



Meander Valley Council
Working Together

PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	A Dykman - PA\26\0092
PROPERTY ADDRESS:	5 Rickman Street DELORAINE (CT: 185911/3)
DEVELOPMENT:	Single dwelling – discretionary use, setback, siting of parking area.

The application can be inspected until **Tuesday, 4 November 2025**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 18 October 2025.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="5 Rickman St"/>	Certificate of Title:	<input type="text" value="185911"/>
Suburb:	<input type="text" value="Deloraine"/>	Lot No:	<input type="text" value="3"/>
Land area:	<input type="text" value="754"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Vacant Land"/>	<small>(vacant, residential, rural, industrial, commercial or forestry)</small>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

Indicate by ✓ box

<input checked="" type="checkbox"/> Building work	<input type="checkbox"/> Change of use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Demolition
<input type="checkbox"/> Forestry	<input type="checkbox"/> Other		

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 185911	FOLIO 3
EDITION 2	DATE OF ISSUE 25-Jul-2025

SEARCH DATE : 16-Oct-2025

SEARCH TIME : 08.45 AM

DESCRIPTION OF LAND

Parish of CALSTOCK Land District of WESTMORLAND

Lot 3 on Sealed Plan [185911](#)

Derivation : Part of Lot 277, 510 Acres Gtd. to Pearson Foote.

Prior CT [22170/1](#)

SCHEDULE 1

[N270658](#) TRANSFER to CLAIRE RAE DYKMAN and AIDAN DYKMAN
Registered 25-Jul-2025 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP185911](#) FENCING PROVISION in Schedule of Easements

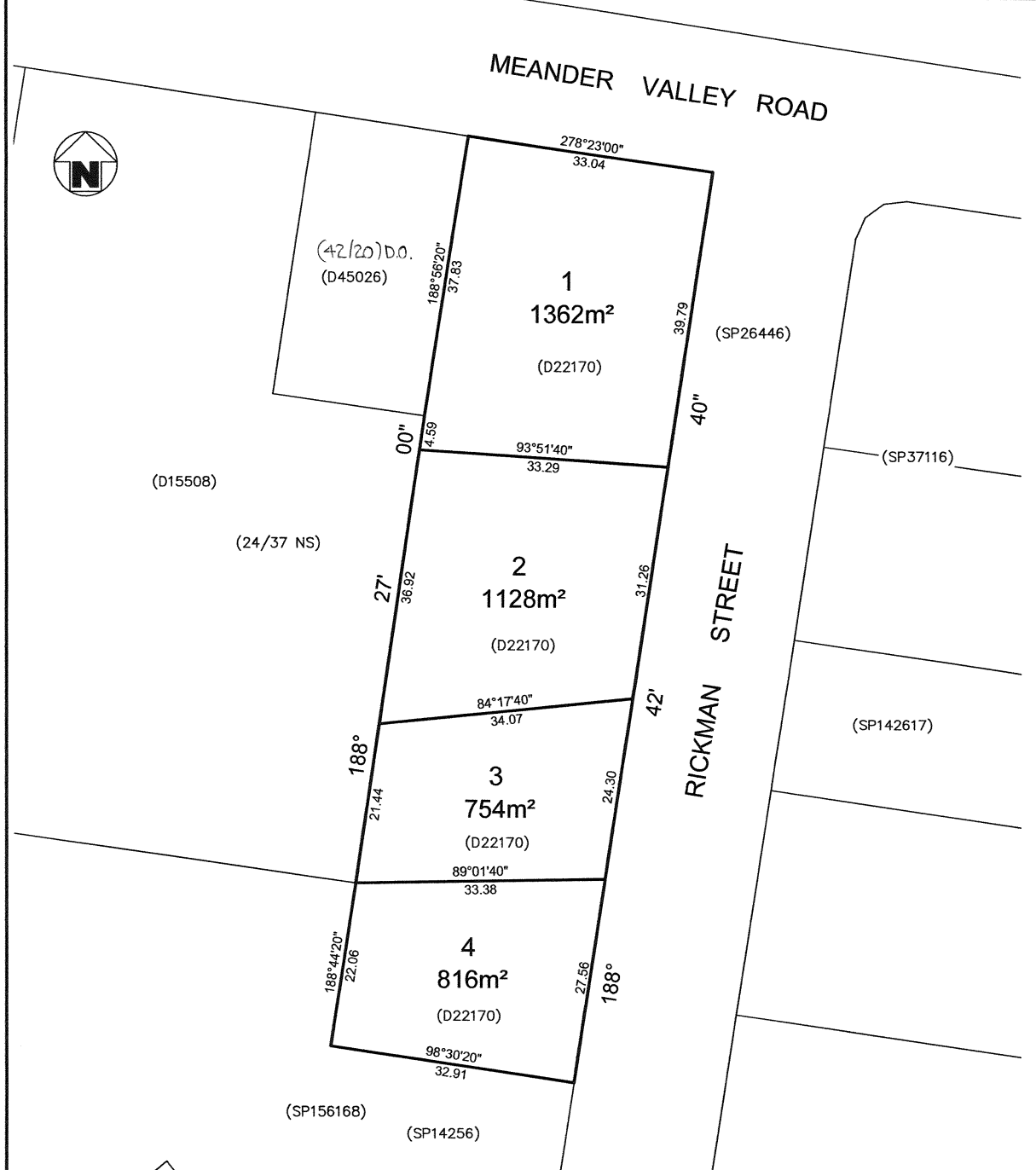
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

"PRIORITY FINAL PLAN"

<p>OWNERS: PAULINE ANN KEARON</p> <p>FOLIO REFERENCE FR 22170/1</p> <p>GRANTEE Part of Lot 277 Gtd. to Pearson Foote.</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR D.P. TOMPKINS</p> <p>LOCATION Land District of WESTMORLAND Parish of CALSTOCK</p> <p>SCALE 1:500 LENGTHS IN METRES</p> <p>SURVEY & ALIGNMENT SERVICES</p>	<p>REGISTERED NUMBER SP185911</p> <p>APPROVED EFFECTIVE FROM 20 OCT 2023 <i>Renn</i> Recorder of Titles</p>
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



[Signature]
 REGISTERED LAND SURVEYOR DATE 4/05/2023

[Signature]
 COUNCIL DELEGATE DATE 14/09/23

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185911

PAGE 1 OF 1 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

FENCING PROVISION

In respect of each Lot on the Plan

The Vendor Pauline Ann Kearon shall not be required to fence.

SIGNED by **PAULINE ANN KEARON** as registered proprietor of the property comprised in Folio of the Register Volume 22170 Folio 1 in the presence of:

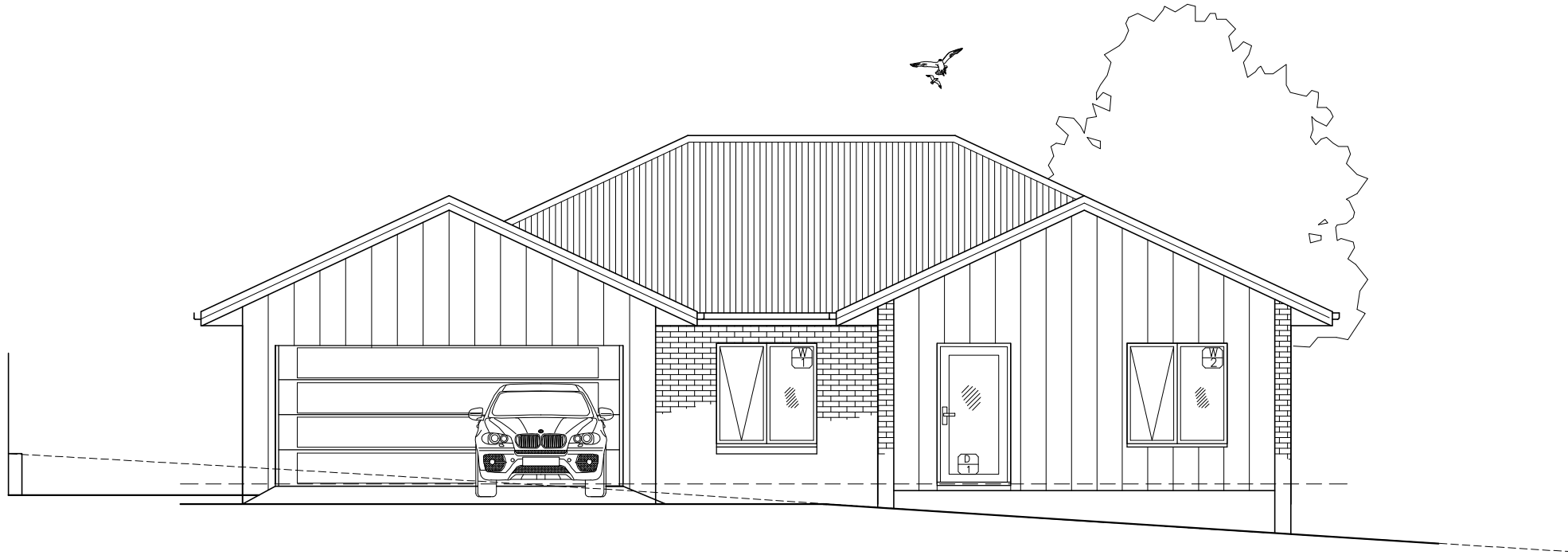
(witness signature) <i>[Signature]</i> (witness full name) <i>SOPHIE CLARE GREENACRE</i> (witness occupation) <i>LAWYER</i> (witness address) <i>113 Cimitiere St, Launceston TAS 7250</i>	<i>[Signature]</i> Pauline Ann Kearon
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(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Pauline Ann Kearon FOLIO REF: 22170/1 SOLICITOR & REFERENCE: S Greenacre – Rae & Partners Lawyers	PLAN SEALED BY: MEANDER VALLEY COUNCIL DATE: <i>14/09/2023</i> REF NO. <i>PA/22/0231</i>
<i>[Signature]</i> Council Delegate	
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

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• THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC Vol.2) AND ALL REQUIREMENTS OF LOCAL AUTHORITIES.
 • USE ONLY FIGURED DIMENSIONS. DO NOT SCALE.
 • NO WORK SHOULD COMMENCE UNTIL LOCAL AUTHORITIES HAVE APPROVED THE BUILDING APPLICATION. THE DESIGNER DOES NOT ACCEPT ANY RESPONSIBILITY FOR MISCONSTRUCTION OR INTERPRETATION. ALL WORK SHOULD BE IN CONJUNCTION WITH ANY STRUCTURAL ENGINEERS CERTIFICATES.
 • CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.



DRAWING SCHEDULE

- A01 - COVER PAGE
- A02 - SITE / SERVICES PLAN
- A03 - FLOOR PLAN
- A04 - ELEVATIONS
- A05 - SECTION
- A06 - SLAB LAYOUT
- A07 - WINDOW/ DOOR SCHEDULE
- A08 - ROOF PLAN
- A09 - ROOF FRAMING PLAN
- A10 - REFLECTED CEILING PLAN
- A11 - PLUMBING/ DRAINAGE PLAN
- A12 - WET AREA DETAILS 1
- A13 - WET AREA DETAILS 2
- A14 - SHED DETAILS

ATTACHMENTS

- ENERGY RATING ASSESSMENT
- ENGINEERS DRAWINGS AND SPECIFICATIONS
- SOIL REPORT

A & C DYKMAN
PROPOSED NEW RESIDENCE
5 RICKMAN STREET
DELORAIN 7304

Job Number: 25DYK1
 Issue : **A3** – For All Approval and Tenders
 Meander Valley Council

Site Information

Land Title Reference:	185911/3	Certificate folio and volume
Property ID:	9017118	
Wind Classification:	tbc	Attached Site Classification to AS 4055–2006
Soil Classification:	tbc	Attached Site Classification to AS 2870–2011
Climate Zone:	7	www.abcb.gov.au map
BAL Level	N/A	Proposed dwelling constructed in an existing built up residential area. The surrounding 100m is a combination of existing residences, non-vegetated areas including roads, footpaths and buildings and low threat vegetation including managed grassland and maintained lawns.
Alpine Area:	NA	NCC Vol.2 2022 Schedule1 Glossary Fig. 3 and Table 2
Corrosion Environment:	NA	For steel subject to the influence of salt water, breaking surf or heavy industrial areas, refer to NCC Vol.2 2022 section 6.3.9 & AS 4100. Cladding and fixings to manufacturer’s specifications.
Other Hazards:	NA	High wind, earthquake, flooding, landslides, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice or other relevant factors
Enclosed Living Area:	225.4 sq.m	
Alfresco & Porch Area:	22.3 sq.m	

Mark Evans
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 11 Balfour Place
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MDE Building Designs
 Accred No. CC1629 D
 ABN 62650579624

ISSUE:	DATE:	DESCRIPTION:
A1	SEP. 2025	FOR ALL APPROVALS AND TENDERS
A2	SEP. 2025	ADDITION OF SHED DETAILS
A3	OCT. 2025	FIR –MVC Planning Dept.

A & C DYKMAN
PROPOSED NEW RESIDENCE
5 RICKMAN STREET
DELORAIN

SCALE:
1:200
 (A3)
 Check dimensions.
 Dimensions take
 precedence over scale

DRAWING NO: **A01**
 DRAWN BY: ME
 SHEET NO. :1 of 14

LEGEND & NOTES:

ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS FOR THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.

ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE NCC Vol.2 2022 AND AUSTRALIAN STANDARDS.

ANY ENGINEERS SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.

⊗ EXISTING LEVELS
⊕ NEW LEVELS
CONTOUR INTERVALS = 0.5m

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

PROTECTION MUST BE PROVIDED TO ADJOINING PROPERTIES IN ACCORDANCE WITH BUILDING REGULATIONS.

ENSURE FINISHED FLOOR LEVEL IS 150mm MIN. ABOVE FINISHED GROUND LEVEL.

SITWORKS SOIL & WATER MANAGEMENT STRATEGIES

SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.

SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS IAW NCC Vol.2 PART 3.2 AND AS3798.

SURFACE DRAINAGE -FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1000 AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.

DOWNPIPES TO BE CONNECTED INTO COUNCIL STORMWATER AS SOON AS ROOF IS INSTALLED.

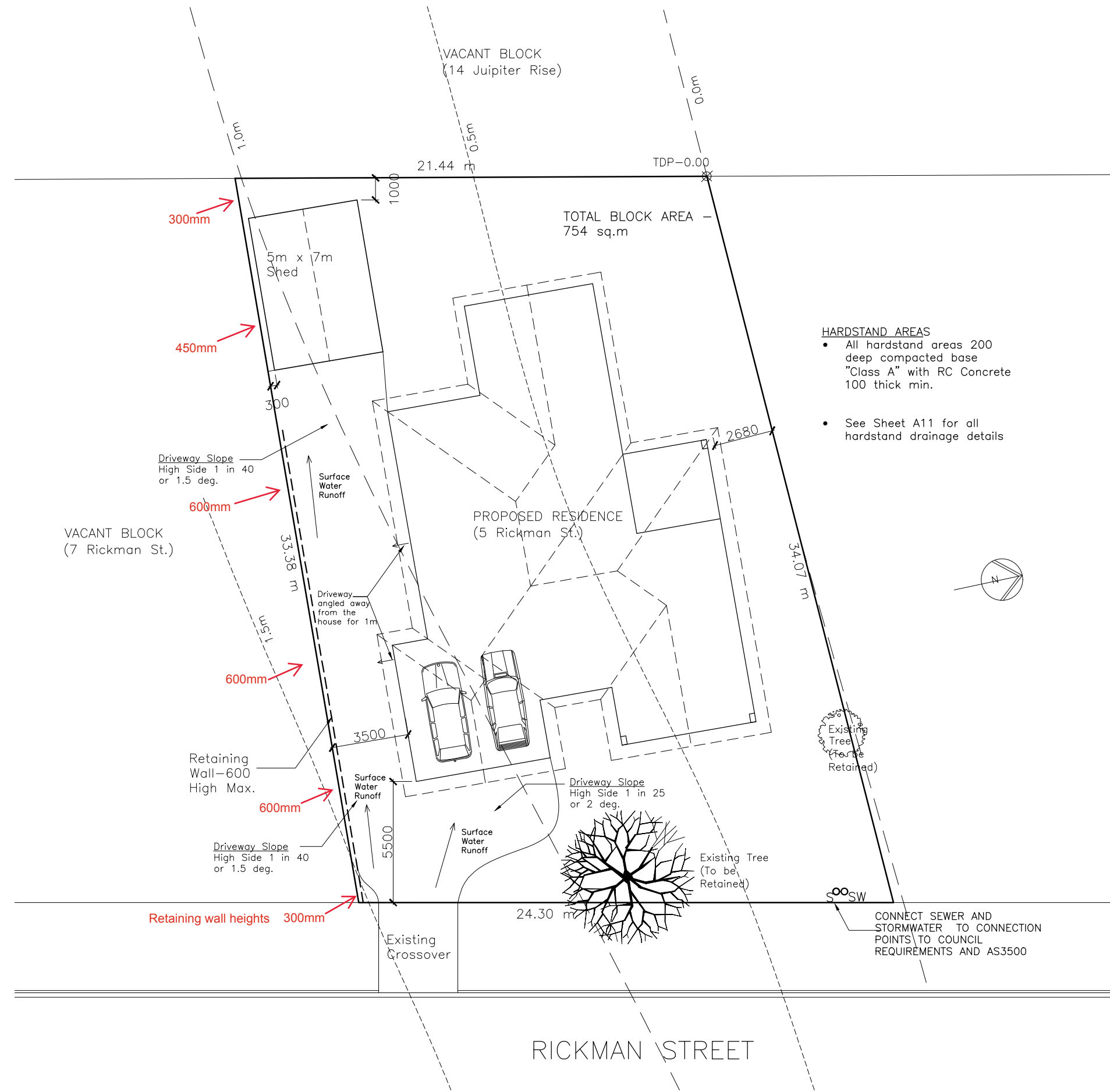
DRAINAGE WORKS TO BE IAW NCC Vol.2 PART 3.3 AND AS/NZS 3500

INSTALL ANY AG DRAINS PRIOR TO FOOTING EXCAVATION. SEE DRAINAGE PLAN FOR LOCATION.

SURFACE DRAINAGE -FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1m AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.

PREVENT PONDING OF WATER UNDER SUSPENDED FLOORS.

EXCAVATED MATERIAL PLACED UP-SLOPE OF AG DRAINS. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETED AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.



HARDSTAND AREAS

- All hardstand areas 200 deep compacted base "Class A" with RC Concrete 100 thick min.
- See Sheet A11 for all hardstand drainage details

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USE ONLY FIGURED DIMENSIONS. DO NOT SCALE.

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CONTRACTORS SHOULD ENSURE ALL WORK IS CLEAR OF EXISTING SERVICES WHETHER SHOWN ON DRAWINGS OR NOT. SERVICES SHOULD BE LOCATED IN CONJUNCTION WITH RELEVANT AUTHORITIES.

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 11 Balfour Place
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 MDE Building Designs
 Accred No. CC1629 D

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A1	SEP. 2025	FOR ALL APPROVALS AND TENDERS
A2	SEP. 2025	ADDITION OF SHED DETAILS
A3	OCT. 2025	FIR -MVC Planning Dept.

CLIENT: A & C DYKMAN
 PROJECT: PROPOSED NEW RESIDENCE
 5 RICKMAN STREET
 DELORAINE

DRAWING TITLE(S):
 SITE/ SERVICES PLAN

SCALE:
 1:200
 (A3)
 Check dimensions. Dimensions take precedence over scale

DRAWING NO: **A02**
 DRAWN BY: ME
 SHEET NO. : 2 of 14

ENCLOSED LIVING AREA = 186.5 sq. m (20.3 sq.)
 GARAGE AREA = 38.9 sq. m (4.2 sq.)
 TOTAL ENCLOSED AREA = 225.4 sq. m (24.5 sq.)
 PORCH & ALFRESCO AREA = 22.4 sq. m

240V HARD-WIRED SMOKE DETECTORS ALL INTER-CONNECTED

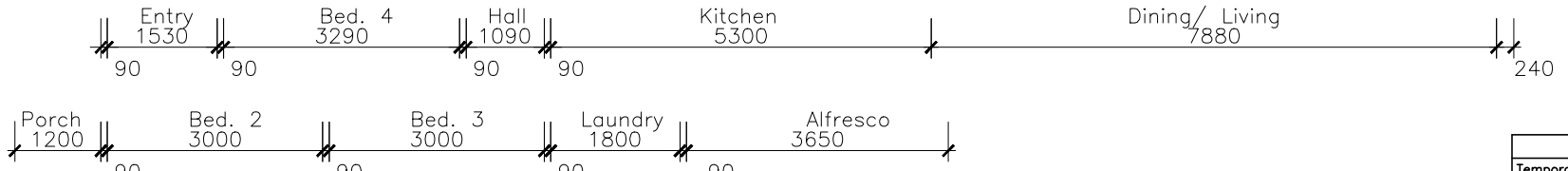
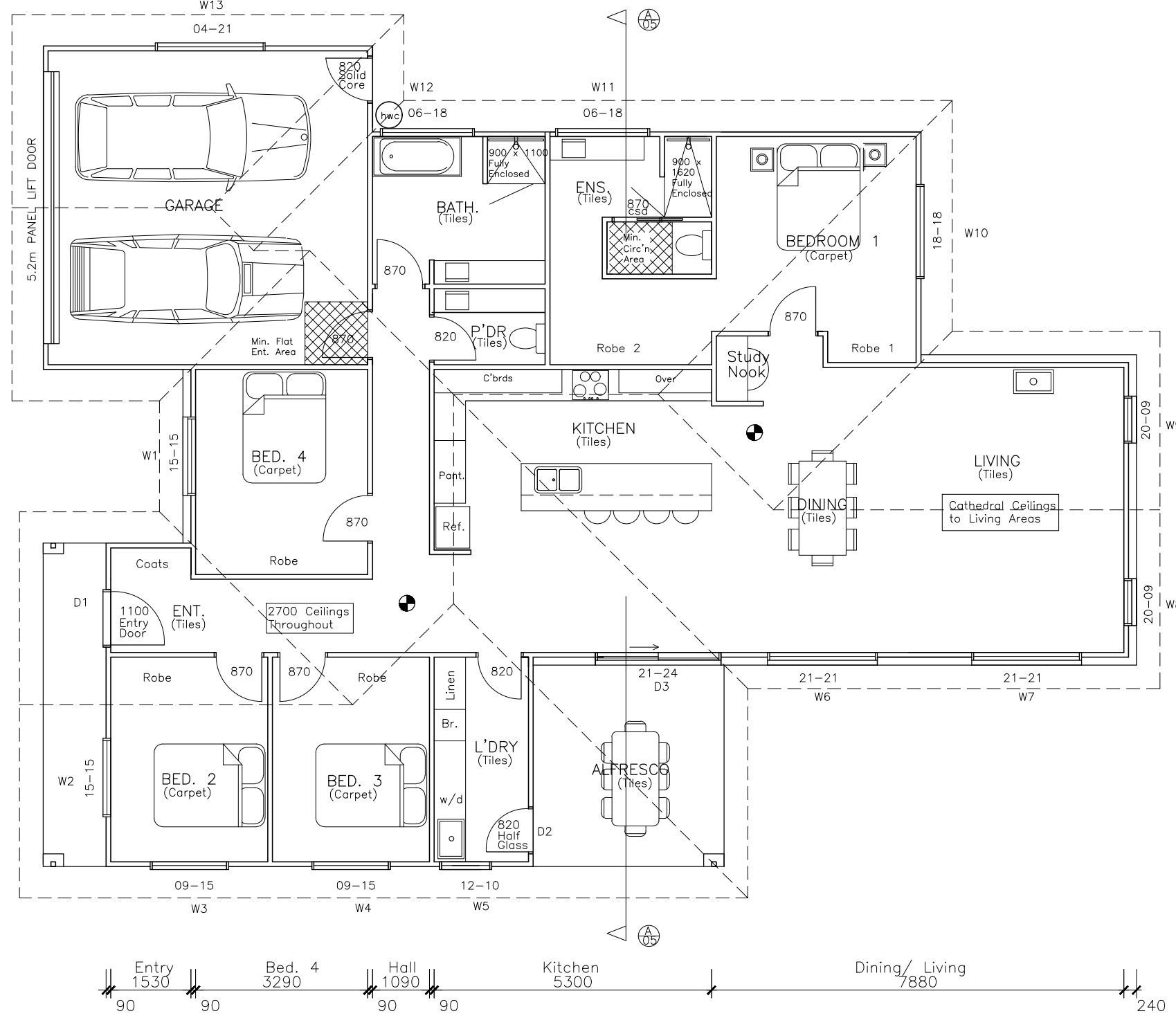
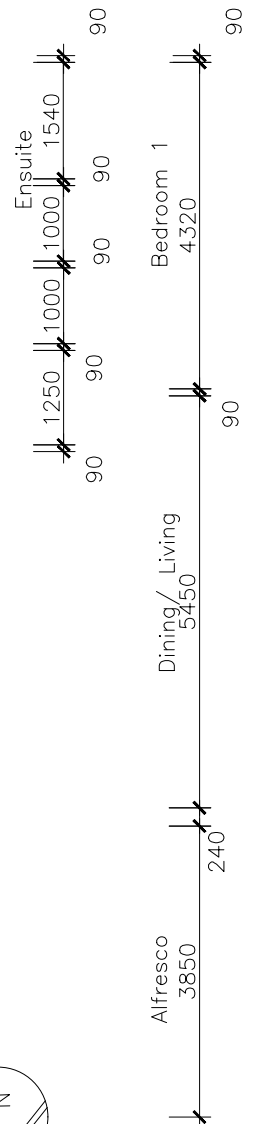
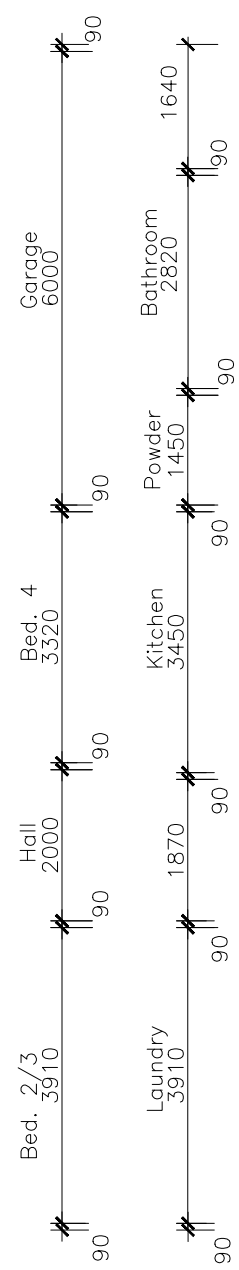
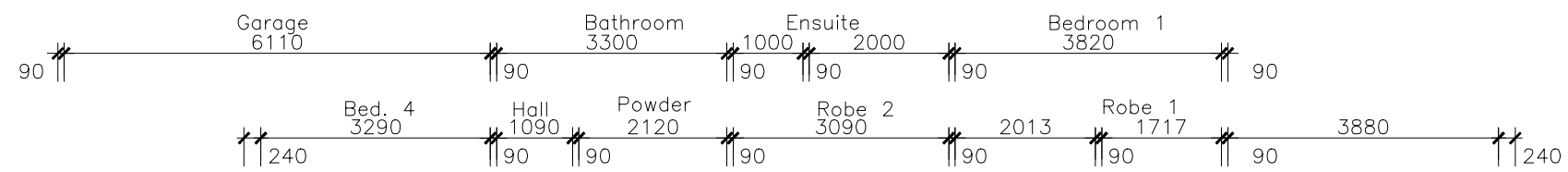
LIVABLE HOUSING DESIGN STANDARD

CONSTRUCTION MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND MEET ALL ASPECTS OF ABCB STANDARD SATISFYING PART H8 AND PART G7 OF NCC 2022- LIVEABLE HOUSING DEIGN. Note:

- 870 wide 35mm doors to habitable rooms allow 820mm openings between door stops.
- 1000 wide corridor/ hall minimum widths (Stud to stud allowing 10mm plaster lining and architraves)
- Within the bathroom (containing WC) wall reinforcement as required in Part H8 NNC Vol.2 to the Shower, Bath and WC walls with 12mm structural ply (min.) or timber noggins 25mm thick (min.)
- Bathroom shower to be hobless, step free entry with lip not more than 5mm to be provided for water retention purposes.

NOTES:
 -KITCHEN LAYOUT IS INDICATIVE ONLY AND SHOULD BE CONFIRMED WITH OWNERS AND RELEVANT CONTRACTORS.
 -ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ACCOUNT FOR WALL LININGS.

THIS PLAN HAS BEEN DRAWN BY THIS DESIGNER TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC Vol.2) AND ALL REQUIREMENTS OF LOCAL AUTHORITIES.
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LEVELS	
Temporary Datum Level	0.000
Finished Floor Level	1.000

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CLIENT: A & C DYKMAN
 PROJECT: PROPOSED NEW RESIDENCE
 5 RICKMAN STREET
 DELORAINE

DRAWING TITLE(S):
 FLOOR PLAN

SCALE:
 1:100
 (A3)
 Check dimensions.
 Dimensions take
 precedence over scale

DRAWING NO: **A03**
 DRAWN BY: ME
 SHEET NO. :3 of 14

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 Accred No. CC1629 D

ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) Vol 2, COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS AND CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.

DO NOT SCALE DRAWINGS—IF ANY DOUBT CONTACT DESIGNER.

- ALL DIMENSIONS IN MILLIMETRES UNLESS SPECIFIED.
- CHECK ALL DIMENSIONS AND VERIFY LEVELS, PRIOR TO SETOUT OR COMMENCEMENT OF ANY BUILDING WORK.
- ANY NOTED DISCREPANCIES ON ANY OF THESE DRAWINGS OR DOCUMENTS REFERRING TO THIS PROJECT SHOULD BE MADE AWARE TO THE DESIGNER BEFORE ANY FURTHER WORK CONTINUES.
- ALL CONSTRUCTION TO COMPLY WITH THE LATEST NATIONAL CONSTRUCTION CODE (NCC Vol.2) AND AUSTRALIAN STANDARDS.
- ENGINEER'S SPECIFICATIONS TAKE PRECEDENT OVER DRAWING NOTES.
- ALL BUILDING MATERIALS USED NEED TO MEET RELEVANT CORROSION RESISTANT REQUIREMENTS FOR THE LOCAL ENVIRONMENT AND COMPATIBILITY OF MATERIALS.
- ALL PLUMBING AND DRAINAGE TO COMPLY AS3500 AND LOCAL COUNCIL PLUMBING REQUIREMENTS.

SITWORKS

- SITE TO BE PREPARED IAW ENGINEERS OR SURVEYORS REPORT IF APPLICABLE.
- SITE TO BE EXCAVATED OR FILLED TO INDICATED LEVELS IAW WITH NCC Vol.2 2022 3.2 AND AS3798.
- DRAINAGE WORKS TO BE IAW NCC Vol.2 2022 PART 3.3 AND AS/NZS 3500
- SURFACE DRAINAGE —FINISHED GROUND TO FALL AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 1m AT 1:20 MIN. AND TO A POINT WHERE PONDING WILL NOT OCCUR.
- PREVENT PONDING OF WATER UNDER ANY SUSPENDED FLOORS.

CONCRETE

- ALL CONCRETE PREPARATION INCLUDING EXCAVATIONS AND PLACEMENT OF REINFORCING IS TO BE APPROVED BY ENGINEER AND/OR BUILDING SURVEYOR PRIOR TO POURING.
- REFER TO ANY ENGINEERS DRAWINGS FOR DETAILS AND NOTES OF CONCRETE WORKS. (AS APPLICABLE)
- REFER TO SOIL REPORT FOR CLASSIFICATION TO AS2870
- DAMP PROOF COURSE TO EXTEND 150mm ABOVE GROUND LEVEL.

STEELWORK

- GENERALLY TO BE IAW WITH AS4100—STEEL STRUCTURES AND AS1544—WELDING IN BUILDING.
- STEELWORK TO BE COATED WITH ANTI—OXIDISING PAINT PRIOR TO ERECTION.
- ALL STEEL IN EXPOSED CONDITIONS TO BE GALVANISED OR PROPRIETARY GALVANISED PRODUCT.
- ANY STRUCTURAL STEEL FRAMING TO BE IAW NCC VOL.2 Part 6.3, AS1250, AS4100, MANUFACTURERS SPECIFICATIONS AND STRUCTURAL ENGINEERS DESIGN AND SPECIFICATIONS.

MASONRY

- GENERALLY MASONRY WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC VOL.2 2020 PART 5 & AS3700.
- MASONRY VENEER TO NCC VOL.2 2020 PART 5.2,
- CAVITY MASONRY TO NCC VOL.2 2020 PART 5.3,
- UNREINFORCED LEAF MASONRY TO NCC VOL.2 2020 PART 5.4,
- ISOLATED PIERS TO NCC VOL.2 2020 PART 5.5 and
- MASONRY COMPONENTS AND ACCESSORIES TO NCC VOL.2 2020 PART 5.6

WALL FRAMING

- ALL TIMBER FRAMING TO COMPLY WITH AS1684.2, NCC Vol.2 2022 PART 6.1, ANY ENGINEERS DETAILS, MATERIAL SUPPLIERS SPECS AND LOCAL COUNCIL REQUIREMENTS.
- HARDWOOD MINIMUM STRESS GRADE F17
- SOFTWOOD MINIMUM STRESS GRADE MGP10,
- TIMBER STUDS: 90x35 MPG 10 STRUC. PINE OR 90x35 F17 HWD AT 450 ctrs.
- TOP AND BOTTOM PLATES & NOGGINS: 90x35 MPG 10 STRUC. PINE OR 90x35 F17 HWD.
- BRACING OF TIMBER CONSTRUCTION TO BE IAW SECTION 8 OF AS1684.2 AND ANY ENGINEERS SPECIFICATIONS
- TIE—DOWN OF TIMBER FRAME TO BE IN ACCORDANCE WITH SECTION 9 OF AS1684.2, AS4055 AND ENGINEER'S SPECIFICATIONS.
- LINTELS AS PER WINDOW SCHEDULE AND/ OR TRUSS MANUFACTURER TAKING INTO ACCOUNT WHERE GIRDER TRUSSES ETC, ARE LOCATED.

EXTERIOR WALL CLADDING

- GENERALLY IAW NCC Vol.2 2022 PART 7
- ANY EXTERNAL TIMBER CLADDING TO BE FIXED IAW MANUFACTURERS SPECIFICATIONS.
- IF APPLICABLE WEATHERBOARDS AND CHAMFERBOARDS TO BE PRIMED PRIOR TO FIXING.
- VAPOR PERMEABLE SARKING TO BE PROVIDED BETWEEN EXTERNAL WALL CLADDING AND FRAMING.
- WALL CLADDING TO BE IAW MANUFACTURERS SPECIFICATIONS.
- FLASHINGS TO WINDOW/DOOR OPENINGS ARE TO AS290

ELECTRICAL

- ALL WIRING, LIGHTING, ELECTRICAL OUTLETS AND FIXTURES MUST BE INSTALLED BY A LICENCED PRACTITIONER.
- ALL LIGHTING AND ELECTRICAL FITTINGS AND FIXTURES AS PRESCRIBED BY OWNER AT TIME OF INSTALLATION.

FACILITIES

- THE DOOR OF A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN AND THE NEAREST PART OF THE DOORWAY.
- PROVISION OF NATURAL LIGHT TO BE IAW NCC Vol.2 2022 PART 10.4
- WINDOWS/ROOFLIGHTS TO PROVIDE LIGHT TRANSMISSION AREA EQUAL TO 10% OF FLOOR AREA OF ROOM.
- VENTILATION TO BE IAW NCC Vol.2 2022 PART 10.6 OR AS 1668.2 FOR MECHANICAL VENTILATION. EXHAUST FAN FOR BATHROOM/ WC TO BE VENTED TO OUTSIDE FOR STEEL ROOF AND TO ROOF SPACE FOR TILE ROOF.
- NATURAL VENTILATION TO BE PROVIDED AT A RATE OF 5% OF ROOM FLOOR AREA IAW NCC Vol.2 2022 PART 10.6

LIVABLE HOUSING DESIGN STANDARD

- CONSTRUCTION MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND MEET ALL ASPECTS OF ABCB STANDARD SATISFYING PART H8 AND PART G7 OF NCC 2022— LIVEABLE HOUSING DEIGN

INTERNAL LINING

- LINE WALLS AND CEILINGS INTERNALLY WITH 10mm PLASTERBOARD SHEETING WITH SELECTED PLASTER CORNICES.
- CEILING PLASTER FITTED TO METAL FURRING CHANNELS AT 450 ctrs.
- PLASTERBOARD LINING TO WET AREAS TO BE 'VILLABOARD', W.R BOARD OR OTHER APPROVED WATERPROOF LINING
- ALL EAVE AND SOFFIT LININGS TO BE 'VILLABOARD'. W.R BOARD OR OTHER APPROVED WATERPROOF LINING UNLESS OTHERWISE NOTED.
- ALL DOORS, WINDOWS, ARCHITRAVES, SKIRTING, WALL AND FLOOR SURFACES AND ALL FITTINGS AND FIXTURES AS PRESCRIBED BY OWNER.

GENERAL FIRE SAFETY

- GENERALLY TO BE IAW NCC Vol.2 2022 PART 9
- FIRE SEPARATION TO IAW NCC Vol.2 2022 PARTS 9.2, 9.3,9.4 EXTERNAL WALLS AND GABLE ENDS CONSTRUCTED WITHIN 900mm OF BOUNDARY ARE TO EXTEND TO UNDERSIDE OF NON COMBUSTIBLE ROOFING/ EAVES AND ARE TO BE CONSTRUCTED OF A MASONRY SKIN 90mm THICK AND WITH AN FRL OF 60/ 60/60.
- SARKING TO HAVE A FLAMMABILITY INDEX LESS THAN 5.
- ROOF LIGHTS NOT TO BE PLACED CLOSER THAN 900 FROM BOUNDARY.
- SMOKE ALARM INSTALLATION TO BE IAW NCC Vol.2 2022 PART 9.5. AND AS1670, LOCATIONS INDICATED ON FLOOR PLAN.
- INSTALLATION LOCATIONS:
 - —CEILINGS— 300 AWAY FROM WALL JUNCTION.
 - —CATHEDRAL CEILING— 500 DOWN FROM APEX.
 - —WALLS— 300 DOWN FROM CEILING JUNCTION
- HEATING APPLIANCES GENERALLY TO BE IN COMPLIANCE WITH NCC Vol.2 2022 PART 9 AND AS2918 "DOMESTIC SOLID FUEL BURNING APPLIANCE INSTALLATIONS".

Note —All ceiling, roof,external wall & floor insulation nominated in these plans and accompanying Energy rating assessment has been applied only to areas that are connected to external elements (i.e Earth or outside air)

25 deg. TRUSSES FITTED AND BRACED AT 900crs TO MANUFACTURERS SPECIFICATIONS

R5.0 (tbc) INSULATION TO CEILING (exl. GARAGE)

COLORBOND CUSTOM ORB ROOFING.

70x35 F17 HWD ROOF BATTENS AT 900 CRS. MAX.

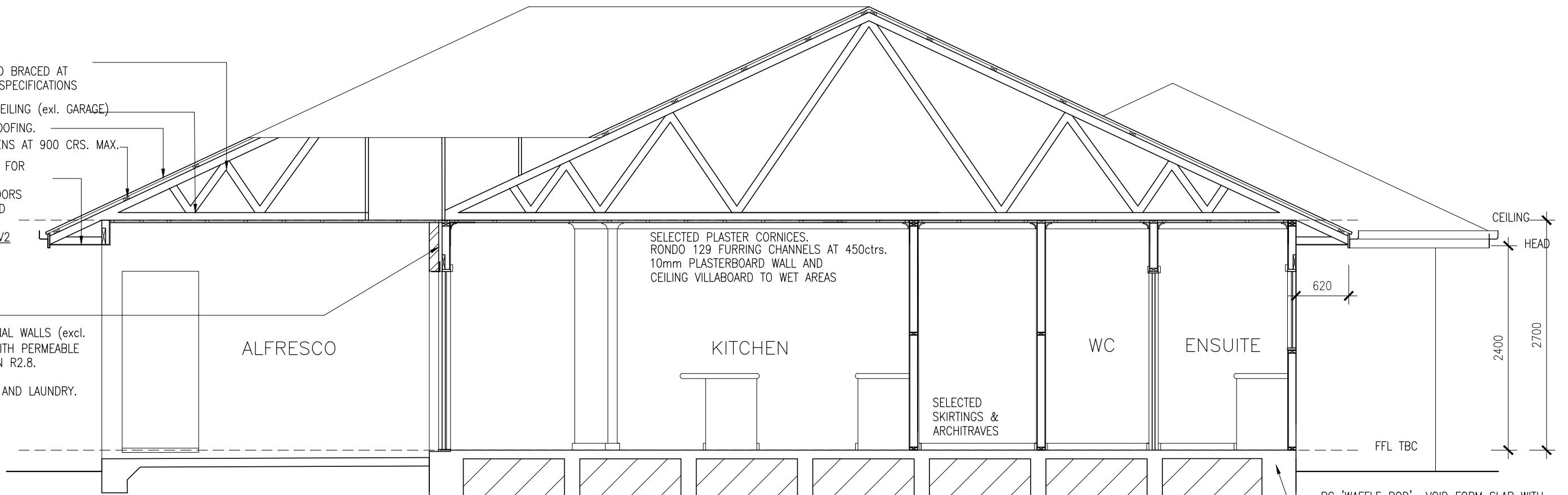
POLY EAVE VENTS INSTALLED FOR EXHAUST SYSTEMS TO BE DISCHARGED DIRECTLY OUTDOORS IAW NCC Vol.2 Part 10.6 AND Condensation in Buildings Tasmanian Designers Guide V2

EXTERNAL WALLS

R2.5 INSULATION TO EXTERNAL WALLS (excl. GARAGE). EXTERNAL WALLS WITH PERMEABLE BUILDING FABRIC TO GIVE MIN R2.8.

INTERNAL WALLS

R2.5 INSULATION TO GARAGE AND LAUNDRY.



SELECTED PLASTER CORNICES.
RONDO 129 FURRING CHANNELS AT 450ctrs.
10mm PLASTERBOARD WALL AND
CEILING VILLABOARD TO WET AREAS

SELECTED
SKIRTINGS &
ARCHITRAVES

SECTION AA

RC 'WAFFLE POD' VOID FORM SLAB WITH MIN. 175mm VOID AND 85mm CONCRETE COVER IAW ENERGY ASSESSMENT. ALL OTHER DETAILS TO ENGINEERS SPECIFICATIONS.

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A1	SEP. 2025	FOR ALL APPROVALS AND TENDERS
A2	SEP. 2025	ADDITION OF SHED DETAILS
A3	OCT. 2025	FIR —MVC Planning Dept.

CLIENT: A & C DYKMAN
PROJECT: PROPOSED NEW RESIDENCE
5 RICKMAN STREET
DELORAINÉ

DRAWING TITLE(S):
SECTION

SCALE:
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(A3)
Check dimensions. Dimensions take precedence over scale

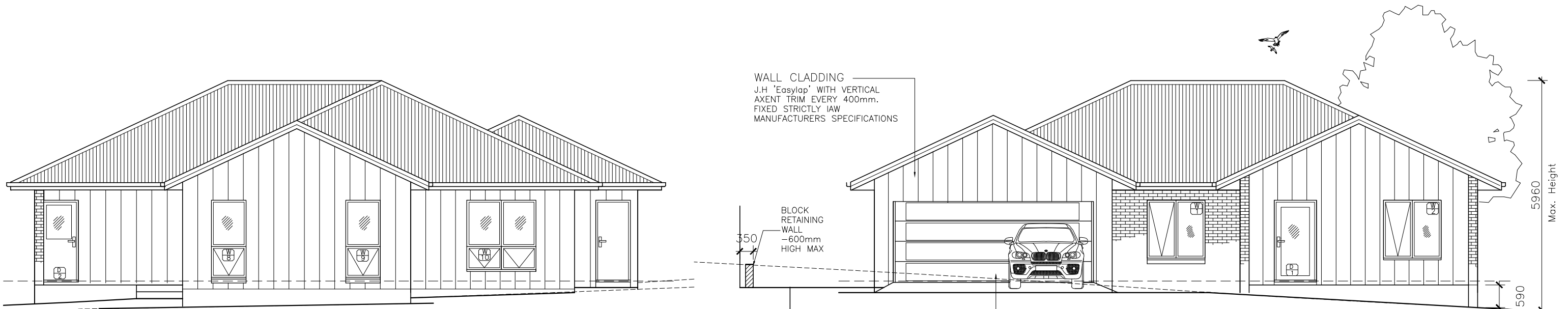
DRAWING NO: **A04**
DRAWN BY: ME
SHEET NO. : 4 of 14

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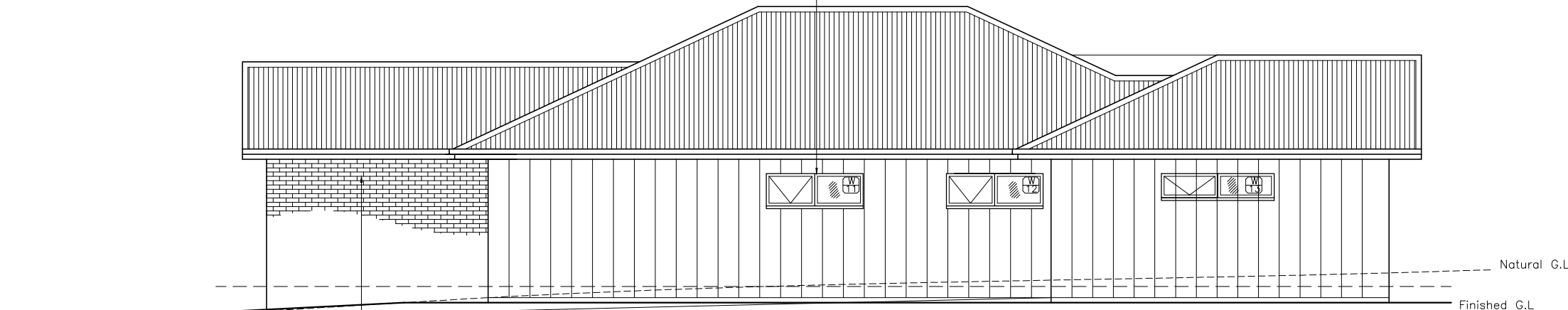
NORTHERN ELEVATION



WESTERN ELEVATION

EASTERN ELEVATION

WINDOWS & DOORS
ALUMINIUM FRAMED DOORS AND AWNING WINDOWS
(See window schedule)
TAS OAK OR MDF REVELS AND TRIMS
ALL FLASHING TO MANUFACTURERS
SPECIFICATIONS, NCC Vol.2 PART 8.2 & AS1288



SOUTHERN ELEVATION

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DRAWING TITLE(S):

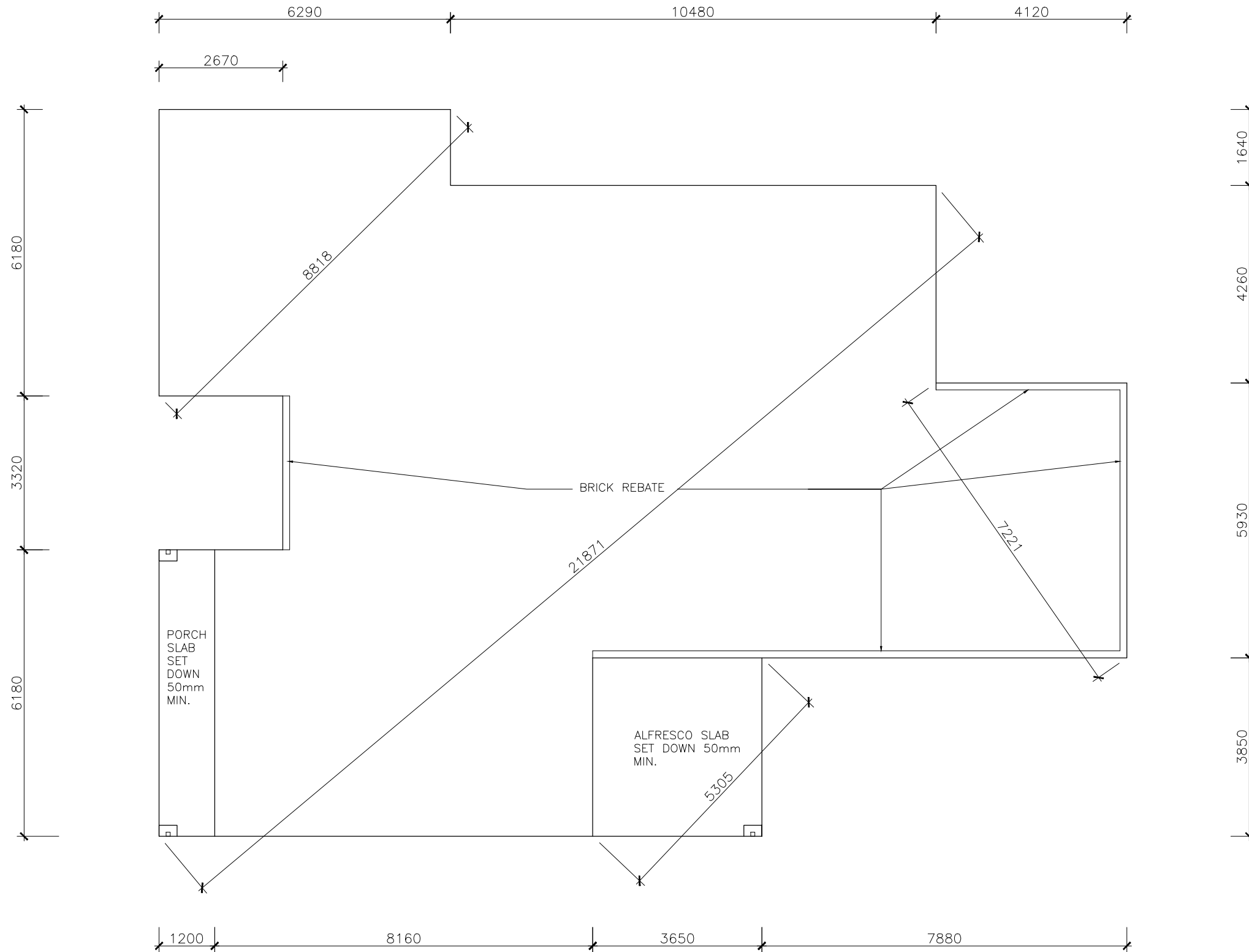
ELEVATIONS

SCALE:
1:100
(A3)
Check dimensions.
Dimensions take
precedence over scale

DRAWING NO: **A05**
DRAWN BY: ME
SHEET NO. : 5 of 14

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THIS PLAN IS FOR BUILDERS SETOUT ONLY AND SHOULD READ IN CONJUNCTION WITH ACCOMPANYING STRUCTURAL ENGINEERS PLANS.



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 5 RICKMAN STREET
 DELORAINE

DRAWING TITLE(S):
 SLAB LAYOUT PLAN

SCALE:
 1:100
 (A3)
 Check dimensions.
 Dimensions take
 precedence over scale

DRAWING NO: **A06**
 DRAWN BY: ME
 SHEET NO. : 6 of 14

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This is not a Glazing Calculator- Refer to Energy Rating Certificates.

Enclosed Living Window Schedule & Glazing Areas

Number	Height	Width	Type	Room	Area (sq.m)	North Sector (sq.m)	Orientation	Glass *	Material
W1	1500	1500	Awning	Bedroom 4	2.25		East	Double Glazed Clear	Aluminium
W2	1500	1500	Awning	Bedroom 2	2.25		East	Double Glazed Clear	Aluminium
W3	900	1500	Awning	Bedroom 2	1.35	1.35	North	Double Glazed Clear	Aluminium
W4	900	1500	Awning	Bedroom 3	1.35	1.35	North	Double Glazed Clear	Aluminium
W5	1200	1000	Awning	Laundry	1.20	1.20	North	Double Glazed Clear	Aluminium
W6	2100	2100	Awning	Dining/ Living	4.41	4.41	North	Double Glazed Clear	Aluminium
W7	2100	2100	Awning	Dining/ Living	4.41	4.41	North	Double Glazed Obs.	Aluminium
W8	2000	900	Awning	Dining/ Living	1.80		West	Double Glazed Clear	Aluminium
W9	2000	900	Awning	Dining/ Living	1.80		West	Double Glazed Clear	Aluminium
W10	1800	1800	Awning	Bedroom 1	3.24		West	Double Glazed Clear	Aluminium
W11	600	1800	Awning	Ensuite	1.08		South	Double Glazed Obs.	Aluminium
W12	600	1800	Awning	Bathroom	1.08		South	Double Glazed Obs.	Aluminium
W13	450	2100	Awning	Garage	0.95		South	Double Glazed Clear	Aluminium
D1	2100	1100	Timber/Glass Entrance Door	Entry	2.31		East	Double Glazed Clear	Timber/Glass
D2	2100	900	Half Glass Entrance Door	Master Bedroom	1.89		West	Double Glazed Clear	Aluminium
D3	2100	2400	Sliding Door (OX)	Dining/ Kitchen	5.04	5.04	North	Double Glazed Clear	Aluminium
				Totals	36.41	17.76			

NOTE:

ENSURE GLAZIER IS SUPPLIED WITH A FULL SET OF DRAWINGS, ENERGY RATING AND WIND CLASSIFICATION.

FOR COMPLIANCE WITH NCC (Vol.2) PART 8.2, SEE CERTIFIED ASSESSMENT CERTIFICATE.

ALL GLAZED WINDOW & DOOR ASSEMBLIES IN EXTERNAL WALLS TO COMPLY WITH AS 2047. ALL OTHER GLASS TO COMPLY WITH AS1288

WINDOWS ARE POWDER COATED ALUMINIUM FRAMES MDF OR TAS OAK REVEALS. ALL FLASHINGS AND FASTENINGS TO MANUFACTURERS SPECIFICATIONS. DIMENSIONS SHOWN IN SCHEDULE FOR THESE WINDOWS ARE NOMINAL ONLY. THESE WINDOWS ARE TO BE FABRICATED USING ON-SITE MEASUREMENTS.

BUSHFIRE-PRONE AREA BAL RATING – NOT APPLICABLE

NO SPECIFIC CONSTRUCTION REQUIREMENTS FOR DOORS AND WINDOWS.

NOTE:

FOR COMPLIANCE WITH NCC (Vol.2) parts 8.2 & 8.3, SEE CERTIFIED ASSESSMENT CERTIFICATE.

- GLAZING ALL DOUBLE LOW-E (EXCLUDING GARAGE -SINGULAR GLAZED CLEAR)
- WINDOWS ARE POWDER COATED ALUMINIUM FRAMES MDF OR TAS OAK REVEALS.
- ALL FLASHINGS AND FASTENINGS TO MANUFACTURERS SPECIFICATIONS.
- DIMENSIONS SHOWN IN SCHEDULE FOR THESE WINDOWS ARE NOMINAL ONLY.
- THESE WINDOWS ARE TO BE FABRICATED USING ON-SITE MEASUREMENTS.
- ALL WINDOW FRAMING TO BE IN COMPLIANCE WITH AS2047 1999 (WINDOWS IN BUILDING-SELECTION AND INSTALLATION)
- ALL GLAZING TO BE IN COMPLIANCE WITH AS1288 AND NCC (Vol.2) PART 8.2 & 8.3
- SUPPLY AND INSTALL FLY SCREENS TO ALL OPENING WINDOW SASHES AND SLIDING AND EXTERNAL LAUNDRY DOOR.
- ALL WINDOWS AND EXTERNAL DOORS FITTED WITH LOCKS.

Natural Light and Ventilation

PART 10.5 LIGHT

Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION

Minimum 5% of the floor area of a habitable room required (An exhaust fan may be used for a sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

Room	Area (m sq.)	Window/ Door No.	Light Required (m sq.)	Light Achieved (m sq.)	Ventilation Required (m sq.)	Ventilation Achieved (m sq.)
Kitchen/Dining/ Living	69.9	W6, W7, W8, W9, D3	6.99	17.46	3.50	8.73
Bedroom 4	10.4	W1	1.04	2.25	0.52	1.13
Bedroom 3	10.0	W4	1.00	1.35	0.50	0.66
Bedroom 2	10.0	W3	1.00	1.35	0.50	0.66
Bedroom 1	14.2	W10	1.42	3.24	0.71	1.62

LEGEND & NOTES:

Refer to Floor Plan and Elevations for window positions and styles. Flyscreens to be fitted to all openable windows.

*Glazing requirements (typical) as outlined in the attached Energy Certificate can be achieved with the following within aluminium frames:

Type	U-Value	SHGC
W1, W3	3.60	0.61 (Tolerance Range 0.58-0.64)
W2, W4-W13	3.60	0.52 (Tolerance Range 0.49-0.55)
W14	6.53	0.66 (Tolerance Range 0.63-0.69)
D4	6.70	0.57 (Tolerance Range 0.54-0.60)
D2, D3	3.20	0.57 (Tolerance Range 0.54-0.60)

Alternative options from glazing supplier may be presented to the Designer and Building Surveyor.

Glazing types in Tasmania can be accessed at www.wers.net.

Shower Screens

1800H Semi-frameless shower screens to comply with NCC (Vol.2) Part 8.4 & AS1288. Minimum 4mm thick Grade A toughened safety glass, labeled to comply with industry standards.

Opaque Bands

Where glazed doors or side panels are capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible as follows:
 - Marking in the form of an opaque band not less than 20mm in height;
 - The upper edge is not less than 700mm above the door;
 - The lower edge is not more than 1200mm above the floor.

Flashings to wall openings

All openings must be adequately flashed using materials that comply with AS/NZS 2904. Flashing to be installed with glazing manufacturer's specifications for brick veneer construction.

FOR ENERGY ASSESSORS
REQUIRED NOTES

Note -All ceiling, roof,external wall & floor insulation nominated in these plans and accompanying Energy rating assessment has been applied only to areas that are connected to external elements (i.e Earth or outside air)

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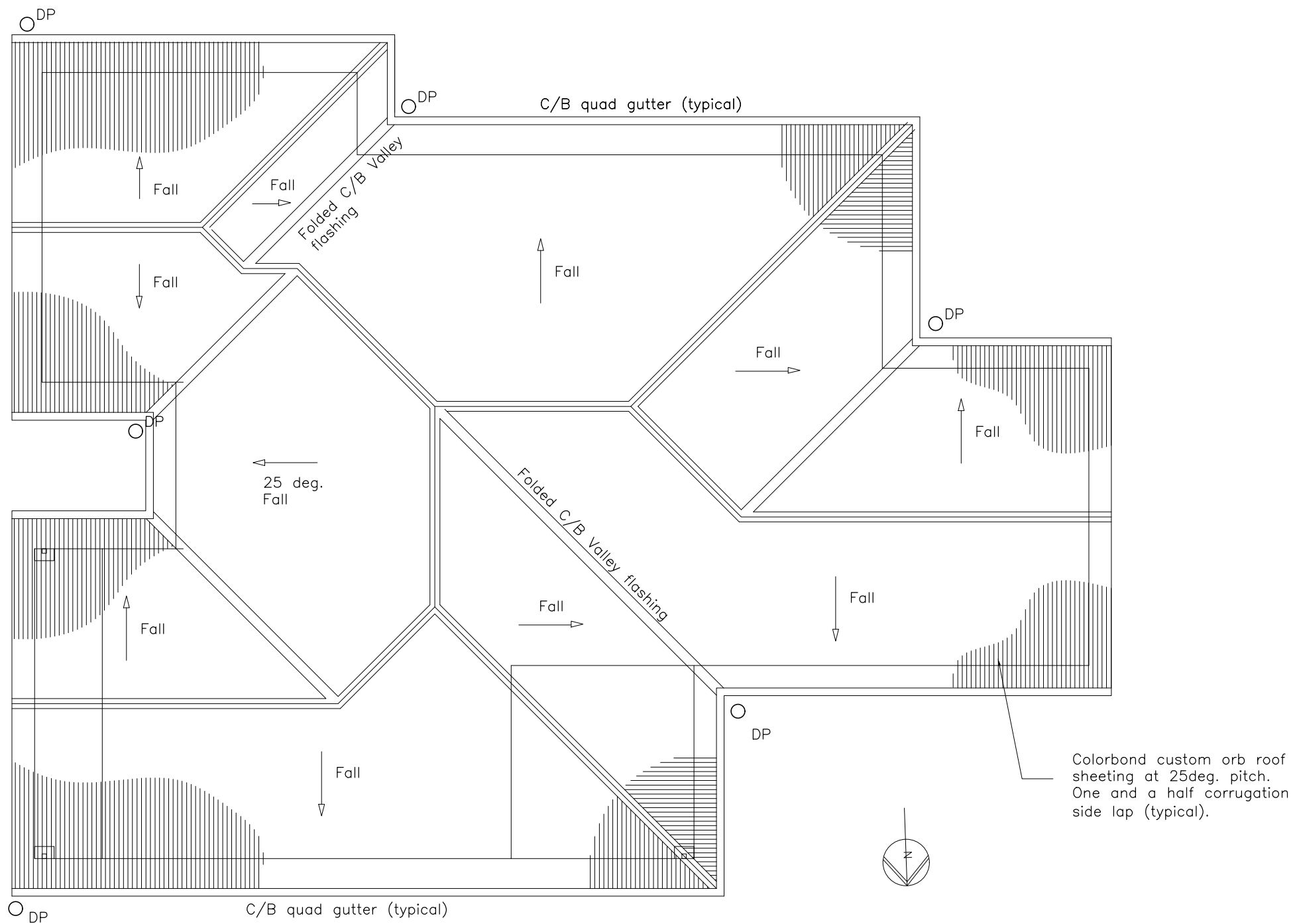
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CLIENT: A & C DYKMAN
 PROJECT: PROPOSED NEW RESIDENCE
 5 RICKMAN STREET
 DELORAINE

DRAWING TITLE(S):
 WINDOW & DOOR SCHEDULE
 LIGHTING & VENTILATION DETAILS

SCALE:
 1:100
 (A3)
 Check dimensions.
 Dimensions take precedence over scale

DRAWING NO: **A07**
 DRAWN BY: ME
 SHEET NO.: 7 of 14



ROOF CLADDING
 ROOF CLADDING TO BE GENERALLY IAW NCC VOL.2 PART 7

ROOF TILES AS2049 & AS 2050 (N/A)
 METAL SHEET ROOFING AS 1562.1
 PLASTIC SHEET ROOFING AS/NZS 4256.1,.2,.3&.5 & AS 1562.3.

VAPOR PERMEABLE SARKING TO BE PROVIDED BETWEEN ROOF CLADDING AND FRAMING.

FLASHINGS TO NCC Vol.2 2022 Part 7.2

COLORBOND ROOF CLADDING ON 70x35 (EDGE ON) BATTENS AT 900 ctrs. MAX. AND ANY CONCRETE ROOF TILES ON 50x30 BATTENS AT 330 MAX. BOTH INSTALLED STRICTLY IAW MANUFACTURERS SPECIFICATIONS

COMPLIANCE FOR ROOF & ROOFING ELEMENTS WITH AS3959
 BAL- NOT APPLICABLE

NO SPECIFIC CONSTRUCTION REQUIREMENTS.

APPROVED ROOF TRUSSES DEIGNED, INSTALLED AND BRACED STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ALL FIXING DETAILS TO BE ADHERED TO SISILATE ROOF PRIOR TO TO SHEETING.

ALL TRUSS LOADS ARE TO BE DISTRIBUTED TO PERIMETER WALLS ONLY- UNLESS OTHERWISE SPECIFIED.

MECHANICAL VENTILATION IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BCA AND MUST BE EXHAUSTED BY WAY OF DUCTS TO THE EXTERIOR OF THE BUILDING IF IT IS THE ONLY SOURCE OF VENTILATION PROVIDED.

CHIMNEYS AND FLUES MUST HAVE A DAMPER THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

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DRAWING TITLE(S):

ROOF PLAN

SCALE:
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 (A3)
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DRAWING NO: **A08**
 DRAWN BY: ME
 SHEET NO.: 8 of 14

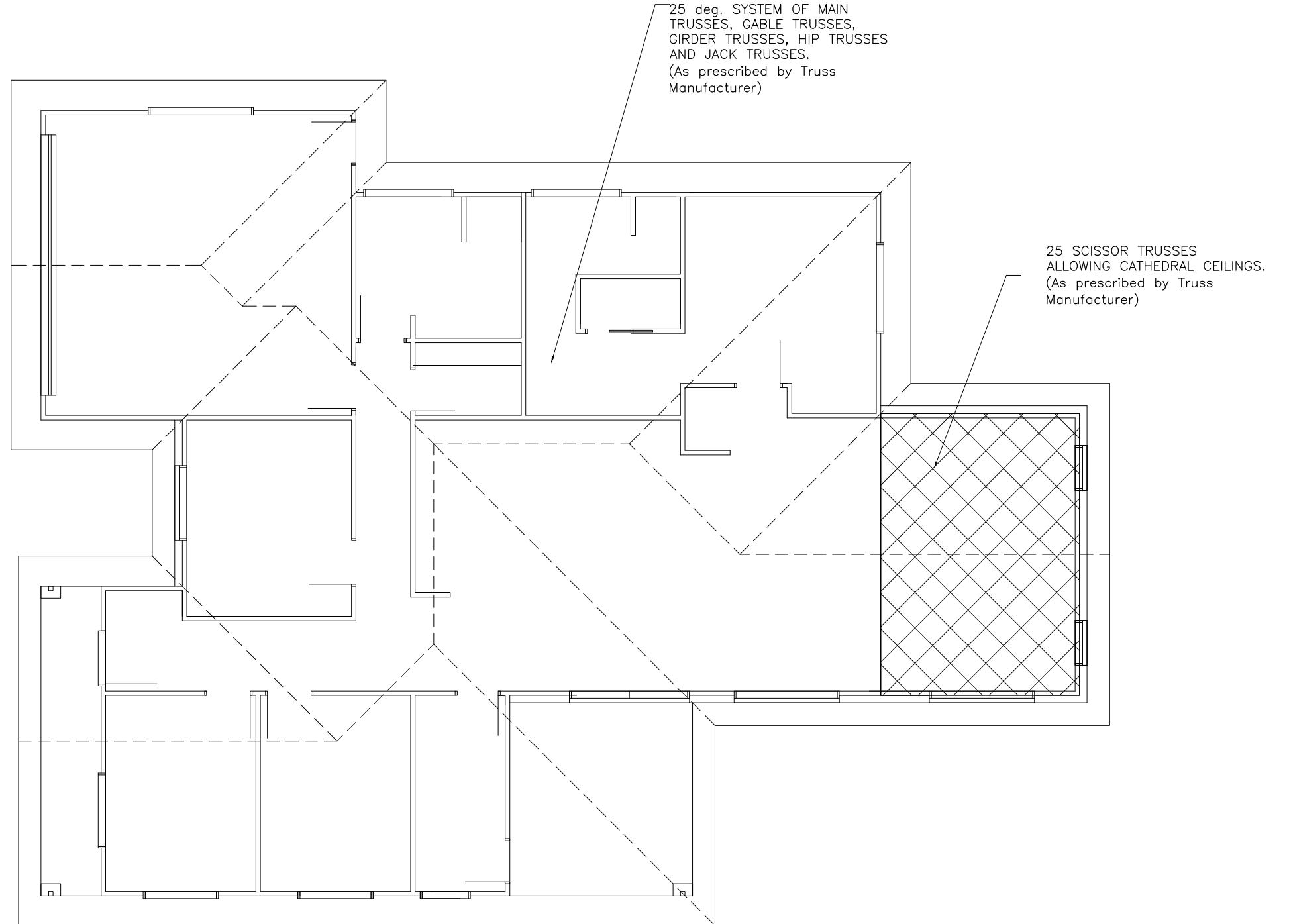
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ALL FIXING DETAILS TO BE ADHERED TO
 SISILATE ROOF PRIOR TO SHEETING IAW CONDENSATION DETAILS
 NCC Vol.2 8.8 AND Condensation in Buildings –Tasmanian
 Designers' Guide – Verson 2.

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BRACING, TIE DOWNS AND LINTELS
 REFER TO ENGINEERS DRAWINGS AND SPECIFICATIONS FOR ALL
 LINTELS OVER OPENINGS, BRACING AND TIE DOWN DETAILS.
 BRACING AND TIE DOWNS TO COMPLY WITH AS1648.2 AND
 LATEST NCC (Vol. 2)



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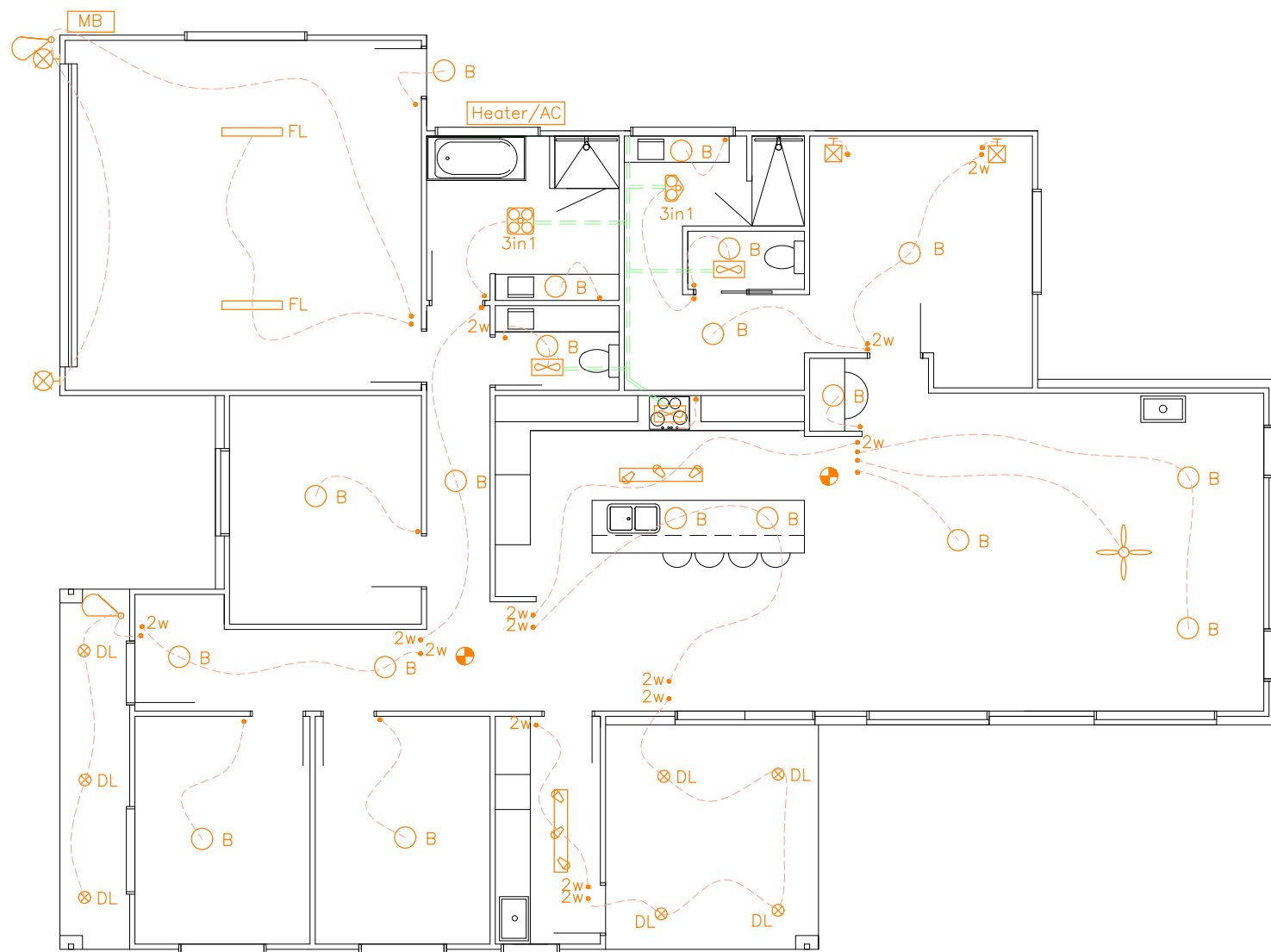
DRAWING TITLE(S):

ROOF FRAMING PLAN

SCALE:
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 (A3)
 Check dimensions.
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DRAWING NO: **A09**
 DRAWN BY: ME
 SHEET NO.: 9 of 14

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BUILDING SEALING

- GENERALLY TO NCC Vol.2 PART 13.4
- ENSURE ALL ROOF LIGHTS, WINDOWS & DOORS SERVICING HABITABLE ROOMS ARE WEATHER STRIPPED AND SEALED TO NCC V.2 REQUIREMENTS.
- MECHANICAL VENTILATION IS TO BE PROVIDED AND INSTALLED IAW THE NCC V.2 AND MUST BE EXHAUSTED BY WAY OF DUCTS TO THE EXTERIOR OF THE BUILDING IF IT IS THE ONLY SOURCE OF VENTILATION PROVIDED.
- 6 STAR PROVISIONS ALLOW UP TO 1% OF THE CEILING INSULATION AREA TO BE LOST TO PENETRATIONS SUCH AS DOWNLIGHTS. IF THIS IS EXCEEDED, THE REMAINDER OF THE INSULATION MUST BE INCREASED BY 25% AND UPWARDS DEPENDING ON ACTUAL PERCENTAGE OF PENETRATIONS.
- ROOF LIGHTS TO HABITABLE ROOMS TO BE FITTED WITH OPERABLE OR PERMANENT SEAL TO MINIMISE AIR LEAKAGE.
- EXHAUST FANS TO HABITABLE ROOMS/ CONDITIONED SPACES TO BE FITTED WITH SELF CLOSING DAMPER OR FILTER.
- CONSTRUCTION JOINTS AND JUNCTIONS OF ADJOINING SURFACES TO BE TIGHT FITTING AND SEALED BY CAULKING, SKIRTING, ARCHITRAVES AND CORNICES AS PER NCC V.2 part13.4
- CHIMNEYS OR FLUES TO BE FITTED WITH SEALING DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL OPENING.

ENERGY EFFICIENCY

- GENERALLY IAW NCC Vol. 2. PART 13.6
- REFER TO ATTACHED ENERGY EFFICIENCY STAR RATING DOCUMENTATION.
- CLIMATE ZONE 7 APPLICABLE TO TASMANIA (ZONE 8 APPLICABLE TO ALPINE AREAS).

BUILDING FABRIC

NCC Vol.2 PART PART 13.2

- BUILDING FABRIC INSULATION TO BE FITTED TO FORM A CONTINUOUS BARRIER TO ROOF/CEILING WALLS AND FLOORS EXCEPT AROUND SERVICES/FITTINGS (SEE ABOVE-BUILDING SEALING). INSULATION MUST ABUT OR OVERLAP ADJOINING INSULATION OR COLUMNS, STUDS, NOGGINS (ETC). INSULATION MUST RETAIN ITS POSITION AND THICKNESS WHERE IT CROSSES ROOF BATTENS, WATER PIPES, CABLES ETC.
- REFLECTIVE BUILDING MEMBRANE WITH MIN. 0.2 R VALUE, INSTALLED TO FORM 20mm AIRSPACE BETWEEN REFLECTIVE FACE AND EXTERNAL LINING/ CLADDING, FITTED CLOSELY UP TO PENETRATIONS/ OPENINGS, ADEQUATELY SUPPORTED AND JOINTS TO BE LAPPED MIN. 150mm OR TAPED TOGETHER AT LAPS.
- ANY SARKING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.

LIGHTING LAYOUT IS INDICATIVE ONLY AND SHOULD BE CONFIRMED WITH BUILDING CONTRACTOR AND CLIENT PRIOR TO INSTALLATION, HOWEVER MUST COMPLY WITH MINIMUM ILLUMINATION POWER LOAD ALLOWANCES IN THIS TABLE.

LIGHTING SCHEDULE			
ROOM NAME	FLOOR AREA (sqm)	ALLOWANCE (W/sqm)	ILLUMINATION POWER LOAD ALLOWANCE (Watt)
01- GARAGE	36.7	3	110
02- BATHROOM	9.2	5	46
03- POWDER	3.1	5	16
04- ENSUITE	9.1	5	46
05- WC	2.0	5	10
06- BEDROOM 1	14.2	5	71
07- STUDY NOOK	1.2	5	6
08- KITCH/DINING/ LIVING	69.9	5	350
09- INNER HALLWAY	6.0	5	30
10- BEDROOM 4	10.9	5	55
11- ENTRANCE HALLWAY	7.0	5	35
12- BEDROOM 2	10.0	5	50
13- BEDROOM 3	10.0	5	50
14- LAUNDRY	11.2	5	56
15- ALFRESCO	14.0	4	56
16- FRONT PORCH AREA	8.3	4	33
TOTAL	222.8		1018

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Light Switch(2w=2 way switch) (Dim =dimmer)	Ceiling Fans
Meter Box	Combination light, fan & heat lamp unit (4 lamp) 4x275W heat lamps (not included in calculation) 1x 15W fluorescent globe.
Smoke Alarm –all interconnected, hard wired with battery backup. To AS 3786 and Part 3.7.2 of current NCC(Vol2)	Combination light, fan & heat lamp unit (2 lamp) 4x275W heat lamps (not included in calculation) 1x 15W fluorescent globe.
External sensor (to meet NCC requirement that external lights be controlled by a daytime sensor).	Surface mounted 1x 28Wfluorescent fitting
Surface mounted batten light fitting with 11W LED globes.	LED Up/Down exterior wall light (12W) mounted at 1800mm AFL
Downlights –IC Rated LED –fitted with approved covers that allow bulk insulation to fully cover.	LED Up/Down interior wall light (16W) mounted at 1800mm AFL
Track Lights	Exhaust ducts to Exterior
Range Hood/ Exhaust Fan	
Heater/AC Condenser– for Ducted System	

All bathroom fans to be fitted with backdraught dampers/ shutters

External lights must be controlled by a daylight sensor (as shown), or have an average light source efficiency of not less than 40 lumens/W

Adjustment of minimum R –Value for loss of ceiling insulation.
(NCC Vol.2 2020 13.2)

Minimum R-Value of ceiling insulation required to satisfy NCC Vol.2 2022 Table 13.2.3h = R4.5

Total habitable ceiling area: 186 sq.m
Area of fans/ lights: 0.92 sq.m

Percentage of ceiling un-insulated due to light fittings and fans(NCC Vol.2 2022 table 13.2) = 0.49%

No adjustment of ceiling insulation is required. (if percentage un-insulated is less than 0.5%)

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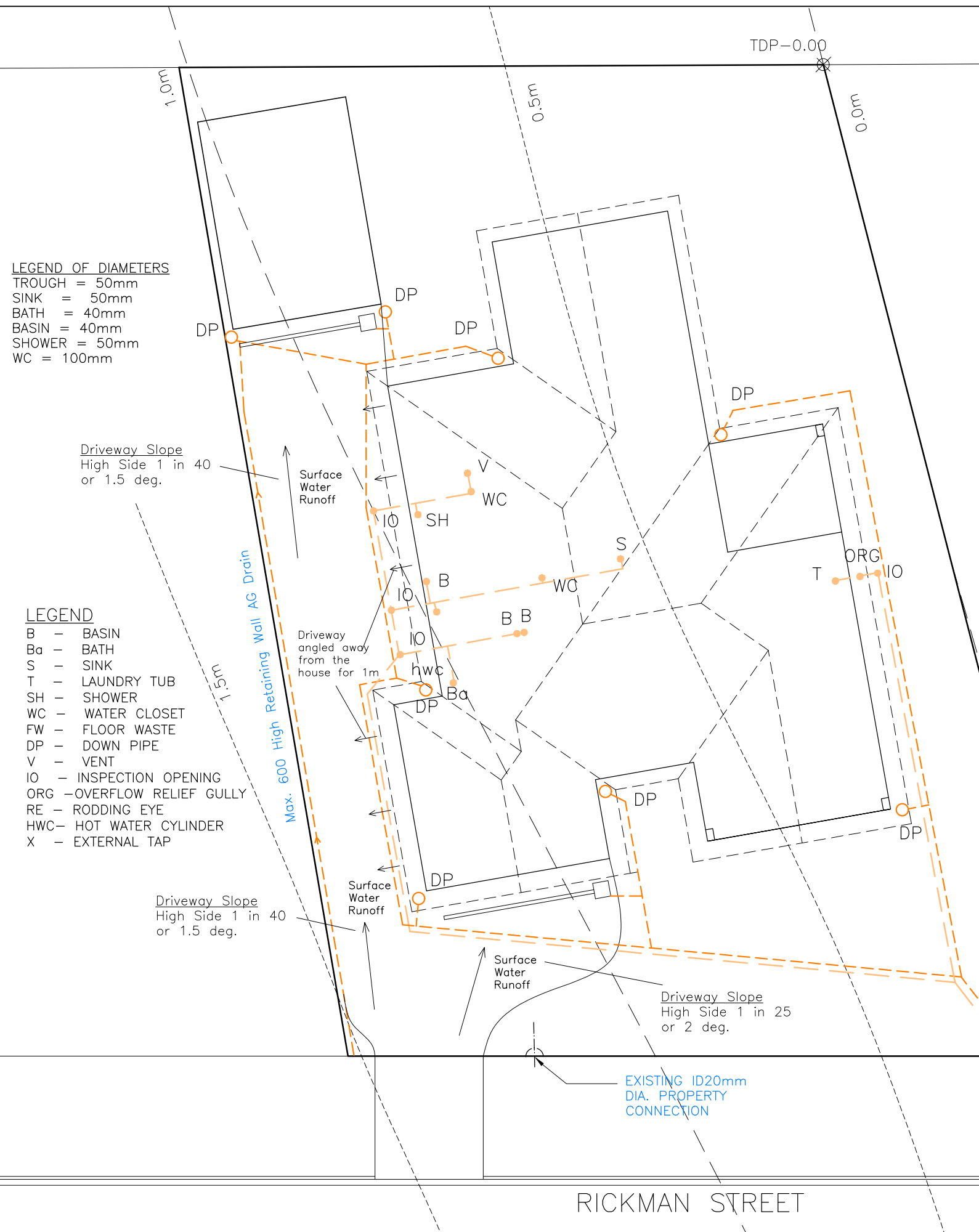
CLIENT: A & C DYKMAN
 PROJECT: PROPOSED NEW RESIDENCE
 5 RICKMAN STREET
 DELORAINE

DRAWING TITLE(S):
 REFLECTED CEILING PLAN

SCALE:
 NTS
 (A3)
 Check dimensions.
 Dimensions take precedence over scale

DRAWING NO: **A10**
 DRAWN BY: ME
 SHEET NO. :10 of 14

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LEGEND OF DIAMETERS
 TROUGH = 50mm
 SINK = 50mm
 BATH = 40mm
 BASIN = 40mm
 SHOWER = 50mm
 WC = 100mm

LEGEND
 B - BASIN
 Ba - BATH
 S - SINK
 T - LAUNDRY TUB
 SH - SHOWER
 WC - WATER CLOSET
 FW - FLOOR WASTE
 DP - DOWN PIPE
 V - VENT
 IO - INSPECTION OPENING
 ORG - OVERFLOW RELIEF GULLY
 RE - RODDING EYE
 HWC - HOT WATER CYLINDER
 X - EXTERNAL TAP

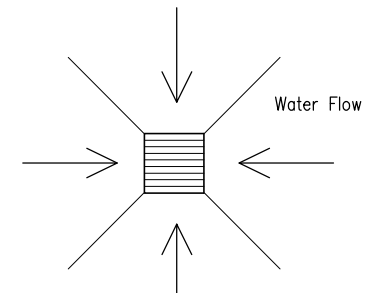
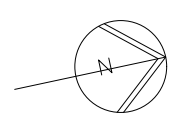
NOTES
 THIS PLAN IS INDICATIVE ONLY AND MAY BE VARIED BY PLUMBER. IN THIS EVENT, PLUMBER SHOULD PROVIDE NEW DETAILS.
 LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF SITE WORKS
 CONFIRM CONNECTION DEPTHS PRIOR TO COMMENCEMENT OF SITE WORKS. DEPTHS MAY DICTATE SLAB HEIGHT.

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES REQUIREMENTS. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND MUST BE CARRIED OUT BY A LICENCED PLUMBER.
 DOWNPIPES - 90 dia.
 STORMWATER - 100 dia PVC AT 1:100 GRADIENT MIN.
 SEWER - 100 dia PVC AT 1:60 GRADIENT MIN.

430x430 Grated Trafficable Pits and grated drains (if required) to collect hardstand stormwater

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2/ WSA 02-2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes.
COLD WATER
 FROM METER TO HOUSE USE 25mm CLASS 12 POLYETHYLENE. INSIDE HOUSE USE 20mm CLASS 'B' WITH 12mm CLASS 'B' COPPER BRANCH LINES
HOT WATER
 FROM HWC USE 18mm CLASS 'B' WITH 15mm COPPER BRANCH LINES TO FIXTURES. INSTALL 'RMC' OR EQUAL TEMPERING VALVE SET TO 50 deg. C
 HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IAW AS/NZS 3500.

NOTES:
 Install inspection openings (IO) at major bends for stormwater and all low points of downpipes.
 All plumbing & drainage to be in accordance with local Council requirements.
 Provide surface drain to back of bulk excavation to drain levelled pad prior to commencing footing excavation.
SERVICES
 The heated water system must be designed and installed with Part B2 of NCC Volume Three- Plumbing Code of Australia.
 Thermal insulation for heated water piping must:
 a) be protected against the effects of weather and sunlight; and
 b) be able to withstand the temperatures within the piping; and
 c) use thermal insulation in accordance with AS/NZ 4859.1
 Heated water piping that is not within a conditioned space must be thermally insulated as follows:
1. Internal Piping
 a) All flow and return internal piping that is -
 i) within an unventilated wallspace
 ii) within an internal floor between storeys; or
 iii) between ceiling insulation and a ceiling
 Must have a minimum R-Value of 0.2 (ie 9mm of closed cell polymer insulation)
2. Piping located within a ventilated wall space, an enclosed building subfloor or a roof space.
 a) All flow and return piping
 b) Cold water supply piping and Relieve valve piping- within 500mm of the connection to central water heating system
 Must have a minimum R-Value of 0.45 (ie 19mm of closed cell polymer insulation)
3. Piping located outside the building or in an unenclosed building sub-floor or roof space
 a) All flow and return piping
 b) Cold water supply piping and Relieve valve piping- within 500mm of the connection to central water heating system
 Must have a minimum R-Value of 0.6 (ie 25mm of closed cell polymer insulation)
 Piping within an insulated timber framed wall such as that passing through a wall stud, is considered to comply with the above insulation requirements.



All indicated hardstand grated trafficable pits to be at a lower height to surrounding hardstand so that all hardstand water is directed to the closest grated trafficable pit. All overflow of water from hardstand areas should be directed to trafficable, grated pits and not to neighbouring properties or units.

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CLIENT: A & C DYKMAN
 PROJECT: PROPOSED NEW RESIDENCE
 5 RICKMAN STREET
 DELORAINÉ

DRAWING TITLE(S):
 PLUMBING/ DRAINAGE PLAN

SCALE:
 1:150
 Check dimensions. Dimensions take precedence over scale
 DRAWING NO: **A11**
 DRAWN BY: ME
 SHEET NO.: 11 of 14

WATERPROOFING AND WATER RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS IN WET AREAS:

VESSEL OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCL. HOB	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAX RETAINED WATER LEVEL, WHICH EVER IS GREATER, WITH THE REMAINDER BEING WATER RESISTANT TO 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCL. WATERSTOP	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATER RESISTANT TO MIN. 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH STEP DOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCL. THE STEPDOWN	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAX RETAINED WATER LEVEL, WHICH EVER IS GREATER, WITH THE REMAINDER BEING WATER RESISTANT TO 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	NOT APPLICABLE	WATER RESISTANT TO A HEIGHT NOT LESS THAN 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
UN-ENCLOSED SHOWERS	WATERPROOF ENTIRE UN-ENCLOSED SHOWER FLOOR	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAX RETAINED WATER LEVEL, WHICH EVER IS GREATER, WITH THE REMAINDER BEING WATER RESISTANT TO 1800mm ABOVE THE FFL.	WATERPROOF INTERNAL & EXTERNAL CORNERS & HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE FLOOR LEVEL AND NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEETING	WATER RESISTANT TO ENTIRE FLOOR	NOT APPLICABLE	WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	NOT APPLICABLE
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER AND PARTICLE BOARD FLOORING	WATER PROOF TO ENTIRE FLOOR	NOT APPLICABLE	WATERPROOF ALL WALL/FLOOR JUNCTIONS WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	NOT APPLICABLE
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEETING	WATER RESISTANT TO ENTIRE FLOOR	WATER RESITANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL UP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER A BATH AND WATER RESITANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP & SPOUT PENETRATIONS ONHORIZONTAL SURFACES
AREAS ADJACENT TO BATHS AND SPAS FOR TIMBER AND PARTICLE BOARD FLOORING	WATER PROOF TO ENTIRE FLOOR	WATER RESITANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL UP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS AREA MUST BE WATERPROOF FOR SHOWERS OVER A BATH AND WATER RESITANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP & SPOUT PENETRATIONS ON HORIZONTAL SURFACES
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. WATERPROOF ENTIRE SHELF AREA INCORPORATING 'WATERSTOP' UNDER THE BATH LIP AND PROJECT NOT LESS THAN 5mm ABOVE THE TILE SURFACE	NOT APPLICABLE FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	NOT APPLICABLE FOR WALL UNDER BATH	WATERPROOF ALL TAP & SPOUT PENETRATIONS ON HORIZONTAL SURFACES
WALLS ADJOINING OTHER VESSELS (SINKS, TUBS, BASINS)	NOT APPLICABLE	WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF THE VESSEL.	WATERPROOF ALL TAP & SPOUT PENETRATIONS ON HORIZONTAL SURFACES
LAUNDRIES & WC'S	WATER RESISTANT TO ENTIRE FLOOR	WATERPROOF ALL WALL/ FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FFL, SEALED TO FLOOR.	WATERPROOF ALL WALL/ FLOOR JUNCTIONS WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm	NOT APPLICABLE

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ALL WATERPROOFING USE 'ARDEX' WPM SERIES PRODUCTS (OR SIMILAR) STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AS 3740- Waterproofing of Wet Areas within Residential Buildings.

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CLIENT: A & C DYKMAN
 PROJECT: PROPOSED NEW RESIDENCE
 5 RICKMAN STREET
 DELORAINE

DRAWING TITLE(S):

WET AREA DETAILS 1

SCALE: N/A (A3)
 Check dimensions. Dimensions take precedence over scale

DRAWING NO: **A12**
 DRAWN BY: ME
 SHEET NO.: 12 of 14



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WP—Waterproof
WR—Water Resistant

WET AREAS – NCC Vol.2 2022 PART 10.2
GENERAL NOTES

WET AREAS MUST BE WATER PROOF OR WATER RESISTANT IN ACCORDANCE WITH NCC Vol.2 2022 PART 10.2

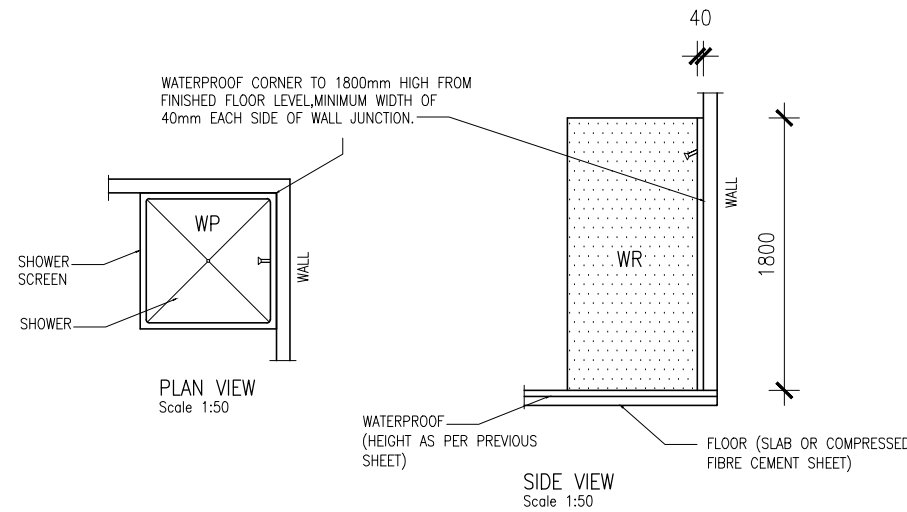
FOR DEFINITIONS OF WATERPROOF & WATER RESISTANT REFER TO NCC Vol.2 2022 PART 10.2

PREFORMED SHOWER BASES MUST BE INSTALLED IN A MANOR TO AVOID DISTORTION AND CRACKING.

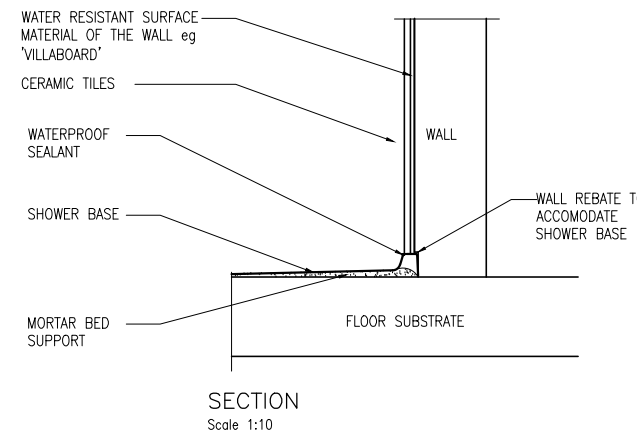
PREFORMED BATHS AND SPAS MUST BE INSTALLED IN A MANOR TO AVOID DISTORTION AND CRACKING.

WET AREA FLOORS MUST BE INSTALLED SO THAT WATER FLOWS TO THE WASTE WITHOUT PONDING. REFER TO NCC Vol.2 2022 Part 10.2

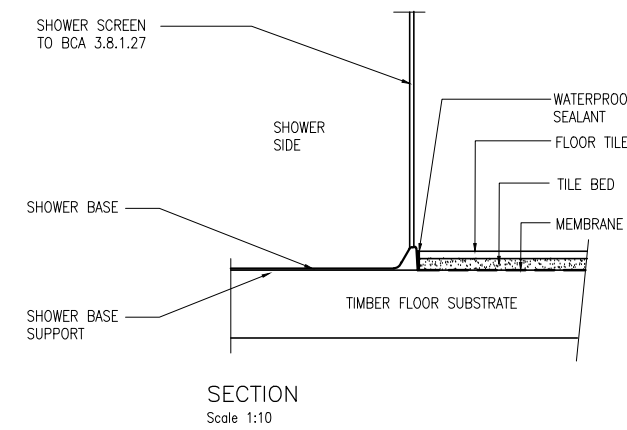
BOND BREAKERS MUST BE INSTALLED AT ALL WALL/ FLOOR, HOB/WALL JUNCTIONS AND AT MOVEMENT JOINTS. BOND BREAKERS MUST BE OF THE TYPE COMPATIBLE WITH THE FLEXIBILITY CLASS OF THE MEMBRANE USED.



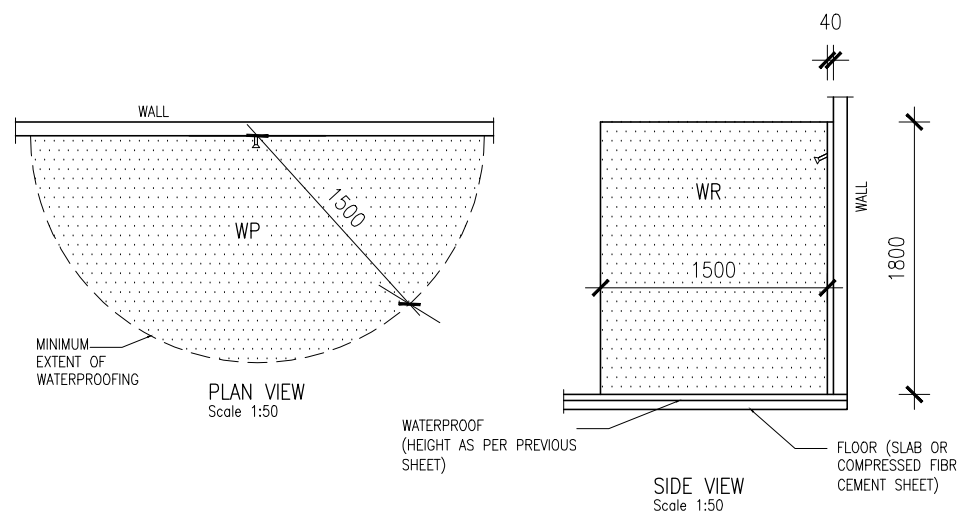
TYPICAL DETAIL—ENCLOSED SHOWER
EXTENT OF TREATMENT FOR SHOWER AREA— CONCRETE & COMPRESSED CEMENT SHEET FLOOR



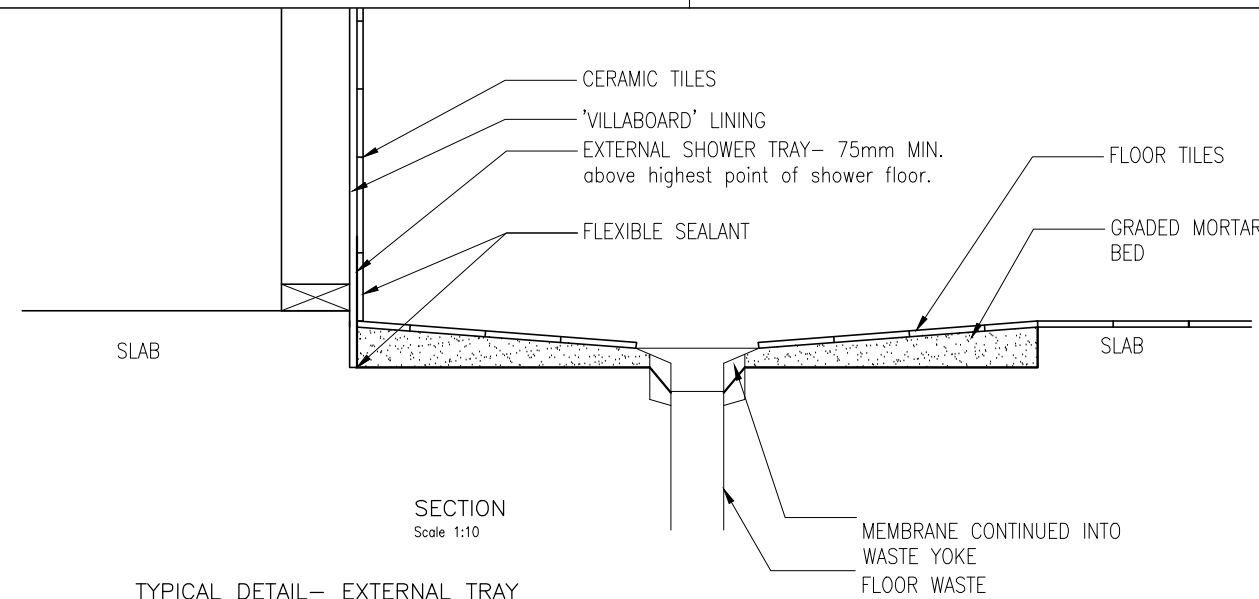
TYPICAL DETAIL—PREFORMED SHOWER BASE
WALL/FLOOR JUNCTION



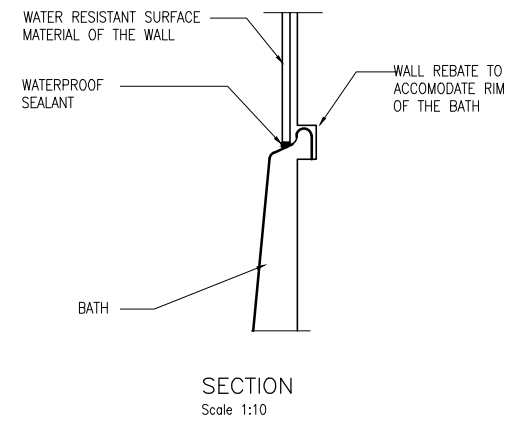
TYPICAL DETAIL—PREFORMED SHOWER BASE/
SHOWER SCREEN—TIMBER FLOOR



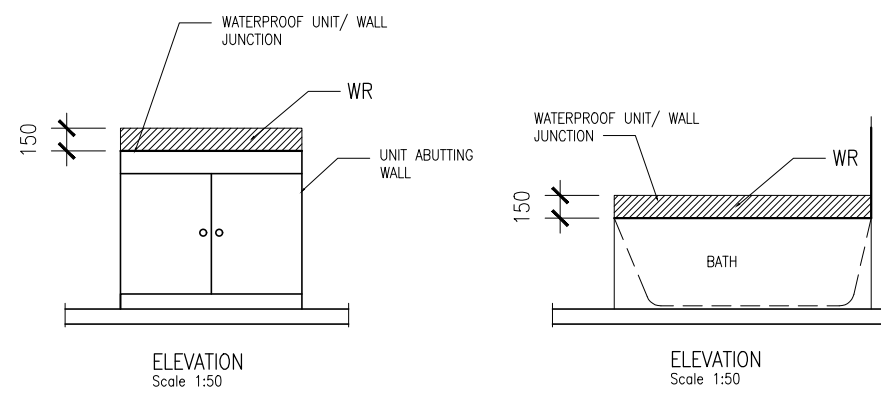
TYPICAL DETAIL UN—ENCLOSED SHOWER
EXTENT OF TREATMENT FOR SHOWER AREA— CONCRETE & COMPRESSED CEMENT SHEET FLOOR



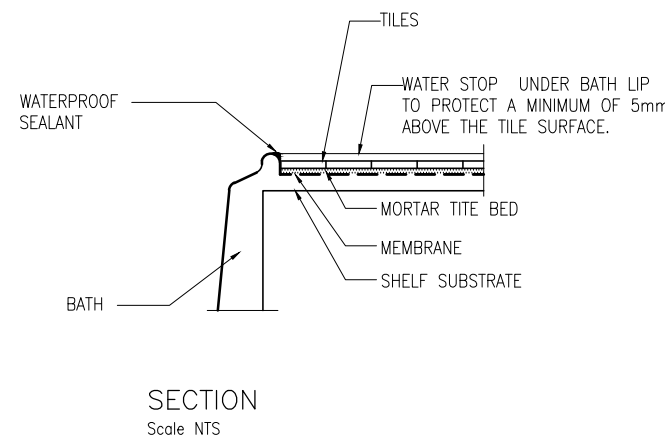
TYPICAL DETAIL— EXTERNAL TRAY
SHOWER SET DOWN IN SLAB FLOOR



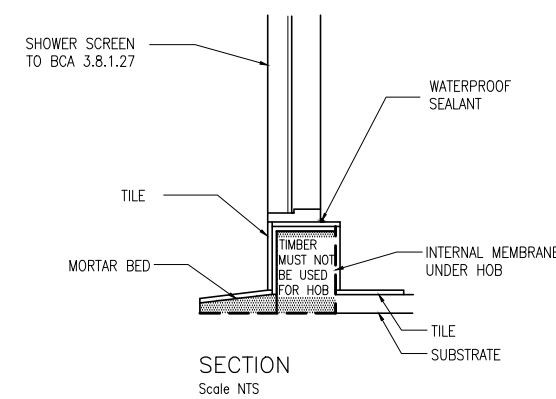
TYPICAL DETAIL—BATH/WALL JUNCTION—
RECESSED



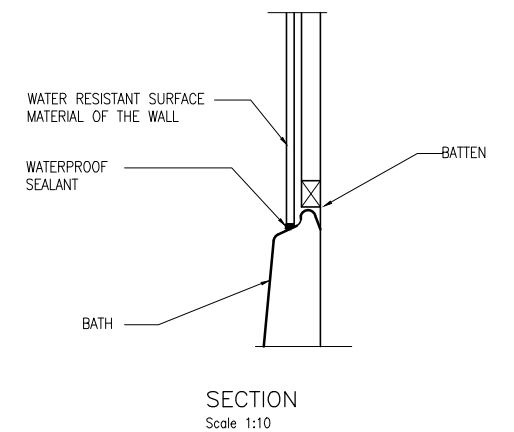
TYPICAL DETAIL —VESSEL & BATH ABUTTING WALL
—AREAS TO BE TREATED



TYPICAL DETAIL—BATH/SHELF JUNCTION



TYPICAL HOB CONSTRUCTION—EXTERNAL
(PRE—FORMED) MEMBRANE



TYPICAL DETAIL—BATH/WALL JUNCTION—
RECESSED

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DRAWING TITLE(S):

WET AREA DETAILS 2

SCALE: N/A (A3)
Check dimensions. Dimensions take precedence over scale

DRAWING NO: A13

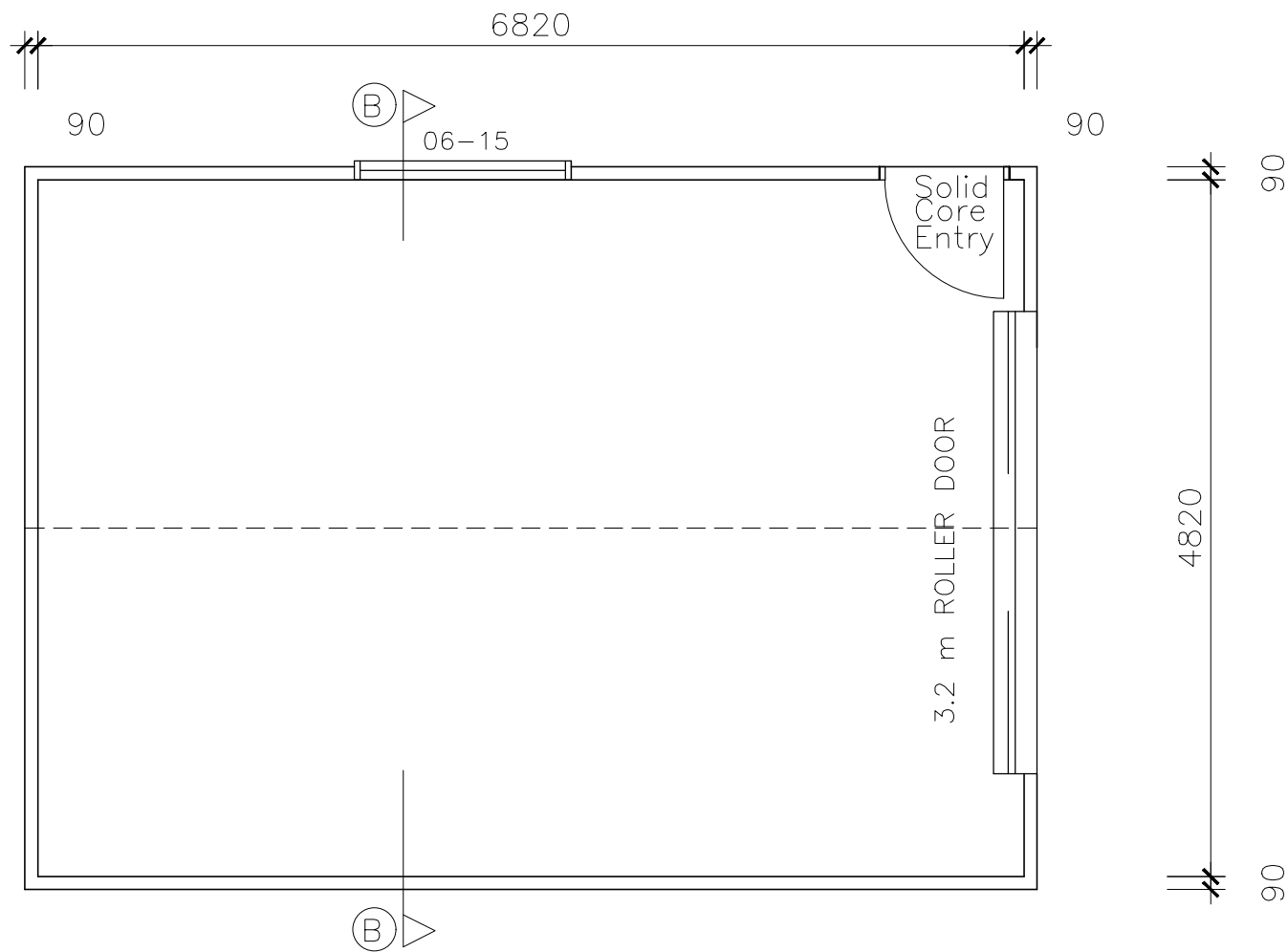
DRAWN BY: ME

SHEET NO.:13 of 14

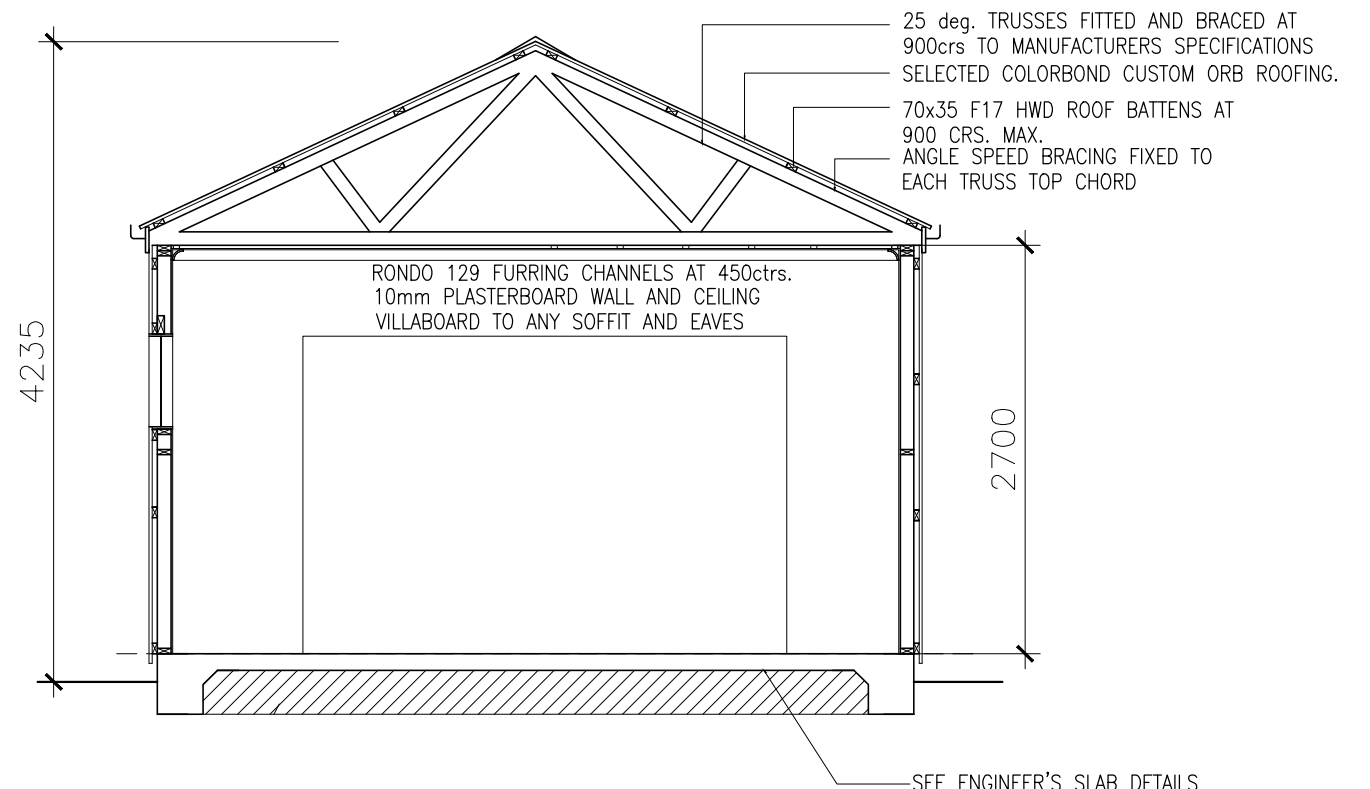
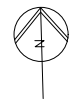
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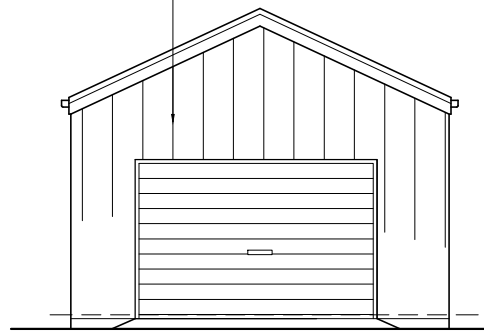


FLOOR PLAN
Scale 1:50



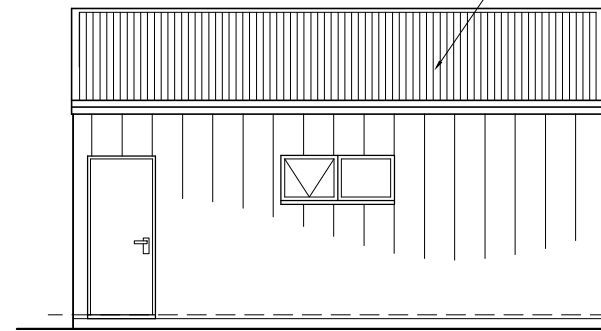
SECTION BB
Scale 1:50

WALL CLADDING
J.H 'Easylap' (OR SIMILAR)
FIXED STRICTLY IAW
MANUFACTURERS SPECIFICATIONS

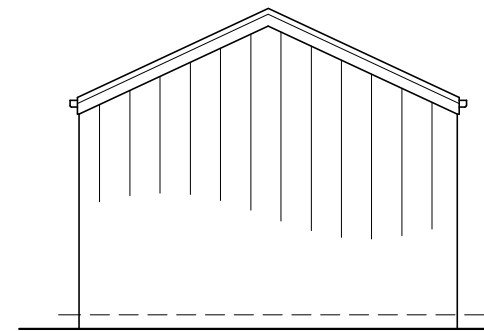


EASTERN ELEVATION

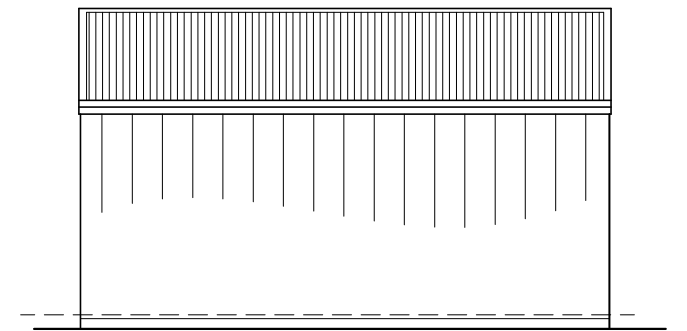
COLOURBOND CUSTOM ORB ROOF AND
WALL CLADDING,GUTTER AND FASCIA ALL
ROUND. COLOUR TO MATCH HOUSE
INSTALLED IAW MANUFACTURERS
INSTRUCTIONS.



NORTHERN ELEVATION



WESTERN ELEVATION



NORTHERN ELEVATION

SHED ELEVATIONS

Scale 1:100

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DRAWING TITLE(S):

SHED DETAILS

SCALE:
N/A
(A3)
Check dimensions.
Dimensions take
precedence over scale

DRAWING NO: **A14**

DRAWN BY: ME

SHEET NO. :14 of 14

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