

PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

APP NO.:	PA\26\0212
APPLICANT:	BVZ Designs
SITE:	42 Clance Avenue, Prospect Vale (CT: 189929/102)
PROPOSAL:	Multiple dwellings (2) - building envelope, privacy, car parking, driveway.

The application can be inspected until Friday, 10 April 2026, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 21 March 2026.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM



Meander Valley Council
Working Together

PLANNING PERMIT

Land Use Planning and Approvals Act 1993

- Application form & details MUST be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address: Certificate of Title:

Suburb: Lot No:

Land area: m² /

Present use of land/building: (vacant, residential, rural, industrial, commercial or forestry)

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- Building work
 - Change of use
 - Subdivision
 - Demolition
 - Forestry
 - Other

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:

Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 189929	FOLIO 102
EDITION 1	DATE OF ISSUE 13-Feb-2026

SEARCH DATE : 03-Mar-2026

SEARCH TIME : 12.10 pm

DESCRIPTION OF LAND

Parish of LAUNCESTON Land District of CORNWALL
 Lot 102 on Sealed Plan 189929
 Derivation : Part of 375A-1R-0P Gtd. to James Goodger
 Prior CT 189623/1004

SCHEDULE 1

N176448 TRANSFER to TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD
 Registered 18-Mar-2024 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP189929 EASEMENTS in Schedule of Easements
 SP189929 FENCING PROVISION in Schedule of Easements
 SP189929 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP185985, SP186417, SP187707, SP188351, SP188889 & SP189623
 FENCING PROVISION in Schedule of Easements
 SP10386 & SP18481 FENCING COVENANT in Schedule of Easements
 N102498 BENEFITING EASEMENT: a bushfire hazard management
 easement over the land marked Bushfire Hazard
 Management Easement 10.00 wide on Sealed Plan 189929
 Registered 13-Feb-2026 at 12.01 pm
 E172256 INSTRUMENT Creating Restrictive Covenants Registered
 13-Feb-2026 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD

FOLIO REFERENCE: C.T.189623/1004

GRANTEE: PART OF 375A-1R-0P GRANTED TO JAMES GOODGER, PART OF 300 ACRES GRANTED TO JOSEPH PENNY

PLAN OF SURVEY



BY SURVEYOR: BRETT RICHARD WOOLCOTT
 LOCATION: LAND DISTRICT OF CORNWALL PARISH OF LAUNCESTON
 SCALE 1:4000 LENGTHS IN METRES

REGISTERED NUMBER

SP189929

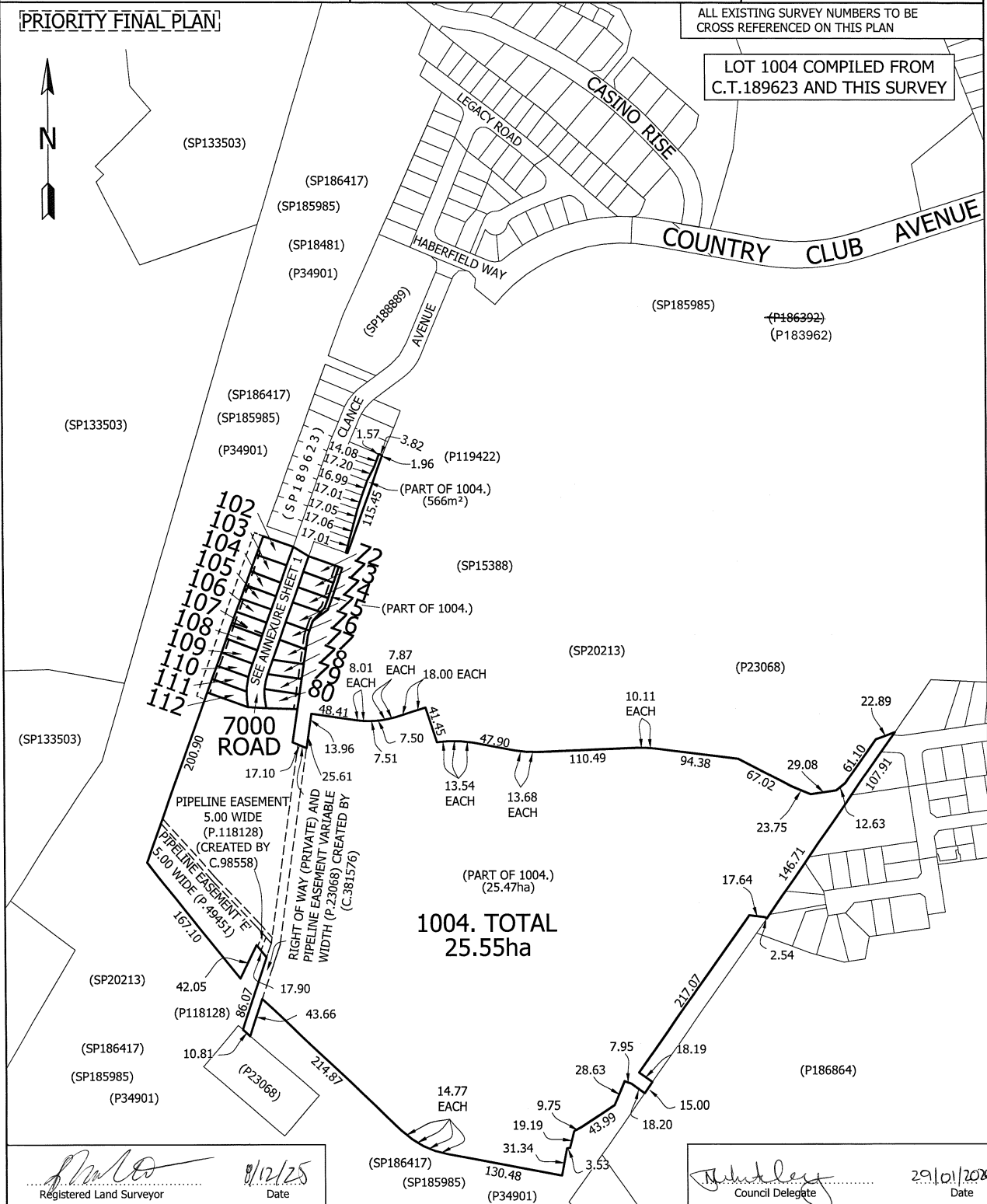
APPROVED EFFECTIVE FROM 13 FEB 2026

[Signature]
Recorder of Titles

PRIORITY FINAL PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

LOT 1004 COMPILED FROM C.T.189623 AND THIS SURVEY

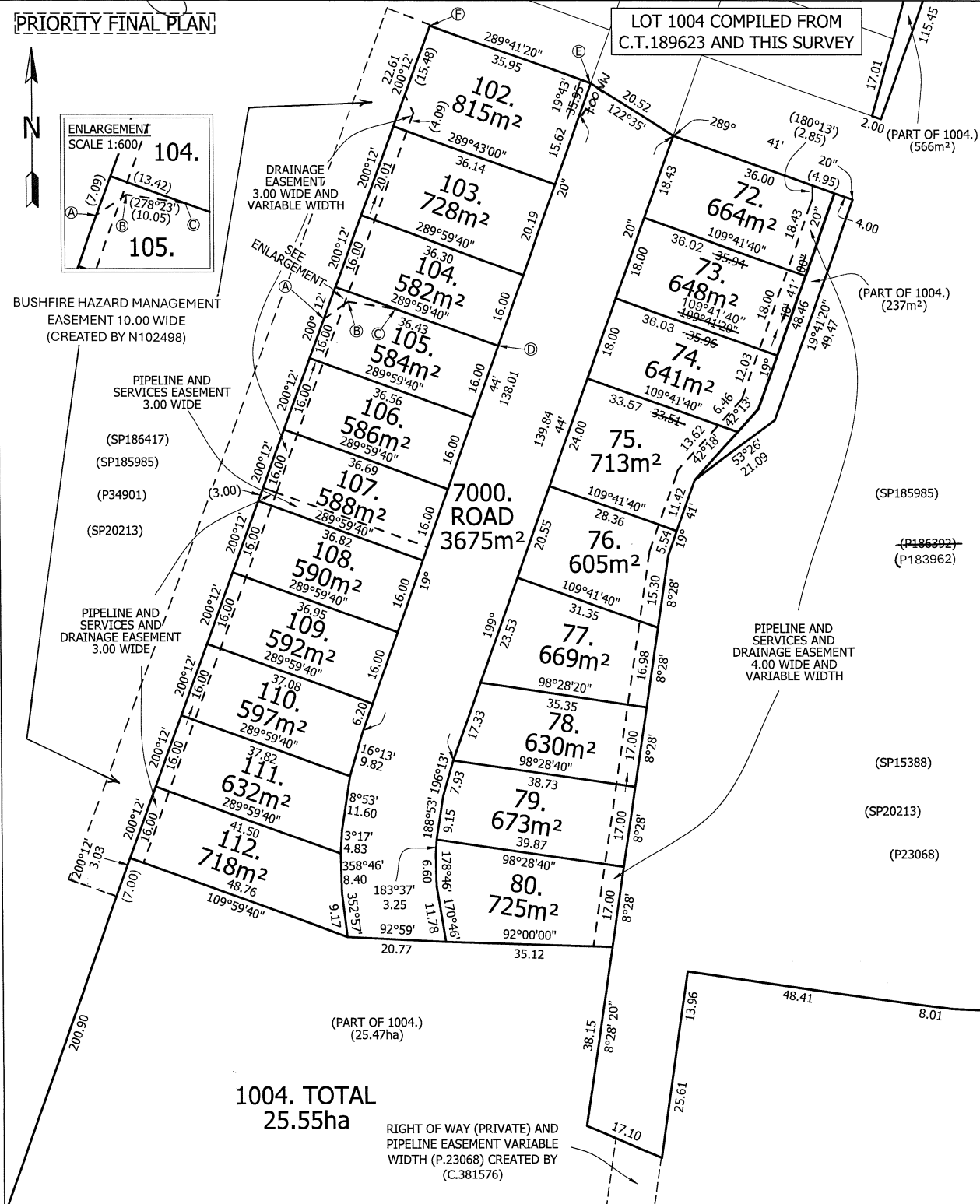


[Signature]
Registered Land Surveyor
 8/12/25
Date

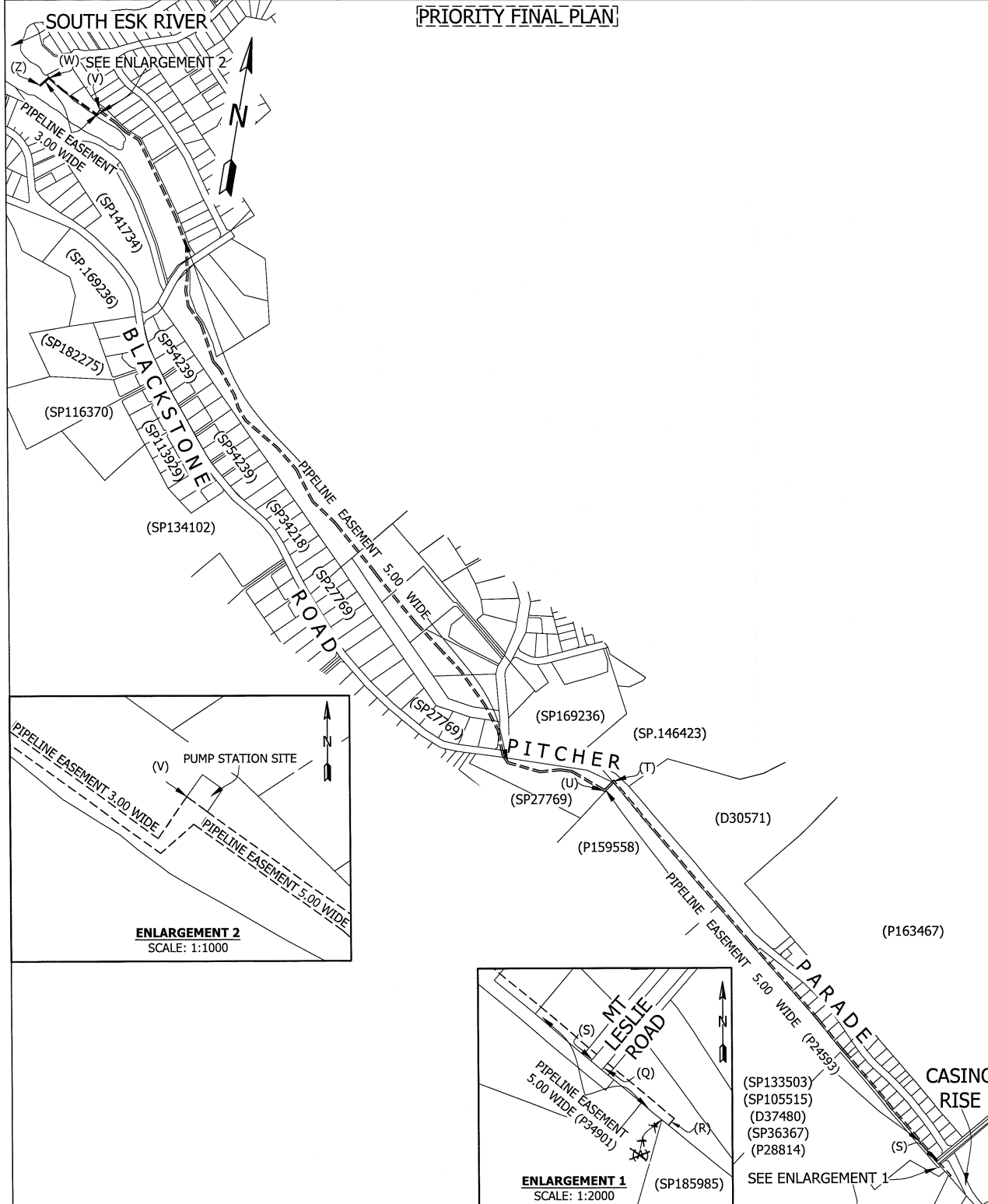
[Signature]
Council Delegate
 29/01/2024
Date

<p>PLAN OF SURVEY</p> <p>Woolcott ANNEXURE SHEET LAND SERVICES SHEET 1 OF 2 SHEETS</p>	<p>OWNER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p>	<p>Registered Number</p> <p>SP 189929</p>
	<p>FOLIO REFERENCE: C.T.189623/1004</p> <p>SCALE 1:750 LENGTHS IN METRES</p>	<p>APPROVED FROM 13 FEB 2026</p> <p>EFFECTIVE FROM</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 29/01/2026 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 9/12/25 Registered Land Surveyor Date</p>	<p><i>[Signature]</i> Recorder of Titles</p>

PRIORITY FINAL PLAN



<p>PLAN OF SURVEY</p> <p>ANNEXURE SHEET SHEET 2 OF 2 SHEETS</p>	<p>OWNER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: C.T.189623/1004</p> <p>SCALE 1:10000 LENGTHS IN METRES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 29/01/2026 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 8/12/25 Registered Land Surveyor Date</p>	<p>APPROVED 13 FEB 2026 EFFECTIVE FROM</p> <p><i>[Signature]</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 189929

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

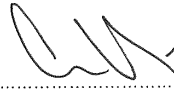
The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EXISTING EASEMENTS CARRIED FORWARD FROM CERTIFICATE OF TITLE VOLUME 189623 FOLIO 1004

1. Lot 1004 on the Plan is subject to a pipeline easement (as fully defined in dealing no. C381576) in favour of the Meander Valley Council over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT VARIABLE WIDTH" as shown on the Plan.
2. Lot 1004 on the Plan is subject to a right of carriage way (appurtenant to lot 8 on Plan No. 23068) over the land marked "RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT VARIABLE WIDTH" as shown on the Plan.
3. Lot 1004 on the Plan is subject to pipeline rights (as fully defined in dealing no. B805803) in favour of Tasmania Irrigation Pty Ltd (ACN 722 799 075) over the land marked "PIPELINE EASEMENT "E" 5.00 WIDE" on the Plan (subject to the provisions contained in dealing B805803).
4. Lot 1004 on the Plan is subject to pipeline rights (as fully defined in dealing no. C98558) in favour of TasWater over the land marked "PIPELINE EASEMENT 5.00 WIDE" shown on the Plan (subject to provisions contained in dealing C98558).
5. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183962 is together with water supply pipeline and pump rights (as fully defined in dealing no. A979664) over the land marked "PIPELINE EASEMENT 5.00 WIDE" and the land marked "PIPELINE EASEMENT 3.00 WIDE" and also marked "STUVWZ" and "PUMP STATION SITE" as shown on the Plan.




Daniel Joseph Hanna
Director



Colin Paul Dewhurst
Director

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD FOLIO REF 189623/1004 SOLICITOR Con Tsamassiros, Butler McIntyre & Butler & REFERENCE: CT:242733	PLAN SEALED BY: <i>Meander valley Council</i> DATE: <i>29/01/2026</i> <i>PA12210243</i> REF NO. <i>PA12210243</i>  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

6. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183962 is together with the full right and liberty for the registered proprietor for the time being (which registered proprietor is hereinafter referred to as "the Owner") of the said land within described (which land is hereinafter referred to as "the Dominant Land") to draw and convey water from the South Esk River to the Dominant Land by means of a water supply pipeline installed or to be installed as hereinafter appears within that portion of the land marked "PIPELINE EASEMENT 5.00 WIDE" and also marked "Q R" on the Plan (and which portion of land is hereinafter referred to as "the Servient Land") and to install lay relay inspect maintain repair renew remove and cleanse a one hundred and fifty millimetre water supply pipeline along within and under the Servient Land and at a depth where practicable of at least on half of a metre below the surface together with all such sluice and other valves manholes inspection openings stopcocks and other fittings of whatever nature as may be necessary.

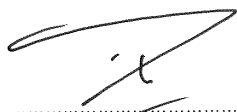
7. That part of Lot 1004 on the Plan which formerly comprised Lot 1 on Plan 183692 is together with the full right and liberty for the owner of the Dominant Land for the purposes set forth herein to enter upon the Servient Land at any time with or without inspectors workmen servants agents or other persons authorised by the owner of the Dominant Land to pass and repass on foot or with motor vehicles in over along and upon the Servient Land PROVIDED THAT the water supply pipeline shall be of such strength and so jointed in every part as not to permit the escape of any water passing through the same AND PROVIDED FURTHER THAT the owner of the Dominant Land shall make good any damage or disturbance which may be caused to the Servient Land in relation to any installation inspection maintenance repair renewal removal replacement of cleaning of the water supply pipeline.

NEW EASEMENTS CREATED

8. Lots 72, 73, 74, 75, 76, 77, 78, 79 and 80 on the Plan are subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.

9. Lots 72, 73, 74, 75, 76, 77, 78, 79 and 80 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 4.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.

10. Lots 102, 103, 104, 105, 106 and 107 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE AND VARIABLE WIDTH" as shown passing through those Lots on the Plan.



.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES	Registered Number SP 189929
SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD FOLIO REFERENCE: 189623/1004	

11. Lots 107, 108, 109, 110, 111 and 112 on the Plan are subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 3.00 WIDE" as shown passing through those Lots on the Plan.
12. Lots 107, 108, 109, 110, 111 and 112 on the Plan are subject to a **Right of Drainage** in favour of Meander Valley Council over the land marked "PIPELINE AND SERVICES AND DRAINAGE EASEMENT 3.00 WIDE" as shown passing through those Lots on the Plan.
13. Lot 107 on the Plan is subject to a **Pipeline and Services Easement** (as defined herein) in favour of TasWater over the land marked "PIPELINE AND SERVICES EASEMENT 3.00 WIDE" as shown passing through Lot 107 on the Plan.

FENCING PROVISION

In respect of the Lots shown on the Plan the Vendor, Tasmanian Country Club Properties Pty Ltd, shall not be required to fence.

DEFINITIONS

In this Schedule of Easements:

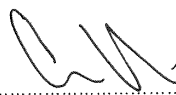
The **Pipeline and Services Easement** is defined to mean:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and



 Daniel Joseph Hanna
 Director



 Colin Paul Dewhurst
 Director

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 18 99 29</p>
<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the subject lot from the highway at any then existing vehicle entry and cross the subject lot to the Easement Land; and
- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the subject lot.

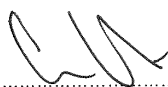
PROVIDED ALWAYS THAT:

- (a) The registered proprietors of each Lot on the Plan that are subject to the **Pipeline and Services Easement** (each described as "the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
 - (i) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (ii) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (iii) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (iv) do anything which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (v) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (vi) permit or allow any action which the Owner must not do or acquiesce in that action.
 - (vii) TasWater is not required to fence any part of the Easement Land.
- (b) The Owner may erect a fence across the Easement Land at the boundaries of the subject Lot.
- (c) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
 - (i) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (ii) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (d) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.
- (e) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:
 - (i) reinstate the ground level of the Easement Land; or
 - (ii) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
 - (iii) replace anything that supported, protected or covered the Infrastructure.

And for the purpose of the definition of **Pipeline and Services Easement** and this Schedule of Easements:



 Daniel Joseph Hanna
 Director



 Colin Paul Dewhurst
 Director

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

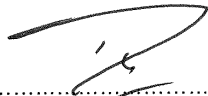
“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (i) sewer pipes and water pipes and associated valves;
- (ii) telemetry and monitoring devices;
- (iii) inspection and access pits;
- (iv) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (vi) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (vii) anything reasonably required to support, protect or cover any of the Infrastructure;
- (viii) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (ix) where the context permits, any part of the Infrastructure.


“Easement Land” means the land described as:

- (i) “Pipeline and Services and Drainage Easement 4.00 Wide and Variable Width”; and
- (ii) “Pipeline and Services and Drainage Easement 3.00 Wide”;
- (iii) “Pipeline and Services Easement 3.00 Wide”

“TasWater” means the Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



.....
Daniel Joseph Hanna
Director



.....
Colin Paul Dewhurst
Director

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 189929</p>
<p>SUBDIVIDER: TASMANIAN COUNTRY CLUB PROPERTIES PTY LTD</p> <p>FOLIO REFERENCE: 189623/1004</p>	

Executed by **Tasmanian Country Club Properties Pty Ltd** (ACN 647 888 873) pursuant to section 127(1) of the *Corporations Act 2001* (Cth) by the signature of two of its directors:



Daniel Joseph Hanna - Director



Colin Paul Dewhurst - Director

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TASMANIAN LAND TITLES OFFICE

Instrument Creating Restrictive Covenants

Section 102 Land Titles Act 1980



E172256

DESCRIPTION OF LAND			
Servient		Dominant	
Volume	Folio	Volume	Folio
189929	72-80 and 102-112	185985	1002

We, **Tasmanian Country Club Properties Pty Ltd (ACN 647 888 873)** of 394 Sandy Bay Road, Sandy Bay in Tasmania 7005

being the registered proprietor of the land comprised in the above servient folios of the Register (herein called the servient land) hereby covenant with **Tasmanian Country Club-Casino Proprietary Limited (ACN 009 516 189)** of Launceston Federal Country Club Avenue, Prospect Vale in Tasmania 7250 being the registered proprietor of the land comprised in the above dominant folio of the Register (herein called the dominant land) and with the owners for the time being of each and every part of the dominant land to the intent that the burden of the covenant may run with, and bind each and every part of the servient land and that the benefit of the covenant may be annexed to, and devolve with, each and every part of the dominant land to observe the following stipulations:-

- As contained in annexure pages 3,4 and 5 attached to this Instrument -

In witness whereof we **Tasmanian Country Club Properties Pty Ltd (ACN 647 888 873)** and **Tasmanian Country-Club Casino Proprietary Limited (ACN 009 516 189)** have executed this Instrument as a deed

Date:30 January 2026.....~~2025~~

Signed by the Servient & Dominant proprietors

- Executed on annexure -

<p>Land Titles Office Use Only</p> <p>REGISTERED IN TASMANIA</p> <p>13 FEB 2026</p> <p>RECORDER OF TITLES</p> <p>THE BACK OF THIS FORM MUST NOT BE USED</p>	<p>DUTIES ACT 2001-TAS LICENCE 21322</p> <p>Dealing Security Code: nil</p> <p>Document Number: 6741761-936</p> <p>Document Code: _____</p> <p>Lodgement Date: 30-01-2026</p> <p>Consideration: \$ 1.00</p> <p>Duty: \$ 50.00</p> <p>Interest: \$ _____</p> <p>Initials: WJ</p>	<p>Duty</p>
	<p>COV</p> <p>Version 1 (TOLD)</p>	

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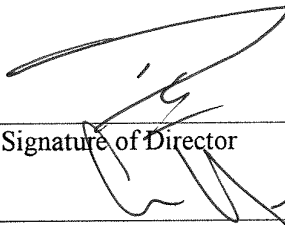
ANNEXURE PAGE

Executed as a Deed

Executed by **Tasmanian Country Club-Casino
Proprietary Limited** (ACN 009 516 189)
pursuant to s127(1) of the *Corporations Act 2001* (Cth)
by the signature of a director and secretary:

Daniel Joseph Hanna
Name of Director

Colin Paul Dewhurst
Name of Secretary



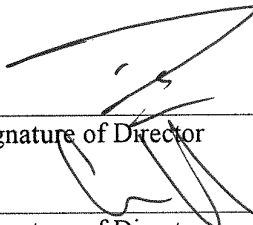
Signature of Director

Signature of Secretary

Executed by **Tasmanian Country Club Properties
Pty Ltd** (ACN 647 888 873)
pursuant to s127(1) of the *Corporations Act 2001*
(Cth) by the signature of two of its directors:

Daniel Joseph Hanna
Name of Director

Colin Paul Dewhurst
Name of Director



Signature of Director

Signature of Director

ANNEXURE PAGE

DEED CREATING RESTRICTIVE COVENANTS

This deed is made the 23rd day of December 2025

Between

Tasmanian Country Club-Casino Proprietary Limited (ACN 009 516 189) the principle place of business of which is situate at Launceston Federal Country Club Avenue, Prospect Vale in Tasmania (Dominant Proprietor)

and

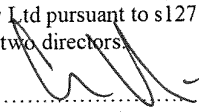
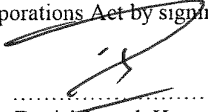
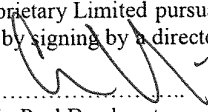
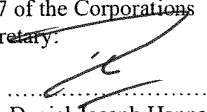
Tasmanian Country Club Properties Pty Ltd (ACN 647 888 873) the registered office of which is situate at 394 Sandy Bay Road, Sandy Bay in Tasmania (Servient Proprietor)

RECITALS

- A The Dominant Proprietor is the registered proprietor of certain land adjacent to land contained in Sealed Plan
- B The parties have agreed that the restrictive covenant stipulations set out below be created by this Instrument, and registered on the title to the Servient Proprietor (the Servient Land) referred to above, on the basis set out in this Instrument.

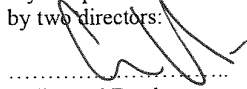
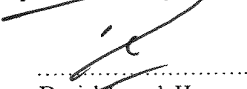
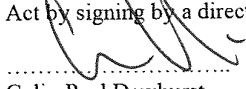
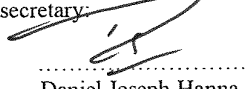
STIPULATIONS

1. [Intentionally omitted].
2. Not to construct or permit to be constructed on the lot, any dwelling unless there is a skip bin having a capacity of not less than 3m³ located on the lot at all times during the construction of the dwelling through to the issue of certificate of occupancy to ensure that all rubbish, discarded building materials and other debris are not left visibly on the lot; and
3. Not to store, heap or permit to be excavated carried away or removed from the lot or any part thereof any trees, logs, earth, clay, stone, gravel or sand except such as may be necessary for the purposes of road or driveway construction or levelling or filling of the lot or for the formation of any buildings, swimming pool or barbeque area to be constructed thereon.
4. Not to construct, permit to construct or erect on the lot (or any future lots created by subdivision of the lot):
 - (a) any message for a purpose other than a private residence;
 - (b) any kit home or relocatable dwelling;
 - (c) any residential building from any material except brick, stone, masonry block (or similar material), rendered insulated concrete floors, timber construction, flat metal cladding or insulated boards that are rendered, painted or pre-coloured;

Executed as a deed by Tasmanian Country Club Properties Pty Ltd pursuant to s127 of the Corporations Act by signing by two directors.		Executed as a deed by Tasmanian Country Club-Casino Proprietary Limited pursuant to s127 of the Corporations Act by signing by a director and secretary.	
			
Colin Paul Dewhurst Director	Daniel Joseph Hanna Director	Colin Paul Dewhurst Secretary	Daniel Joseph Hanna Director

ANNEXURE PAGE

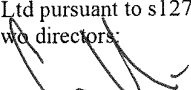
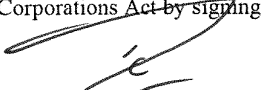
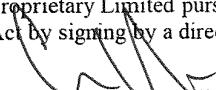
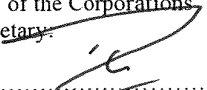
- (d) any dwelling house, residential building, garage or outbuilding on the lot with roofs or with roofing material other than Colourbond material;
 - (e) any building with front façade walls comprising more than 25% of the façade (excluding openings such as windows, doors and garage doors) and of any material other than composite materials, timber, texture coated fibre cement, stone or linear board.
 - (f) any driveway or front yard pathway:
 - (i) from surface materials and colours other than hard surfaced materials and colours that are complimentary to the dwelling or residential building such as, exposed aggregate concrete, pavers and stamped or stencilled coloured concrete, and stipple finish concrete; and
 - (ii) from undecorated grey, broom finished concrete or any material or colour that does not complement the dwelling.
5. Not to erect any fence or wall along the boundary of the lot:
- (a) of a height greater than 1.8 metres and constructed out of material other than Colourbond panel; and
 - (b) of any kind or description upon the boundary of any lot with the street onto which the same fronts:
 - (i) of a height greater than 1.5 metres;
 - (ii) of material other than brick, stone, masonry block or similar material rendered, or brick with a steel insert; and
 - (iii) without a letterbox incorporated into the fencing.
- 5A. Not to remove or replace the fence erected along the eastern boundaries of Lots 72 - 50 as to disrupt the continuous 1.8 metre high solid fence line along that boundary of those Lots.
6. Not to erect or place or suffer to be or remain on the lot:
- (a) any temporary building structure or caravan with the exception of a shed or workshop used for the purpose of, and in connection with and during and in the course of construction of a permanent building or buildings on the lot and not otherwise.
 - (b) any shop building or erection whatsoever for the purposes of selling, offering or exposing for sale therein any articles, services, wares or merchandise, including show homes, without the written consent of the Vendor and / or the Dominant Proprietor.
 - (c) any engine or machinery worked or driven by steam, gas, electricity, petrol or other type of power and used for any business or trade operations.
7. Not to carry on, permit or suffer to be carried on:
- (a) any trade manufactory or business whatsoever; and
 - (b) any noxious noise or offensive trade of business which may be a public nuisance or provoke annoyance on any part of the lot:

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Colin Paul Dewhurst Director	Daniel Joseph Hanna Director	Colin Paul Dewhurst Secretary	Daniel Joseph Hanna Director

8. Not to erect, permit to be erect, attach or permit to be attached to any dwelling or building or place or suffer to be or remain on the lot any:
 - (a) advertisement, bill board or poster or any similar erection of any unsightly nature;
 - (b) drying clothes, rubbish storage, air-conditioning condensers, service boxes, solar and photovoltaic panels, storage tanks and associated panels that are visible from the street;
 - (c) TV antennas or satellite dishes with the street onto which the same fronts;
 - (d) satellite dishes that are larger than 900mm in diameter;
 - (e) drainage pipe or drainage dissipaters on the lot or any part thereof which will cause or may cause any stormwater to enter or cause damage or erosion to the lot, to any adjoining lot, to any road shown on the plan or to any area adjacent to such road or the balance;
 - (f) caravan, boat or trailer whatsoever on the front yard of the lot; and
 - (g) tree or shrub which grows to be a height of more than six (6) metres.
9. Not to keep on the lot any dog of a breed or cross breed which shall be declared or categorised by the *Dog Control Act 2000* (Tas) and any subsequent revisions of that act to be a dangerous dog or restricted breed.
10. Not to do or permit or suffer to be done in or upon any lot or any part thereof anything which will, may or shall be or become a nuisance, annoyance or disturbance to the Vendor and / or the Dominant Proprietor or their directors or successors in title or the owner or owners for the time being of the said lots.

IT IS DECLARED AND AGREED that nothing herein contained or implied shall prevent Tasmanian Country Club Properties Pty Ltd, with the consent of the Dominant Proprietor, or its directors, from:

- (i) Selling any lot free or exempt from any one or more of the restrictive covenants and stipulations contained in the covenants hereinbefore contained; and
- (ii) Modifying, waiving or releasing or allowing any departure from any of the said restrictive covenants in relation to any lot or portion of any lot.

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Reply to the planning scheme for
42 Clance Avenue Prospect Vale 7250 189929/102

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

A1 – Acceptable solution compliant

8.4.2 Setbacks and building envelope for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

P3 –

P3(a)(i) – reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property

The proposal will not cause any reduction in sunlight to habitable rooms on adjoining properties.

The northern boundary adjoins only public open space, which contains no dwellings or habitable rooms. The southern neighbour benefits from the increased setback created by the northern variation, ensuring sunlight access is maintained or enhanced. The eastern side fronts the street and has no adjoining dwellings. To the west, Unit 2 is on the same site and its living rooms are located on the opposite side of that dwelling, so they are unaffected by any shadow cast by Unit 1. The minor 0.4 m variation therefore produces no unreasonable loss of amenity in terms of solar access to habitable rooms

- P3(a)(ii) – overshadowing the private open space of a dwelling on an adjoining property

No unreasonable overshadowing of private open space will occur. Public open space to the north has no private open space associated with any dwelling. The increased southern setback improves separation to the southern neighbour's private open space, reducing any potential shadow impact below what would occur under a compliant 1.5 m northern setback. The eastern street frontage presents no private open space, and the western interface with Unit 2 (same site) is not an adjoining property for the purposes of this criterion. The design therefore fully satisfies this element of P3(a).

- P3(a)(iii) – overshadowing of an adjoining vacant property

The proposal will not cause unreasonable overshadowing of the adjoining vacant property to the south. Unit 1 maintains a generous 4 m southern setback, well exceeding the Acceptable Solution minimum and typical local standards. This increased separation, together with the modest building scale, ensures shadows cast by the development remain predominantly within the subject site or onto the public street, with no meaningful encroachment onto the southern vacant lot – even at winter solstice. The minor northern setback variation has no impact on the southern interface. The development therefore fully satisfies P3(a)(iii).

- P3(a)(iv) – visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property



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The siting and scale of the dwellings will not result in unreasonable visual impacts from any adjoining property. The 1.1 m northern setback is viewed only from public open space, where the minor variation produces no private amenity concern and the building remains appropriately proportioned within the streetscape and open-space context. From the southern neighbour, the increased setback actually reduces the perception of bulk and improves visual separation. The western elevation complies fully with setback requirements, and Unit 2's orientation means its primary outlook is unaffected. Overall proportions and materials are consistent with established development in the area, ensuring the apparent scale and bulk remain reasonable when viewed from all adjoining properties.

- P3(b) – separation between dwellings on adjoining properties consistent with that existing on established properties in the area

The proposal provides separation that is consistent with the established pattern in the locality. All setbacks except the noted northern variation for Unit 1 comply with the Acceptable Solution. The northern boundary adjoins public open space (no dwelling), the southern setback is increased beyond the standard, and the western setback to the same-site Unit 2 is fully compliant. These arrangements maintain or improve upon the separation distances observed on surrounding established properties, satisfying the performance criterion.

- P3(c) – unreasonable reduction in sunlight to an existing solar energy installation

The development will not reduce sunlight to any existing solar energy installation on an adjoining property or on the same site. No solar panels or solar energy systems are present on the southern, eastern or western adjoining lands, nor on public open space to the north. The subject site itself contains no existing solar installations that would be affected by the new dwellings. The proposal therefore complies fully with this criterion.

8.4.3 Site coverage and private open space for all dwellings

A1 – Acceptable solution compliant

A2 – Acceptable solution compliant

8.4.4 Sunlight to private open space of multiple dwellings

A1 – Acceptable solution compliant

8.4.5 Width of openings for garages and carports for all dwellings

A1 – Acceptable solution compliant

8.4.6 Privacy for all dwellings

- P1(a) – minimise overlooking of a dwelling on an adjoining property or its private open space

The decks have been sited and designed to avoid any unreasonable overlooking of adjoining properties. Unit 1's deck complies with the Acceptable Solution setback to the side boundary. The



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rear boundary adjoins only a fire trail (a non-residential accessway with no dwelling or private open space beyond the fence). There are no habitable windows, private open spaces or dwellings on the adjoining land to the rear that could be overlooked. To the sides and front, setbacks meet or exceed requirements, and no direct lines of sight exist to neighbouring dwellings or their private open space. Screening is not required for adjoining properties, as the siting inherently minimises overlooking and satisfies P1(a).

- P1(b) – minimise overlooking of another dwelling on the same site or its private open space
A 1.8 m high privacy screen is proposed along the side of Unit 1’s deck facing Unit 2’s entry. This screen will obscure direct views from Unit 1’s deck towards Unit 2’s bedroom 3 window, entry door and turning area. The screen ensures that any potential overlooking of Unit 2 (another dwelling on the same site) or its associated private open space is effectively minimised. The decks are otherwise oriented and setback to avoid direct lines of sight between units. These measures achieve an acceptable level of visual privacy between dwellings on the site, fully complying with P1(b).

- P2(a) – minimise direct views to a window or glazed door to a habitable room of another dwelling
The proposal has been designed to prevent unreasonable direct views between habitable room windows of the two dwellings on the site. In Unit 1, the original kitchen window has been removed entirely. Bed 1 has a highlight window in the master bedroom, eliminating any downward views towards Unit 2’s entry area and habitable room windows.

Living room windows in both units are located within 3 m of the side boundary but fall outside the Acceptable Solution distance. However, the northern side boundary adjoins only a public path (public open space with no dwelling), so there are no habitable room windows on an adjoining property to the north that could be overlooked

- P2(b) – minimise direct views to the private open space of another dwelling
Living room windows in both units, although closer than 3 m to the northern side boundary, face only the public path to the north, where no private open space exists. The southern interface maintains compliant setbacks with no elevated direct views possible to any southern private open space. No screening is required to the north due to the absence of private amenity, and the internal site layout (with decks and screening already addressed under P1) further supports privacy between the two dwellings. The proposal therefore satisfies P2(b) in full.

A3 – Acceptable solution compliant

8.4.7 Frontage fences for all dwellings

A1 – Acceptable solution compliant

8.4.8 Waste storage for multiple dwellings

A1 – Acceptable solution compliant



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C2.5.1 Car parking numbers

P1.2

The number of car parking spaces for dwellings must meet the reasonable needs of the use, having regard to:

- (a) the nature and intensity of the use and car parking required;
- (b) the size of the dwelling and the number of bedrooms; and
- (c) the pattern of parking in the surrounding area.

P1.2

(a) Each unit has two spots dedicated to itself. This is compliant with the acceptable solution with the development just having the omission of the visitor spots so the residents themselves all have onsite parking, so the average two-car household.

The site is a "typical" rectangle lot square to the street, so there will be an additional 2 parking spaces along the front boundary of on street parking.

(b) The proposed units are at the smaller end of units/houses, so it would not be expected that the average occupancy would have more than 2 vehicles, and with the above point, there is ample on-street parking for visitors parking, which is the spot that omitted from the acceptable solution.

(c) The other subdivision units also do not have a visitor parking space. So this development will match the neighbouring property perfectly.

Kind Regards

A handwritten signature in blue ink, appearing to read 'BVZ', with a long horizontal stroke extending to the right.

Bradley Van Zetten

Document Set ID: 2318734
Version: 1, Version Date: 12/03/2026

LEGEND

PAGE 1# COVER PAGE

PAGE 2# EXISTING SITE SURVEY PLAN

PAGE 3# SITE PLAN

PAGE 4# LANDSCAPING PLAN

PAGE 5# STRATA PLAN

PAGE 6# SITE CONNECTION PLAN

PAGE 7# WATER METER CONNECTION

PAGE 8# SITE PLUMBING PLAN

PAGE 9# CAR PARKING PLAN

PAGE 10# SOIL AND WATER MANAGEMENT PLAN

PAGE 11# UNIT 1 – FLOOR PLAN

PAGE 12# UNIT 1 – FLOOR PLAN WITH DIMENSIONS

PAGE 13# UNIT 1 – ROOF PLAN

PAGE 14# UNIT 2 – FLOOR PLAN

PAGE 15# UNIT 2 – FLOOR PLAN WITH DIMENSIONS

PAGE 16# UNIT 2 – ROOF PLAN

PAGE 17# ELEVATIONS

PAGE 18# ELEVATIONS

COUNCIL – MEANDER VALLEY COUNCIL
 ZONE – GENERAL RESIDENTIAL
 CODE – BUSHFIRE PRONE AREA
 – PRIORITY VEGETATION AREA
 LANDSLIDE BAND – NIL
 SPECIFIC AREA PLAN – MEA-S22.0

TITLE REFERENCE – 189929/102

BUSHFIRE-PRONE AREA BAL RATING BAL19
 AS PER SUBDIVISION BAL REPORT

CORROSION ENVIRONMENT – MEDIUM

CLIMATE ZONE FOR THERMAL DESIGN = 7
 REFER TO ENERGY REPORT BY 2DR

ALPINE AREA – N/A LESS THAN 900m AHD

OTHER HAZARDS – N/A

ALL DIMENSIONS SHOWN ARE TO OUTSIDE OF BRICKWORK CLADDING OR TIMBER FRAMING ON CLAD HOUSES UNLESS NOTED OTHERWISE

CONFIRM ALL DIMENSIONS AND SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS

IF IN ANY DOUBT ABOUT BEARING AND BOUNDARIES THEN THESE MUST BE CONFIRMED ONSITE BY A SURVEYOR PRIOR TO SETOUT

ENSURE DRAWINGS USED ONSITE ARE STAMPED 'APPROVED' PLANS BY BUILDING SURVEYOR AND PERMIT AUTHORITY

H4D9 CONDENSATION MANAGEMENT TO BE COMPLIANT WITH NCC PART 10.8 CONDENSATION MANAGEMENT.

NOTES
 (1)REFER TO THE GUIDANCE IN THE "CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS' GUIDE" – CURRENT VERSION AVAILABLE AT WWW.CBOS.TAS.GOV.AU. THIS GUIDE MUST BE READ IN CONJUNCTION WITH THE NCC.


IF ANY DISCREPANCIES, APPARENT ERROR, ANOMALY OR AMBIGUITY WITHIN THE DOCUMENTATION IS FOUND. THE DESIGNER IS TO BE CONTACTED PRIOR TO ANY MORE CONSTRUCTION CONTINUING.

ENSURE THAT DRAWINGS ARE NOT SCALED AND THAT THE NOTED DIMENSIONS ARE USED FOR ACCURACY. IF IN ANY DOUBT CONTACT DESIGNER

PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

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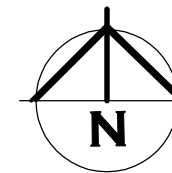
REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
REVISION 2	28 / 02 / 2026
REVISION 3	02 / 03 / 2026
REVISION 4	12 / 03 / 2026




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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: EXISTING SITE SURVEY PLAN

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 12 / 03 / 26

SCALE - A3 - 1:200.	DRAWING No.: LHRW0226 - 2/18
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REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
REVISION 2	28 / 02 / 2026
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EXISTING SITE SURVEY PLAN

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SITE AREA TABLE FOR STORMWATER DETENTION		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	815	
ROOF AREA OF UNITS (NOT INCLUDING DECKS AS PERVIOUS SURFACE UNDER)	420	51.5
SEALED GROUND AREA (EXCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	165	20.2
AREA FREE FROM IMPERVIOUS SURFACES	230	28.2

UN-RETAINED BULK EARTHWORKS – SITE CUT AND FILL PART 3.2.1



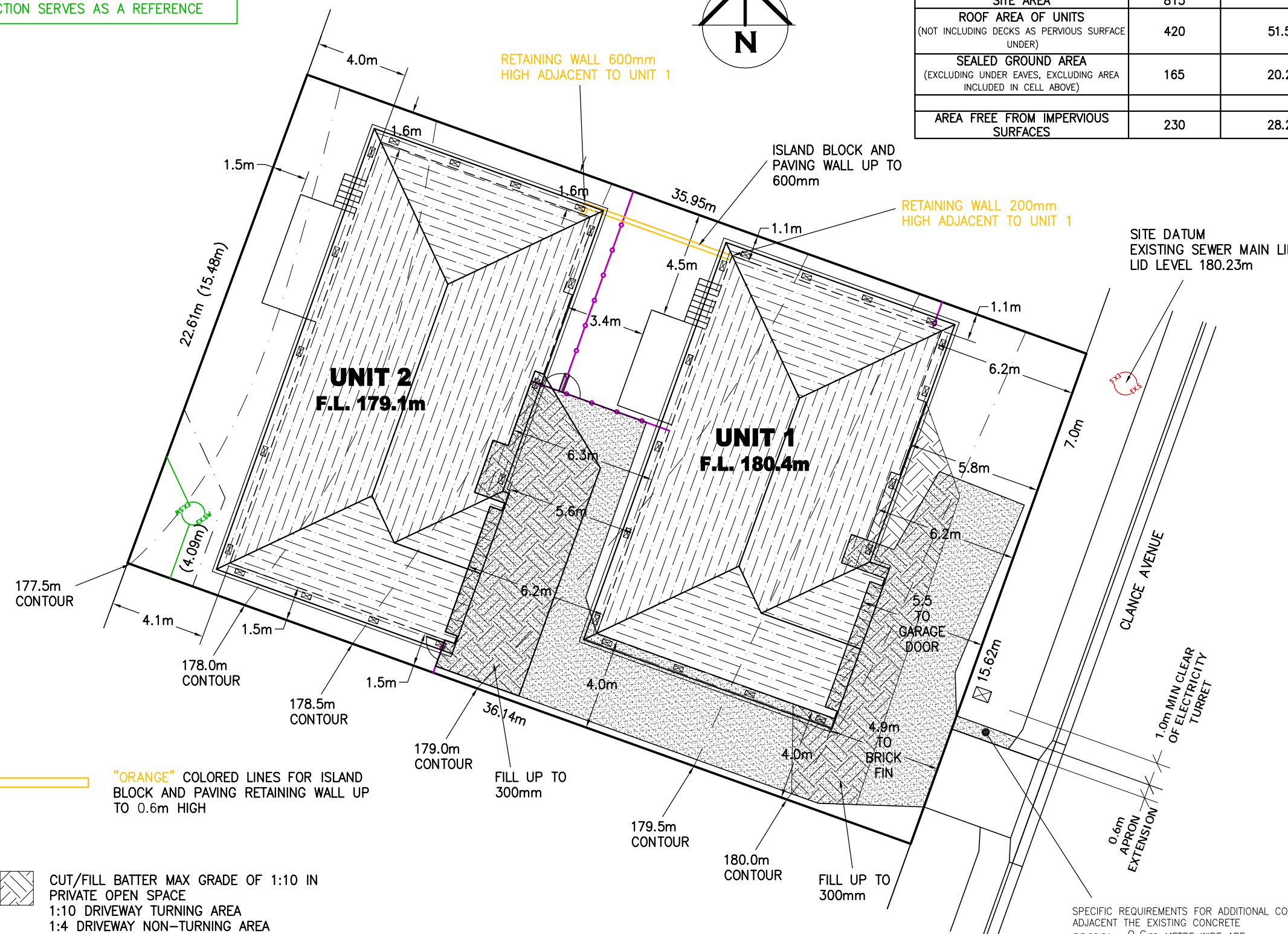
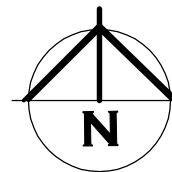
TABLE 3.2.1: SOIL TYPE	EMBANKMENT SLOPES H:L	
	COMPACTED FILL	CUT
STABLE ROCK	3:3	8:1
SAND	1:2	1:2
CLAY	FIRM CLAY	1:2
	SOFT CLAY	NOT SUITABLE
SOFT SOILS	NOT SUITABLE	NOT SUITABLE

EMBANKMENTS THAT ARE TO BE LEFT EXPOSED AT THE END OF THE CONSTRUCTION WORKS MUST BE STABILISED BY VEGETATION OR SIMILAR TO PREVENT SOIL EROSION

(1) A SITE CUT USING AN UN-RETAINED EMBANKMENT MUST BE--
 (A) WITHIN THE ALLOTMENT; AND
 (B) NOT WITHIN THE ZONE OF INFLUENCE OF ANY EXISTING STRUCTURE ON THE PROPERTY, OR THE ALLOTMENT BOUNDARY AS DEFINED IN TABLE 3.2.1 AND FIGURE 3.2.1A; AND
 (C) NOT DEEPER THAN 2 M FROM THE NATURAL GROUND LEVEL AT ANY POINT.

(2) FILL, USING AN UN-RETAINED EMBANKMENT MUST--
 (A) BE PLACED WITHIN THE ALLOTMENT; AND
 (B) BE PLACED AT A GRADIENT WHICH COMPLIES WITH TABLE 3.2.1 AND FIGURE 3.2.1B; AND
 (C) BE PLACED AND MECHANICALLY COMPACTED IN LAYERS NOT MORE THAN 150 MM; AND
 (D) BE NOT MORE THAN 2 M IN HEIGHT FROM THE NATURAL GROUND LEVEL AT ANY POINT; AND
 (E) WHERE USED TO SUPPORT FOOTINGS OR SLABS, BE PLACED AND COMPACTED IN ACCORDANCE WITH PART 4.2; AND
 (F) HAVE SURFACE WATER DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ADJOINING ALLOTMENT IN ACCORDANCE WITH 3.3.3.

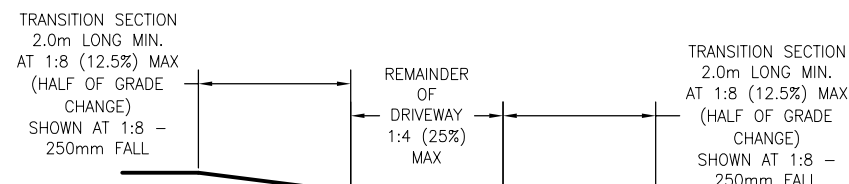
SITE AREA TABLE FOR PLANNING SCHEME		
	SQUARE METER	PERCENTAGE OF LOT
SITE AREA	815	
BUILDING AREA EXCLUDING EAVES UP TO 0.6m WIDE (AS PER PLANNING SCHEME)	386	47.4
SEALED GROUND AREA (INCLUDING UNDER EAVES, EXCLUDING AREA INCLUDED IN CELL ABOVE)	184	22.6
AREA FREE FROM BUILDING AND DRIVEWAY AREA	245	30.1



"ORANGE" COLORED LINES FOR ISLAND BLOCK AND PAVING RETAINING WALL UP TO 0.6m HIGH

CUT/FILL BATTER MAX GRADE OF 1:10 IN PRIVATE OPEN SPACE
 1:10 DRIVEWAY TURNING AREA
 1:4 DRIVEWAY NON-TURNING AREA

SEALED DRIVEWAY TO FALL TO PITS. ASPHALT OR CONCRETE.
 10% (1:10) MAX GRADE FOR DRIVEWAY TURNING AREA
 25% (1:4) MAX GRADE FOR DRIVEWAY NON-TURNING AREA
 TRANSITION – CHANGE IN GRADES IN EXCESS OF 12.5% (1:8). GRADE TRANSITION OF 2.0m IN LENGTH TO BE PROVIDED AT GRADE CHANGES. TRANSITION GRADE TO BE HALF THE SUM OF THE TWO ADJACENT GRADES, MAX 12.5% (1:8).



TRANSITION DETAIL IN DRIVEWAY FOR CHANGE IN GRADES OVER 12.5%

SITE PLAN

BOTH UNIT SETOUT IS PARALLEL TO SOUTH SIDE BOUNDARY

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REVISION 1	25 / 02 / 2026
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SPECIFIC REQUIREMENTS FOR ADDITIONAL CONCRETE PANELS PLACED ADJACENT THE EXISTING CONCRETE apron: 0.6m METRE WIDE ARE:
 a. THE ADDITIONAL CONCRETE PANEL SHALL BE 150MM CONCRETE WITH S72 MESH CENTRALLY LOCATED ON 100MM THICK COMPACTED BASE AND SHALL BE DOWELLED INTO THE EXISTING CONCRETE APRON USING 300MM LONG R10 DOWELS AT 500MM CENTRES.
 b. ALL EXISTING PIPELINE AND SERVICE TRENCHES OVER WHICH THE NEW DRIVEWAY AND THE WIDENED DRIVEWAY APRONS ARE TO BE CONSTRUCTED ARE TO BE EXCAVATED AND BACKFILLED TO THE TRAFFICABLE STANDARD SPECIFIED IN LGAT-IPWEA STANDARD DRAWING TSD-G01.
 THE WORK MUST INCLUDE ALL NECESSARY ALTERATIONS TO OTHER SERVICES INCLUDING LOWERING/RAISING PIT LEVELS, UPGRADING TRENCHES NON TRAFFICABLE TRENCHES TO TRAFFICABLE STANDARD AND AND/OR RELOCATION OF SERVICES. PERMISSION TO ALTER SUCH SERVICES MUST BE OBTAINED FROM THE RELEVANT AUTHORITY (EG TASNATER, TELSTRA, AND TASNATERWORKS ETC). THE CONSTRUCTION OF THE NEW CROSSOVER AND DRIVEWAY AND REMOVAL OF THE UNUSED CROSSOVER AND DRIVEWAY WILL BE AT THE APPLICANT'S EXPENSE.



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DRAWING: SITE PLAN

DESIGNED: B. v. Z.
 DRAWN: B. v. Z.





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-  **BORONIA ANEMONIFOLIA**
STICKY BORONIA
MATURE HEIGHT APPROX. 1.5m
-  **LEUCOPYHTA BROWNII**
CUSHION BUSH
MATURE HEIGHT APPROX. 1.0m
-  **SEDUM SPECTABILE**
ICE PLANT
MATURE HEIGHT APPROX. 0.7m
-  **DIANELLA TASMANICA**
(TASMANIAN FLAX LILY)
MATURE HEIGHT APPROX. 1.0m


PLANS SHOWN INDICATE TYPE AND HEIGHT TO BE PLANTED SIMILAR VARIATIONS MAY BE INSTALLED AT TIME OF PLANING


-  SIR WALTER BUFFALO OR SIMILAR GRASS
-  15mm-20mm 'NO FINES' DECORATIVE STONE OR MULCH TO ALL GARDEN BEDS.
-  SEALED DRIVEWAY TO FALL TO PITS
-  PRIVATE OPEN SPACE 6x4m OR 5x5m MAX GRADE 1:10

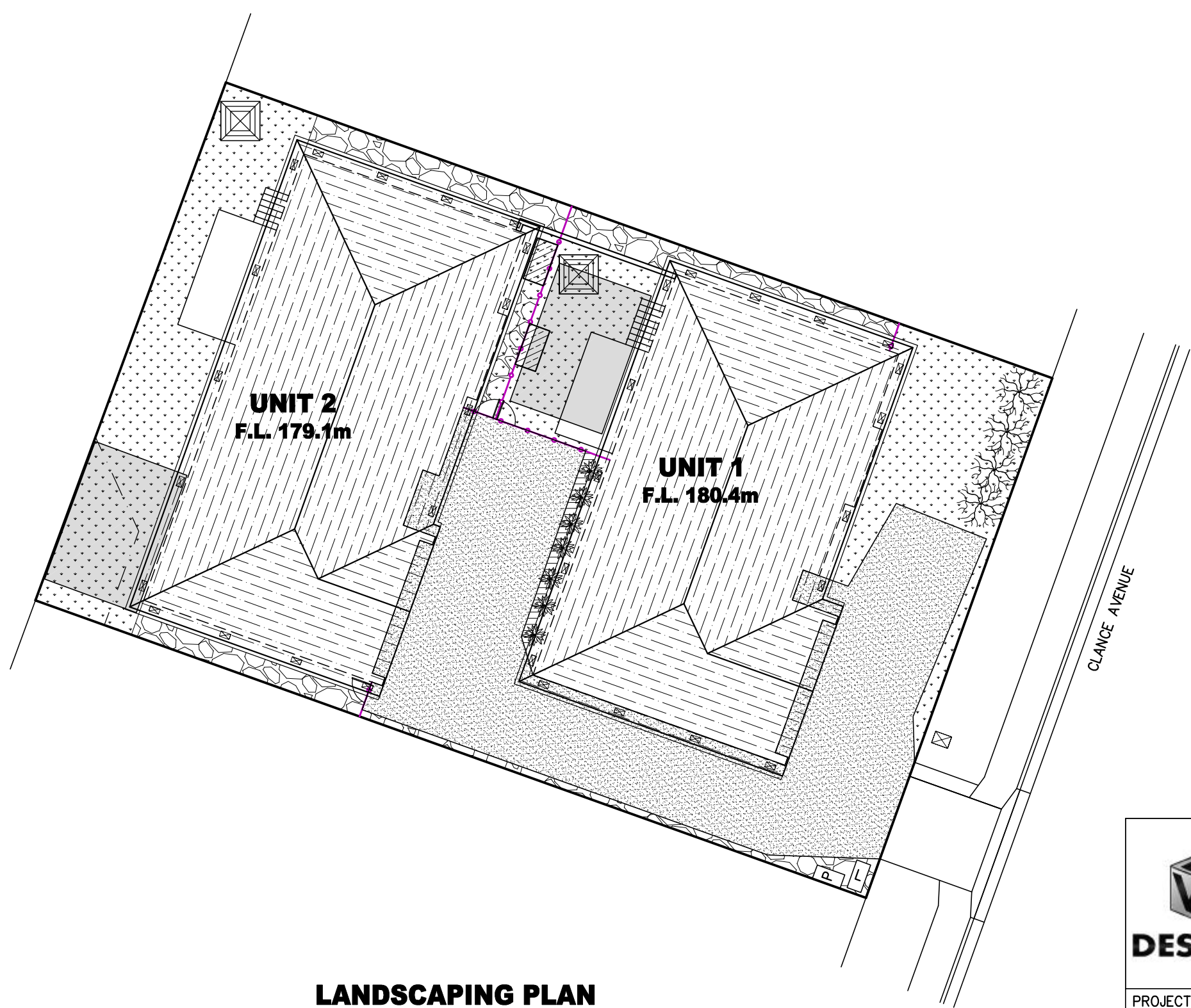
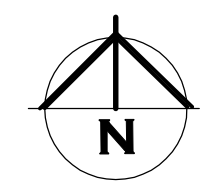
-  **CLOTHES LINE**
CRUSHED GRAVEL PATH OR STEPPING STONE PAVERS TO CLOTHES LINE

-  1.7x0.9m WHEELIE BIN STORAGE MINIMUM 1.5m²

-  LETTERBOX

-  MAIN POWER BOARD LOCATED WITHIN COMMON GROUND

 "MAGENTA" 1800mm HIGH LAPPED PAILING FENCE OR SOLID COLORBOND FENCE.
ALL BOUNDARY FENCES TO TITLE BOUNDARY THAT ARE PART OF THE PRIVATE YARD OF THE UNITS TO BE SOLID 1800mm HIGH MINIMUM. EXISTING FENCES UPGRADED AS REQUIRED.




LANDSCAPING PLAN

PRIVATE YARD AREA UNIT 1 = 62 sq/m
PRIVATE YARD AREA UNIT 2 = 132 sq/m

NOT INCLUDING BUILDING AREA
PLANTING INSIDE PRIVATE YARD BY OWNER

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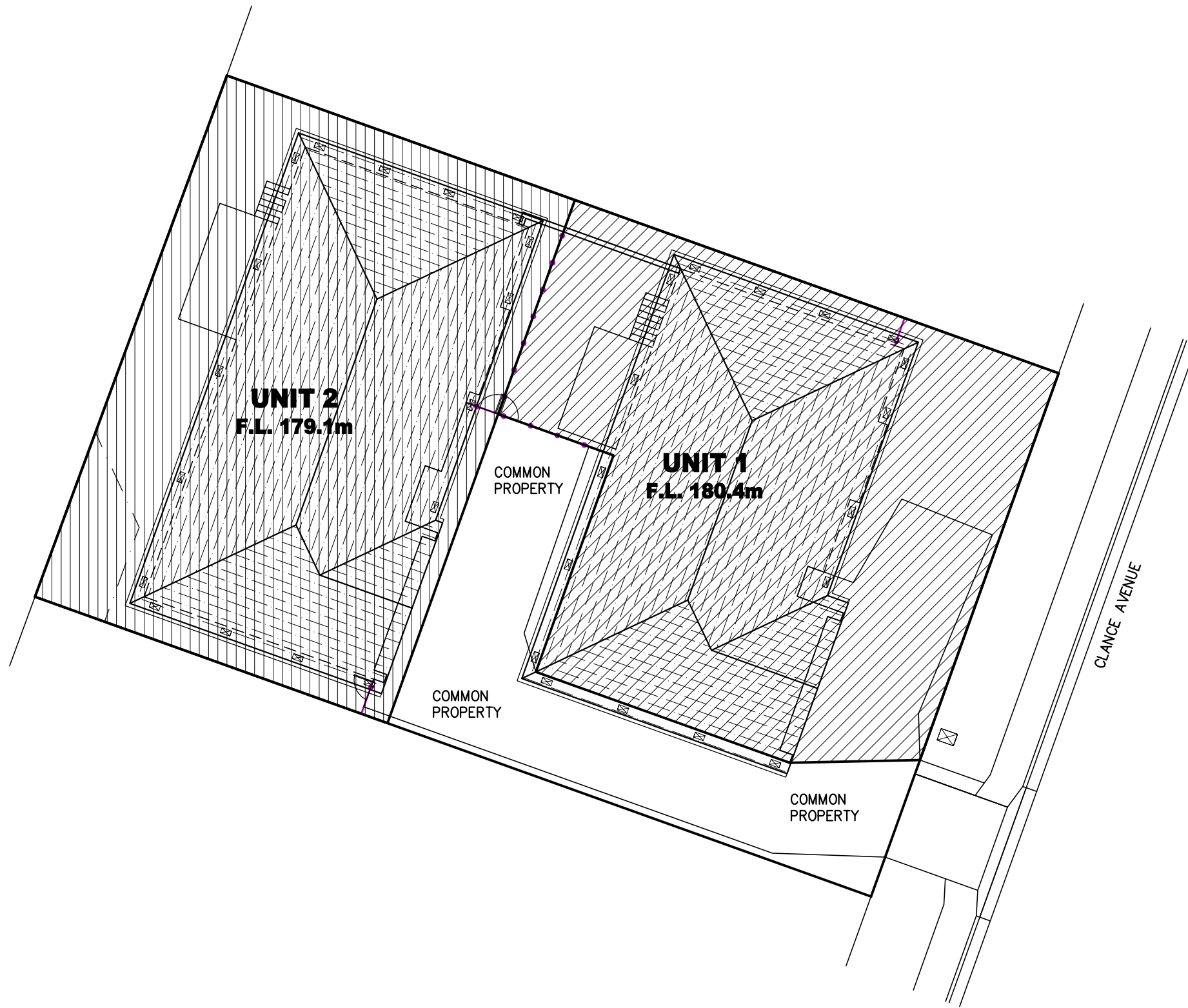
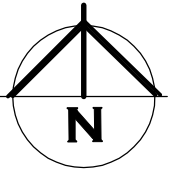
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COMMON
PROPERTY



UNIT 1 STRATA TITLE



UNIT 2 STRATA TITLE

STRATA PLAN

EXACT STRATA BOUNDARY TO BE
CONFIRMED ONCE CONSTRUCTION IS
COMPLETED AND STRATA PLAN IS
COMPLETED BY LAND SURVEYOR



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FOR LHRW PTY LTD
AT 42 CLANCE AVENUE
PROSPECT VALE 7250

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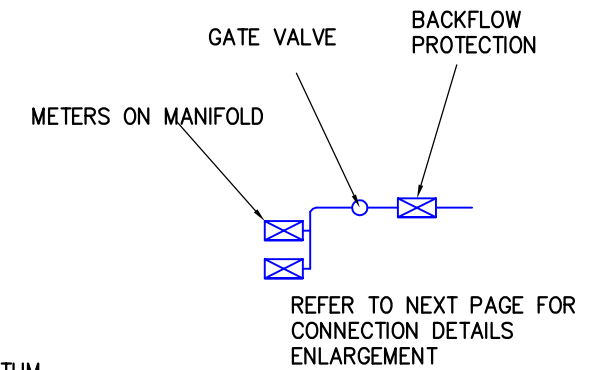
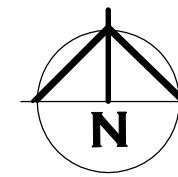
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EXISTING STORMWATER CONNECTION
DEPTH 1.4m±
TO BE REMOVED AND RELOCATED

UNIT 2
F.L. 179.1m

UNIT 1
F.L. 180.4m

BACKFLOW PROTECTION,
MANIFOLD AND WATER METRES
INSTALLED AS CLOSE AS
PRACTICAL TO FRONT BOUNDARY

EXISTING SEWER
CONNECTION
DEPTH 0.8m±

SITE DATUM
EXISTING SEWER MAIN LID
LID LEVEL 180.23m

TAS WATER TO SUPPLY & INSTALLATION OF
DN32MM (ID 25MM) HDPE PN16 SDR11 PROPERTY
WATER CONNECTION WITH

HIGH HAZARD BACKFLOW PROTECTION TO BE
INSTALLED WITHOUT METER AS PER TWS-W-0002
SHEET 7

ONCE CONNECTION IS BACK BELOW GROUND

2/ID20MM SENSUS IPERL WATER METERS ON A
MANIFOLD PER TASWATER ENDORSED STANDARD
PLANS, BELOW GROUND LOW HAZARD IN
ACCORDANCE WITH

2/NON-TRAFFICABLE WATER METER BOXES AS PER
TASWATER TWS-W-0002 SHEET 5

WATER SUPPLY CODE OF AUSTRALIA WSA 03
-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND
SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL
WATER AGENCIES CODE WSA 02--2014-3.1 MRWA
VERSION 2 AND TASWATER'S SUPPLEMENTS TO
THESE CODES

INSTALLED AS PER TWS-W-0002 SHEET 9

ALL WORKS BY TAS WATER AT DEVELOPERS COST.

INSPECTION OPENING RELOCATED
STORMWATER INSPECTION OPENING IS TO BE
LOCATED ON OUTSIDE EDGE OF EASEMENT CLEAR
OF THE PROPOSED FOOTINGS. WORKS CAN BE
CARRIED OUT BY THE DEVELOPERS PLUMBING
CONTRACTOR AT DEVELOPERS COSTS.

EXISTING WATER CONNECTION TO BE
DISCONNECTED BY TASWATER AT
DEVELOPERS COST

EXISTING WATER
METER

CLANCE AVENUE

SITE CONNECTION PLAN

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AT 42 CLANCE AVENUE
PROSPECT VALE 7250

DRAWING: SITE CONNECTION PLAN

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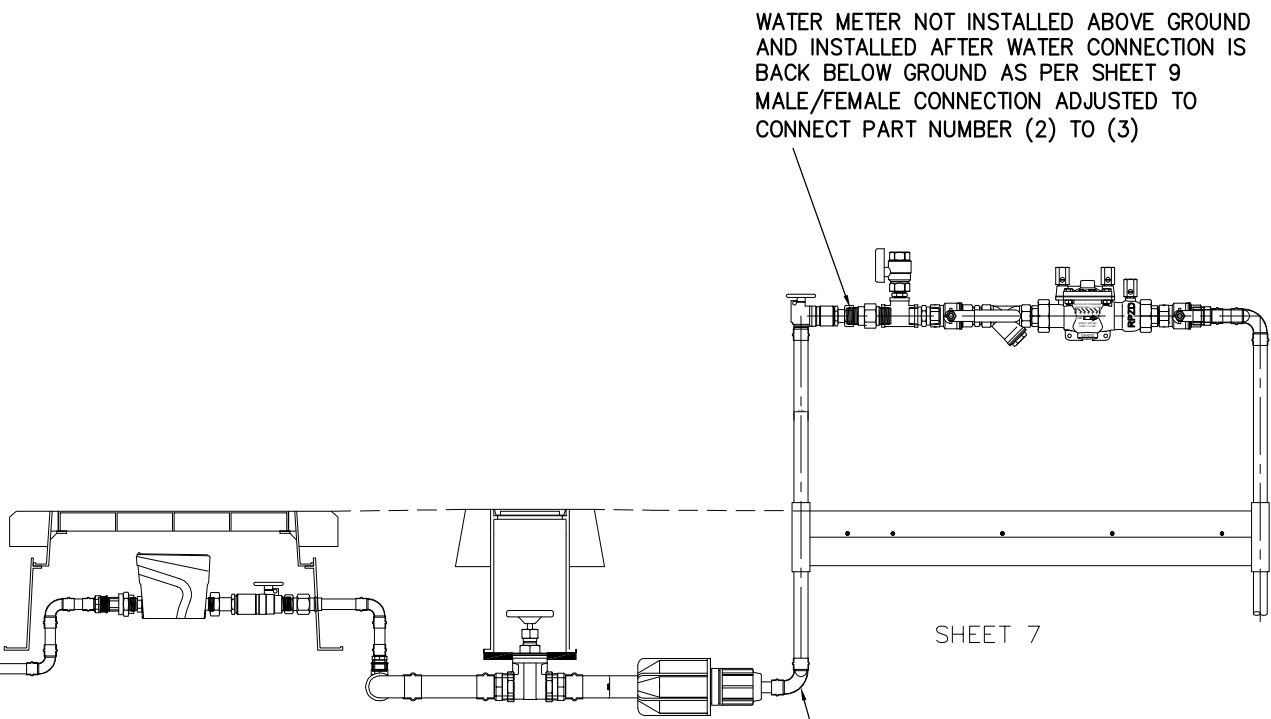
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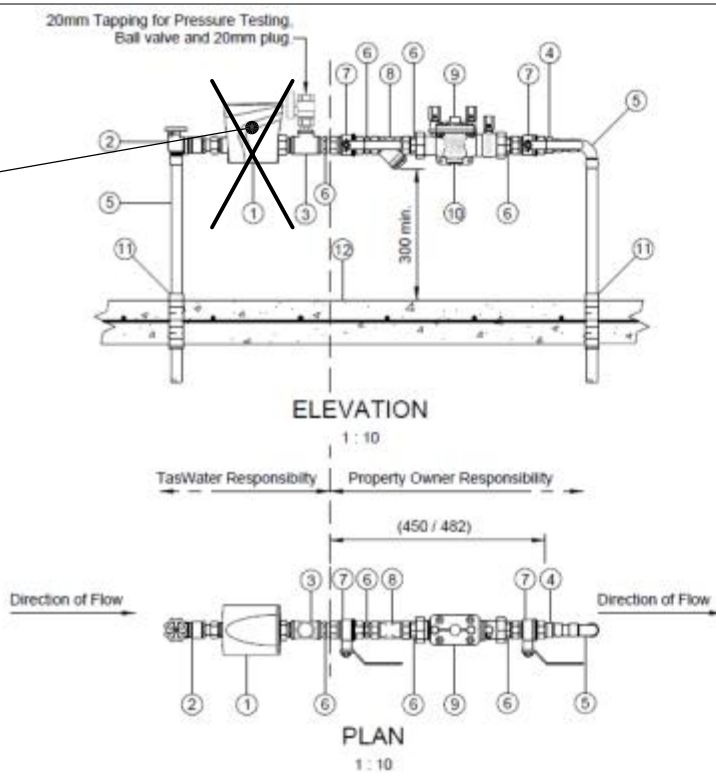
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SHEET 9

SHEET 7



VALVE & EQUIPMENT SCHEDULE

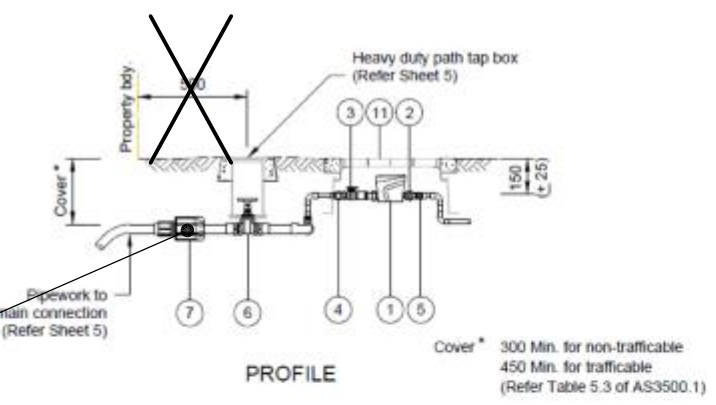
1. Only use products with watermark certification and approved for use by TasWater and listed within City West Water's approved products catalogue.
2. Installation must comply with manufacturer's written instructions.
3. All valves must be resilient seated, clockwise closing to AS 1628 with 316 stainless steel bolts and washers.
4. Unless approved otherwise the water meter/s, tails and meter boxes are to be supplied by TasWater.



SCHEDULE OF ITEMS		
No.	DESCRIPTION	COMMENTS
1	DN 25 'Sensus' Water meter with Dual Check Valve	Supplied by TasWater
2	DN 25 Ball Valve - W/MRK R/A Lockable Quarter Turn Brass DZR, Resilient Seated with Extendable Nut and Tail	
3	DN 25 x 20 Brass Tee (Fem - Fem x Fem)	Or Approved Equivalent
4	DN 25 'Viega' Pro-press Water Male Line Adaptor	Or Approved Equivalent
5	DN 25 Type 'A' Copper Pipework	
6	DN 25 Brass Nipple	
7	DN 25 Ball Valve - Lockable Quarter Turn brass DZR with brass handle, resilient seated.	
8	DN 25 Strainer	Owned, operated and maintained by Property Owner
9	Medium Hazard DN 25 'ValveChQ' D2000 Double Check Valve High hazard DN 25 'ValveChQ' RPZD RP03 Valve Only	Owned, operated and maintained by Property Owner
10	Vent only applies to RPZD	
11	Pipe Wrapped where Concrete will contact Pipe	(Refer Note 5)
12	100mm (minimum) Reinforced Concrete Slab	SL72 placed central

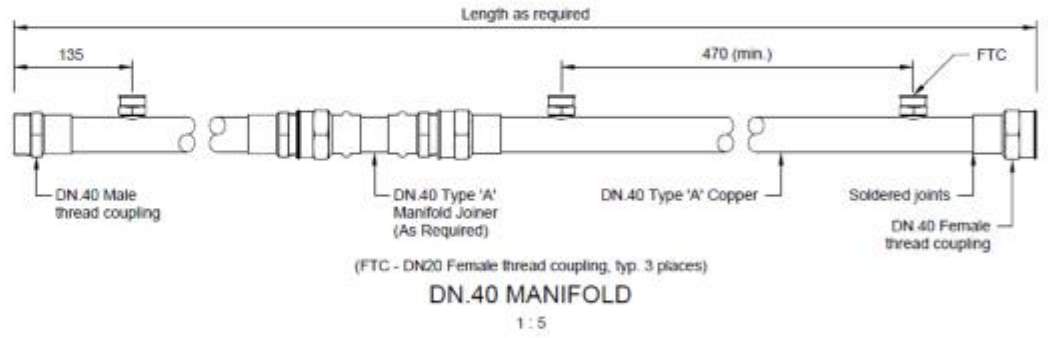
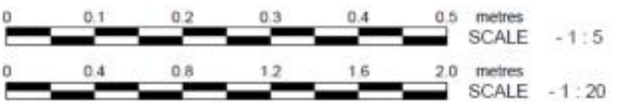
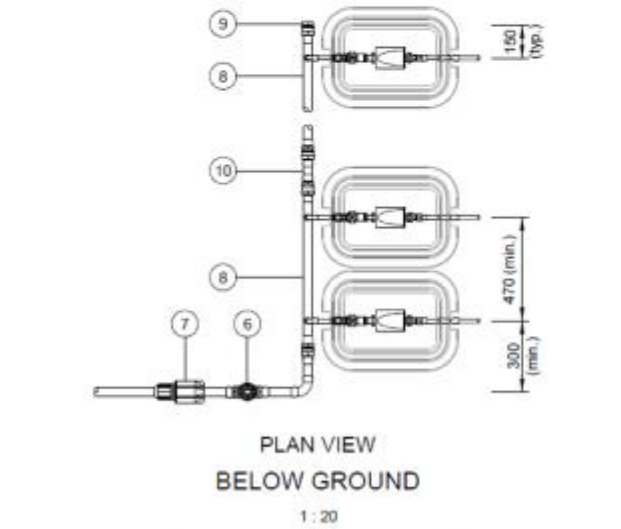
GENERAL NOTES

1. All dimensions in millimeters (mm), unless noted otherwise.
2. Installation and fittings schedule is also suitable for DN 20 meter.
3. Dimensions shown in brackets apply to (DN 20 / DN 25).
4. All existing metallic service connections should be considered an electrical hazard and electrical bonding leads (min. 70 Amp rating) and low voltage insulated gloves should be utilised at all times.
5. All metallic pipe work to be 'Denso' wrapped, or equivalent where it comes in contact with concrete - to protect it from corrosion.
6. Where a vented back flow prevention device is required such as a Reduced Pressure Zone Device (RPZD) it shall:
 - Comply with AS 3500 and AS 2845; and shall
 - Have free ventilation to the atmosphere for the relief valve at all times.
 - Not to be in an area that may be subject to ponding.
 - Have the relief drain outlet not less than 300mm above the surrounding surface.
7. Install the meter assembly in cage in accordance with TWS-W-0003.
8. Install and locate the meter assembly so that the meter can be easily read.
9. The Property Owner is responsible for the ongoing maintenance of the security cage.



SCHEDULE OF ITEMS		
No.	DESCRIPTION	COMMENTS
1	'Sensus' Water Meter with Dual Check Valve	Supplied by TasWater
2	Brass Nut and Tail	Supplied by TasWater
3	Ball Valve - W/MRK Lockable Quarter Turn Brass DZR, Resilient Seated with Extendable Nut and Tail	
4	'Viega' Pro-press Water Female Line Adaptor	Or Approved Equivalent
5	'Viega' Pro-press Water Female Line Adaptor	Or Approved Equivalent
6	Gate Valve - Brass DZR, Resilient Seated with Brass Handle	
7	Universal Adaptor	
8	DN 40 Type 'A' Copper Manifold	Refer Detail
9	DN 40 Brass Plug	
10	DN 40 Type 'A' Manifold Joiner (As Required)	
11	Meter Pit - Non-Trafficable 'Draper' Model Modular DRA 100, or similar	Refer Sheet 5

CONNECTION TO BE LOCATED AS CLOSE AS PRACTICAL TO END OF BACK FLOW PREVENTION DETAIL ABOVE



GENERAL NOTES

- BELOW GROUND
1. All dimensions in millimeters (mm), unless noted otherwise.
 2. Water connection to be located next to driveway entrance.
 3. Light trafficable areas are defined as areas with a Class 'B' wheel loading to AS/NZS 3996. In areas with a wheel loading greater than Class 'B' then a 'Draper' pit is unsuitable.

VALVE & EQUIPMENT SCHEDULE

1. Only use products with watermark certification and approved for use by TasWater and listed within City West Water's approved products catalogue.
2. Installation must comply with manufacturer's written instructions.
3. All valves must be resilient seated, clockwise closing to AS 1628 with 316 stainless steel bolts and washers.
4. In footpaths and paved areas the meter box must be supported with insitu N25 concrete.
5. Unless approved otherwise the water meter/s, tails and meter boxes are to be supplied by TasWater.

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

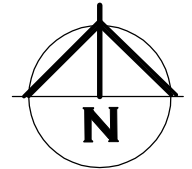
DRAWING: WATER METER CONNECTION

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EXACT MAKE AND MODEL OF TANK AND PUMP TO BE SUPPLIED TO COUNCIL FOR APPROVAL PRIOR TO INSTALLATION

SEWER FROM NEW PLUMBING GRAVITY FEED INTO 2000L MIN HOLDING TANK. HYJET WITH SUBMERSIBLE GRINDER PUMP WITH NETCO (OR SIMILAR BRAND) INDOOR OR OUTDOOR ALARM SYSTEM. 40/32mm POLY LINE

PUMP:
SUBMERSIBLE OR DRY WELL POSITIVE DISPLACEMENT, SEMI POSITIVE DISPLACEMENT OR PROGRESSING CAVITY GRINDER TYPE
BE SPECIFICALLY DESIGNED FOR PUMPING RAW DOMESTIC SEWAGE
TO INCLUDE AN INCORPORATED A PRESSURE "SHUT OFF" SWITCH OR OTHER OVERPRESSURE PROTECTION DEVICE AND 'TIMER' TO SWITCH OFF THE PUMP TO: PROTECT THE PUMP FROM A THERMAL OVERLOAD.

40/32mm POLY PUMP LINE IN ORANGE FOR CLARITY

NEW INSPECTION OPENING INSTALLED WITHIN 1m OF EXISTING CONNECTION INSPECTION OPENING. CHARGED LINE TO DISCHARGE THROUGH INSPECTION OPENING WITH GRAVITY WALL INTO EXISTING CONNECTION POINT.

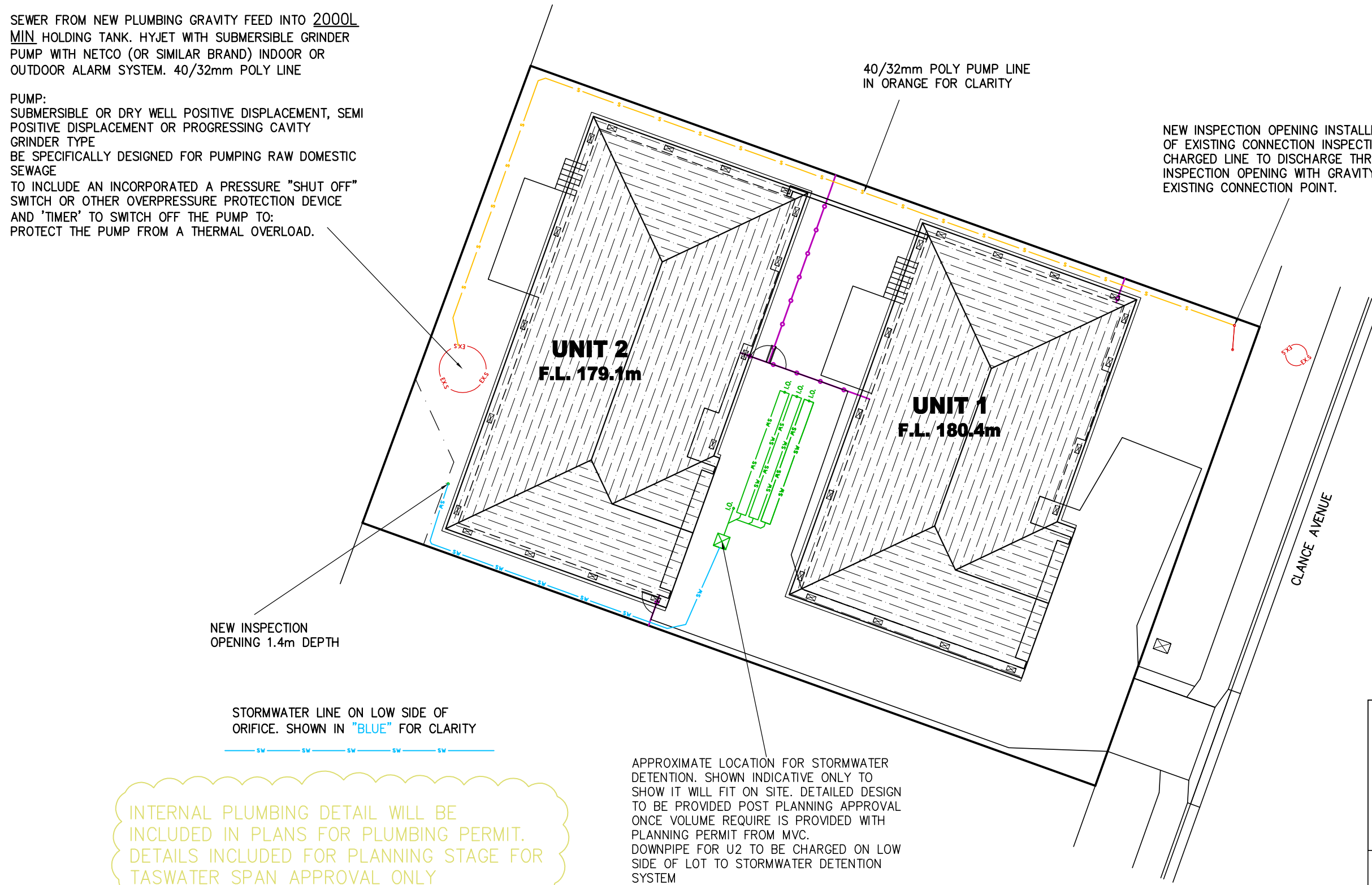
NEW INSPECTION OPENING 1.4m DEPTH

STORMWATER LINE ON LOW SIDE OF ORIFICE. SHOWN IN "BLUE" FOR CLARITY



INTERNAL PLUMBING DETAIL WILL BE INCLUDED IN PLANS FOR PLUMBING PERMIT. DETAILS INCLUDED FOR PLANNING STAGE FOR TASWATER SPAN APPROVAL ONLY

APPROXIMATE LOCATION FOR STORMWATER DETENTION. SHOWN INDICATIVE ONLY TO SHOW IT WILL FIT ON SITE. DETAILED DESIGN TO BE PROVIDED POST PLANNING APPROVAL ONCE VOLUME REQUIRE IS PROVIDED WITH PLANNING PERMIT FROM MVC. DOWNPIPE FOR U2 TO BE CHARGED ON LOW SIDE OF LOT TO STORMWATER DETENTION SYSTEM



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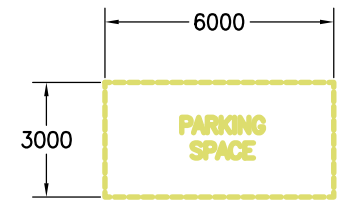
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SITE PLUMBING PLAN



CARPARKING PLAN

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EXTERNAL PARKING SPACES TO BE CLEARLY DELINEATED.
INDIVIDUAL UNITS, EXTERNAL PARKING TO HAVE SIGNAGE OF WHICH UNIT IT IS ASSOCIATED WITH.
VISITOR PARKING, TO HAVE SIGNAGE TO INDICATE IT IS A COMMUNAL VISITOR PARKING SPACE.

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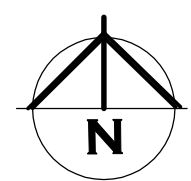
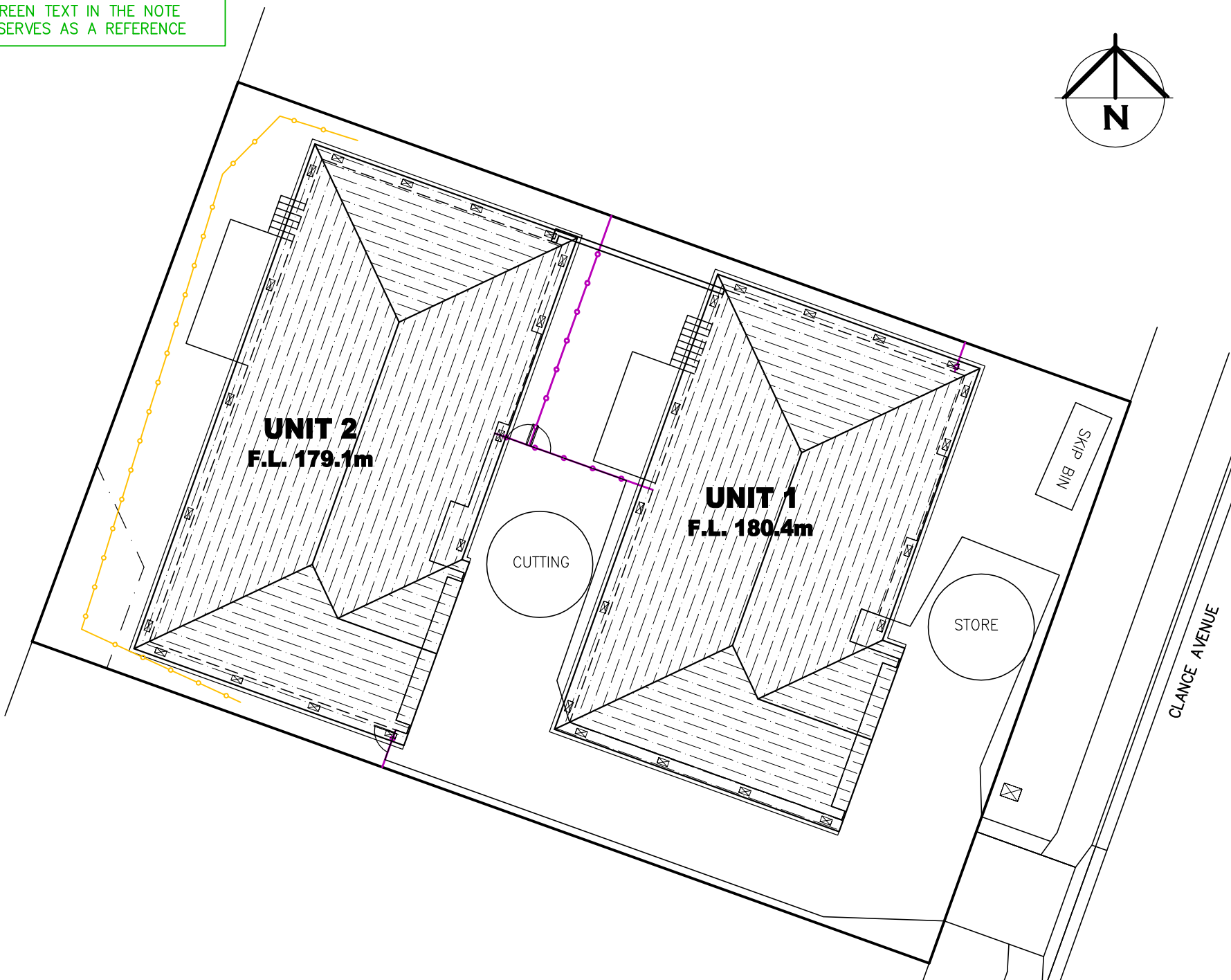
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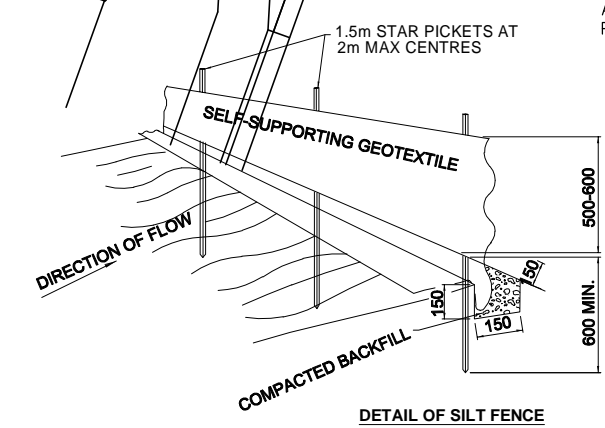


- BUILDING SITE DURING CONSTRUCTION TO COMPLY WITH EPA TASMANIA, SOIL AND WATER MANAGEMENT ON BUILDING SITES WHERE POSSIBLE. REFER TO FACT SHEETS 1-19
EPA.TAS.GOV.AU/ENVIRONMENT/WATER/STORMWATER/SOIL-AND-WATER-MANAGEMENT-ON-BUILDING-SITES
- FACT SHEET 3 – SOIL AND WATER MANAGEMENT.
PLAN TO BE KEPT ONSITE AND ALL TIMES AND ALL WORKERS UNDERSTAND THE SWMP
- FACT SHEET 4 – DISPERSIVE SOILS, NOT APPLICABLE.
- FACT SHEET 5 – MINIMISE SOIL DISTURBANCE.
DO TRACK MACHINERY UP AND DOWN THE SLOPE TO CREATE GROOVES FROM THE WHEELS/ OR TRACKS THAT WILL CATCH RAINFALL. THE GROOVES WILL ROUGHEN THE SURFACE IN A WAY THAT WILL SLOW RUNOFF. AS PER FACT SHEET CLEARING FOR WORKS TO BE LIMITED TO WITHIN 5 METRES FROM THE EDGE OF ANY ESSENTIAL CONSTRUCTION ACTIVITY. NO TOPSOIL SHALL BE REMOVED FROM LAND OUTSIDE THE AREAS OF GROUND DISTURBANCE SHOWN. ALL AREAS OF GROUND DISTURBANCE MUST BE DRESSED WITH TOP SOIL AND WHERE APPROPRIATE REVEGETATED AND STABILISED TO PREVENT FUTURE EROSION OR SILTATION.
- FACT SHEET 6 – PRESERVE VEGETATION.
WHERE EXISTING TREES ARE TO REMAIN ON THE SITE, ESTABLISH NO GO AREA AROUND TREES OF BRIGHT TAPE ON STAR PICKETS MINIMUM 1m AWAY FROM BASE OF TREE
EXISTING GROUND VEGETATION TO BE RETAINED WHEN EVER POSSIBLE. MINIMUM 400mm WIDE GRASS STRIPS TO BE RETAINED ON BACK OF KERB FOR FILTERING RUNOFF. INSTALLED AS PER FACT SHEET
- FACT SHEET 7 – DIVERT UP-SLOPE WATER
DIVERSION CHANNEL TO BE CONSTRUCTED ON HIGHSIDE OF SITE MINIMUM 150MM DEEP WITH 10% MAX FALL WITH A CURVED SHAPE WITH EXCAVATED SOIL FROM THE CHANNEL ON THE DOWN-SLOPE SIDE TO INCREASE DIVERSION CHANNEL CAPACITY. LEVEL SPREADER TO END OF DIVERSION CHANNEL TO ENSURE WATER DISCHARGE IS SLOW MOVING MINIMUM 4M WIDE. INSTALLED AS PER FACT SHEET
- FACT SHEET 8 – EROSION CONTROL MATS AND BLANKETS
WHERE FINISHED BATTERS ARE PROPOSED TO BE STEEPER THAN 1:3 EROSION CONTROL BLANKETS TO BE INSTALLED ON BATTER FOR SITE REHABILITATION. INSTALLED AS PER FACT SHEET
- FACT SHEET 9 – PROTECT SERVICES TRENCHES AND STOCKPILES
ALL STOCKPILES TO BE POSITIONED CLEAR OF WATER COURSES AND TO ENSURE THAT NO SILT RUNOFF CAN ENTER A WATER COURSE.
TOP SOIL TO BE STOCKPILED SEPARATELY AND SPREAD OVER BACKFILLED AREAS. SPOIL TO BE STOCKPILED IN A NARROW CORRIDOR ON THE UPSTREAM SIDE OF ALL EXCAVATION. TEMPORARY CATCH DRAINS TO BE CONSTRUCTED ON THE UPSTREAM SIDE OF STOCKPILES AND EXCAVATED AREAS, DIRECTING RUNOFF TO EXISTING STORMWATER SYSTEM.
SERVICE TRENCHES TO HAVE SOIL PLACED ON TOPSIDE OF TRENCH TO DIVERT WATER FLOW AWAY FROM THE TRENCH LINE.
- FACT SHEET 10 – EARLY ROOF DRAINAGE CONNECTION
DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED.
TEMPORARY DOWNPIPES TO DIRECT WATER TO TUFTED AREAS.
- FACT SHEET 11 – SCOUR PROTECTION
NOT APPLICABLE AS NO NEW DAMS/ CULVERTS
- FACT SHEET 12 – STABILISED SITE ACCESS
DIVERSION HUMP INSTALLED ON ROAD ACCESS WITH WATER DIRECTED TO SEPARATE SILT FENCE.
INSTALLED AS PER FACT SHEET
- FACT SHEET 13 – WHEEL WASH
EVERY EFFORT TO BE MADE TO MINIMISE SPREADING SEDIMENT ON TO SEALED AREAS WHEN VEHICLES LEAVE THE SITE, INCLUDING THE WASHING DOWN OF TYRES.
- FACT SHEET 14 – SEDIMENT FENCES
SEDIMENT FENCE INSTALLED AS PER DETAIL AND FACT SHEET
- FACT SHEET 15 – PROTECTION OF STORMWATER PITS
PITS INSTALLED ONSITE TO BE CONSTRUCTED WITH DRIVEWAY AT END OF JOB AFTER FINISHED CONSTRUCTION OF BUILDING. THEREFORE NO REQUIREMENTS FOR PITS.
- FACT SHEET 16 – PROTECTED CONCRETE, BRICK AND TILE CUTTING
ALL CUTTING TO BE INSIDE NOMINATED AREA AS PER SWMP WITH FILTER SOCKS INSTALLED ON LOW SIDE. SLURRY TO BE DISPOSED OFF IN GEOTEXTILE LINED DITCH OR DRUMS
- FACT SHEET 17 – SEDIMENT BASINS
NOT REQUIRED DUE TO SCALE OF WORKS.
- FACT SHEET 18 – DUST CONTROL
DURING EXTENDED PERIODS OF DRY WEATHER, DAMPEN THE SITE SLIGHTLY WITH A LIGHT APPLICATION OF WATER DURING EXCAVATION OR WHEN DUST IS BEING RAISED
- FACT SHEET 19 – SITE REVEGETATION
ALL OF SITE THAT IS NOT FINISHED IN HARD SURFACES TO BE REVEGETATION WITH GRASS OR MULCH AS PER LANDSCAPING PLAN OR TO OWNERS DETAILS

SOIL AND WATER MANAGEMENT PLAN

SILT FENCE AS PER DETAIL

- SKIP BIN
- STORE MATERIAL STORAGE
- CUTTING CONCRETE, BRICK AND TILE CUTTING AREA



- SEDIMENT FENCE NOTES:
1. SURVEY AND MARK OUT LOCATION OF SEDIMENT FENCE, ENSURE IT IS PARALLEL TO THE CONTOURS OF THE SITE AND TO DRAIN IN THE CORRECT DIRECTION
 2. DIG A 150 MM TRENCH IMMEDIATELY ABOVE THE PROPOSED FENCE LINE.
 3. PLACE THE BOTTOM OF THE FABRIC TO THE BASE OF THE TRENCH AND RUN FABRIC UP THE DOWN-SLOPE SIDE OF THE TRENCH.
 4. BACKFILL THE TRENCH AND COMPACT TO SECURE ANCHORAGE OF THE FABRIC.
 5. DRIVE 1.5 M STAR PICKETS INTO GROUND, 2 M APART TO SUPPORT THE SEDIMENT FENCE FABRIC. TENSION AND FASTEN FABRIC TO PICKETS USING UV STABILISED ZIP TIES OR WIRE TIES.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 2 M OVERLAP.
 7. ANGLE THE ENDS OF THE SEDIMENT FENCE UPSLOPE TO REDUCE SCOURING

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DOWNPIPES TO BE CONNECTED INTO STORMWATER SYSTEM AS SOON AS THE ROOF IS INSTALLED

INSTALL AG DRAIN (IF SHOWN) PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF CUT OFF DRAIN. TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND USED AS FILL ON SITE FOR ANY LOW POINTS. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL

BRADLEY VAN ZETTEN





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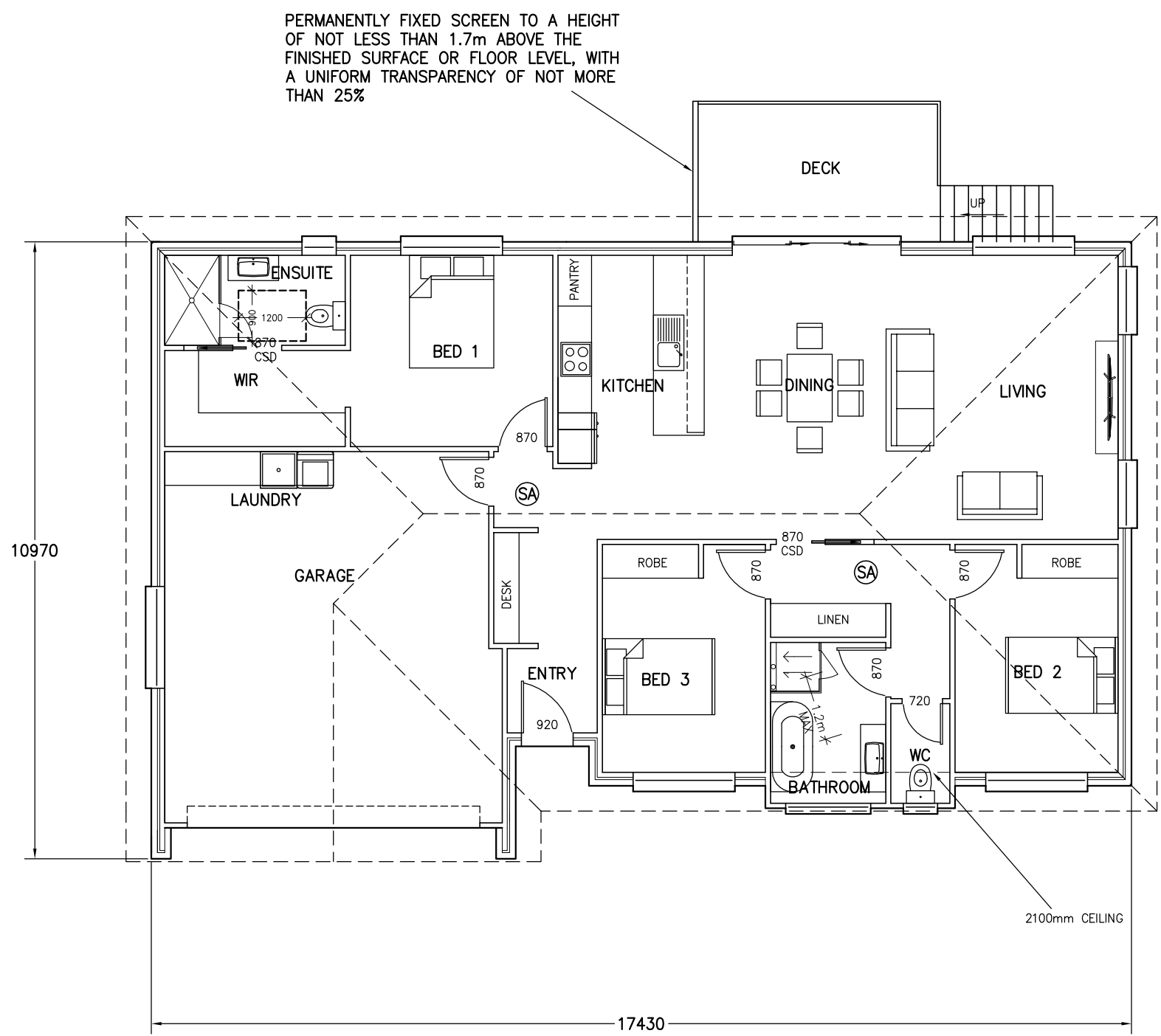
PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: SOIL AND WATER MANAGEMENT PLAN


DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 12 / 03 / 26

SCALE – A3 – 1:200.	DRAWING No.: LHRW0226 – 10/18
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-  BRICK VENEER WALL
-  EXTERNAL 90mm TIMBER FRAMED WALL WITH LIGHTWEIGHT SHEET CLADDING INSTALLED WITH CAVITY FIXING
-  INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



Ⓜ - 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: FLOOR PLAN UNIT 1

DESIGNED: B. v. Z. APPROVED: DATE: 12 / 03 / 26
DRAWN: B. v. Z.

SCALE - A3 - 1:100. DRAWING No.: LHRW0226 - 11/18

REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
REVISION 2	28 / 02 / 2026
REVISION 3	02 / 03 / 2026
REVISION 4	12 / 03 / 2026

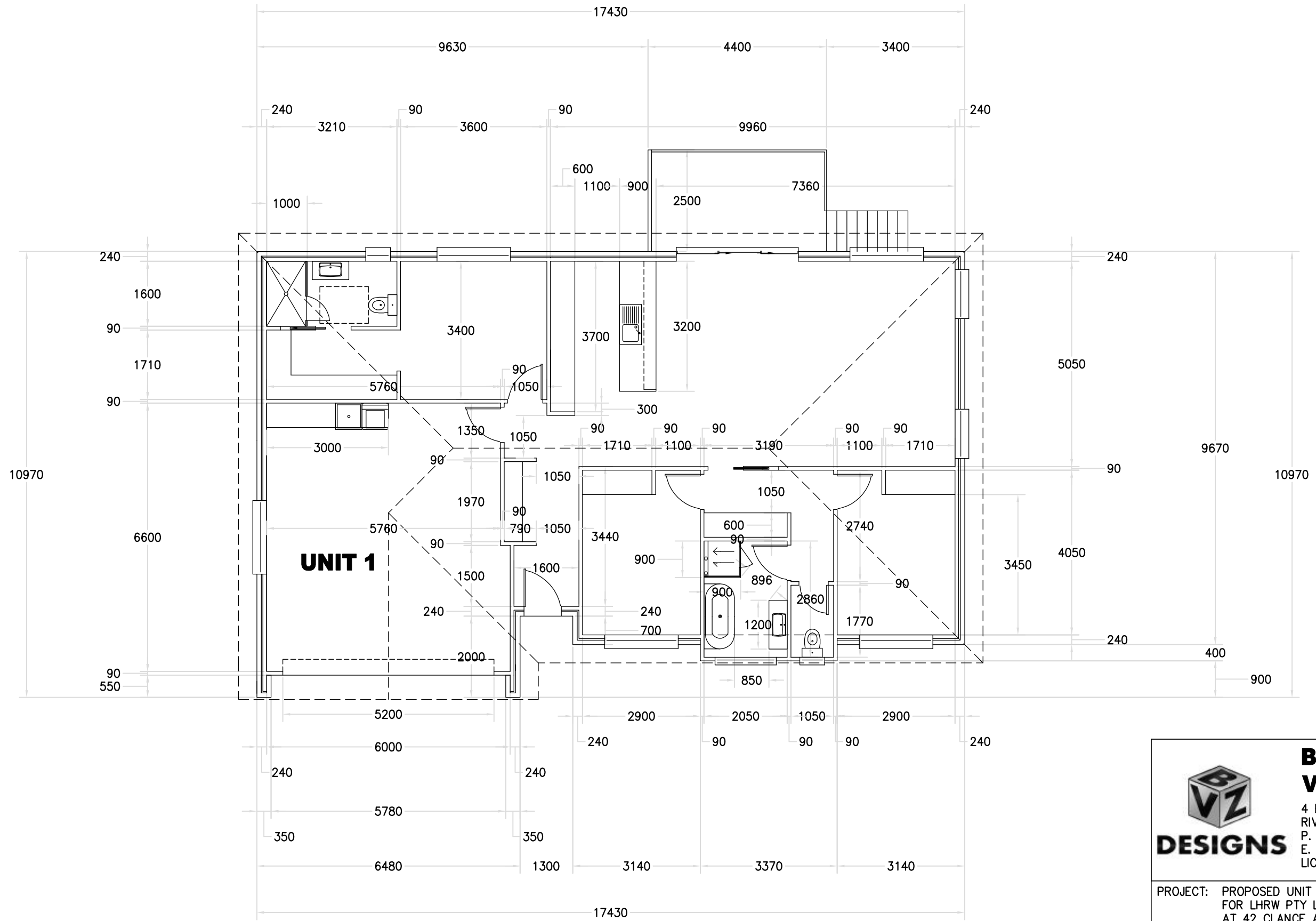
FLOOR PLAN UNIT 1

BRICK VENEER - DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME - DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN. WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED

BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE		
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	174.2	18.8
DECK AREA	11.0	1.2
TOTAL AREA	185.2	19.9



UNIT 1

FLOOR PLAN WITH DIMENSIONS UNIT 1

REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
REVISION 2	28 / 02 / 2026
REVISION 3	02 / 03 / 2026
REVISION 4	12 / 03 / 2026

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VAN ZETTEN**

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PROJECT: PROPOSED UNIT DEVELOPMENT
FOR LHRW PTY LTD
AT 42 CLANCE AVENUE
PROSPECT VALE 7250

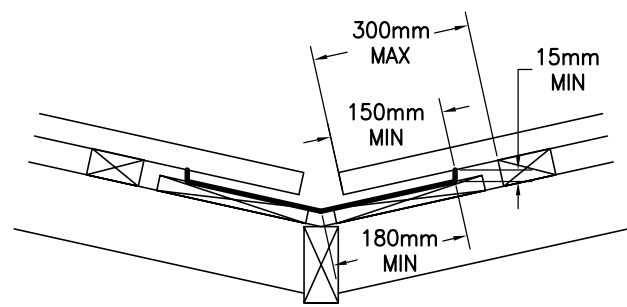
DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 1

DESIGNED: B. v. Z.
DRAWN: B. v. Z.

APPROVED.
DATE: 12 / 03 / 26

SCALE - A3 - 1:100.

DRAWING No.:
LHRW0226 - 12/18

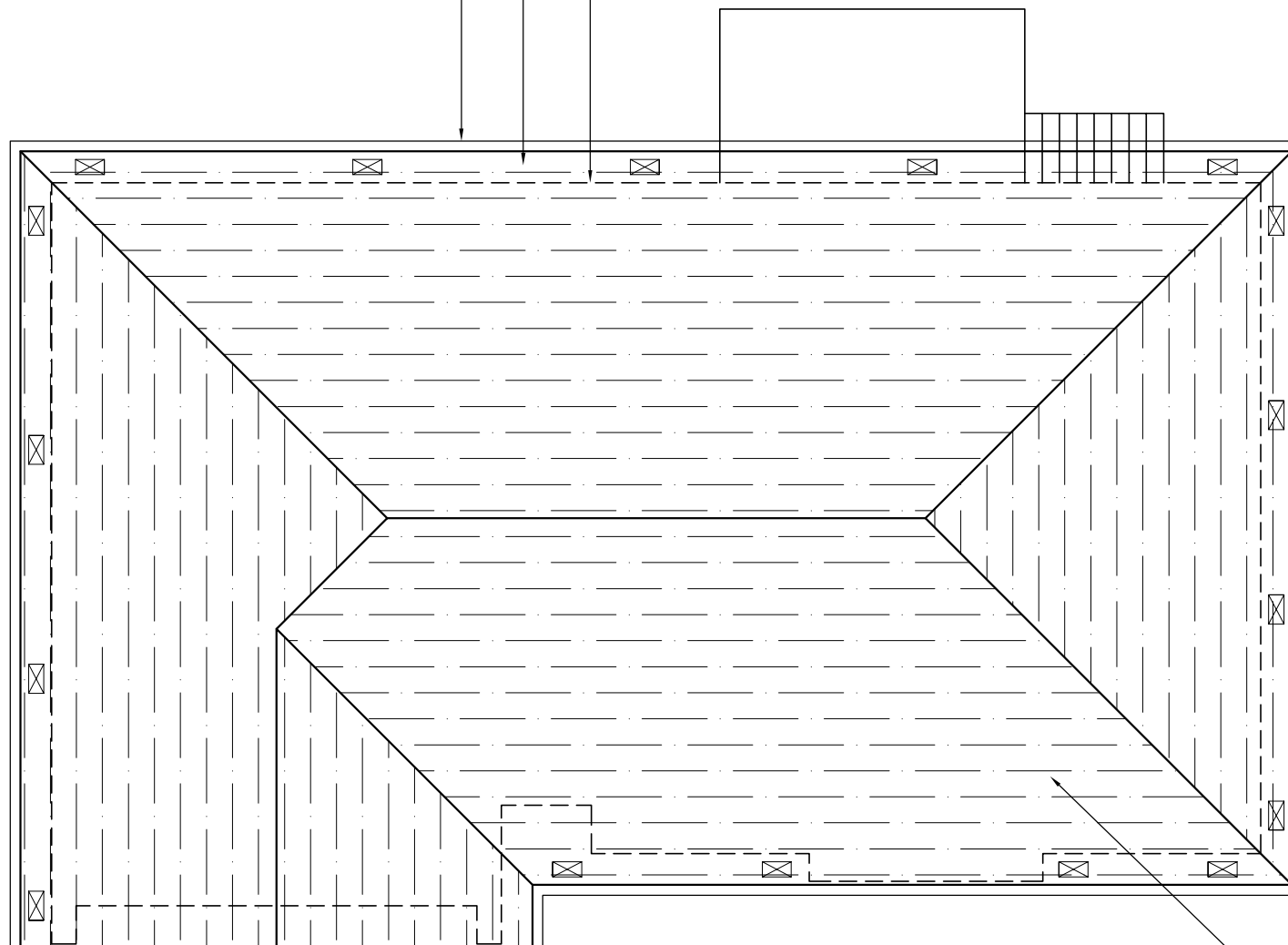


VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4

COLORBOND GUTTER AND FASCIA SYSTEM

450mm EAVE (TYPICAL)

EXTERNAL WALLS DASHED



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4

- GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN
- 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS

WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK INTO THE ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURERS OR THE LIKE

DOWNPIPES MUST--

- (A) NOT SERVE MORE THAN 12 M OF GUTTER LENGTH FOR EACH DOWNPIPE; AND
- (B) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS; AND
- (C) BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 7.4.3A, TABLE 7.4.3B AND TABLE 7.4.3C.

FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

- (1) FOR A FRONT FACE SLOTTED GUTTER WITH--
A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND
 - (a) THE LOWER EDGE OF THE SLOTS INSTALLED A MINIMUM OF 25 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 0.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6A.
- (2) FOR A CONTROLLED BACK GAP WITH--
 - (a) A PERMANENT MINIMUM 10 MM SPACER INSTALLED BETWEEN THE GUTTER BACK AND THE FASCIA; AND
 - (b) ONE SPACER PER BRACKET, WITH THE SPACER NOT MORE THAN 50 MM WIDE; AND
 - (c) THE BACK OF THE GUTTER INSTALLED A MINIMUM OF 10 MM BELOW THE TOP OF THE FASCIA,
THE ACCEPTABLE OVERFLOW CAPACITY MUST BE 1.5 L/S/M, CONSTRUCTED IN ACCORDANCE WITH FIGURE 7.4.6B.
- (3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.

ROOF OVER 15 DEGREES

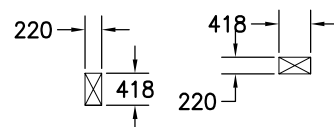
BAL ZONE - BRADFORD 418x220mm METAL VENT WITH 0.035sq/m OPENING PER VENT - THEREFORE ONE VENT INSTALLED PER 4.8m LINEAR METER OF WALL

HIP/RIDGE VENTILATION
NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

ONE VENT INSTALLED WITHIN 1m OF EACH INTERNAL AND EXTERNAL CORNER IN EAVE AND SPACED EQUALLY ALONG LENGTH OF EAVE WITH SPACING AS PER DETAILS ABOVE

EAVE VENTS MAY BE OMITTED IF CONTINUOUS VENT STRIP IS INSTALLED AS PER DETAIL. REFER TO CONDENSATION MANAGEMENT PAGE FOR DETAILS

BRADFORD 418x220mm VENTS



BRISTLE ROOFING PROPRIETARY TILE ROOF SYSTEM INSTALLED AS PER TECHNICAL MANUAL DESIGNER RANGE INSTALLED AT 22.5°

ROOF PLAN UNIT 1

TILE ROOF
50x25mm OR 50x38mm HARD WOOD BATTENS

RANGEHOOD AND BATHROOM EXTRACTION FANS DUCTED TO EAVE/WALL VENT

REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
REVISION 2	28 / 02 / 2026
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REVISION 4	12 / 03 / 2026



BRADLEY VAN ZETTEN





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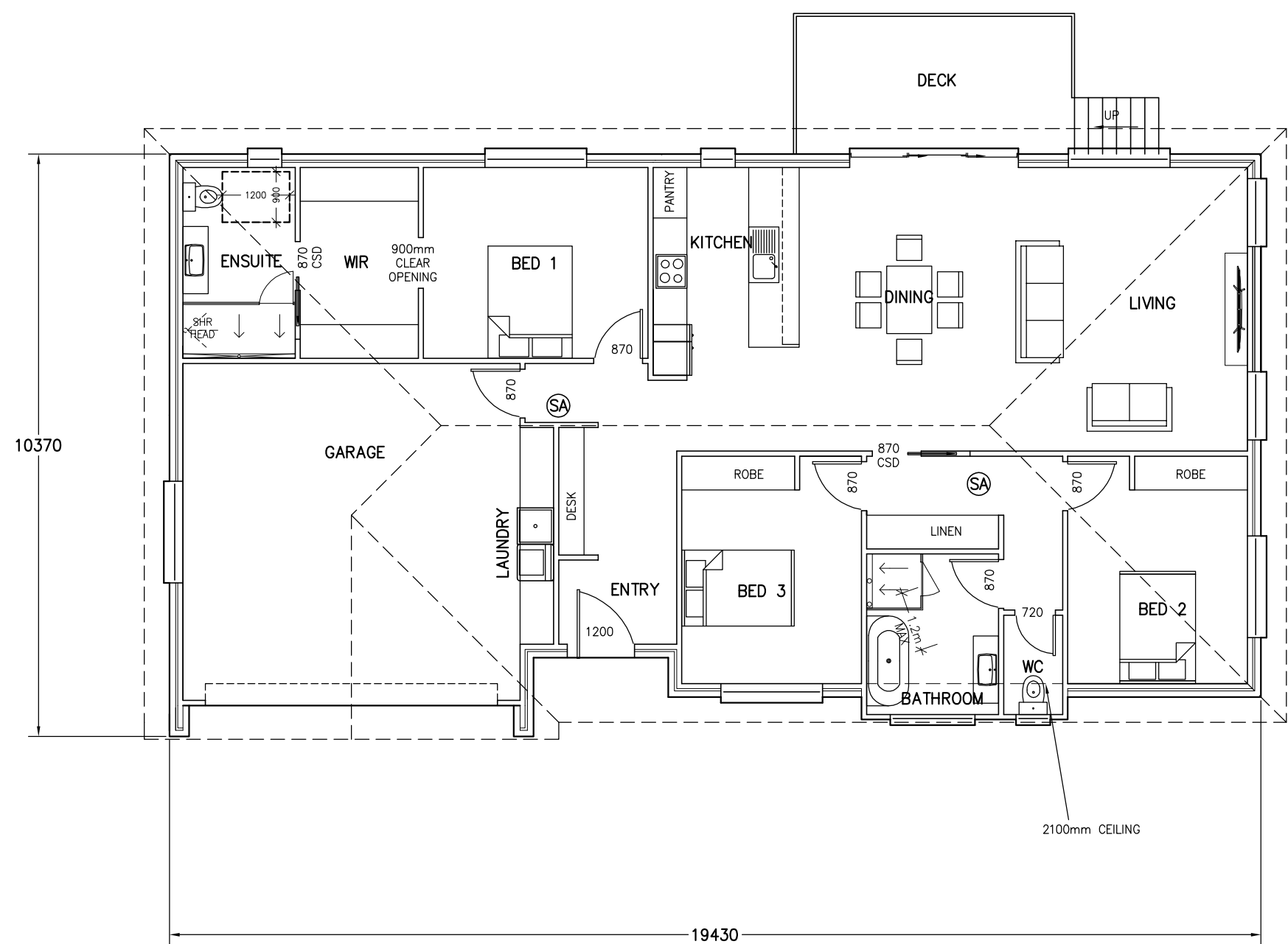
PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: ROOF PLAN UNIT 1


DESIGNED: B. v. Z.
DRAWN: B. v. Z.
APPROVED: DATE: 12 / 03 / 26

SCALE - A3 - 1:100.
DRAWING No.: LHRW0226 - 13/18

-  BRICK VENEER WALL
-  EXTERNAL 90mm TIMBER FRAMED WALL WITH LIGHTWEIGHT SHEET CLADDING INSTALLED WITH CAVITY FIXING
-  INTERNAL 90mm STUD WALL WITH 10mm PLASTER BOARD LINING THROUGHOUT. (WET AREA PLASTERBOARD TO WET AREA WALLS)
-  EXTENT OF RAKED CEILING



SA – 240V HARD WIRED SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC9.5 TO COMPLY WITH AS3786, BE CONNECTED TO MAINS POWER AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM



BRADLEY VAN ZETTEN

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: FLOOR PLAN UNIT 2

DESIGNED: B. v. Z. APPROVED: DATE: 12 / 03 / 26
DRAWN: B. v. Z.

SCALE – A3 – 1:100. DRAWING No.: LHRW0226 – 14/18

REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
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REVISION 3	02 / 03 / 2026
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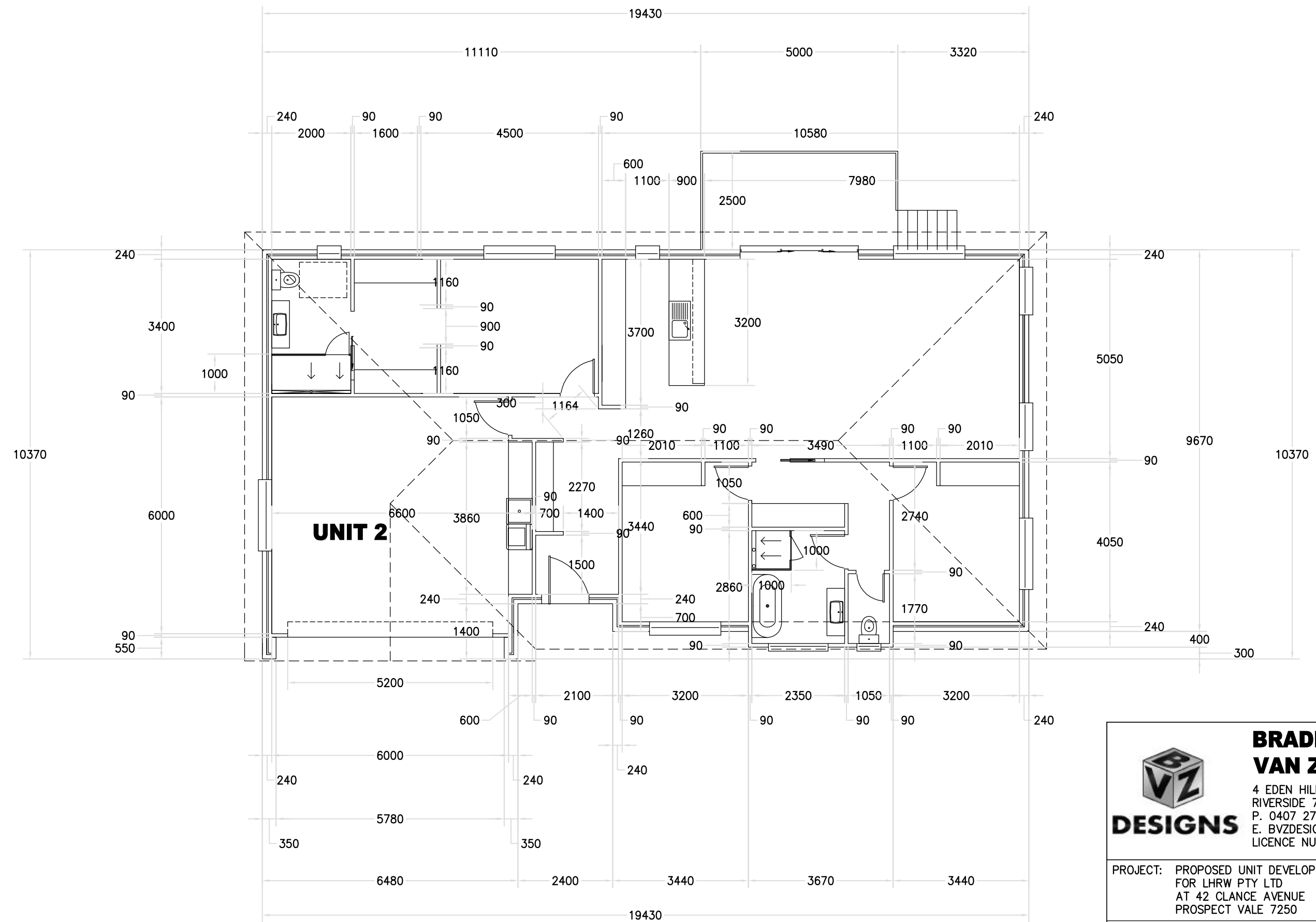
FLOOR PLAN UNIT 2

BRICK VENEER – DIMENSIONS AND AREA TO OUTSIDE CLADDING.
CLAD FRAME – DIMENSIONS AND AREA TO OUTSIDE OF TIMBER FRAMING CLADDING IN ADDITION TO DIMENSIONS.

BUILDER TO ENSURE ALL DOOR AND DOOR HARDWARE SELECTED TO HAVE 820mm CLEAR OPENING TO COMPLY WITH LIVABLE HOUSING DESIGN. WITH THE EXCEPTION OF NON HABITABLE ROOMS, ONLY IF SHOWN ON PLAN THAT SMALLER SIZED DOOR TO BE USED


BUILDER TO ENSURE THRESHOLDS THROUGH DOORS TO COMPLY WITH LIVABLE HOUSING DESIGN SECTION 3. WITH MAXIMUM 5mm STEP FROM FFL TO FFL OR THRESHOLD RAMP INSTALLED

AREA TABLE		
	SQUARE METER	BUILDING SQUARES
FLOOR AREA	189.1	20.4
DECK AREA	12.5	1.3
TOTAL AREA	201.6	21.7



FLOOR PLAN WITH DIMENSIONS UNIT 2

REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
REVISION 2	28 / 02 / 2026
REVISION 3	02 / 03 / 2026
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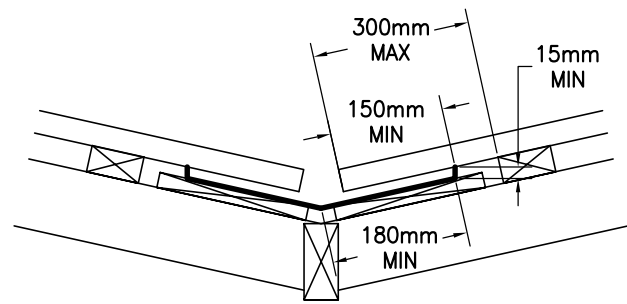


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PROJECT: PROPOSED UNIT DEVELOPMENT
 FOR LHRW PTY LTD
 AT 42 CLANCE AVENUE
 PROSPECT VALE 7250

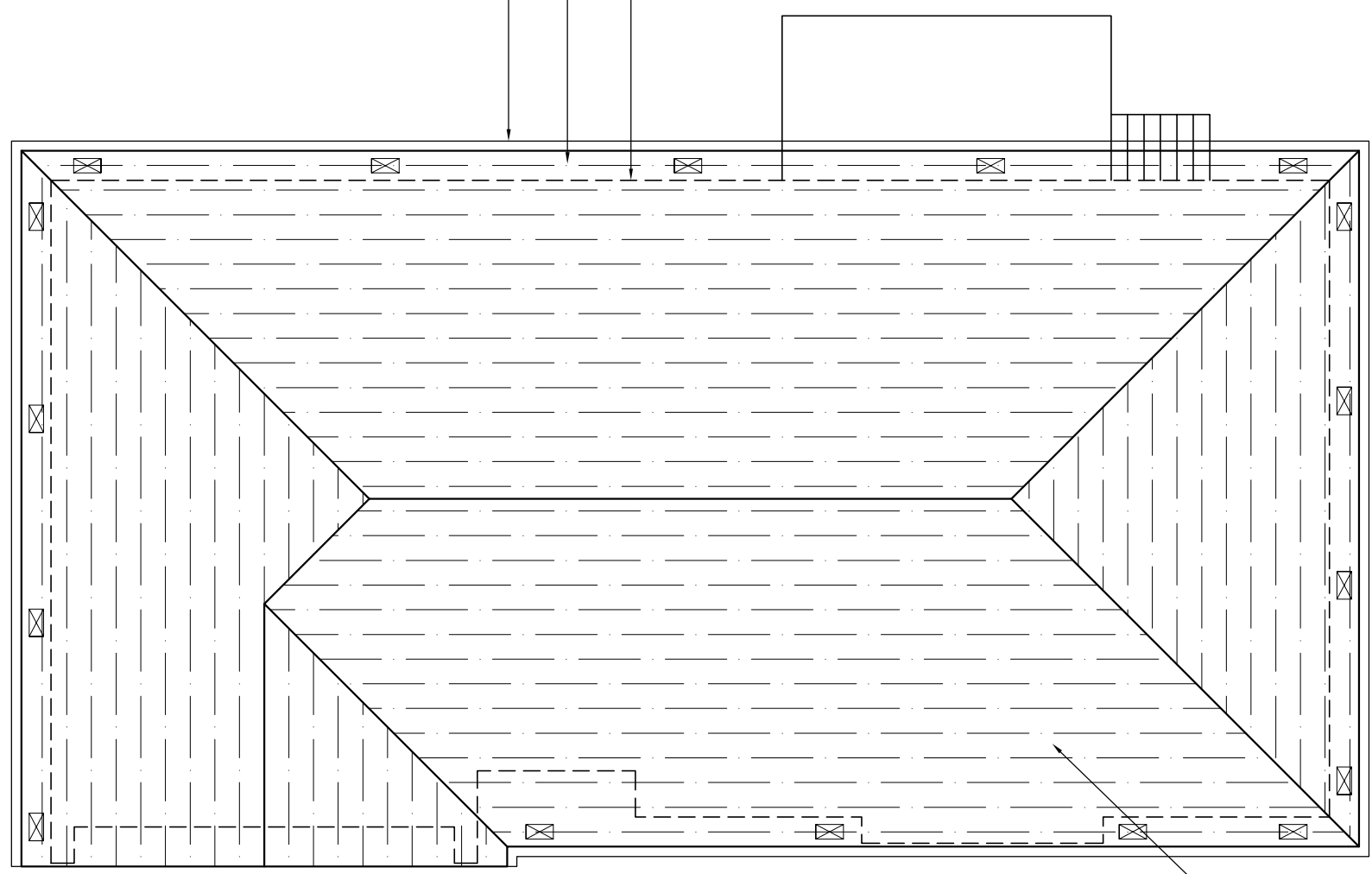
DRAWING: FLOOR PLAN WITH DIMENSIONS UNIT 2

DESIGNED: B. v. Z.	APPROVED:
DRAWN: B. v. Z.	DATE: 12 / 03 / 26
SCALE - A3 - 1:100.	DRAWING No.: LHRW0226 - 15/18



VALLEY GUTTER IS OVER 12.5 DEGREES AS PER 7.4.4

COLORBOND GUTTER AND FASCIA SYSTEM
450mm EAVE (TYPICAL)
EXTERNAL WALLS DASHED



ROOF CLADDING TO COMPLY WITH NCC PART 7.1-7.5

GUTTERS AND DOWNPIPES INSTALLED AS PER NCC PART 7.4
GUTTER MUST BE INSTALLED WITH A FALL NOT LESS THAN

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FOR ROOF CATCHMENTS UP TO 50SQ/M PER DOWNPIPE MEDIUM RECTANGULAR GUTTERS OR 115MM 'D' GUTTERS MAY BE USED WITH 90ØMM DOWNPIPES

EAVE AND GUTTER OVERFLOW MEASURE TO BE INSTALLED FOR 1% ANNUAL EXCEEDANCE PROBABILITY

BOX GUTTERS AS PER AS3500.3

7.4.6 ACCEPTABLE CONTINUOUS OVERFLOW MEASURE

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A MINIMUM SLOT OPENING AREA OF 1200 MM² (A) PER METRE OF GUTTER; AND

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(3) FOR THE CONTROLLED BACK GAP OPTION, THE SPACER CAN BE A PROPRIETARY CLIP OR BRACKET THAT PROVIDES THE REQUIRED OFFSET OF THE GUTTER FROM THE FASCIA.

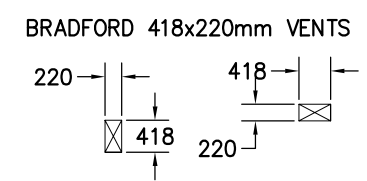
ROOF OVER 15 DEGREES

BAL ZONE - BRADFORD 418x220mm METAL VENT WITH 0.035sq/m OPENING PER VENT - THEREFORE ONE VENT INSTALLED PER 4.8m LINEAR METER OF WALL

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NON BAL ZONE - CONTINUOUS GAP AT RIDGE IN ROOF WRAP WITH AT MINIMUM 5mm GAP AND/OR 5000mm²/m GABLE VENT IN GABLE ROOF
BAL ZONE - AS ABOVE BUT WITH EMBER RESISTANT STEEL MESH AS PER DETAIL

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EAVE VENTS MAY BE OMITTED IF CONTINUOUS VENT STRIP IS INSTALLED AS PER DETAIL. REFER TO CONDENSATION MANAGEMENT PAGE FOR DETAILS




BRISTLE ROOFING PROPRIETARY TILE ROOF SYSTEM INSTALLED AS PER TECHNICAL MANUAL DESIGNER RANGE INSTALLED AT 22.5°

ROOF PLAN UNIT 2

TILE ROOF
50x25mm OR 50x38mm HARD WOOD BATTENS

RANGEHOOD AND BATHROOM EXTRACTION FANS DUCTED TO EAVE/WALL VENT

REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
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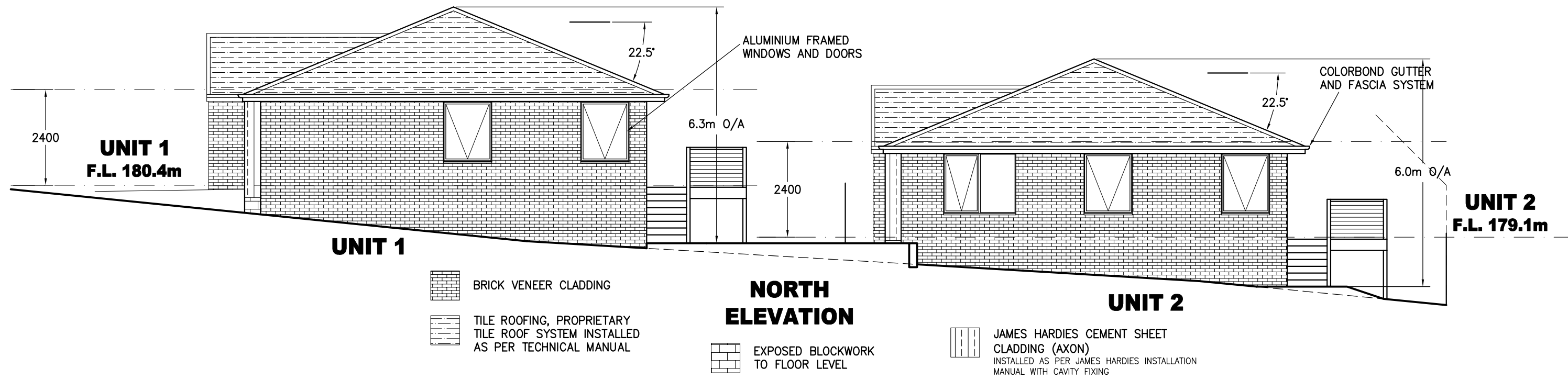
BRADLEY VAN ZETTEN

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: ROOF PLAN UNIT 2

DESIGNED: B. v. Z. DRAWN: B. v. Z.	APPROVED. DATE: 12 / 03 / 26
SCALE - A3 - 1:100.	DRAWING No.: LHRW0226 - 16/18



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REVISION 1	25 / 02 / 2026
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REVISION 3	02 / 03 / 2026
REVISION 4	12 / 03 / 2026

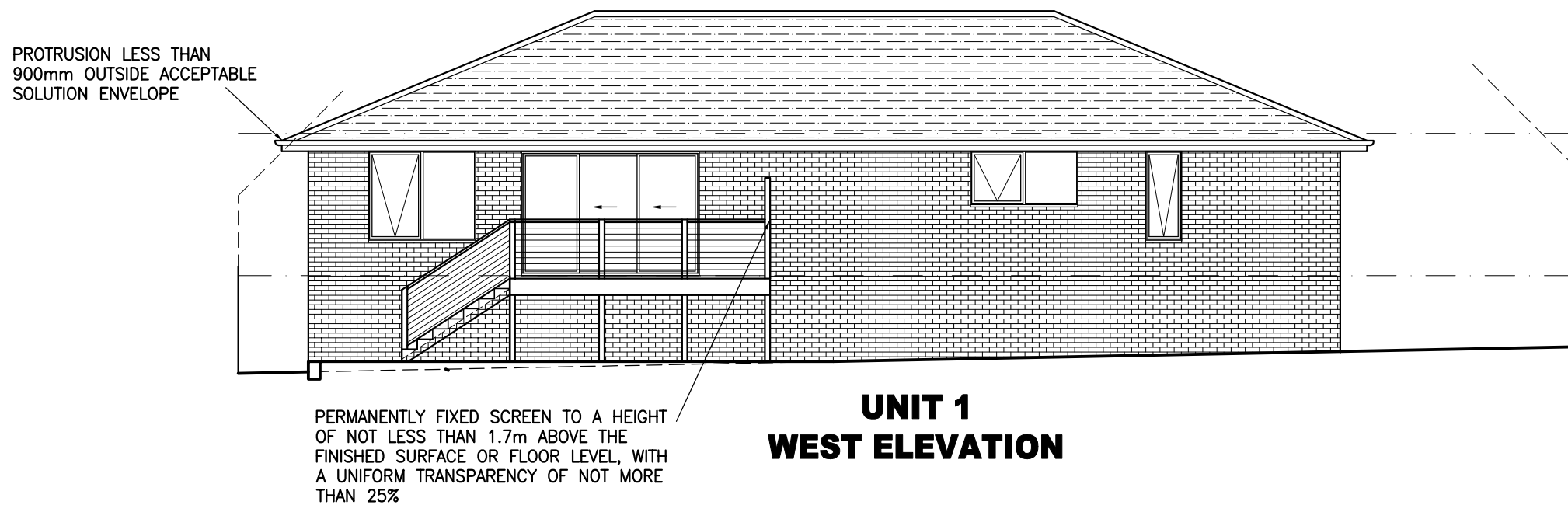
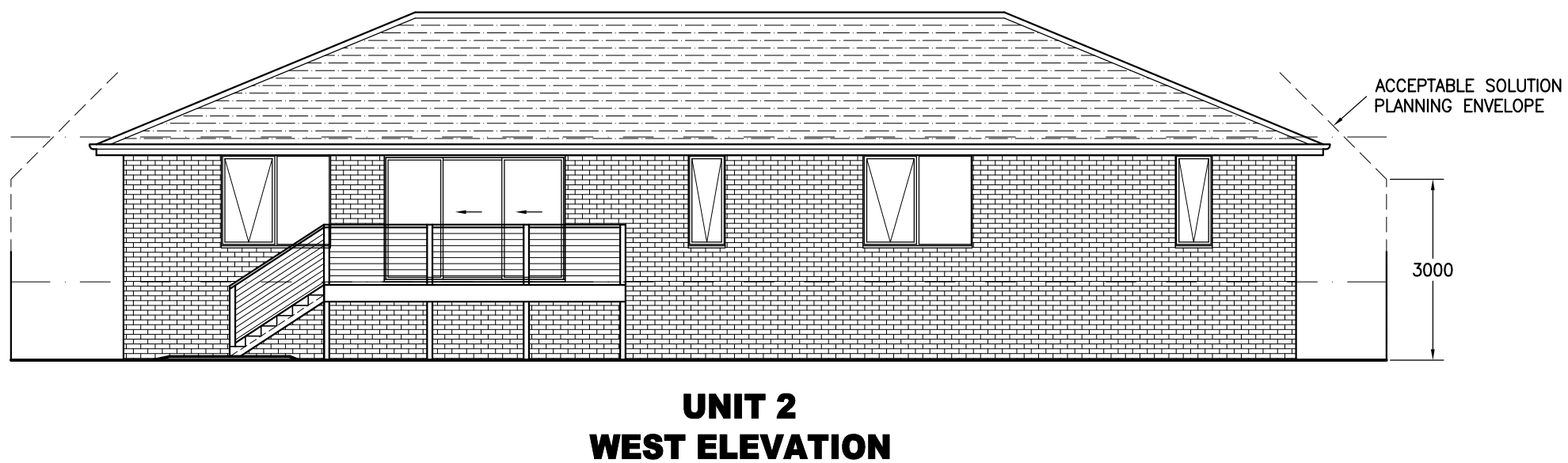
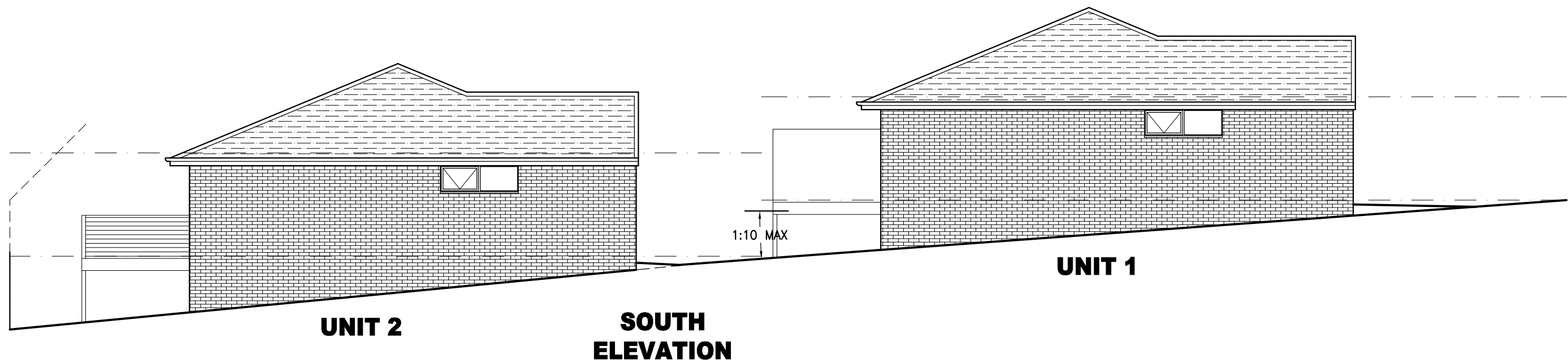
BRADLEY VAN ZETTEN

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 12 / 03 / 26
SCALE - A3 - 1:100.	DRAWING No.: LHRW0226 - 17/18



REVISION NUMBER	DATE
REVISION 1	25 / 02 / 2026
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REVISION 3	02 / 03 / 2026
REVISION 4	12 / 03 / 2026



BRADLEY VAN ZETTEN

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PROJECT: PROPOSED UNIT DEVELOPMENT FOR LHRW PTY LTD AT 42 CLANCE AVENUE PROSPECT VALE 7250

DRAWING: ELEVATIONS

DESIGNED: B. v. Z.	APPROVED.
DRAWN: B. v. Z.	DATE: 12 / 03 / 26
SCALE - A3 - 1:100.	DRAWING No.: LHRW0226 - 18/18