



Meander Valley Council  
Working Together

## PLANNING NOTICE

An application has been received for a Permit under s.57 of the Land Use Planning Approvals Act 1993:

APPLICANT:	<b>Engineering Plus - PA\26\0094</b>
PROPERTY ADDRESS:	<b>87 Bishopsbourne Road CARRICK (CT: 182018/9)</b>
DEVELOPMENT:	<b>Single dwelling &amp; Residential outbuildings (shed, 2x shipping container) - site coverage, setback, driveway, attenuation area.</b>

The application can be inspected until **Tuesday, 11 November 2025**, at [www.meander.tas.gov.au](http://www.meander.tas.gov.au) or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to [planning@mvc.tas.gov.au](mailto:planning@mvc.tas.gov.au). Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Dated at Westbury on 25 October 2025.

Jonathan Harmey  
**GENERAL MANAGER**

# APPLICATION FORM

## PLANNING PERMIT

### Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

#### OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work?  Yes  No Indicate by ✓ box
- Have you already received a Planning Review for this proposal?  Yes  No
- Is a new vehicle access or crossover required?  Yes  No

#### PROPERTY DETAILS:

Address:	<input type="text" value="87 BISHOPSBOURNE ROAD"/>	Certificate of Title:	<input type="text" value="182018/9"/>
Suburb:	<input type="text" value="CARRICK TAS"/>	<input type="text" value="7291"/>	Lot No: <input type="text" value="9"/>
Land area:	<input type="text" value="10020 m2"/>	<i>m<sup>2</sup> / ha</i>	
Present use of land/building:	<input type="text" value="Vacant"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence:  Yes  No
- Heritage Listed Property:  Yes  No

#### DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- |   |  |                                      |                                     |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry                 | <input type="checkbox"/> Other         |                                      |                                     |

Total cost of development (inclusive of GST):  *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building:  (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area:  m<sup>2</sup>      New building height:  m

Materials: External walls:  Colour:   
Roof cladding:  Colour:

SEARCH OF TORRENS TITLE

VOLUME 182018	FOLIO 9
EDITION 3	DATE OF ISSUE 22-Mar-2023

SEARCH DATE : 07-Dec-2023

SEARCH TIME : 01.58 PM

DESCRIPTION OF LAND

Parish of CARRICK Land District of WESTMORLAND  
 Lot 9 on Sealed Plan 182018  
 Derivation : Part of Lot 53, 500 Acres Gtd. to William Bryan  
 Prior CT 173102/2

SCHEDULE 1


N119111 TRANSFER to URSULA KATE MCCULLOCH Registered  
 22-Mar-2023 at 12.01 PM

SCHEDULE 2

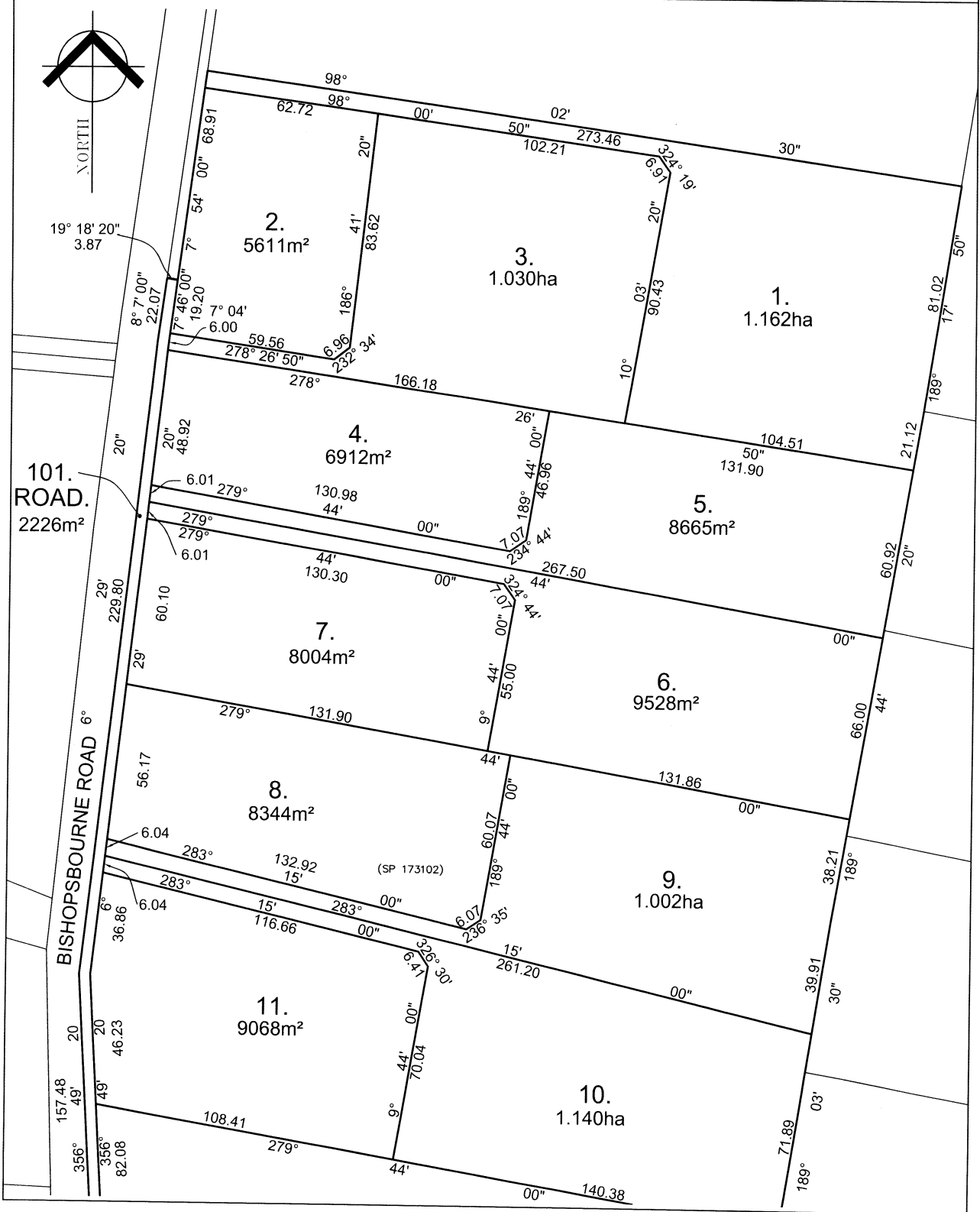
Reservations and conditions in the Crown Grant if any  
 SP182018 FENCING COVENANT in Schedule of Easements  
 SP173102 FENCING PROVISION in Schedule of Easements  
 B189253 PROCLAMATION under Section 9A and 52A of the Roads  
 and Jetties Act 1935 Registered 03-Jun-1988 at noon  
 E334521 MORTGAGE to Commonwealth Bank of Australia  
 Registered 22-Mar-2023 at 12.02 PM

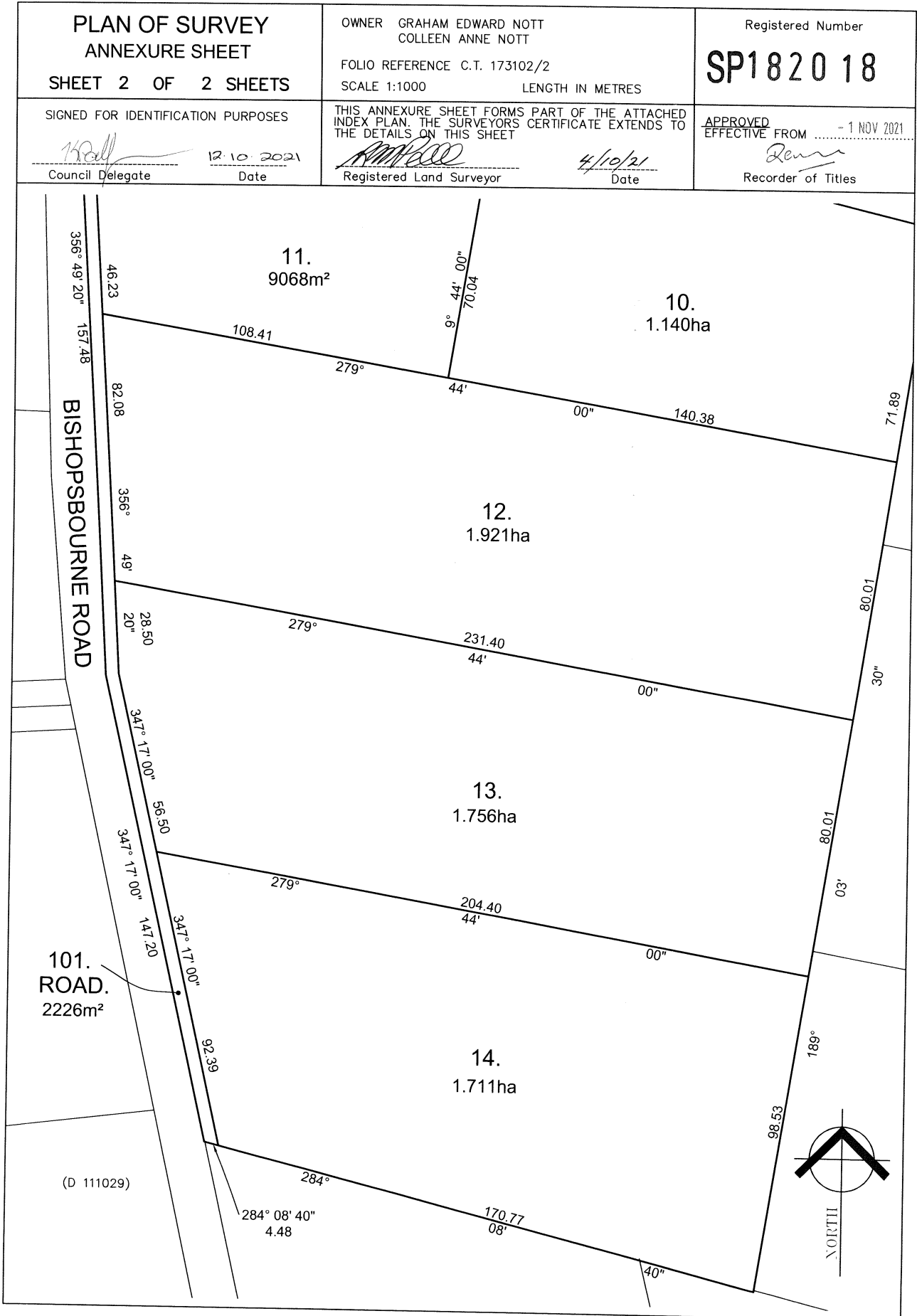
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER     GRAHAM EDWARD NOTT               COLLEEN ANNE NOTT</p> <p>FOLIO REFERENCE     C.T. 173102/2</p> <p>GRANTEE     PART OF LOT 53, 500 ACRES,                   WILLIAM BRYAN-PUR</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR     R. M. PECK</p> <p>LOCATION</p> <p><b>LAND DISTRICT OF WESTMORLAND</b></p> <p><b>PARISH OF CARRICK</b></p> <p>SCALE 1:2000                      LENGTHS IN METRES</p>	<p>Registered Number</p> <p><b>SP1820 18</b></p> <p>APPROVED EFFECTIVE FROM     - 1 NOV 2021</p> <p><i>Deanna</i> Recorder of Titles</p>	
<p>MAPSHEET MUNICIPAL CODE No 121</p>	<p>LAST UPI No</p>	<p>LAST PLAN No. SP 173102</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>
			
<p><i>[Signature]</i> REGISTERED LAND SURVEYOR</p>	<p>4/10/21 DATE</p>	<p><i>[Signature]</i> COUNCIL DELEGATE</p>	<p>12.10.2021 DATE</p>

<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b></p> <p><b>SHEET 1 OF 2 SHEETS</b></p>	<p>OWNER GRAHAM EDWARD NOTT COLLEEN ANNE NOTT</p> <p>FOLIO REFERENCE C.T. 173102/2</p> <p>SCALE 1:1250                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 1820 18</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i>                      12.10.2021 Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>[Signature]</i>                      4/10/21 Registered Land Surveyor                      Date</p>	<p>APPROVED EFFECTIVE FROM - 1 NOV 2021</p> <p><i>[Signature]</i> Recorder of Titles</p>





<p style="text-align: center;"><b>SCHEDULE OF EASEMENTS</b></p> <p><b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p style="font-size: 2em; font-weight: bold;">SP 1820 18</p>
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PAGE 1 OF 1 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

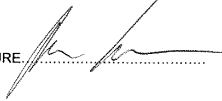
**FENCING COVENANT**

In respect of each Lot on the Plan the Vendors (Graham Edward Nott and Colleen Anne Nott) shall not be required to fence.

SIGNED by GRAHAM EDWARD NOTT )  
 and COLLEEN ANNE NOTT as the Registered )  
 Proprietors of the land comprised in Certificate )  
 of Title Volume 173102 Folio 2 in the presence )  
 of: )

*Graham Nott*  
 \_\_\_\_\_

*Colleen Nott*  
 \_\_\_\_\_


WITNESS SIGNATURE 

FULL NAME..... **Ryan Heath Gregson**  
 OCCUPATION..... **Solicitor**  
**Clarke & Gee**  
 FULL ADDRESS..... **73 Paterson Street**  
**Launceston Tas 7250**

SIGNATURE..... *Graham Nott*

SIGNATURE..... *Colleen Nott*

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Graham Edward Nott & Colleen Anne Nott FOLIO REF: Certificate of Title Volume 173102 Folio 2	PLAN SEALED BY: Meander Valley Council DATE: <u>13 October 2021</u>
SOLICITOR & REFERENCE: Clarke & Gee (R.Gregson)	PA/21/0147 REF NO. <span style="float: right;"> Council Delegate</span>
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

## DRAWING SCHEDULE

A00	COVER PAGE
A01	LOCALITY PLAN
A02	SITE PLAN
A03	GROUND FLOOR - CONSTRUCTION PLAN
A04	MEZZANINE FLOOR - CONSTRUCTION PLAN
A05	GROUND FLOOR PLAN
A06	MEZZANINE FLOOR PLAN
A07	ROOF PLAN
A08	ELEVATIONS # 1
A09	ELEVATIONS # 2
A10	3D PERSPECTIVE

## PROJECT INFORMATION

BUILDING DESIGNER:	GRANT JAMES PFEIFFER
ACCREDITATION No:	CC2211T
BUILDING CLASS:	CLASS 1A
LAND TITLE REFERENCE NUMBER:	182018/9
DESIGN WIND SPEED:	'N2'
SOIL CLASSIFICATION:	'ASSUMED H1'
CLIMATE ZONE:	7
BUSHFIRE-PRONE BAL RATING:	TBC
ALPINE AREA:	N/A
CORROSION ENVIRONMENT:	LOW
FLOODING:	NO
LANDSLIP:	NO
DISPERSIVE SOILS:	UNKNOWN
SALINE SOILS:	UNKNOWN
SAND DUNES:	NO
MINE SUBSIDENCE:	NO
LANDFILL:	NO
GROUND LEVELS:	REFER PLAN
ORG LEVEL:	75mm ABOVE GROUND LEVEL

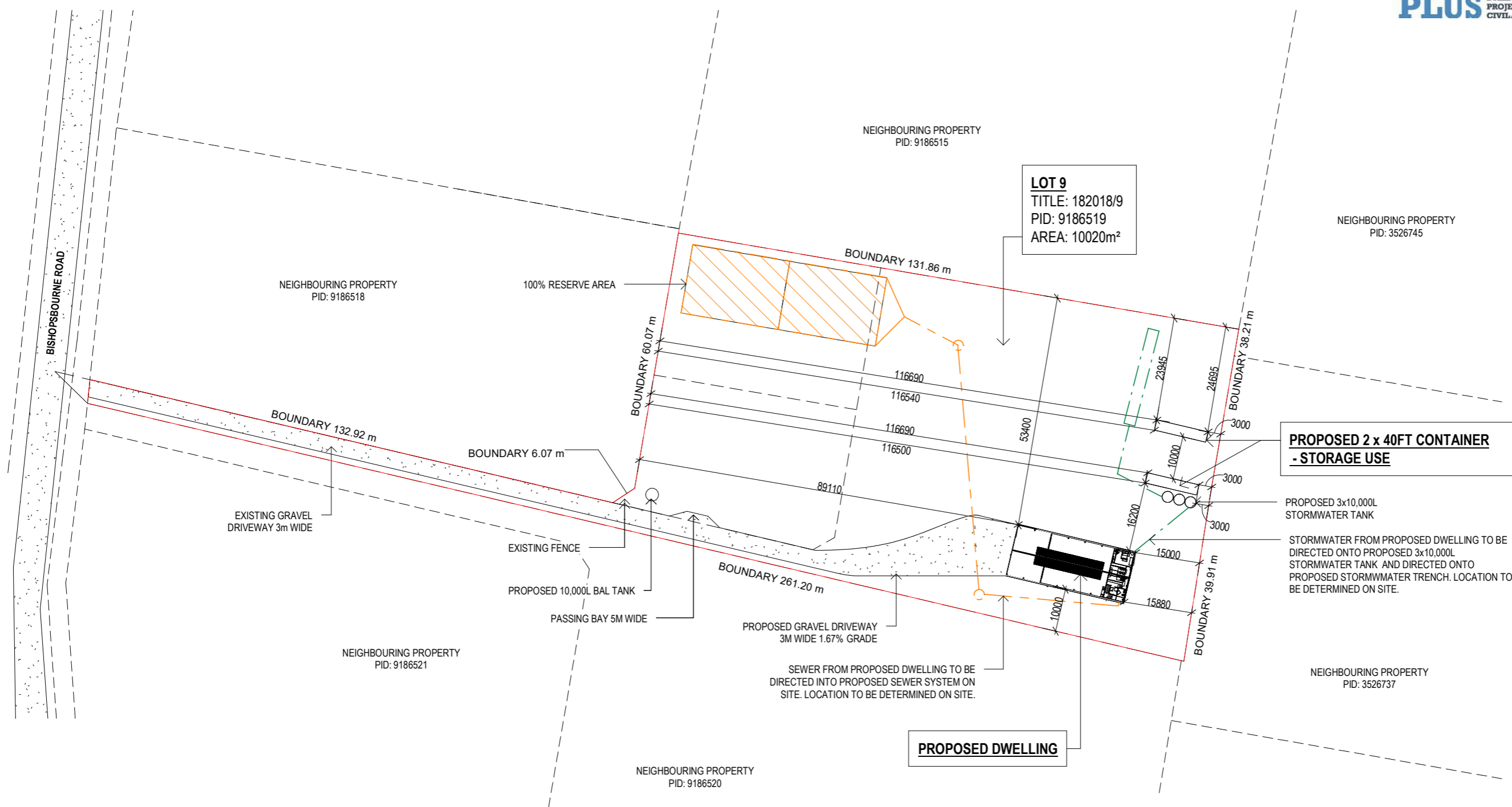
Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED GROUND FLOOR	336.00 m <sup>2</sup>	36.17
PROPOSED MEZZANINE FLOOR	60.00 m <sup>2</sup>	6.46
	396.00 m <sup>2</sup>	42.63

## PROPOSED DWELLING

BRADLEY ROBIN SPILSBURY  
87 BISHOPSBOURNE ROAD  
CARRICK TAS 7291

MEANDER VALLEY COUNCIL

## ISSUED FOR DEVELOPMENT APPROVAL



**LOT 9**  
 TITLE: 182018/9  
 PID: 9186519  
 AREA: 10020m<sup>2</sup>

**PROPOSED 2 x 40FT CONTAINER - STORAGE USE**

PROPOSED 3x10,000L STORMWATER TANK  
 STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED ONTO PROPOSED 3x10,000L STORMWATER TANK AND DIRECTED ONTO PROPOSED STORMWATER TRENCH. LOCATION TO BE DETERMINED ON SITE.

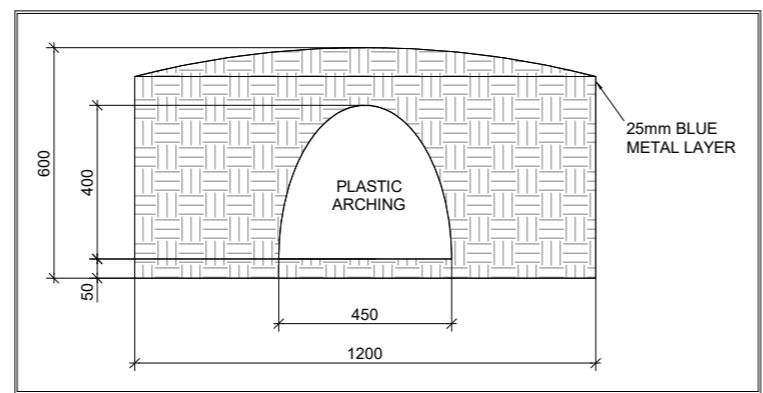
**PROPOSED DWELLING**

**LOCALITY PLAN**  
 SCALE 1 : 1000



- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY  
 - SIGN SIZE DIMENSIONS  
 - MIN. 300mm x 300mm  
 - LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

**BAL NOTES:**  
 - FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS  
 - WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTABLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS  
 - TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA  
 - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE



**DRAINAGE**  
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

LEGEND	
	SEWER
	WATER
	STORMWATER

**PLANNING APPROVAL**  
 Copyright ©

Client: **BRADLEY ROBIN SPILSBURY**  
 Project: **PROPOSED DWELLING**  
 Address: **87 BISHOPSBOURNE RD CARRICK TAS 7291**  
 Office: 6331 7021  
 info@engineeringplus.com.au

D	ADD SECOND CONTAINER	15.10.25	J.N
C	ISSUED FOR DA	08.10.25	J.N
B	PLANNING AMENDMENT	29.09.25	J.N
A	PLANNING AMENDMENT	15.09.25	J.N
-	ISSUED FOR REVIEW	11.09.25	J.N
-	ISSUED FOR REVIEW	09.09.25	J.N
Rev:	Amendment:	Date:	Int:

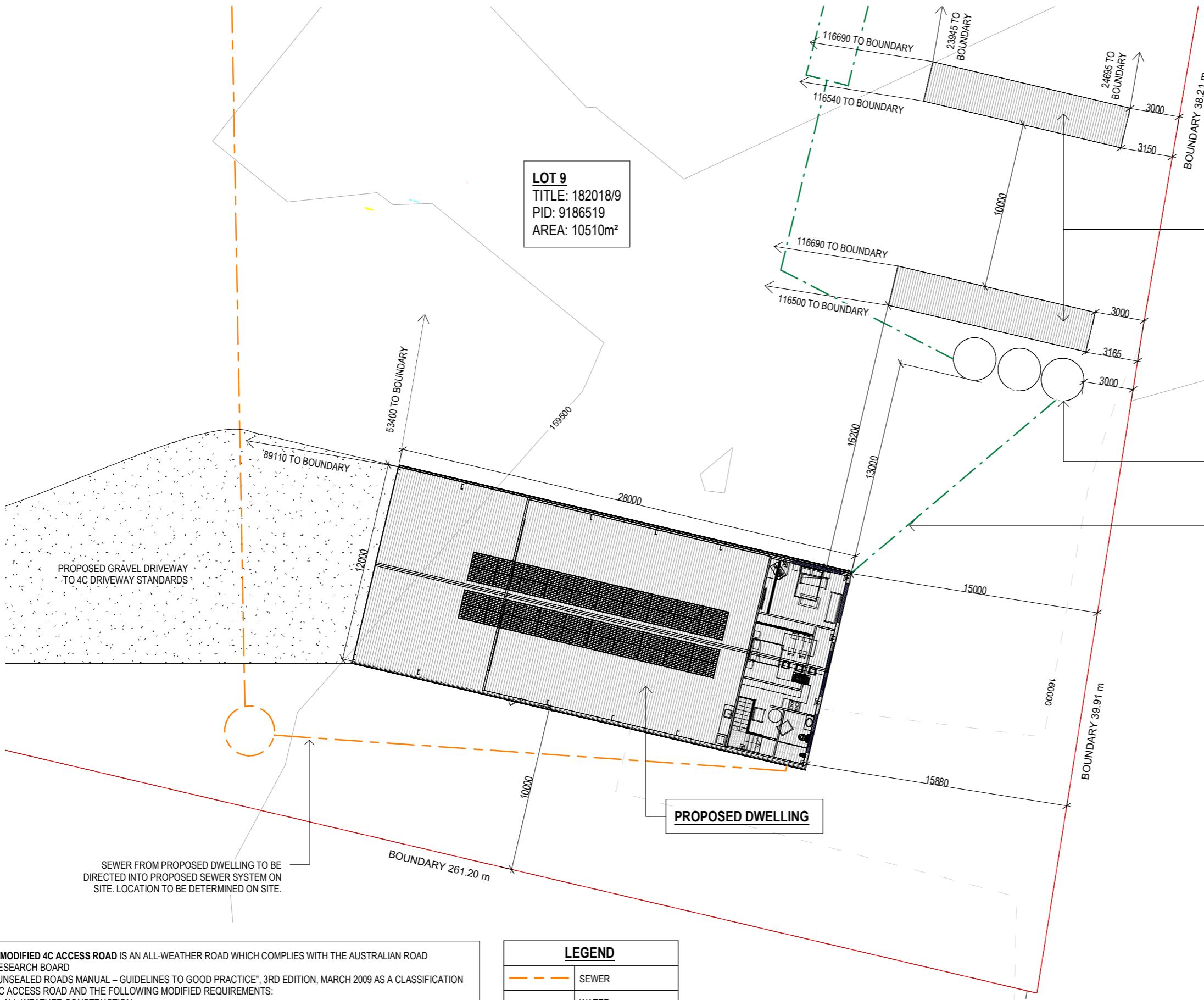
Date Drawn: 03.09.25  
 Drawn: J. Nguyen  
 Checked: R. Hall  
 Approved: J. Pfeiffer  
 Scale: As Shown @ A3  
 Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

Drawing No: **EP-2025-235** A01 / A10  
 Rev: **D**





**LOT 9**  
 TITLE: 182018/9  
 PID: 9186519  
 AREA: 10510m<sup>2</sup>



**PROPOSED 2 x 40FT CONTAINER - STORAGE USE**

PROPOSED 3x10,000L STORMWATER TANK

STORMWATER FROM PROPOSED DWELLING TO BE DIRECTED ONTO PROPOSED 3x10,000L STORMWATER TANK AND DIRECTED ONTO PROPOSED STORMWATER TRENCH. LOCATION TO BE DETERMINED ON SITE.



- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY  
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 - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5v THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE

**A MODIFIED 4C ACCESS ROAD** IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL – GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:  
 -ALL-WEATHER CONSTRUCTION;  
 -LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;  
 -MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;  
 -MINIMUM VERTICAL CLEARANCE OF 4 METRES;  
 -MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;  
 -CROSS FALLS OF LESS THAN 3° (1:20 OR 5%);  
 -DIPS LESS THAN 7° (1:8 OR 12.5%) ENTRY AND EXIT ANGLE;  
 -CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;  
 -MAXIMUM GRADIENT OF 15° (1:3.5 OR 28%) FOR SEALED ROADS, AND 10° (1:5.5 OR 18%) FOR UNSEALED ROADS;  
 AND  
 -TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:  
 -A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES;  
 -A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR  
 -A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES LONG.

LEGEND	
	SEWER
	WATER
	STORMWATER

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**SITE PLAN**  
 SCALE 1 : 250

D	ADD SECOND CONTAINER	15.10.25	J.N
C	ISSUED FOR DA	08.10.25	J.N
B	PLANNING AMENDMENT	29.09.25	J.N
A	PLANNING AMENDMENT	15.09.25	J.N
-	ISSUED FOR REVIEW	11.09.25	J.N
-	ISSUED FOR REVIEW	09.09.25	J.N
Rev:	Amendment:	Date:	Int:

Date Drawn: 03.09.25  
 Drawn: J. Nguyen  
 Checked: R. Hall  
 Approved: J. Pfeiffer  
 Scale: As Shown @ A3  
 Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

**PLANNING APPROVAL**

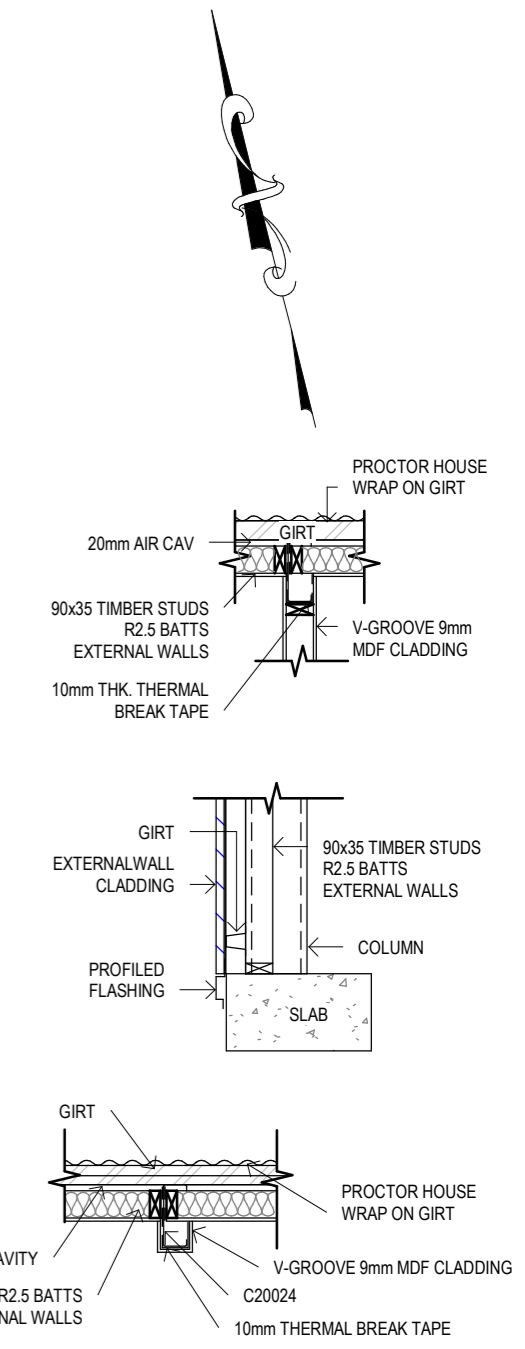
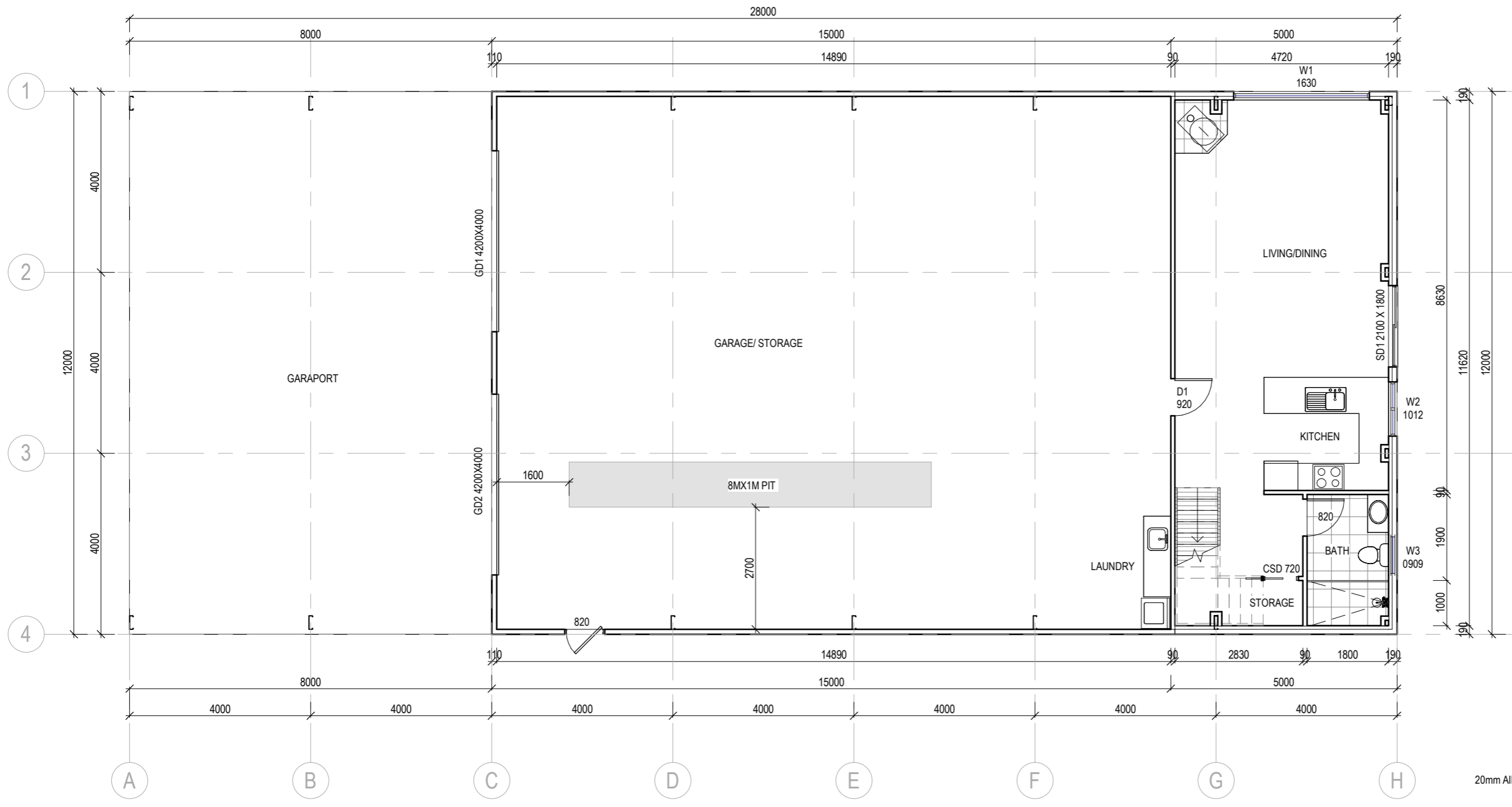
Copyright ©

Client: BRADLEY ROBIN SPILSBURY  
 Project: PROPOSED DWELLING  
 Address: 87 BISHOPSBOURNE RD  
 CARRICK TAS 7291

Office: 6331 7021  
 info@engineeringplus.com.au



Drawing No: EP-2025-235 A02 / A10 Rev D



**WINDOW SCHEDULE**

MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	1650	3000	DG	4.3	0.55
W2	1000	1200	DG	4.3	0.55
W3	900	900	DG	4.3	0.55
W4	1000	2400	DG	4.3	0.55
W5	1000	2400	DG	4.3	0.55
W6	1000	2400	DG	4.3	0.55
SD1	2100	1800	DG	4.0	0.61
D1	2100	920	DG	4.0	0.61

**GROUND FLOOR - CONSTRUCTION PLAN**  
 SCALE 1:100

WINDOWS GREATER THAN 2.0m WINDOW TO HAVE PERMANENTLY FIXED ROBUST SCREEN INSTALLED OR HAVE AN OPENING RESTRICTED TO 125mm

**DISCLAIMER**  
 ALL WINDOWS SHOWN ON PLAN ARE APPROX. BASED OFF STANDARD MANUFACTURING SIZES. ALL WINDOW DIMENSIONS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO ORDERING AND MANUFACTURING.

Area Schedule (Gross Building)		
Name	Area	Area (sq)
PROPOSED GROUND FLOOR	336.00 m <sup>2</sup>	36.17
PROPOSED MEZZANINE FLOOR	60.00 m <sup>2</sup>	6.46
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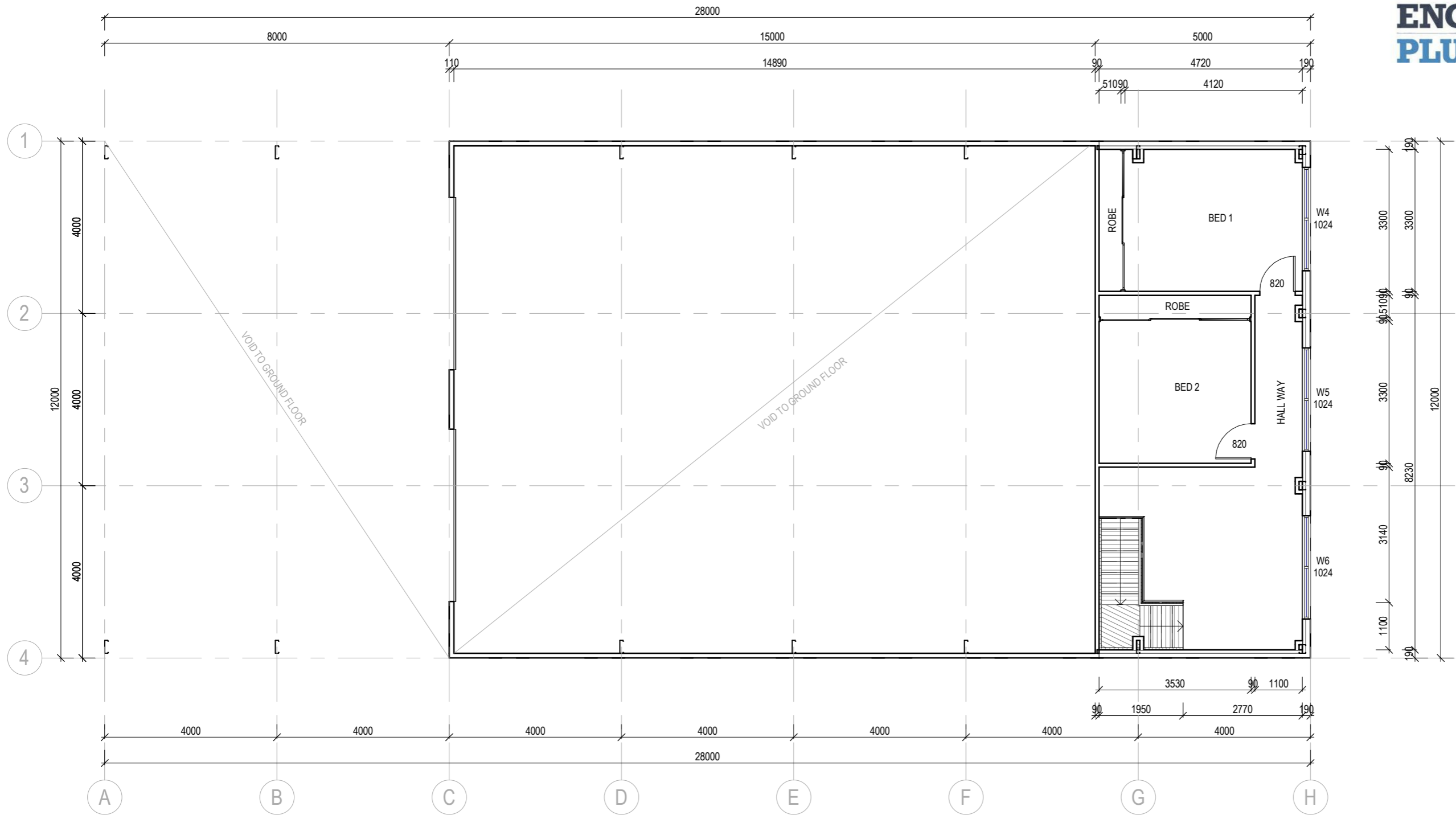
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Office: 6331 7021  
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Drawing No: **EP-2025-235** A03 / A10  
 Rev: **D**



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D1	2100	920	DG	4.0	0.61

**MEZZANINE FLOOR - CONSTRUCTION PLAN**  
 SCALE 1 : 100

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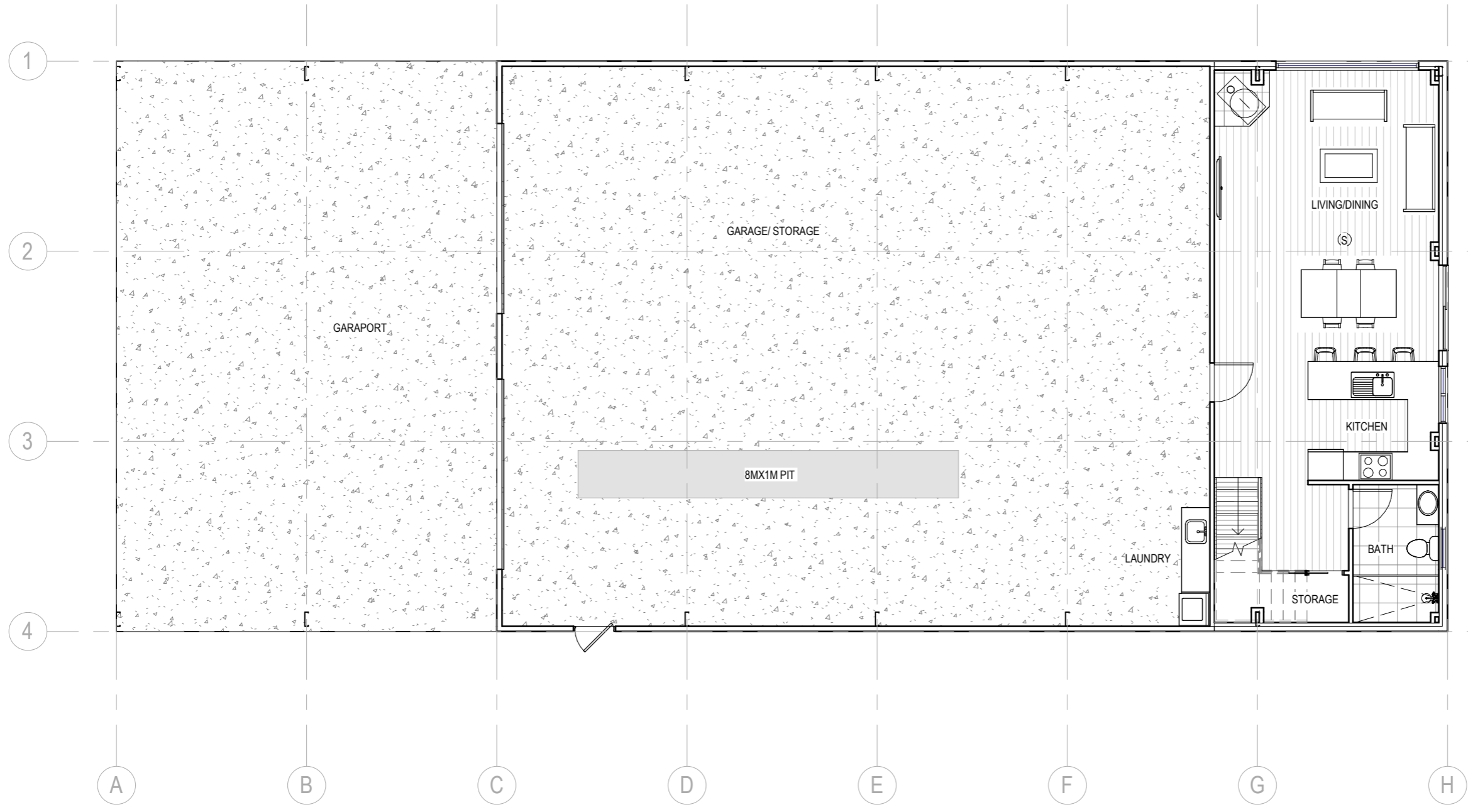
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 Project: PROPOSED DWELLING  
 Address: 87 BISHOPSBOURNE RD  
 CARRICK TAS 7291  
 Office: 6331 7021  
 info@engineeringplus.com.au  
**ENGINEERING PLUS**  
 BUILDING DESIGN  
 PROJECT MANAGEMENT  
 CIVIL/STRUCTURAL ENGINEERING  
 Drawing No: EP-2025-235 A04 / A10  
 Rev: D



**GROUND FLOOR - FLOOR PLAN**  
 SCALE 1:100

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

**SMOKE ALARMS**  
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH ABCB OF H3D6 - PART 9.5

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

D	ADD SECOND CONTAINER	15.10.25	J.N
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 Drawn: J. Nguyen  
 Checked: R. Hall  
 Approved: J. Pfeiffer  
 Scale: As Shown @ A3  
 Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

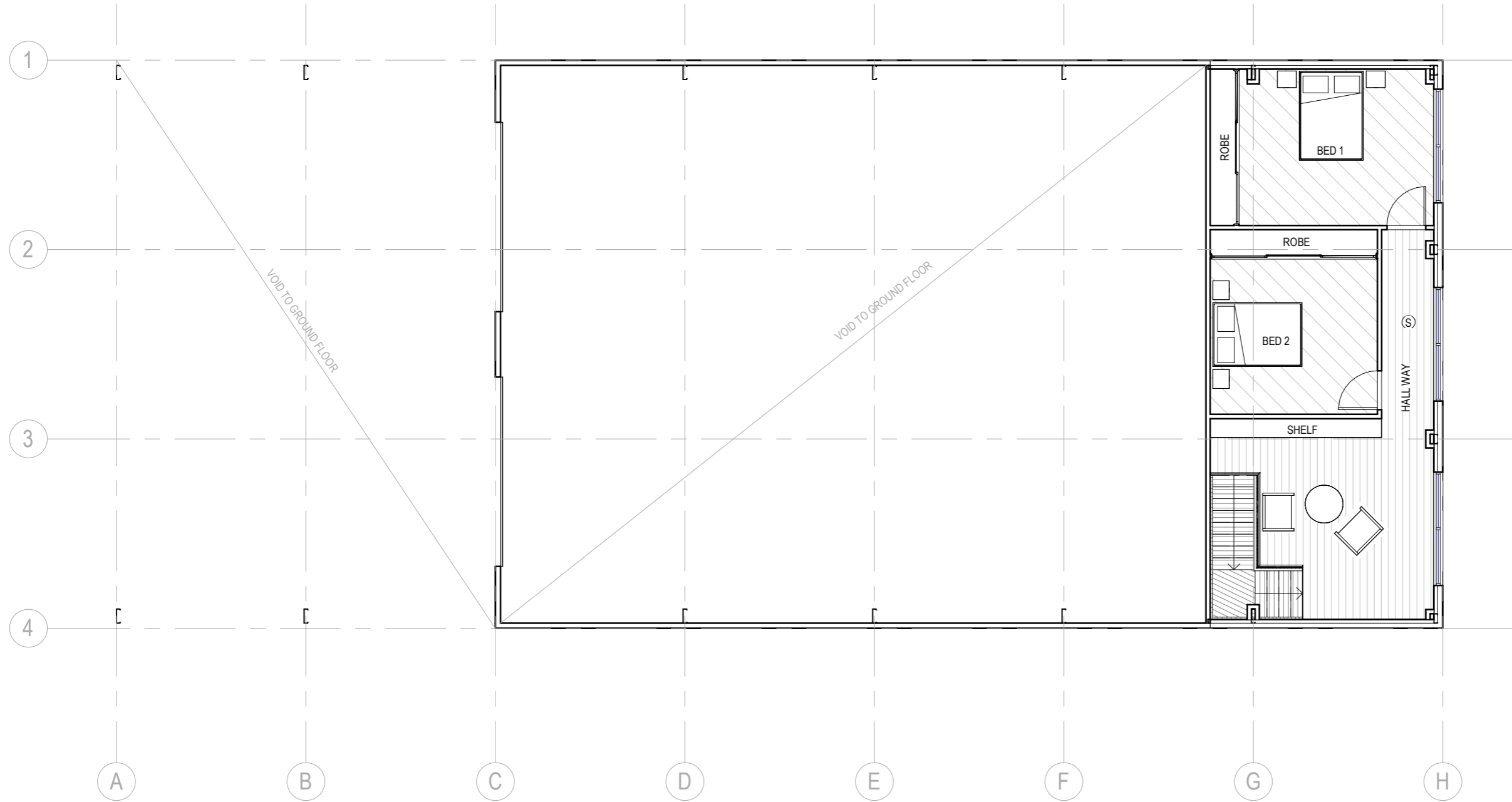
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 Project: PROPOSED DWELLING  
 Address: 87 BISHOPSBOURNE RD  
 CARRICK TAS 7291

Office: 6331 7021  
 info@engineeringplus.com.au

Drawing No: EP-2025-235 A05 / A10 Rev D



**MEZZANINE FLOOR PLAN**  
 SCALE 1 : 100

FLOOR COVERINGS	
	CARPET
	CONCRETE
	TIMBER DECKING
	TILE
	VINYL TIMBER FLOORING

**SMOKE ALARMS**  
 PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH ABCB OF H3D6 - PART 9.5

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

D	ADD SECOND CONTAINER	15.10.25	J.N
C	ISSUED FOR DA	08.10.25	J.N
B	PLANNING AMENDMENT	29.09.25	J.N
A	PLANNING AMENDMENT	15.09.25	J.N
-	ISSUED FOR REVIEW	11.09.25	J.N
-	ISSUED FOR REVIEW	09.09.25	J.N
Rev:	Amendment:	Date:	Int:

Date Drawn: 03.09.25  
 Drawn: J. Nguyen  
 Checked: R. Hall  
 Approved: J. Pfeiffer  
 Scale: As Shown @ A3  
 Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

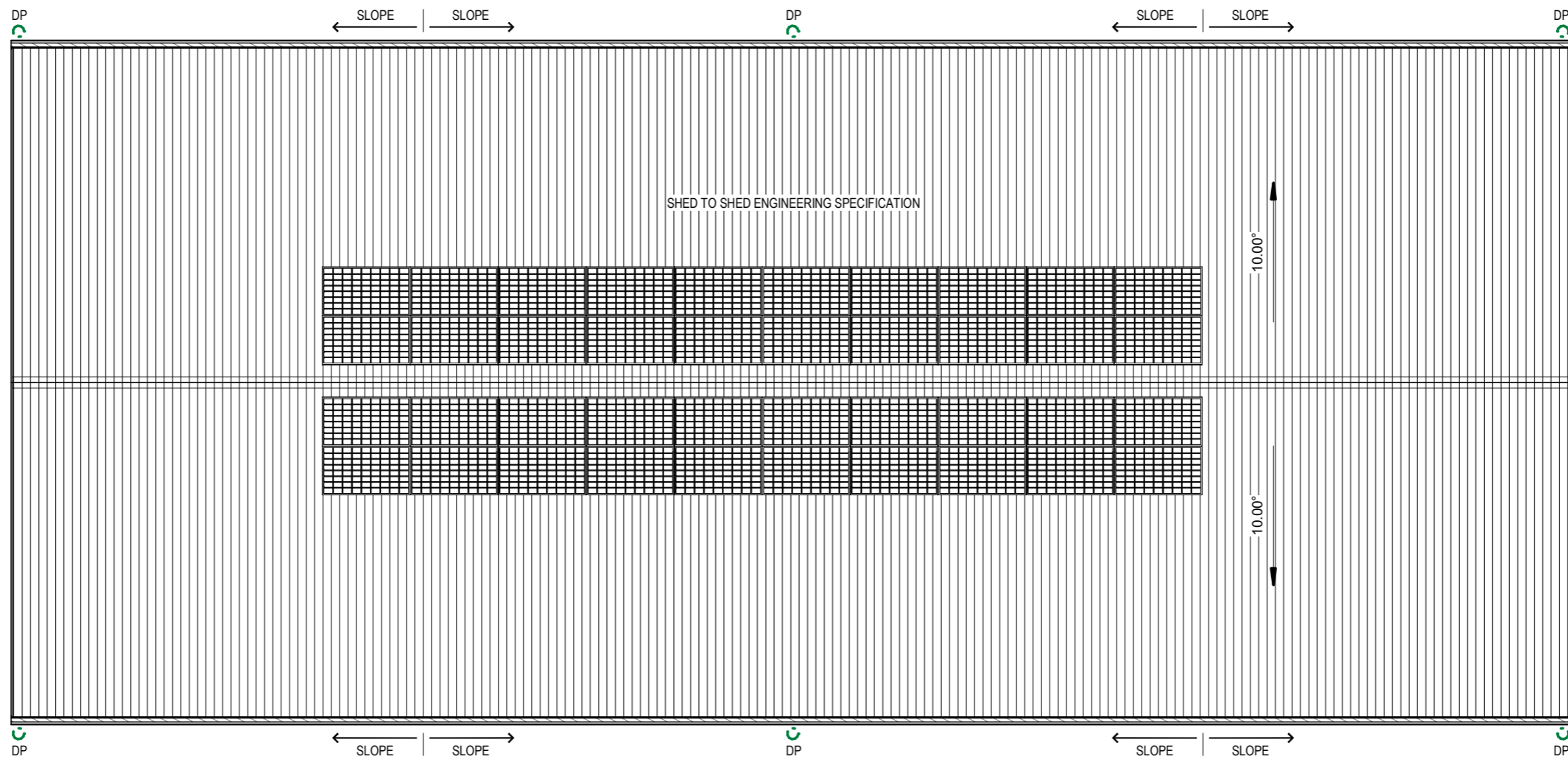
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Drawing No: EP-2025-235 A06 / A10 Rev D



**ROOF PLAN**  
 SCALE 1:100

**DOWNPIPES - NCC PART 7.4**

MAX. 12M GUTTER LENGTH PER DOWNPIPE  
 LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS  
 SELECTED IN ACCORDANCE WITH TABLES 7.4.4a TO 7.4.4c

**OVERFLOW MEASURES**

IN ACCORDANCE WITH 7.4.7 AND TABLE 7.4.4a & 7.4.4b AND FIG. 7.4.7a TO 7.4.7d  
 END STOP WEIR  
 100mm MIN CLEAR WIDTH. INSTALLED 25mm BELOW FASCIA TOP  
 NOT SUITABLE WHEN END-STOP ABUTS WALL  
 INVERTED NOZZLE  
 INSTALLED WITHIN 500mm OF GUTTER HIGH POINT  
 100x50mm MIN. NOZZLE SIZE - MIN. 25mm BELOW FASCIA TOP  
 FRONT FACE WEIR  
 200mm CLEAR WIDTH - 20mm CLEAR HEIGHT  
 INSTALLED MIN. 25mm BELOW FASCIA TOP  
 RAINHEAD  
 75mm DIA HOLE IN OUTWARD FACE - CENTERLINE 100mm BELOW FASCIA TOP

**GUTTERS - NCC PART 7.4**

FALL NOT LESS THAN 1:500  
 SUPPORT BRACKETS FIXED AT STOP ENDS, CORNERS AND MAX. 1.2m CENTRES  
 VALLEY GUTTERS TO BE DIMENSIONED IN ACCORDANCE WITH TABLE 7.4.4c  
 HAVE A ROOF PITCH AND SIDE ANGLE OF NOT LESS THAN 12.5deg  
 HAVE A MIN. FREEBOARD OF NOT LESS THAN 15mm

**OVERFLOW MEASURES**

IN ACCORDANCE WITH 7.4.6 AND TABLE 7.4.4a & 7.4.4b AND FIGURE 7.4.6a & 7.4.6b  
 FRONT FACE SLOTTED GUTTER  
 MIN SLOT OPENING 1200mm/ GUTTER m  
 LOWER EDGE OF SLOT INSTALLED 25mm BELOW FASCIA TOP  
 CONTROLLED BACK GAP  
 PERMANENT MIN. 10mm SPACER BETWEEN GUTTER & FASCIA  
 ONE PER BRACKET - MIN. 50mm WIDE  
 GUTTER INSTALLED MIN. 10mm BELOW FASCIA TOP

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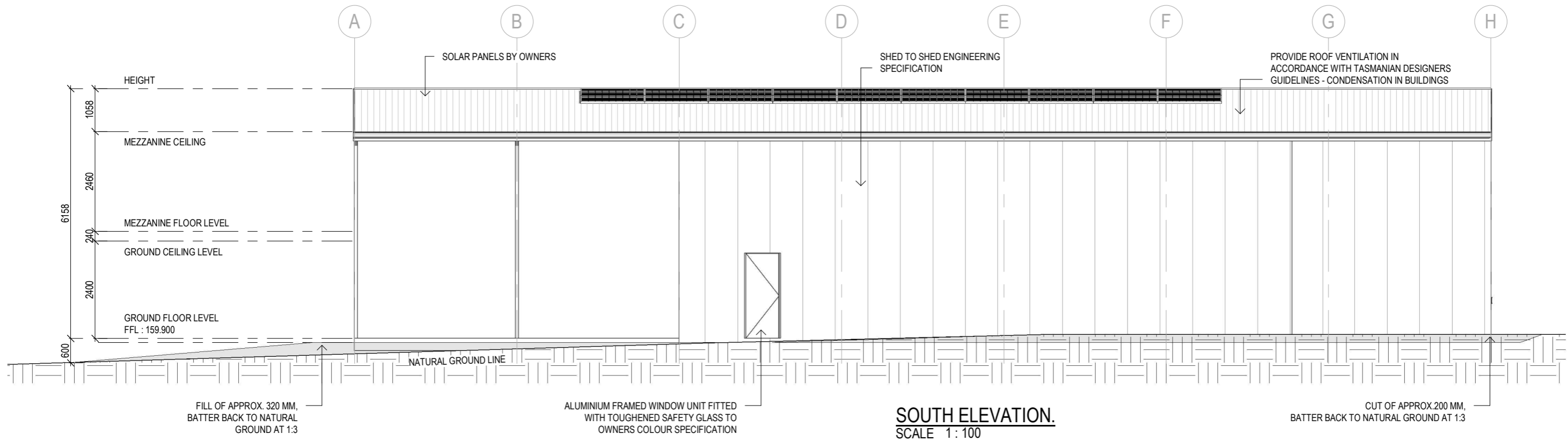
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 Scale: As Shown @ A3  
 Accredited Building Designer  
 Designer Name: J. Pfeiffer  
 Accreditation No: CC2211T

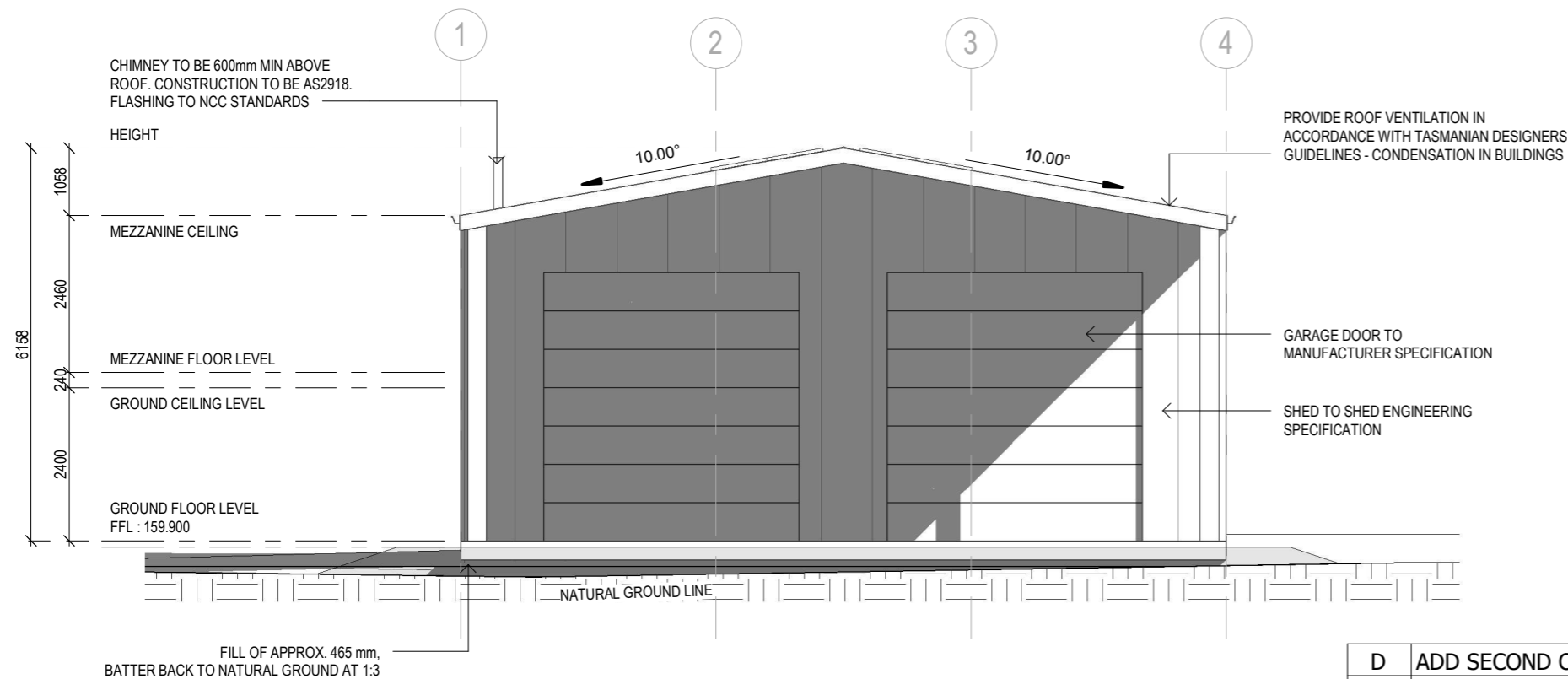
Drawing No: **EP-2025-235** A07 / A10 Rev **D**

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



**SOUTH ELEVATION.**  
SCALE 1: 100



**WEST ELEVATION.**  
SCALE 1: 100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.2- 8.4  
POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.  
TASMANIAN OAK REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288  
ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

**PLANNING APPROVAL**

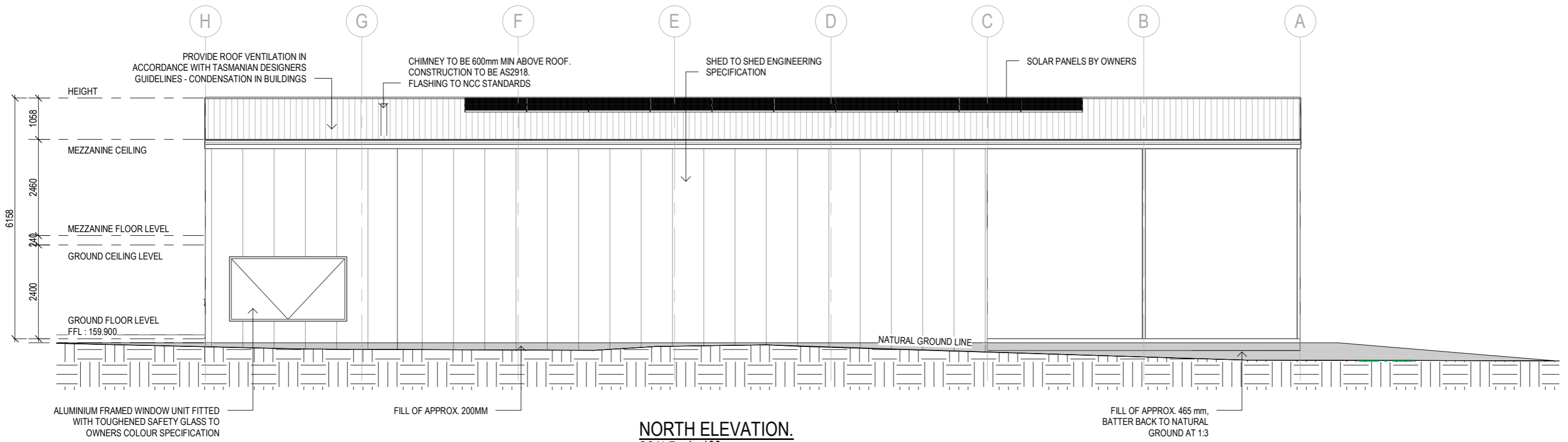
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Project: **PROPOSED DWELLING**  
Address: **87 BISHOPSBOURNE RD  
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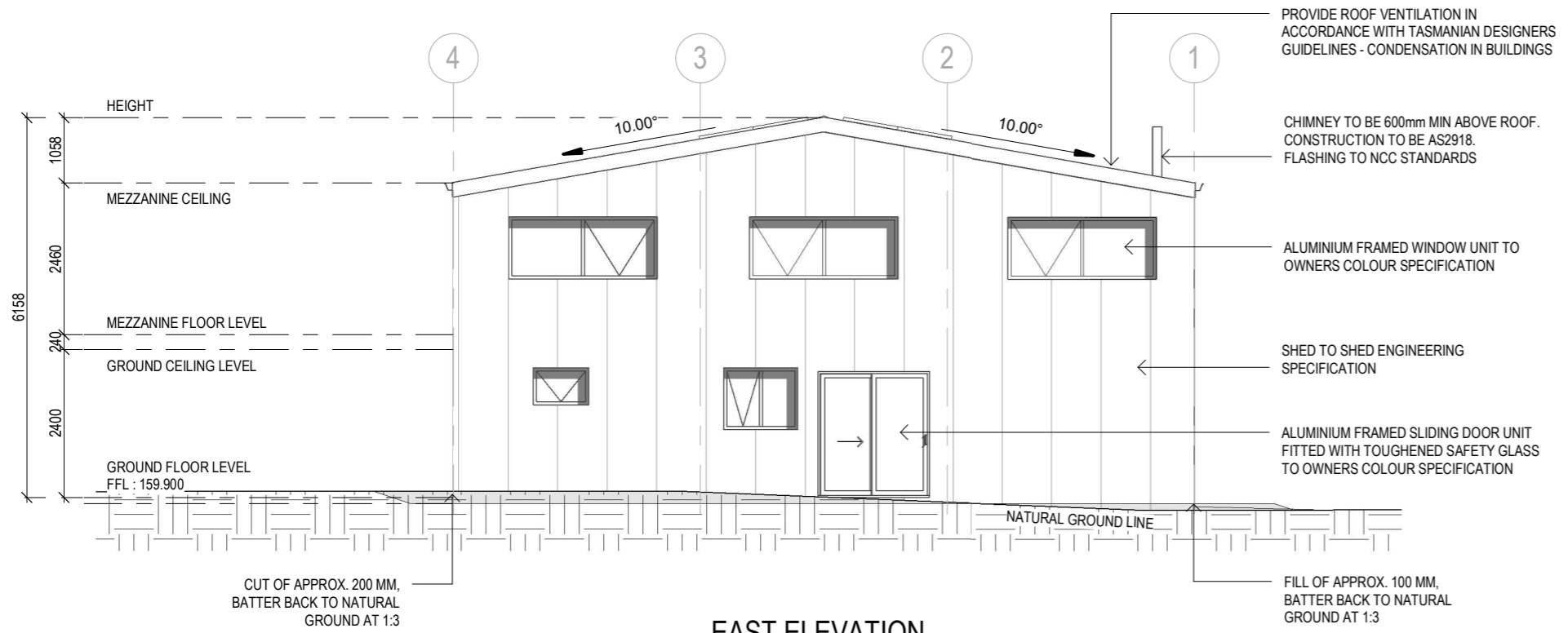
Office: 6331 7021  
info@engineeringplus.com.au

D	ADD SECOND CONTAINER	15.10.25	J.N	Date Drawn: 03.09.25
C	ISSUED FOR DA	08.10.25	J.N	Drawn: J. Nguyen
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-	ISSUED FOR REVIEW	09.09.25	J.N	Accredited Building Designer
Rev:	Amendment:	Date:	Int:	Designer Name: J.Pfeiffer Accreditation No: CC2211T

Drawing No: **EP-2025-235** A08 / A10 Rev **D**



**NORTH ELEVATION.**  
SCALE 1:100



**EAST ELEVATION.**  
SCALE 1:100

**STAIR CONSTRUCTION. BCA VOLUME 2 PART 3.9**

- TREADS: 250 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO ASI684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 250x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

**PLANNING APPROVAL**

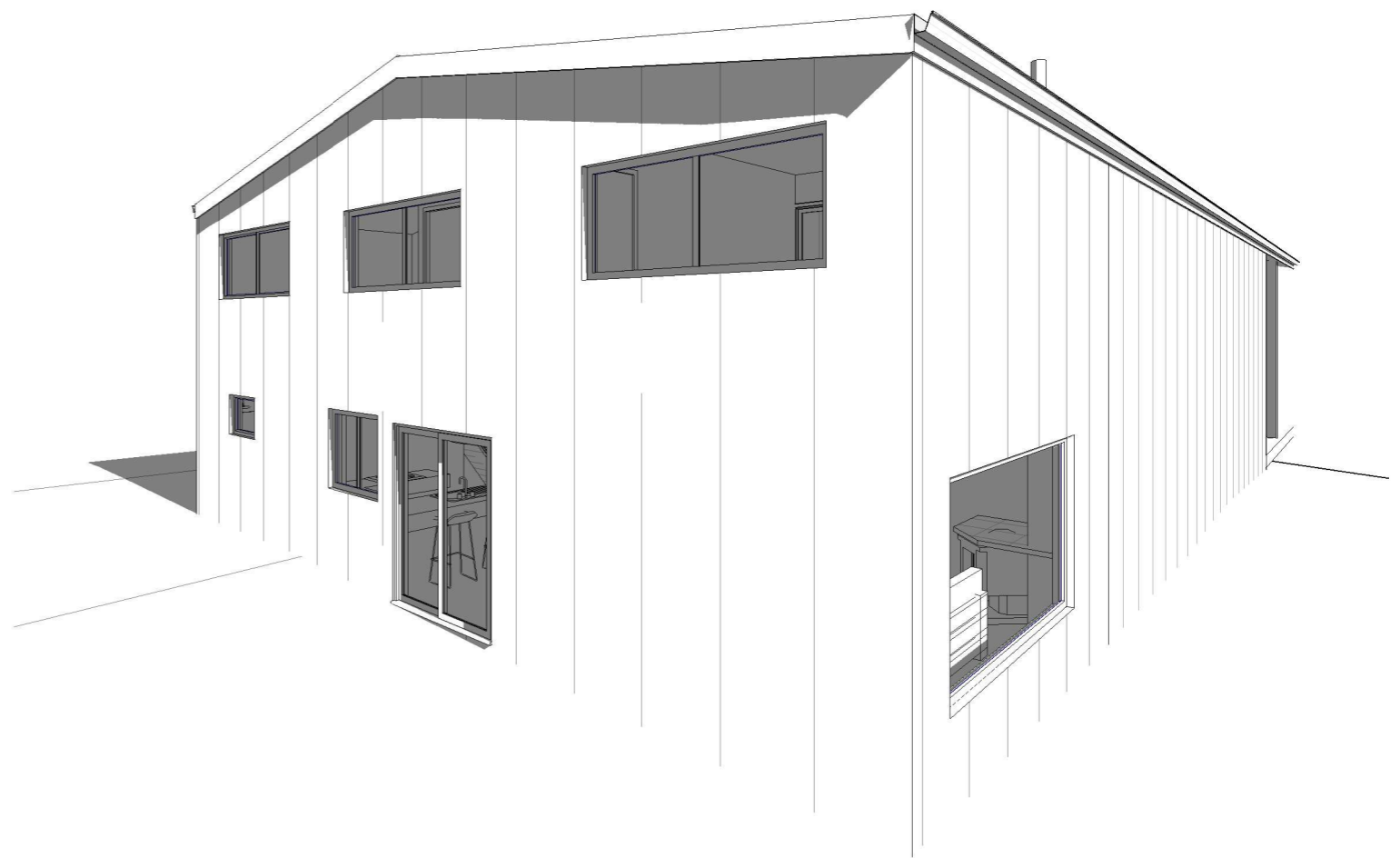
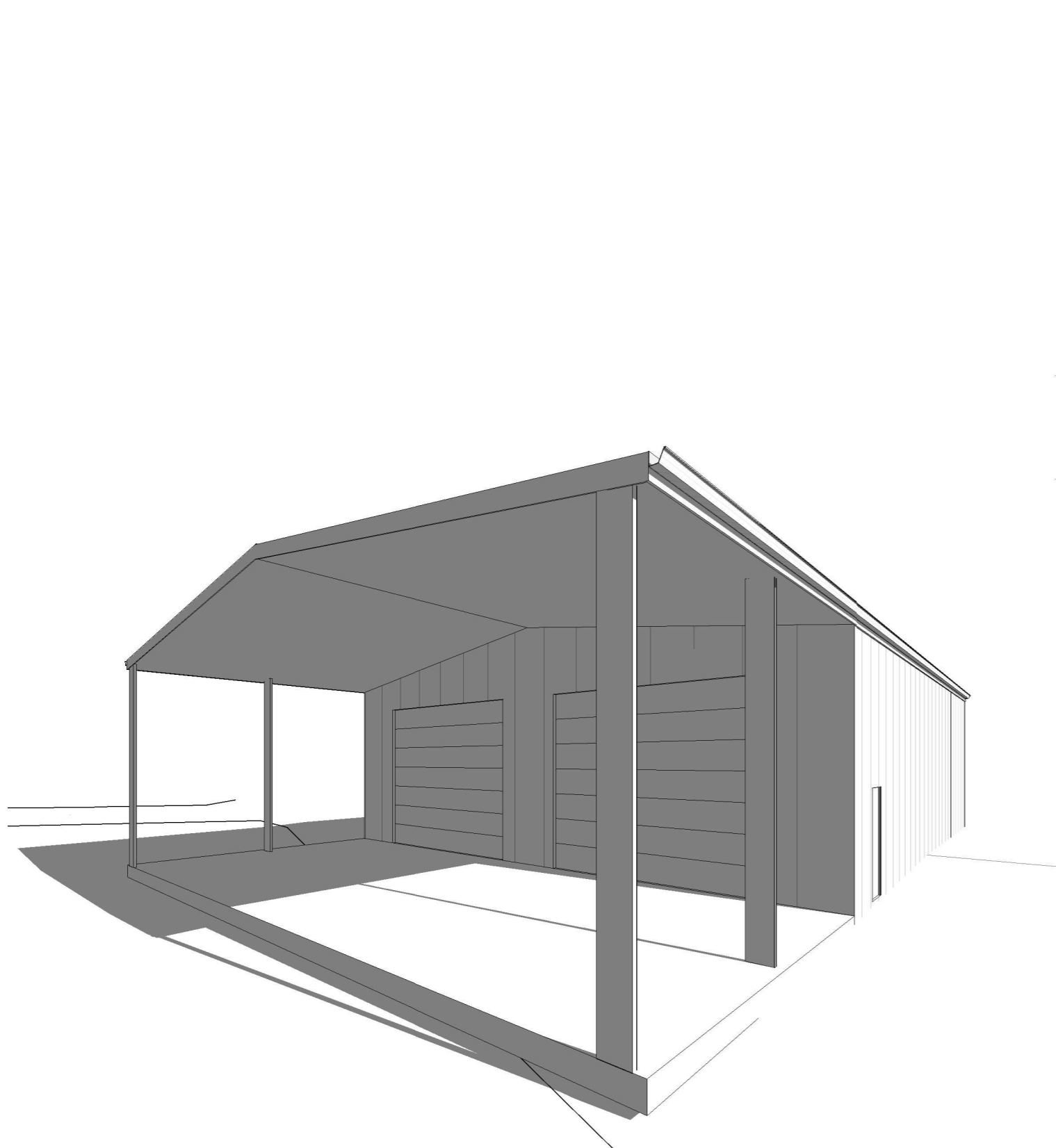
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-	ISSUED FOR REVIEW	09.09.25	J.N	Accredited Building Designer
Rev:	Amendment:	Date:	Int:	Designer Name: J. Pfeiffer
				Accreditation No: CC2211T

Drawing No: **EP-2025-235** A09 / A10 Rev **D**



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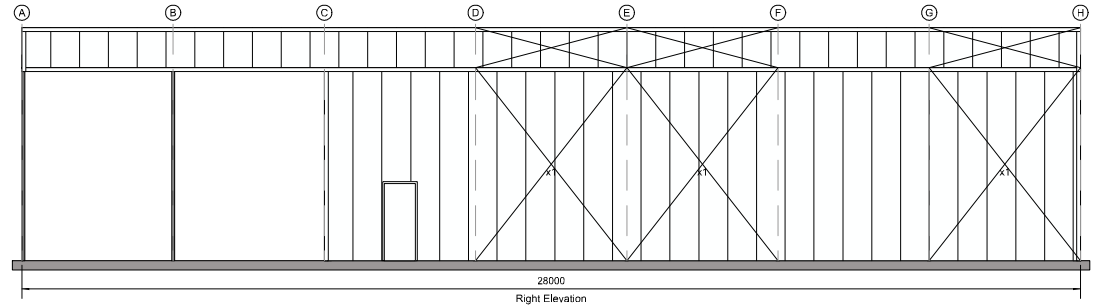
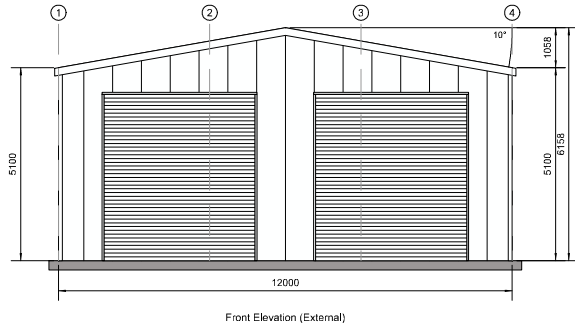
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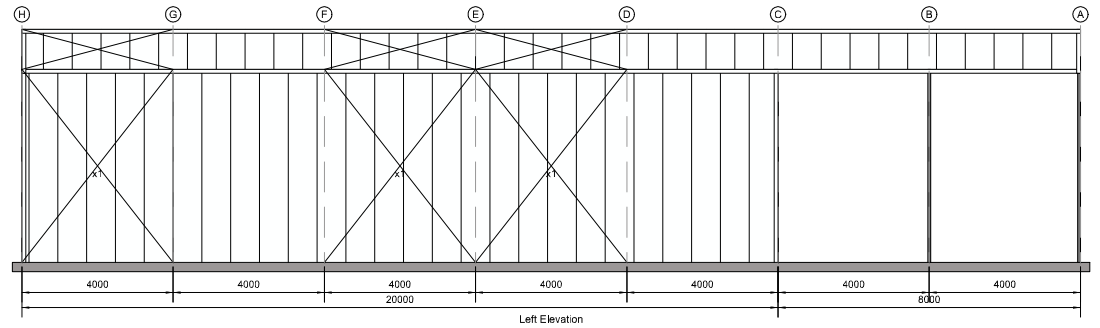
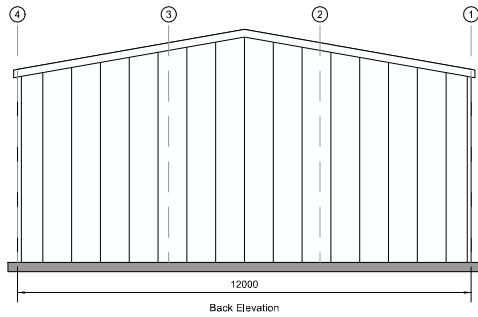
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-	ISSUED FOR REVIEW	09.09.25	J.N	Accredited Building Designer
Rev:	Amendment:	Date:	Int:	Designer Name: J.Pfeiffer
				Accreditation No: CC2211T

Drawing No: **EP-2025-235** A10 / A10 Rev **D**



No colour has been selected



SUPPLIED BY:  
**Titan Garages & Sheds Tasmania**  
 29 Formby Street, Sheffield TAS 7306  
 PH: 0405 317 875  
 Email: [dave.sharman@titangarages.com.au](mailto:dave.sharman@titangarages.com.au)



ENGINEERING CALCULATIONS BY:

DIST CODE:  
A2TA  
 SCALE:  
1:200  
 SHEET:  
0 OF 0  
 A4 SHEET

CLIENT:  
**BRAD SPILSBURY**  
 5 JOSCELYN ST, HAGLEY, TAS 7292, AUSTRALIA  
 DRAWING TITLE:  
**ELEVATIONS (ALL)**

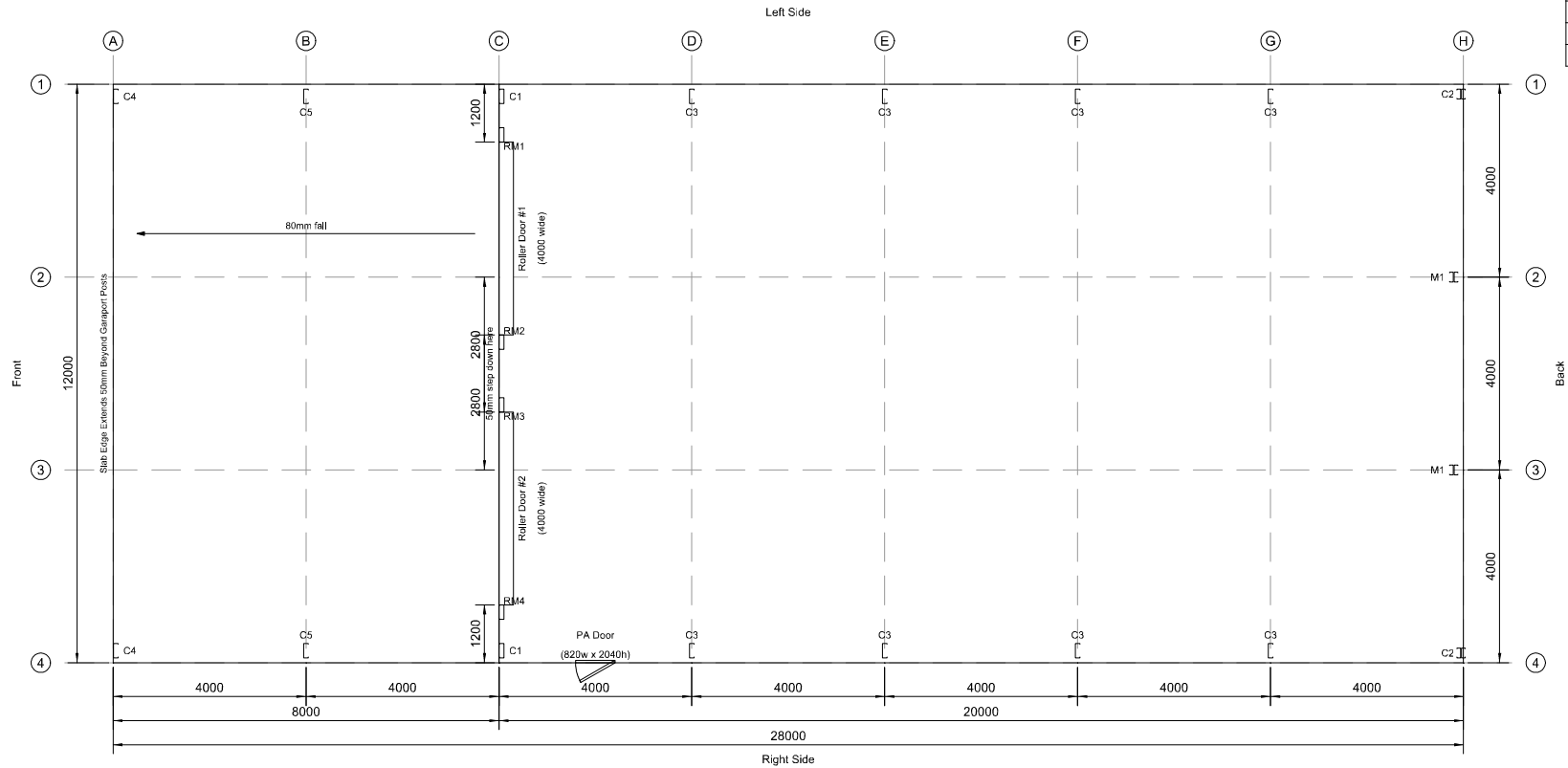
Date: 19/06/2025

Revision:  
**00**

DRAWING NO:  
**00**

JOB REFERENCE NO: 132662

Member schedule		
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C2	Column	2C20019
C3	Column	C30030
C4	FG Column	C30030
C5	FG Column	C30030
M1	Mullion	2C20019
RM1	RD Mullion	C30030
RM2	RD Mullion	C30030
RM3	RD Mullion	C30030
RM4	RD Mullion	C30030



Note: Front Garaport Slab is stepped down 50mm from Main Building Slab

SUPPLIED BY:  
**Titan Garages & Sheds Tasmania**  
 29 Formby Street, Sheffield TAS 7306  
 PH: 0405 317 875  
 Email: dave.sharman@titangarages.com.au



ENGINEERING CALCULATIONS BY:

DIST CODE:  
A2TA  
 SCALE:  
1:150  
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 A4 SHEET

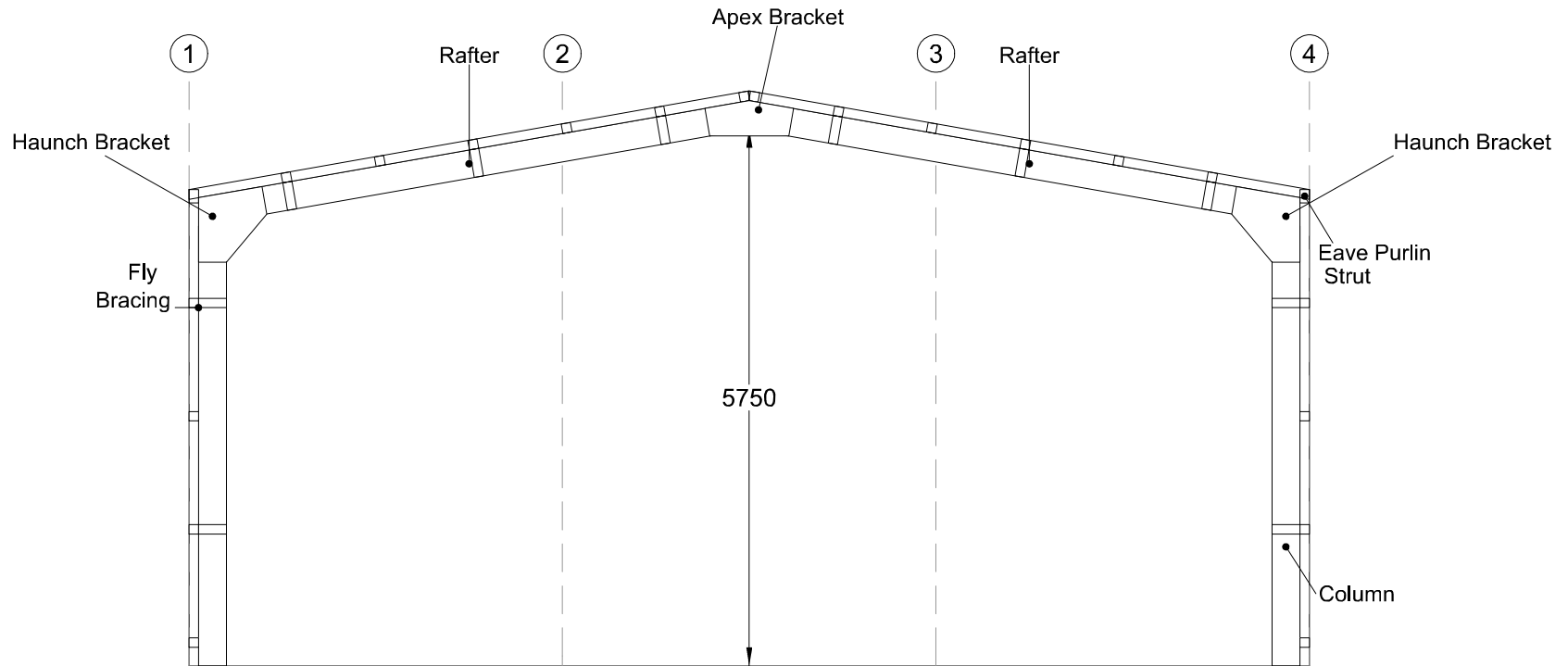
CLIENT:  
**BRAD SPILSBURY**  
 5 JOSCELYN ST, HAGLEY, TAS 7292, AUSTRALIA  
 DRAWING TITLE:  
**FLOOR PLAN**

Date: 19/06/2025

Revision:  
**00**

DRAWING NO:  
**00**

JOB REFERENCE NO: 132662



SUPPLIED BY:

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ENGINEERING CALCULATIONS BY:

DIST CODE:

A2TA

SCALE:

1:75

SHEET:

0 OF 0

A4 SHEET

CLIENT:

**BRAD SPILSBURY**

5 JOSCELYN ST, HAGLEY, TAS 7292, AUSTRALIA

DRAWING TITLE:

**CROSS SECTION**

Date: 19/06/2025

Revision:

**00**

DRAWING NO:

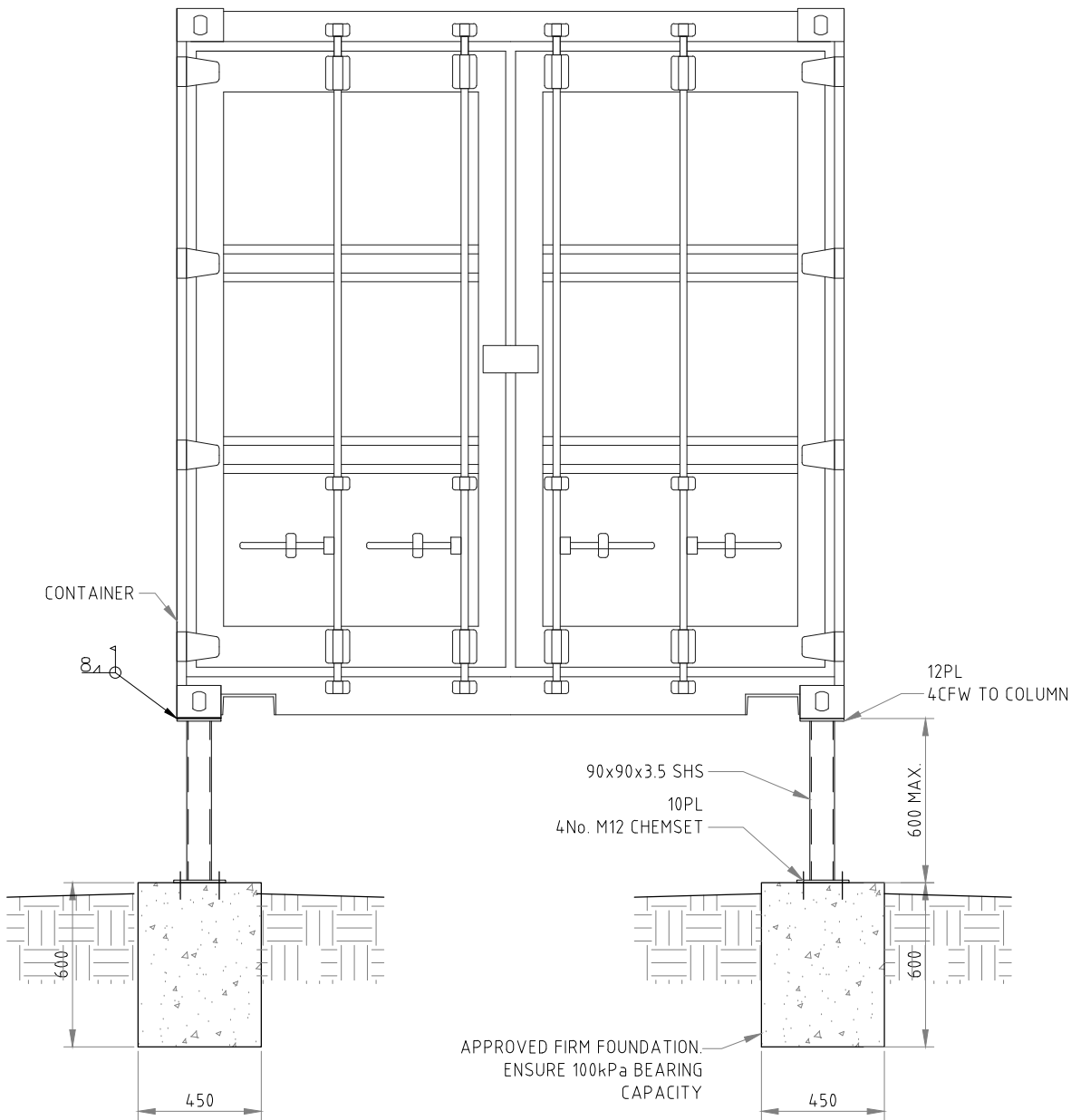
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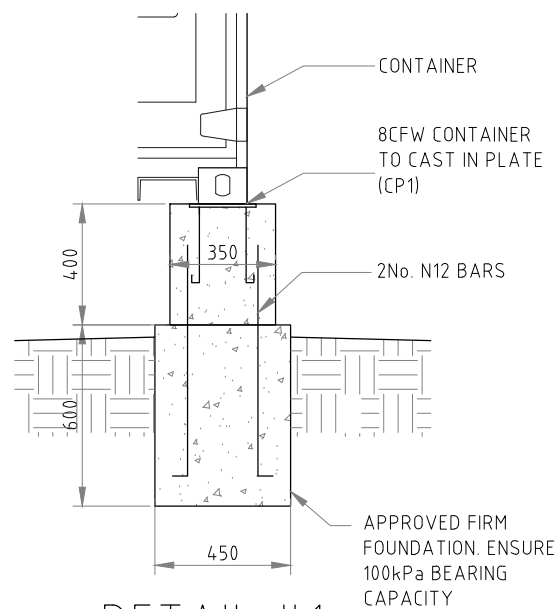
NOTE: -  
 20 FOOT CONTAINERS  
 PIERS TO BE PLACED IN CORNER (4 IN TOTAL)  
 40 FOOT CONTAINERS  
 PIERS PLACE IN CORNERS AND MIDWAY (6 IN TOTAL)

# ALTERNATIVE CONTAINER FOOTING DESIGN



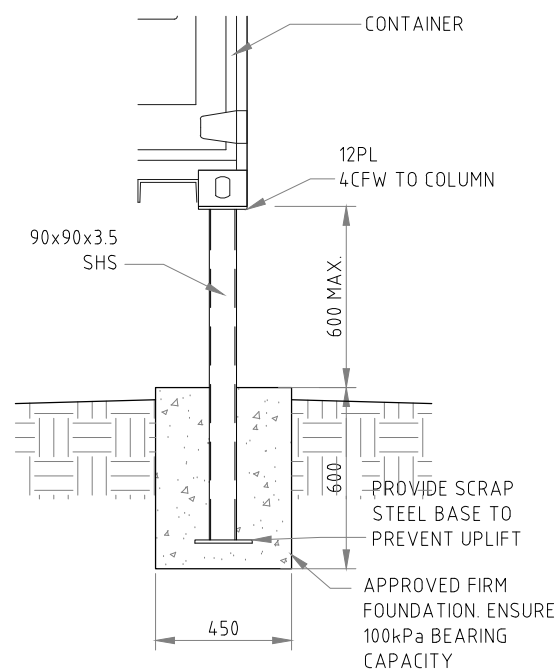
**CONTAINER FOUNDATION DESIGN**

SCALE 1:25



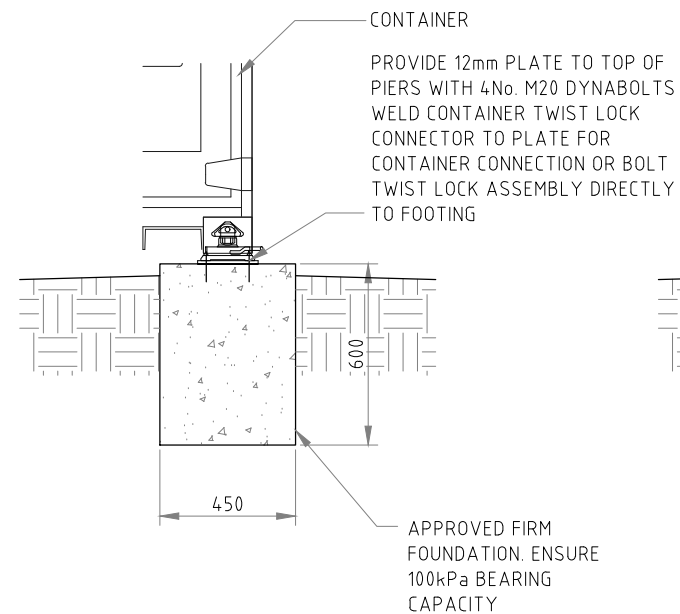
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SCALE 1:25



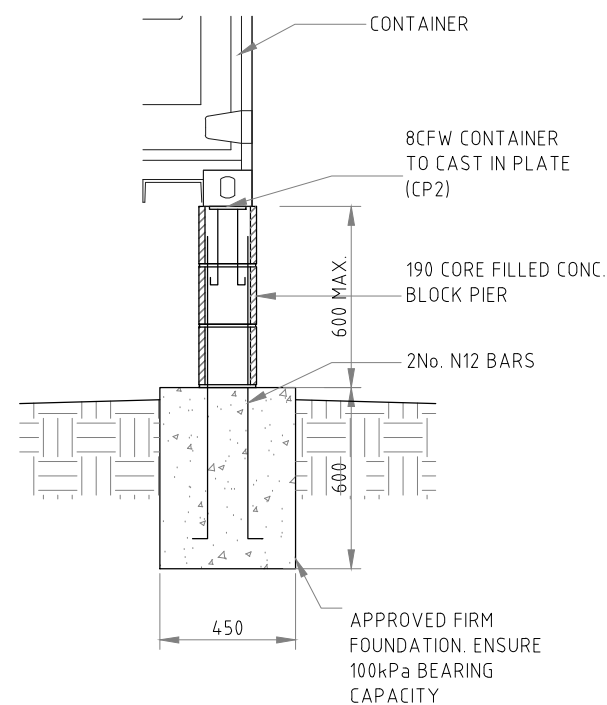
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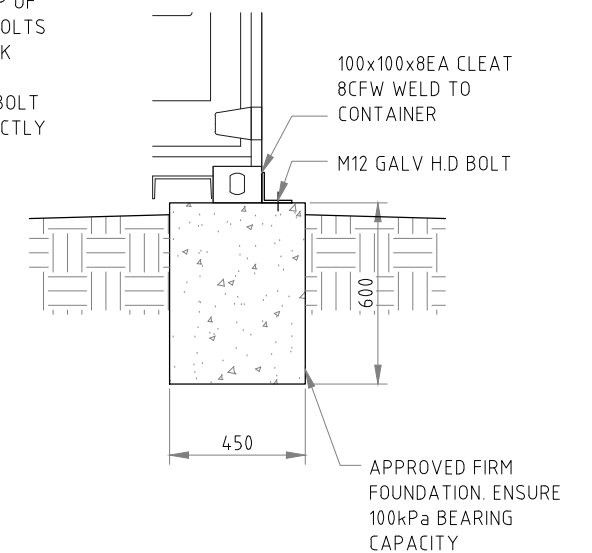
**DETAILS #3**

SCALE 1:25



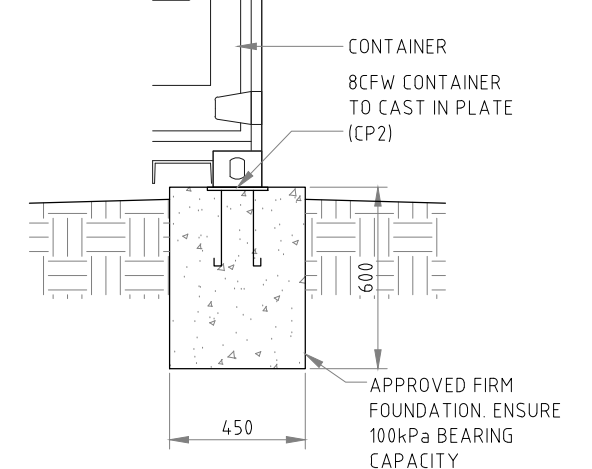
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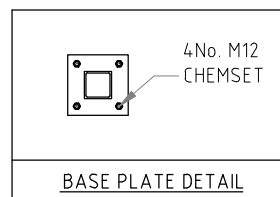
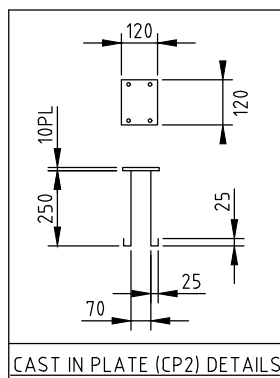
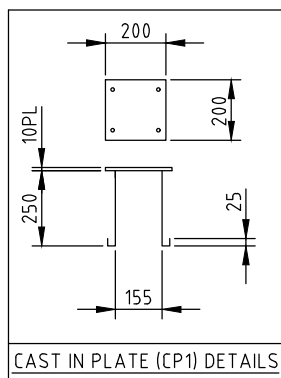
**DETAILS #5**

SCALE 1:25



**DETAILS #6**

SCALE 1:25



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 trin@engineeringplus.com.au

Date Drawn: 29.09.25	Drawn: J. Nguyen	Checked: C. Lim	Approved: J. Pfeiffer	Scale: As Shown @ A3
Accredited Building Designer	Designer Name: J.Pfeiffer	Accreditation No: CC2211T		
<b>B</b>	<b>PLANNING AMENDMENT</b>	<b>29.09.25</b>	<b>J.N</b>	
Rev:	Amendment:	Date:	Int:	

Date Drawn: 29.09.25  
 Drawn: J. Nguyen  
 Checked: C. Lim  
 Approved: J. Pfeiffer  
 Scale: As Shown @ A3  
 Accredited Building Designer  
 Designer Name: J.Pfeiffer  
 Accreditation No: CC2211T

Drawing No: **EP-2025-235** **A12** **B**