR- TBC BY CLIENT



FLUE
 TO BE INSTALLED IAW AS2918-2018

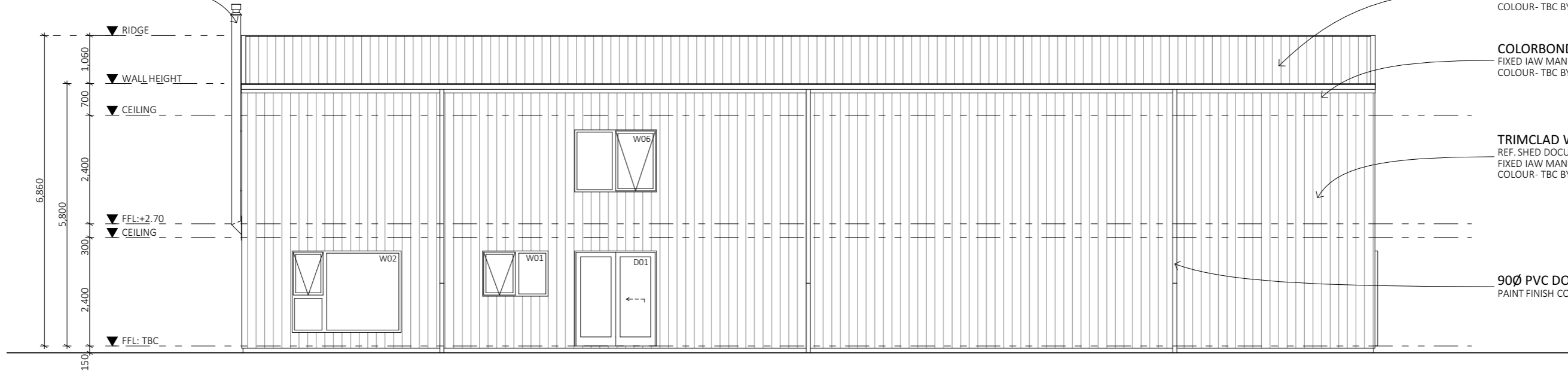
COLORBOND FASCIA & GUTTER
 FIXED IAW MANUFACTURERS SPECIFICATIONS
 COLOUR- TBC BY CLIENT

TRIMCLAD WALL CLADDING
 REF. SHED DOCUMENTS
 FIXED IAW MANUFACTURERS SPECIFICATIONS
 COLOUR- TBC BY CLIENT

90° PVC DOWN PIPE
 PAINT FINISH COLOUR- TBC BY CLIENT

EASTERN ELEVATION

FLUE
 TO BE INSTALLED IAW AS2918-2018



CORDEK ROOF CLADDING
 REF. SHED DOCUMENTS
 FIXED IAW MANUFACTURERS SPECIFICATIONS
 COLOUR- TBC BY CLIENT

COLORBOND FASCIA & GUTTER
 FIXED IAW MANUFACTURERS SPECIFICATIONS
 COLOUR- TBC BY CLIENT

TRIMCLAD WALL CLADDING
 REF. SHED DOCUMENTS
 FIXED IAW MANUFACTURERS SPECIFICATIONS
 COLOUR- TBC BY CLIENT

90° PVC DOWN PIPE
 PAINT FINISH COLOUR- TBC BY CLIENT

WESTERN ELEVATION



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 BIRRALEE, 7303.

DRAWING ELEVATIONS
 EST-WST

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

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SIGNATURE:

DATE:
DATE:

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			CHECKED	M.L.	SCALE (@A3)	1:100

10 September 2025

Mr Lyndon Stubbs
Graduate Architect
Design to Live
202 Wellington Street
South Launceston TAS 7250

Located nationally —
Melbourne
Sydney
Brisbane
Hobart
Launceston
Newcastle
Devonport

Dear Lyndon



Re: 1657 Birralelee Road – Noise Assessment

This noise assessment has been prepared to support a development application for a residential dwelling at 1657 Birralelee Road, Birralelee. The assessment is required as the property is partially inside the attenuation area for the Birralelee Quarry operated by DB Commercial Holdings Pty Ltd at 1751 Birralelee Road and Ginns Road, covered by mining leases 1219P/M, 1220P/M and 1960P/M.

The land around (and including) the proposed dwelling is zoned a mixture of “Rural Living” and “Rural” under the *Tasmanian Planning Scheme*. The area contains a number of existing residential dwellings within the quarry’s attenuation area. The location of the quarry, the proposed dwelling and the attenuation area are shown in Figure 1, below.

1. Planning Scheme Criteria

The purpose of the Attenuation Code, Clause C9 of the *Tasmanian Planning Scheme – Meander Valley* is to minimise adverse impacts on the health, safety and amenity of existing sensitive uses (such as residences) from new activities which have the potential to cause emissions, and to minimise the likelihood for new sensitive uses to constrain the operation of existing activities which have the potential to cause emissions.

Table C9.1 of the Code outlines attenuation distances for a number of activities that may impact on sensitive uses and descriptions of relevant emissions. It provides an attenuation distance of 1000 metres for Level 2 quarries and extractive pits which undertake blasting, due to the potential to cause noise, vibration and dust emissions.

Clause C9.5.2 provides performance criteria for sensitive uses proposed within an attenuation area, as reproduced below.

Objective: That a sensitive use located within an attenuation area does not interfere with or constrain the operation of an existing activity listed in Tables C9.1 or C9.2.	
Acceptable Solution	Performance Criteria
A1 No Acceptable Solution	P1 Sensitive use within an attenuation area, must not interfere with or constrain an existing activity listed in Tables C9.1 or C9.2, having regard to: a) the nature of the activity with potential to cause emissions including: i. operational characteristics of the activity; ii. scale and intensity of the activity; and iii. degree of hazard or pollution that may be emitted from the activity; b) the nature of the sensitive use; c) the extent of encroachment by the sensitive use into the attenuation area; d) measures in the design, layout and construction of the development for the sensitive use to eliminate, mitigate or manage effects of emissions of the activity; e) any advice from the Director, Environment Protection Authority; and f) any advice from the Director of Mines.

As the proposed dwelling is within the attenuation area of the quarry, the acceptable solution A1 is not met and the Performance Criteria P1 must be satisfied.

In regard to Performance Criteria P1 (a) – (e), as a Level 2 activity, the quarry and its activities, including limits for noise emissions and blasting practises, are regulated by the Tasmanian EPA, through Environmental Protection Notice 9366/R1 (the EPN). Clauses in the EPN relating to noise and blasting are consistent with the *Tasmanian Quarry Code of Practise*, which satisfies point (f).

2. Noise Emissions

Section N1 of the EPN provides the following noise limits: Noise emissions from the activity when measured at any noise sensitive premises in other ownership must not exceed:

- An $L_{Aeq,10 \text{ minute}}$ of 45 dB(A) between 7am and 7pm; and
- An $L_{Aeq,10 \text{ minute}}$ of 35 dB(A) between 7pm and 7am

An $L_{Aeq,10 \text{ minute}}$ is the average noise level over a 10 minute period. The processing equipment on the quarry is not permitted to operate outside the hours of 7am to 7pm on weekdays and 8am to 4pm on Saturdays on statewide public holidays.

Several existing residential dwellings are much closer to the quarry than the proposed dwelling, which is 905 metres away from the boundary of the quarry. The closest existing house is approximately 327 metres from the boundary of the quarry. The noise limits from section N1 of the EPN apply at these existing residences. As a result, the noise levels at the proposed new dwelling, will be significantly lower. If the day-time noise limit of 45 dB(A) is reached at the closest residence to the quarry, the predicted noise level at 1657 Birralelee Road will only be 36.2 dB(A), taking into account noise attenuation due to distance. Note this is a simplified calculation that does not include additional effects such as shielding by topography etc.

3. Blasting

Section B3 of the EPN provides the below limits for air blast over pressure and ground vibrations for blasts undertaken at the quarry:

- Air blast Overpressure must not exceed 115 dBL for 95% of blasts.
- Ground vibration must not exceed 5 mm/s peak particle velocity for 95% of blasts

Similarly to the assessment of noise emissions above, the quarry is required to comply with these limits to blasting effects at the nearest residence and hence will meet the required limits at the proposed dwelling, which is further away.

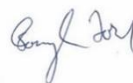
4. Conclusion

On the basis of the assessment, the proposed residential dwelling at 1657 Birralelee Road will not suffer from unsatisfactory amenity due to noise or ground vibration from the Birralelee Quarry. Construction of the residence will not constrain or impact on the operations of the Birralelee Quarry. As such the proposed dwelling satisfies the conditions of Clause C9.5.2 Performance Criteria P1 of the *Tasmanian Planning Scheme – Meander Valley*.

Yours sincerely,



Alexander Seen
Mechanical Engineer/Noise Specialist



Douglas Ford
Principal Mechanical Engineer/Noise Specialist

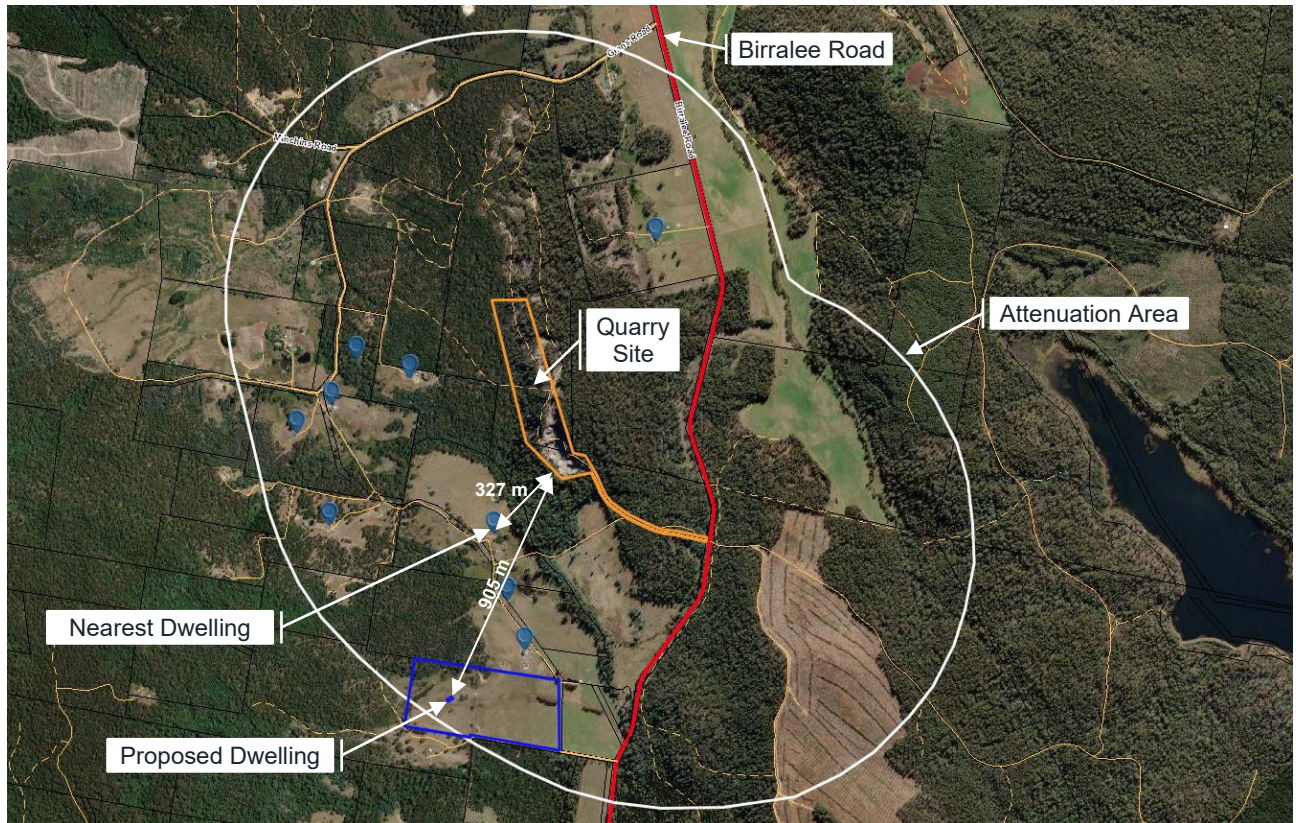


Figure 1: Aerial image of 1657 Birralelee Road and surrounding area. Existing residences noted with blue pins. Source: theList.

Authors' Qualifications

Alexander Seen (Bachelor of Marine and Offshore Engineering, Australian Maritime College)

Alex has four years' experience undertaking noise measurements, noise modelling and writing noise assessments. Under the supervision of Douglas Ford, he has completed a wide range of projects including assessments for a number of different industrial and commercial developments, residential subdivisions and road upgrades.

Douglas Ford (Bachelor of Engineering (Mechanical), University of Queensland, MIEAust, CPEng, RPEQ)

Doug has over 35 years' mechanical engineering experience working in design, technical support, research, maintenance and project management roles. He has 15 year's experience in the area of writing noise assessments in support of planning permit applications in Tasmania, industrial and traffic noise modelling and the design of noise attenuation measures for industrial and commercial building applications. He has appeared as an expert witness before the Tasmanian Civil and Administrative Tribunal on a number of occasions and submitted numerous assessment reports to the Tasmanian EPA. He also has significant experience modelling and assessing other emissions including dust, odour, airborne chemical pollutants, and nuisance lighting.



Mail: 202 Wellington Street, South Launceston 7249 29 September 2025
A.B.N: 71 615 812 747
Phone: 6344 7319
Email: info@designtolive.com.au

Planning Application Cover Letter

Development: Proposed Dwelling

Owner: Kristy and Louis Stone

Address: 1657 Birralee Road, Birralee

Council: Meander Valley

Zone: Rural Living

Please find below further information for the proposed Development at the above address.

Response to Clause C2.6.1 – Performance Criteria

The proposed development at 1657 Birralee Road, Birralee (14.42 hectares) does not comply with the acceptable solution for on-site car parking provision. However, it is considered to meet the performance criteria under Clause C2.6.1 for the following reasons:

- **Local Context and Property Size:** It is common for large rural properties in the Birralee area to have limited formal parking infrastructure, relying instead on ample space within the property boundary to accommodate vehicles. The subject site, being 17.94 hectares, provides more than sufficient area for informal parking without impacting traffic safety or surrounding amenity.
- **Accessibility and Demand:** The rural nature of the site and its low-density surroundings reduce the demand for high-volume parking. The development is expected to generate minimal traffic and will not place undue pressure on the local road network.
- **Alternative Transport Options:** While public transport options are limited in rural areas, the development supports sustainable transport through internal access provisions and the potential for shared travel arrangements.
- **Impact on Surrounding Area:** The proposed parking arrangement will not result in unreasonable impacts on the surrounding road network. The site's size and layout allow for safe vehicle movement and parking without compromising the function or safety of Birralee Road.
- **Design and Functionality:** The development ensures that any parking provided is functional, accessible, and integrated into the overall site design, consistent with the rural character of the area.

This response demonstrates that the development satisfies the intent of the performance criteria and supports the broader planning objectives of sustainable transport, rural land use efficiency, and traffic safety

Regards,
Lyndon Stubbs
(BEnvDes, MArch)