

PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

APP NO.:	PA\26\0219
APPLICANT:	SJM Property Developments (Aus) Pty Ltd
SITE:	4 Sandscape Court, Hadspen (CT: 185620/183)
PROPOSAL:	Single dwelling - setbacks.

The application can be inspected until **Thursday, 16 April 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 28 March 2026.

Jonathan Harmey
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA \	<input type="text"/>	PA \	<input type="text"/>	PC \	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS :

Address	<input type="text" value="4 Sandstone Court"/>	Certificate of Title	<input type="text" value="185620"/>
Suburb:	<input type="text" value="Hadspen"/>	<input type="text" value="7290"/>	Lot No: <input type="text" value="183"/>
Land area:	<input type="text" value="701m2"/>	m ² / ha	
Present use of land/building:	<input type="text" value="Vacant"/>	(vacant, residential, rural, industrial, commercial or forestry)	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): Includes total cost of building work, landscaping, road works and infrastructure

Description of work:

Use of building: (main use of proposed building - dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 185620	FOLIO 183
EDITION 1	DATE OF ISSUE 12-Oct-2023

SEARCH DATE : 26-Feb-2026

SEARCH TIME : 12.29 pm

DESCRIPTION OF LAND

Town of HADSPEN

Lot 183 on Sealed Plan [185620](#)

Derivation : Part of 1000 Acres Gtd. to Alexander Clerk

Prior CT [183285/803](#)

SCHEDULE 1

[M785691](#) TRANSFER to HADSPEN DEVELOPMENTS PTY LTD Registered
11-Nov-2019 at 12.01 pm

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP185620](#) COVENANTS in Schedule of Easements

[SP185620](#) FENCING COVENANT in Schedule of Easements

[SP117185](#), [SP179547](#), [SP180128](#), [SP182324](#) & [SP183285](#) COVENANTS in
Schedule of Easements

[SP117185](#), [SP179547](#), [SP180128](#), [SP182324](#) & [SP183285](#) FENCING
COVENANT in Schedule of Easements

[SP117185](#) WATER SUPPLY RESTRICTION

[SP117185](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[B461495](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 19-Sept-1991 at noon

[B675375](#) PROCLAMATION under Section 9A and 52A of the Roads
and Jetties Act 1935 Registered 22-Mar-1994 at noon

[E167898](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
29-Sept-2020 at noon

[E296068](#) AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
28-June-2022 at noon

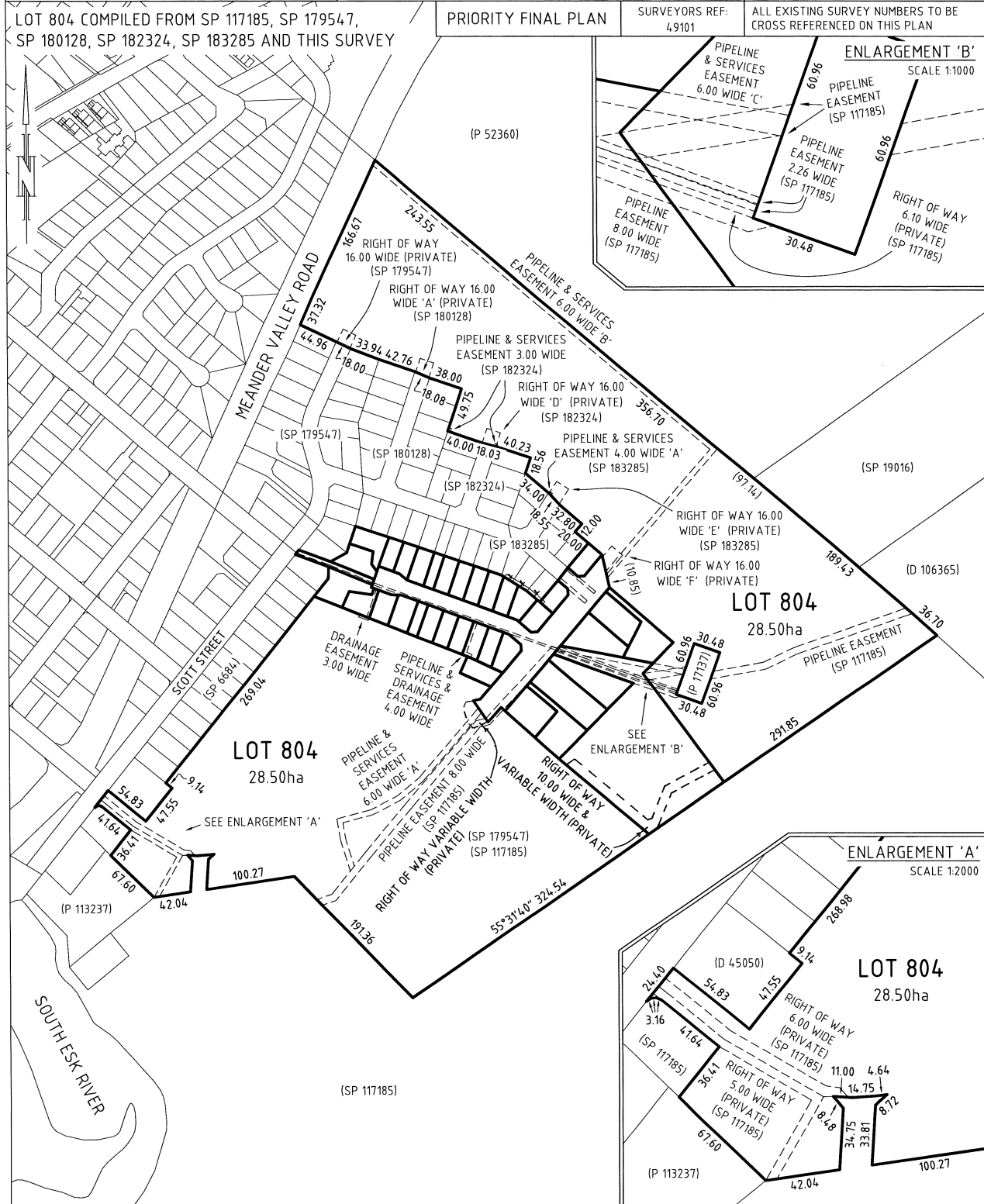
UNREGISTERED DEALINGS AND NOTATIONS

[E427310](#) BARTON DEVELOPMENTS PTY LTD Lodged by SPROAL &
ASSOCIATES on 24-Dec-2025 BP: [E427310](#)

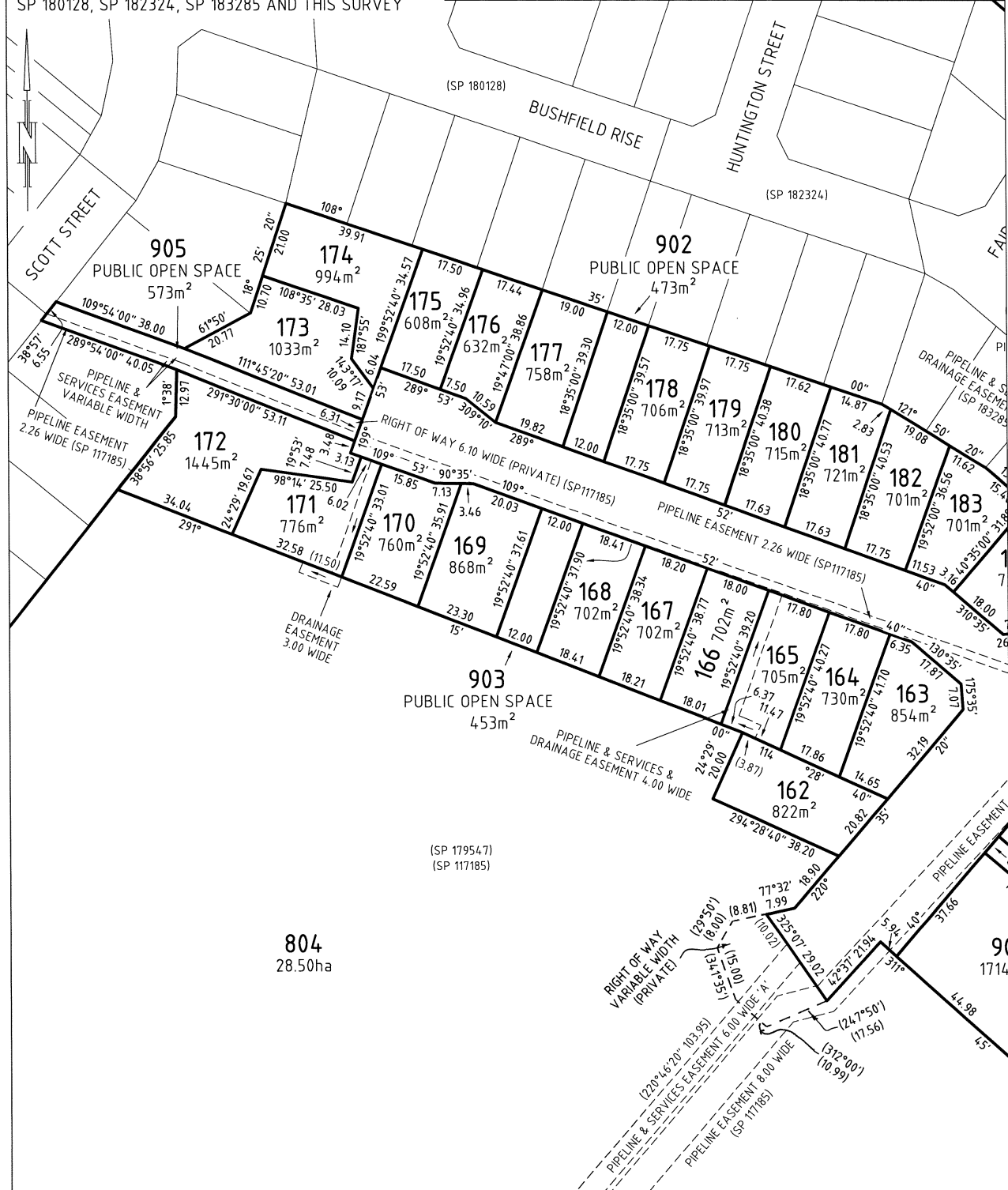
[N135413](#) PRIORITY NOTICE reserving priority for 90 days
CHG/NAME HADSPEN DEVELOPMENTS PTY LTD to BARTON

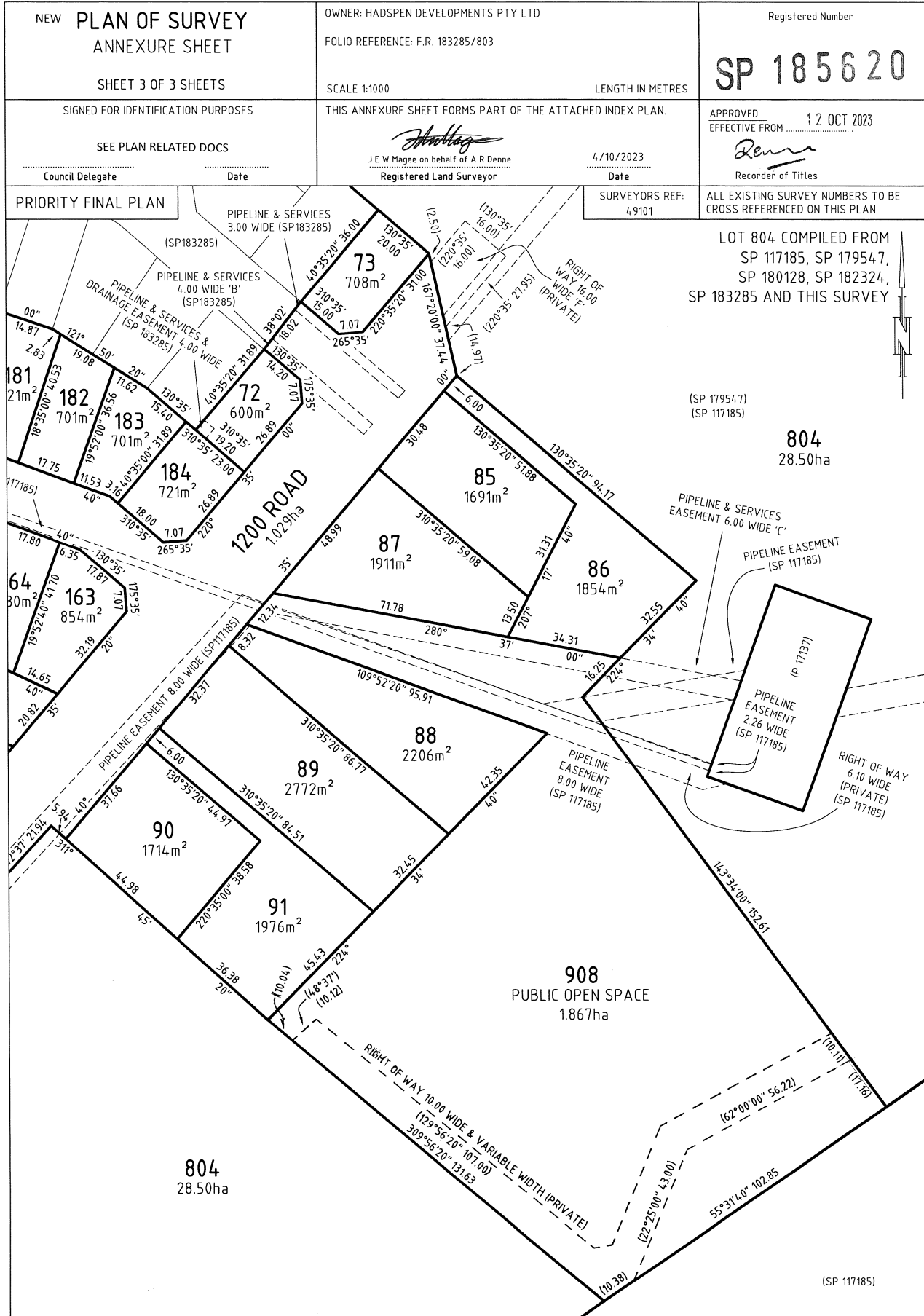
DEVELOPMENTS PTY LTD
TRANSFER BARTON DEVELOPMENTS PTY LTD to JOEL BENJAMIN
PEREIRA and JOAN ANTONETTE PEREIRA
MORTGAGE JOEL BENJAMIN PEREIRA and JOAN ANTONETTE
PEREIRA to AUSTRALIA AND NEW ZEALAND BANKING GROUP
LIMITED Lodged by TAS CONVEYANCING PTY LTD on
02-Feb-2026 BP: N135413

NEW PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS	OWNER: HADSPEN DEVELOPMENTS PTY LTD FOLIO REFERENCE: F.R. 183285/803	Registered Number SP, 185620
SIGNED FOR IDENTIFICATION PURPOSES	SCALE 1:4000	LENGTH IN METRES
SEE PLAN RELATED DOCS	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.	APPROVED EFFECTIVE FROM 12 OCT 2023
Council Delegate	<i>J.E.W. Magee</i> J.E.W. Magee on behalf of A.R. Denne Registered Land Surveyor	Recorder of Titles
Date	4/10/2023	Date



<p>PLAN OF SURVEY NEW ANNEXURE SHEET</p> <p>SHEET 2 OF 3 SHEETS</p> <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>SEE PLAN RELATED DOCS</p> <p>_____ Council Delegate</p> <p>_____ Date</p>	<p>OWNER: HADSPEN DEVELOPMENTS PTY LTD</p> <p>FOLIO REFERENCE: F.R. 183285/803</p> <p>SCALE 1:1000</p> <p>LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP, 185620</p>
	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>J.E.W. Magee</i> J.E.W. Magee on behalf of A.R. Denne Registered Land Surveyor</p> <p>4/10/2023 Date</p>	<p>APPROVED EFFECTIVE FROM 12 OCT 2023</p> <p><i>Denne</i> Recorder of Titles</p>
<p>LOT 804 COMPILED FROM SP 117185, SP 179547, SP 180128, SP 182324, SP 183285 AND THIS SURVEY</p>		<p>PRIORITY FINAL PLAN</p> <p>SURVEYORS REF: 49101</p> <p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>





<p>SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p>Registered Number</p> <p style="font-size: 2em; font-weight: bold;">SP 185620</p>
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PAGE 1 OF 5 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 72 on the Plan is subject to a Right of Drainage of the in favour of the Meander Valley Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE (SP 183285)" shown passing through Lot 72 on the Plan.

Lot 72 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE (SP 183285)" shown on the Plan ("the Easement Land").

Lot 165 on the Plan is subject to a Right of Drainage of the in favour of the Meander Valley Council over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE" shown passing through Lot 165 on the Plan.


Lot 165 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES & DRAINAGE EASEMENT 4.00 WIDE" shown on the Plan ("the Easement Land").

Lot 171 on the Plan is subject to a Right of Drainage of the in favour of the Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown passing through Lot 171 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE (PRIVATE) (SP 179547)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'A' (PRIVATE) (SP 180128)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'D' (PRIVATE) (SP 182324)" shown passing through Lot 804 on the Plan.




 Barry David Sproal



 Anthony William Saunders

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Hadspen Developments Pty Ltd (ACN 635 047 451)</p> <p>FOLIO REF: Certificate of Title Volume 183285 Folio 803</p> <p>SOLICITOR & REFERENCE: Sproal & Associates – BD Sproal 222862</p>	<p>PLAN SEALED BY: Meander Valley Council</p> <p>DATE: 8 September 2023</p> <p>PA/21/0146 REF NO.</p> <p style="text-align: right;"> Council Delegate</p>
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP. 185620</p>
<p>SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 183285 Folio 803</p>	

Lot 804 on the Plan is subject to a Right of Drainage ~~of the~~ in favour of the Meander Valley Council over the land marked "DRAINAGE EASEMENT 3.00 WIDE" shown passing through Lot 804 on the Plan.

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP182324)" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE 'A' (SP183285)" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'A'" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'B'" shown on the Plan ("the Easement Land").

Lot 804 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'C'" shown on the Plan ("the Easement Land").

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'E' (PRIVATE) (SP 183285)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of the Meander Valley Council over the land marked "RIGHT OF WAY 16.00 WIDE 'F' (PRIVATE)" shown passing through Lot 804 on the Plan.

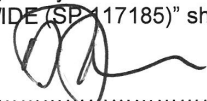
Lot 804 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission) over the land marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way (appurtenant to Lot 4 on SP 117185) over the land marked "RIGHT OF WAY 6.00 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission) over the land marked "RIGHT OF WAY 5.00 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 804 on the Plan together with a right of entry for maintenance.

Lots 88,89, 804 and 1200 on the Plan are each subject to a Pipeline Easement (as defined herein) and a Right of Carriage Way in favour of the Rivers and Water Supply Commission over the land marked "PIPELINE EASEMENT 8.00 WIDE (SP 117185)" shown passing through those lots on the Plan.


.....
Barry David Sproal


.....
Anthony William Saunders

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 185620</p>
<p>SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 183285 Folio 803</p>	

Lot 804 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the land marked "PIPELINE EASEMENT (SP 117185)" shown passing through Lot 804 on the Plan.

Lot 804 on the Plan is together with a Right of Carriage Way over the land marked "RIGHT OF WAY 10.00 WIDE & VARIABLE WIDTH (PRIVATE)" shown passing through Lot 908 on the Plan.

Lot 804 on the Plan is subject to a Right of Carriage Way in favour of Meander Valley Council over the land marked "RIGHT OF WAY VARIABLE WIDTH (PRIVATE)" shown passing through Lot 804 on the Plan.

Lot 905 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT VARIABLE WIDTH" shown on the Plan ("the Easement Land").

Lot 905 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission over the land marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 905 on the Plan.

Lot 905 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 905 on the Plan together with a right of entry for maintenance.

Lot 908 on the Plan is subject to a Right of Carriage Way (appurtenant to the Rivers and Water Supply Commission over the land marked "RIGHT OF WAY 6.10 WIDE (PRIVATE) (SP 117185)" shown passing through Lot 908 on the Plan.

Lot 908 on the Plan is subject to a Right of Carriage Way (appurtenant to Lot 804 on the Plan) over the land marked "RIGHT OF WAY 10.00 WIDE & VARIABLE WIDTH (PRIVATE)" shown passing through Lot 908 on the Plan.

Lot 908 on the Plan is subject to a Right of Carriage Way in favour of TasWater over the land marked "RIGHT OF WAY 10.00 WIDE & VARIABLE WIDTH (PRIVATE)" shown passing through Lot 908 on the Plan.

Lot 908 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 908 on the Plan together with a right of entry for maintenance.

Lot 908 on the Plan is subject to a Pipeline Easement (as defined herein) and a Right of Carriage Way in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 8.00 WIDE (SP 117185)" shown passing through Lot 908 on the Plan.

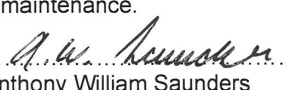
Lot 908 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 6.00 WIDE 'C'" shown on the Plan ("the Easement Land").

Lot 908 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the land marked "PIPELINE EASEMENT (SP 117185)" shown passing through Lot 908 on the Plan.

Lot 1200 on the Plan is subject to a Pipeline Easement (as defined herein) in favour of the Rivers and Water Supply Commission over the area marked "PIPELINE EASEMENT 2.26 WIDE (SP 117185)" shown passing through Lot 1200 on the Plan together with a right of entry for maintenance.

.....

 Barry David Sproal

.....

 Anthony William Saunders

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP, 185620</p>
<p>SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 183285 Folio 803</p>	

Lot 1200 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 3.00 WIDE (SP183285)" shown on the Plan ("the Easement Land").

Lot 1200 ("the Lot") on the Plan is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 4.00 WIDE 'B'(SP183285)" shown on the Plan ("the Easement Land").

COVENANTS

Each lot on the Plan is burdened by the restrictive covenants created by and more fully set forth in SP 117185.

INTERPRETATION

In this Schedule of Easements:

"Pipeline Easement" means:

The full and free right and liberty to draw water through pipes now or to be installed as hereinafter appears within that portion of each Lot subject thereto marked pipeline easement on the plan and for that purpose to enter thereon and to lay in, under and upon the pipeline easement such pipe or pipes as shall from time to time be necessary for the purposes aforesaid and to draw water through such pipes and at all times to enter into and upon the pipeline easement for the purpose of maintaining any pumping system and inspecting, cleaning, maintaining, removing and renewing such pipes and to carry out all necessary work thereon causing as little damage as possible and making reasonable compensation for all damage done or caused thereby.

"Pipeline & Services Easement" means:

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorized by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorized to do or undertake
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure
- (4) run and pass sewerage, water and electricity through and along the Infrastructure
- (5) do all works reasonably required in connection with such activities or as may be authorized or required by any law:
 - (a) without doing unnecessary damage to the Easement Land, and
 - (b) leaving the Easement Land in a clean and tidy condition.
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorized by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land, and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

.....

 Barry David Sproul

.....

 Anthony William Saunders

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 185620</p>
<p>SUBDIVIDER: Hadspen Developments Pty Ltd FOLIO REFERENCE: Volume 183285 Folio 803</p>	

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned on for which TasWater is responsible and includes but is not limited to:

- (a) Sewer pipes and water pipes and associated valves,
- (b) Telemetry and monitoring devices,
- (c) Inspection and access pits,
- (d) Electricity assets and other conducting media (excluding telemetry and monitoring devices),
- (e) Markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure,
- (f) Anything reasonably require to support, protect or cover any other Infrastructure,
- (g) Any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewerage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity, and
- (h) Where the context permits, any part of the Infrastructure.

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

FENCING COVENANT

The Owner of each lot on the Plan covenants with the Vendor (Hadspen Developments Pty Ltd) that the Vendor shall not be required to fence.

EXECUTED by **HADSPEN DEVELOPMENTS PTY LTD** being the registered proprietor of the land comprised in folio of the Register Volume 183285 Folio 803 pursuant to Section 127 of the Corporations Act 2001:



.....
Barry David Sproal
Director



.....
Anthony William Saunders
Director

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NOTES:

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey.

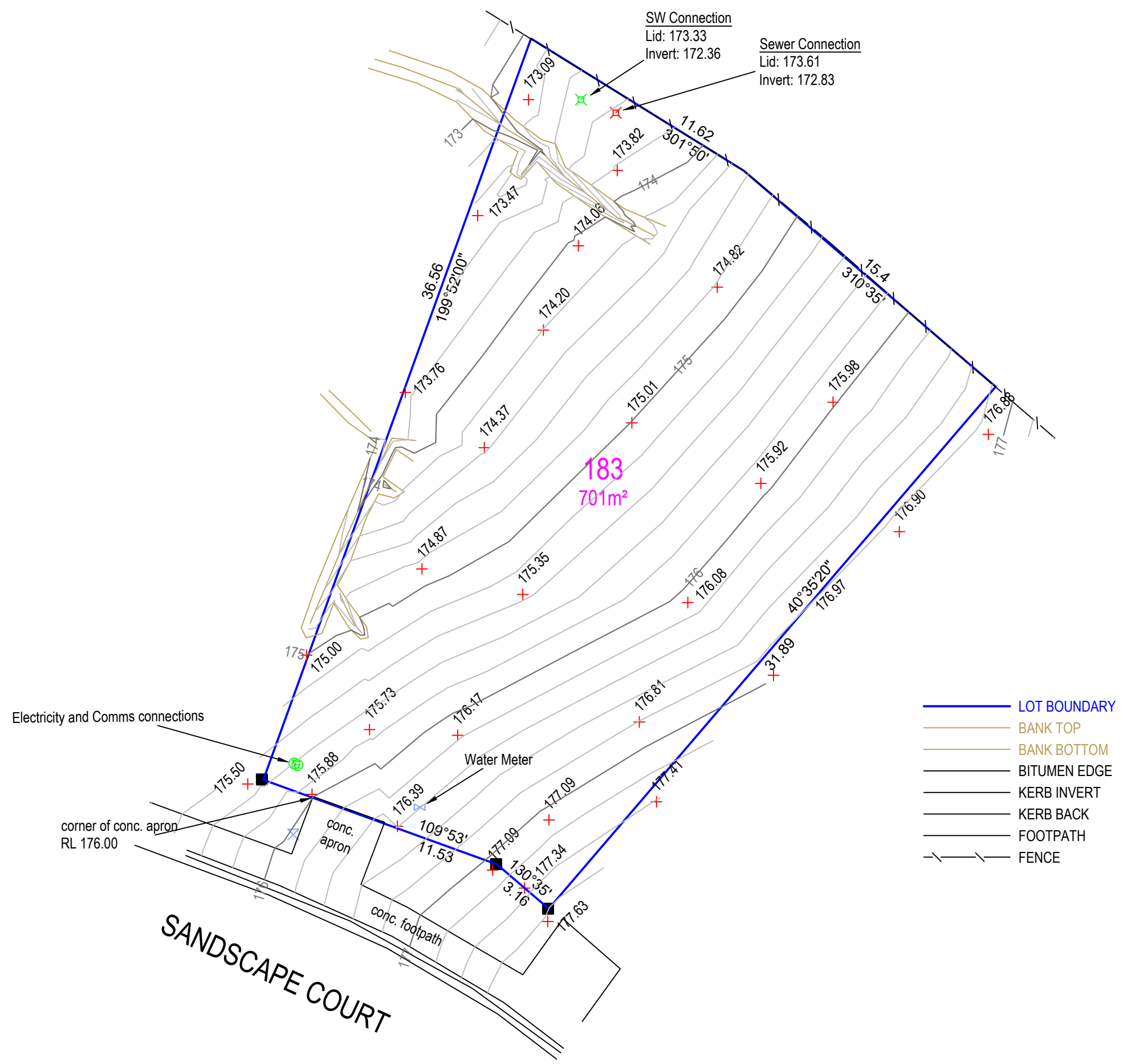
The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by existing title dimensions and occupation (where available) only and not by field survey, and as a result are considered approximate only. This plan should not be used for building to boundary, or to prescribed set-backs, without further survey.

Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM10031 with reputed AHD level of 151.762 from SURCOM on 20/02/26

At the time of this survey, CT.185620/183 was owned by HADSPEN DEVELOPMENTS PTY LTD
Date of Survey : 19/02/26



- LOT BOUNDARY
- BANK TOP
- BANK BOTTOM
- BITUMEN EDGE
- KERB INVERT
- KERB BACK
- FOOTPATH
- FENCE

- TITLE PEG
- NAIL
- + NATURAL SURFACE
- ⊗ STORMWATER HOUSE CONNECTION
- ⊕ CABLE HYDRO UNDERGROUND
- ⊕ CABLE COMMS UNDERGROUND
- ⊗ SEWER HOUSE CONNECTION
- ⊗ SEWER UNDERGROUND
- ⊗ STOP VALVE
- ⊗ METER WATER

AMENDMENTS		
No.	Revision/Issue	Date

LEARY COX & CRIPPS
LAND & ENGINEERING SURVEYORS

Unit G04 40 Mollie Street,
HOBART TAS 7000
P 03 6118 2030
E admin@lccsurvey.com

Project Name and Address
**4 SANDSCAPE COURT,
HADSPEN**

Drawing Title
DETAIL PLAN

Client
SJM PROPERTY DEVELOPMENTS
CT 185620/183

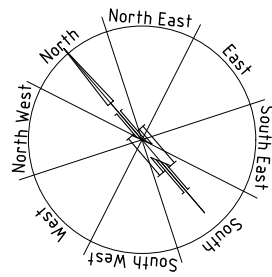
SCALE
0 1 2 3 4 6 8
1:200 at A3

Contour Interval
0.200 m

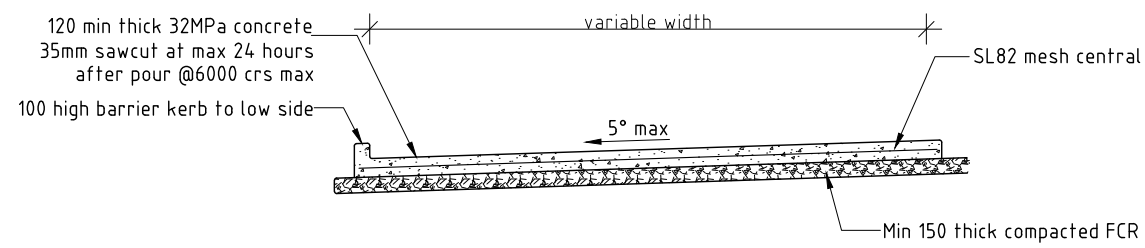
Date
20 / 02 / 26

THIS DOCUMENT IS, AND SHALL REMAIN, THE PROPERTY OF LEARY, COX & CRIPPS, LAND & ENGINEERING SURVEYORS. THE DOCUMENT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THE COMMISSION. UNAUTHORISED USE OF THE DOCUMENT IN ANY WAY IS PROHIBITED.

SHEET		1 of 1		FILE REF: 14945	
DRAWN	TD	Geocivil Ref	1494501	AutoCAD Ref	1494501
CHKD	TC	DATUM	Horz: GDA2020	Vert:	AHD



1. Site Plan
2. Plan
3. Elevations
4. Stormwater Concept Plan
5. Plumbing Notes
6. Plumbing Details
7. Plumbing Details

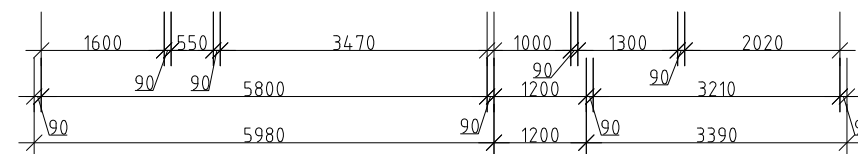
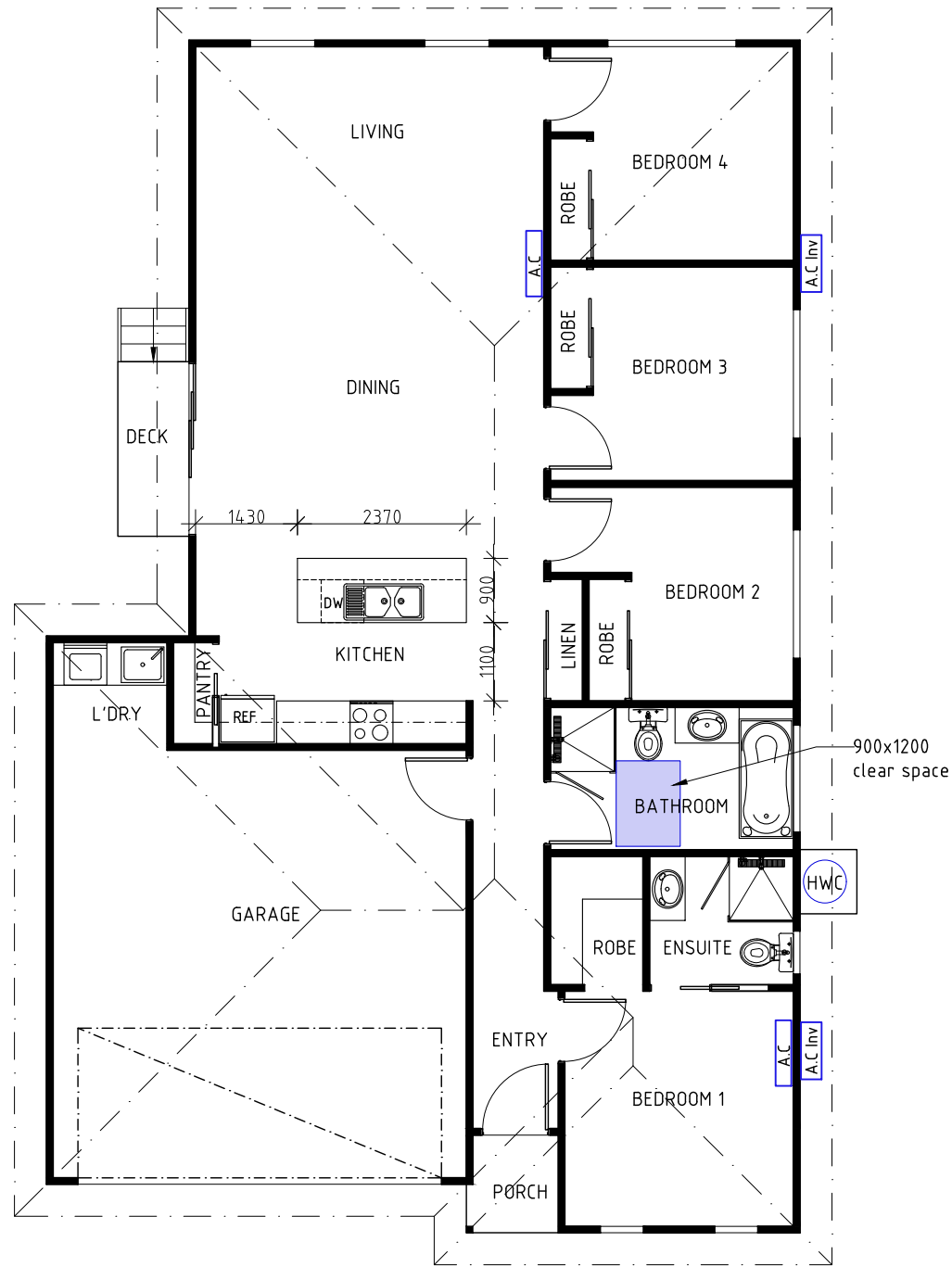
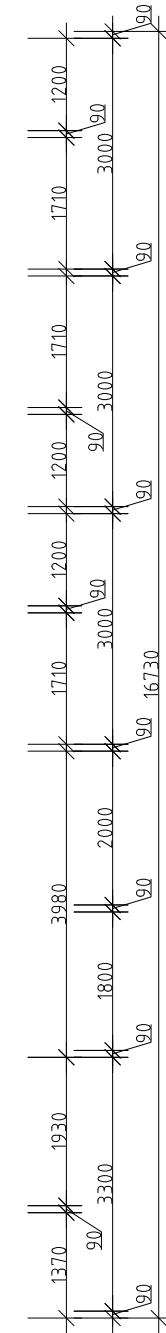
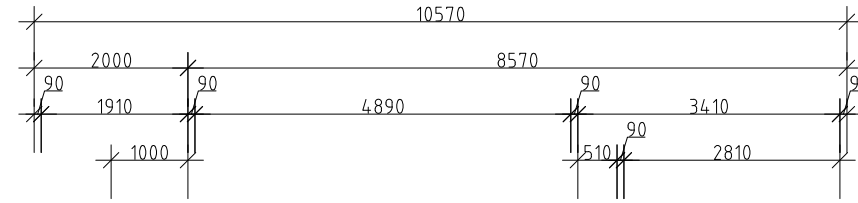
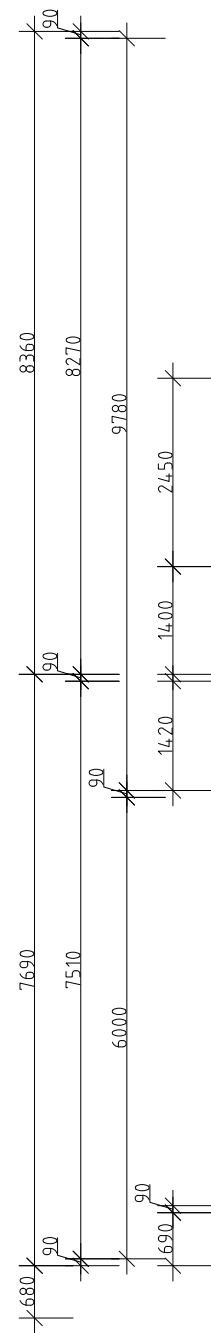
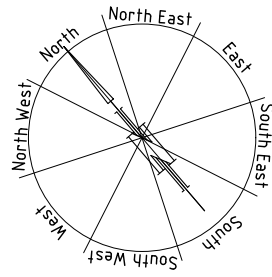


DRIVEWAY CROSS SECTION (TYPICAL)
SCALE 1:50

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PLANNING
Zone: General Residential
Hadspen Specific area plan
Overlays: Bushfire prone areas code

PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 4 SANDSCAPE COURT HADSPEN 7290	SITE PLAN	DATE 05/05/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 	AMENDED	DRAWING NO. 01 OF 07



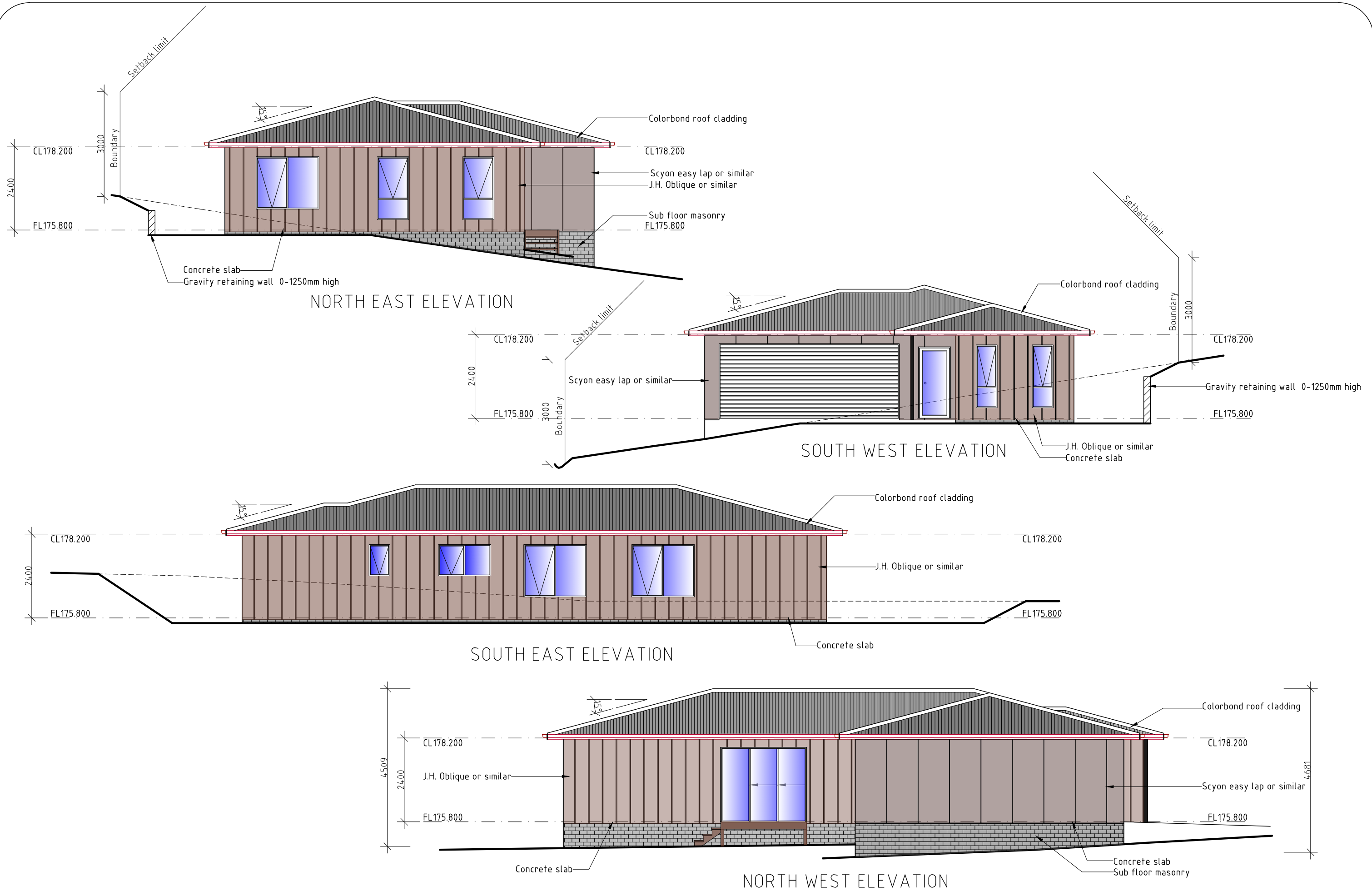
A.C. Wall mounted reverse cycle heat pump, indoor unit. Size based off 6kW system.

A.C. Inv Ground based reverse cycle heat pump outdoor unit. Size based off 6kW system.

AREAS:	
Residence	154.40m ²
Deck	2.45m ²

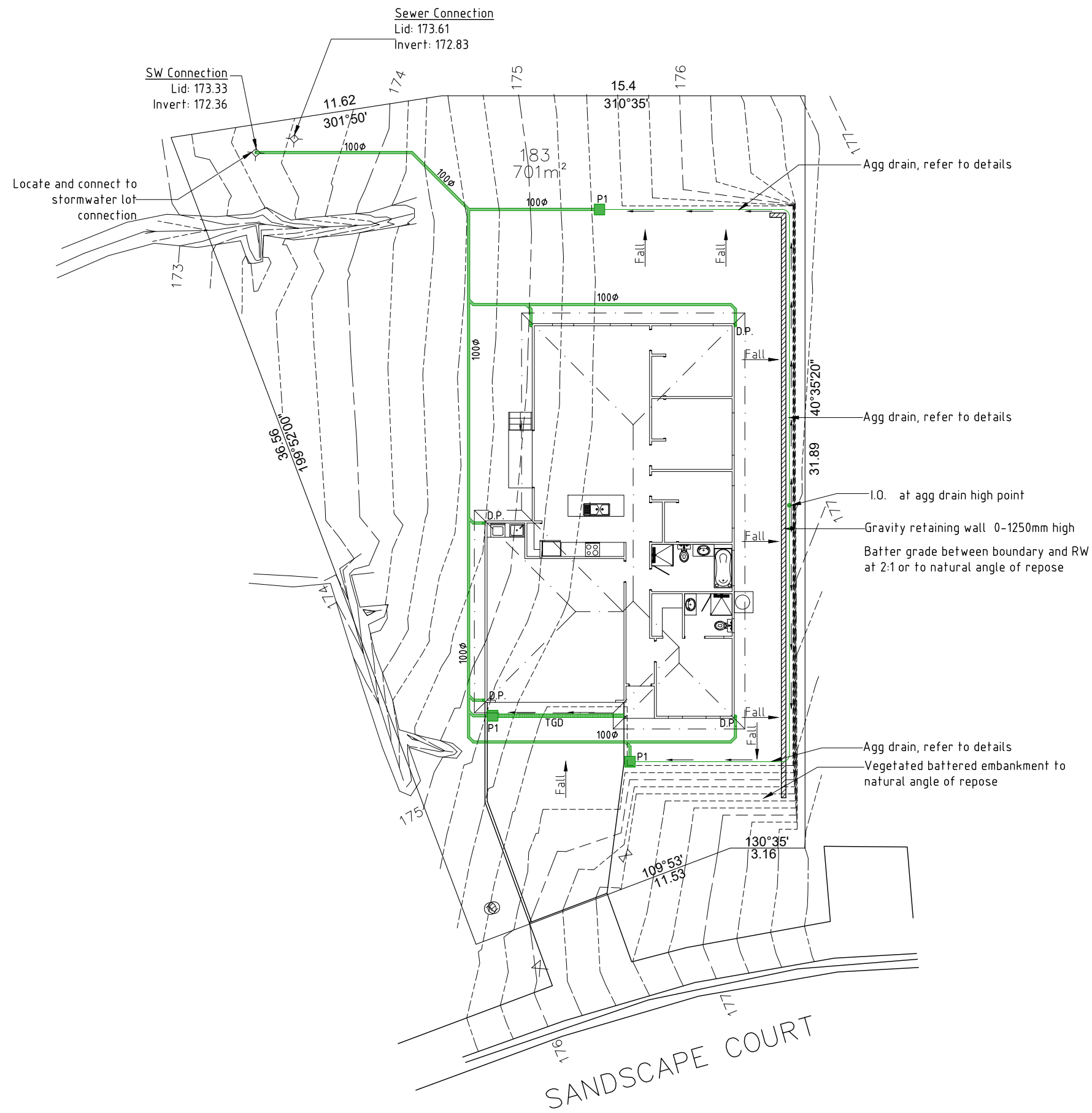
**DEVELOPMENT DRAWINGS ONLY
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PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 4 SANDSCAPE COURT HADSPEN 7290	PLAN	DATE 05/03/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:100 0 1000 2000	AMENDED	DRAWING NO. 02 OF 07



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PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 4 SANDSCAPE COURT HADSPEN 7290	ELEVATIONS		DATE 05/03/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:100 	AMENDED	DRAWING NO. 03 OF 07	Certified: G. Tilley Accreditation No. CC620H © copyright 2026 2226



- TGD Trafficable grate drain
 - P1 450x450 Trafficable pit.
Each grate pit to be fitted with water quality improvement device. Designed & installed in accordance with manufacturers instructions
 - I.O. Inspection opening
- Agg drains to be installed prior to slab/footings preparation. Evidence of the agg drainage installation to be supplied to the Engineer.

Due to significant fill present on the site, Stormwater pipes are to be founded in natural soil

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

- S100φ 100uPVC sewerage
1.67% min. fall
- 100φ 100uPVC stormwater
1:100 min. fall
- 100x100 cast in kerb to downslope of driveway perimeter
I.O. at each intersection & bend

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 4 SANDSCAPE COURT HADSPEN 7290	STORMWATER CONCEPT PLAN	DATE 05/03/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED	DRAWING NO. 04 OF 07

WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:

FLOOR: Waterproof entire floor if no preformed shower base provided
WALLS: Waterproof to not less than 1800mm above the floor substrate
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:

FLOORS: Entire floor to be water resistant
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:

FLOORS: Waterproof entire floor
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.
WALL JUNCTIONS AND JOINTS: Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel
WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level
PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):

FLOOR: Water resistant floor to entire room
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:

Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.

FALLS TO WET AREA FLOORS:

Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.

STEPPDOWN SHOWERS:

Where steppedown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.

HOB CONSTRUCTION:

Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.

ENCLOSED SHOWERS WITH LEVEL THRESHOLD:

Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:

Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:

All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/ JUNCTIONS:

All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:

1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

HYDRAULIC NOTES:

- All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
- The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
- Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
- Refer to designers drawings and fixture and equipment technical specifications for pipework connections.

- Make good all disturbed surfaces to match existing.
- Remove all excess soil and surplus materials from site.
- All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.
 All plumbing & drainage to be in accordance with local Council requirements.
 Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.
 Stormwater line (100mm uPVC)
 Sewer line (100mm uPVC)

SERVICES

The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia

Thermal insulation for heated water piping must:

- be protected against the effects of weather and sunlight; and
- be able to withstand the temperatures within the piping; and
- use thermal insulation in accordance with AS/NZS 4859.1

Heated water piping that is not within a conditioned space must be thermally insulated as follows:

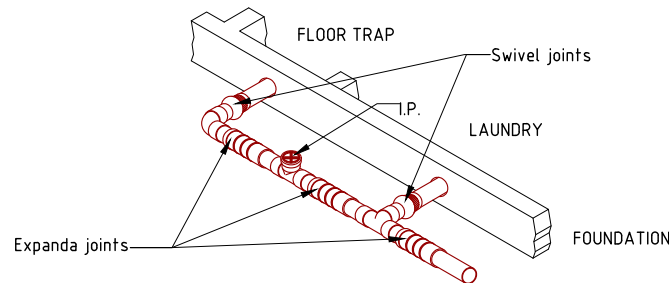
- Internal piping:
 - All flow and return internal piping that is -
 - within an unventilated wall spaces
 - within an internal floor between storeys, or
 - between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
 - All flow and return piping
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space:
 - All flow and return piping.
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

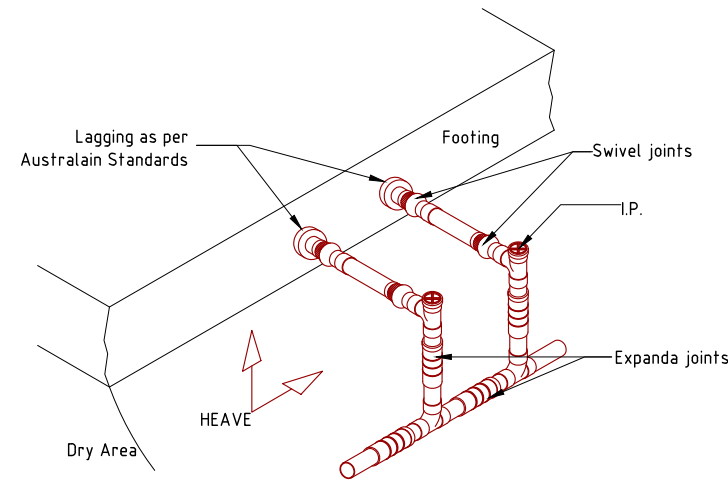
Insulation Schedule

Heated Water Pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line	20-25	19mm Bradflex
Offtake	18	13mm Bradflex
Cold Water Pipes Exposed Type	Size Range	Insulation
All	>20	13mm Bradflex
Other Cold Water Pipes Type	Size Range	Insulation
All	All	Not required

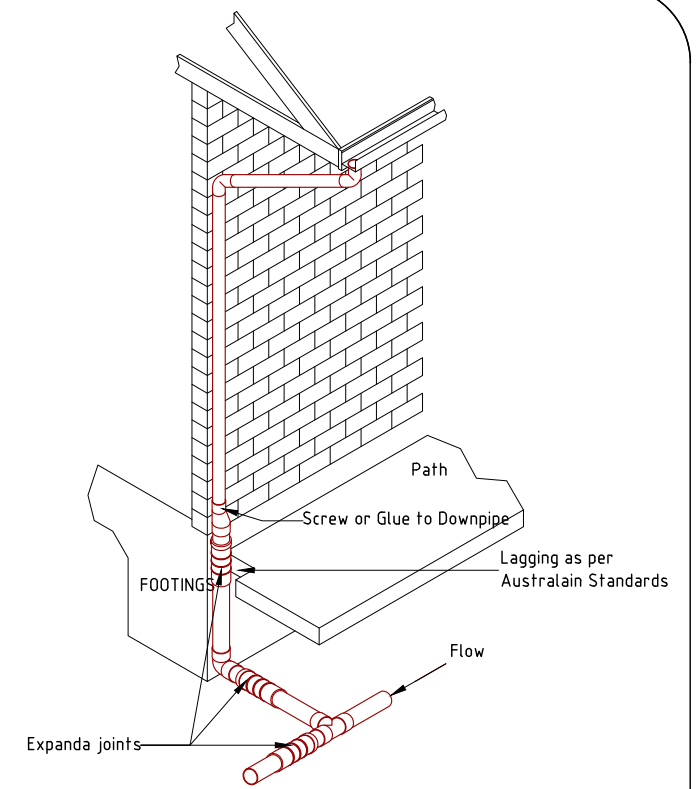
NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



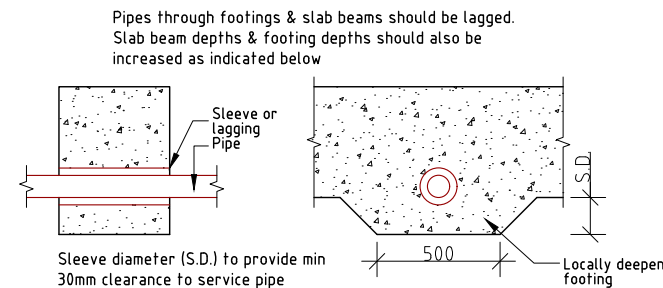
GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS
 Scale 1:20

Surface drainage to conform with NCC Vol. 2 Part H2D2.
 NOTE: 50mm fall required over first 1m from building.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

**DEVELOPMENT DRAWINGS ONLY
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PROPOSED RESIDENCE FOR
 SJM PROPERTY DEVELOPMENTS PTY LTD AT
 4 SANDSCAPE COURT HADSPEN 7290

PLUMBING NOTES

SCALE N/A

AMENDED

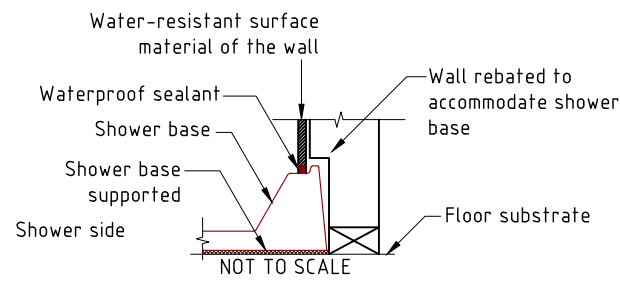
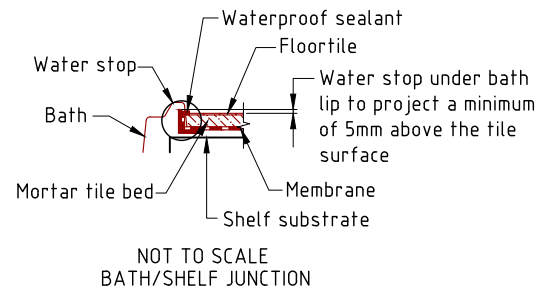
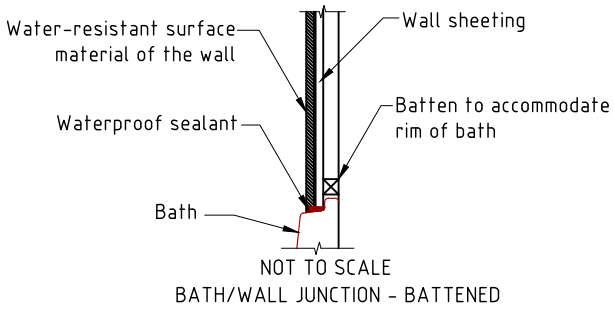
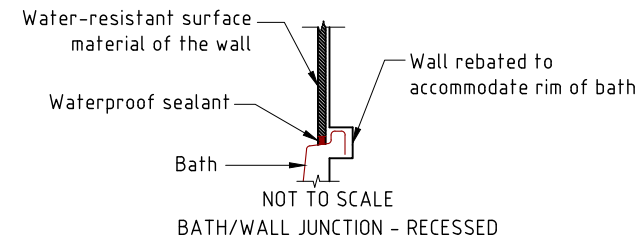
DATE
 05/05/2026

DRAWING NO.
 05 OF 07

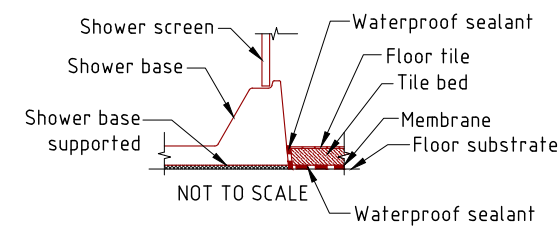
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 email: gtilley7@biopond.com
 phone ph 0400 671 582

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DELETE THESE DETAILS IF THERE IS NO BATHTUB

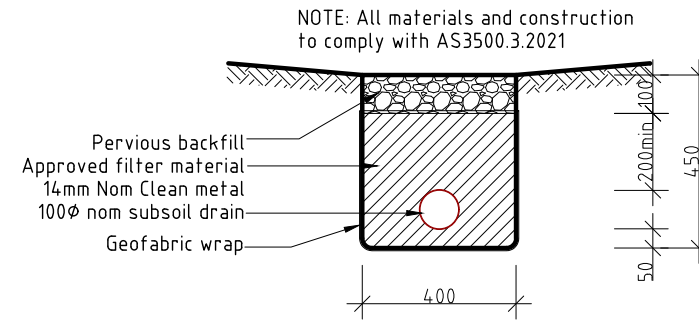


TYPICAL PREFORMED SHOWER BASE WALL/FLOOR JUNCTION



TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION ON TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER MATERIALS
DELETE THESE DETAILS IF THERE IS NO PRE-FORMED SHOWER BASE

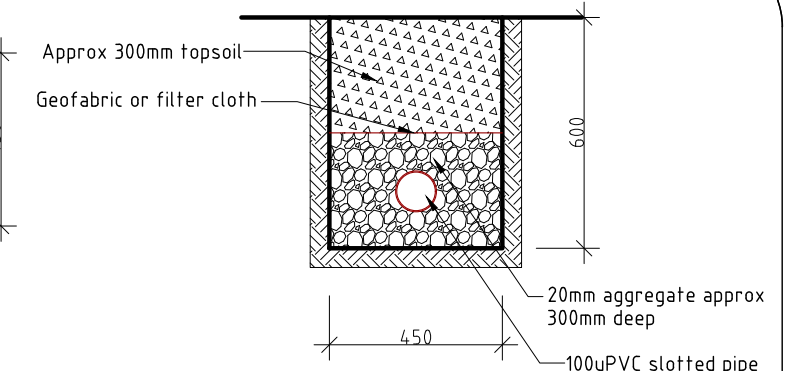
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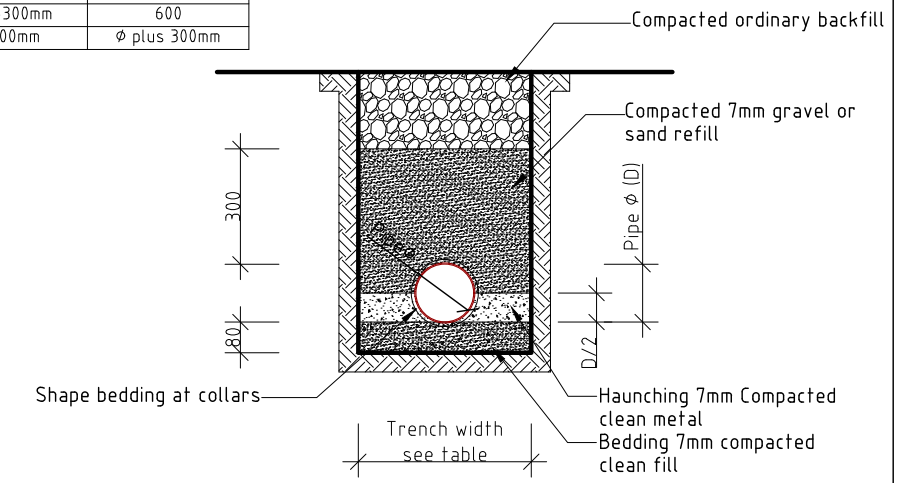
AGG DRAIN DETAIL (TYPICAL)
Scale 1:20

TRENCH WIDTHS

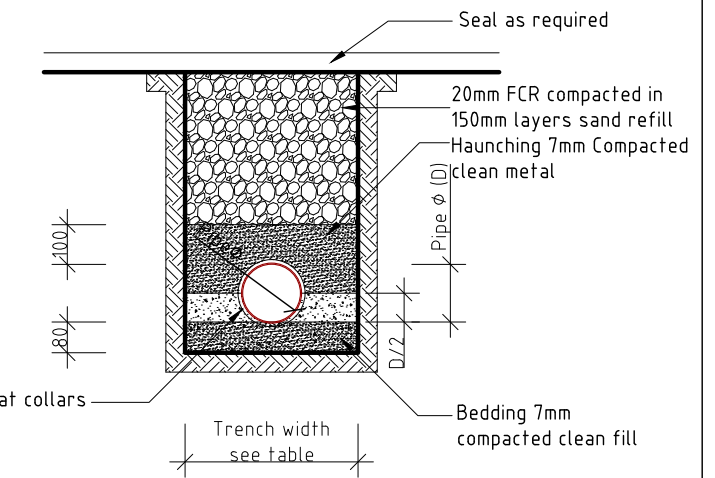
Pipe diameter	Min. trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	φ plus 300mm



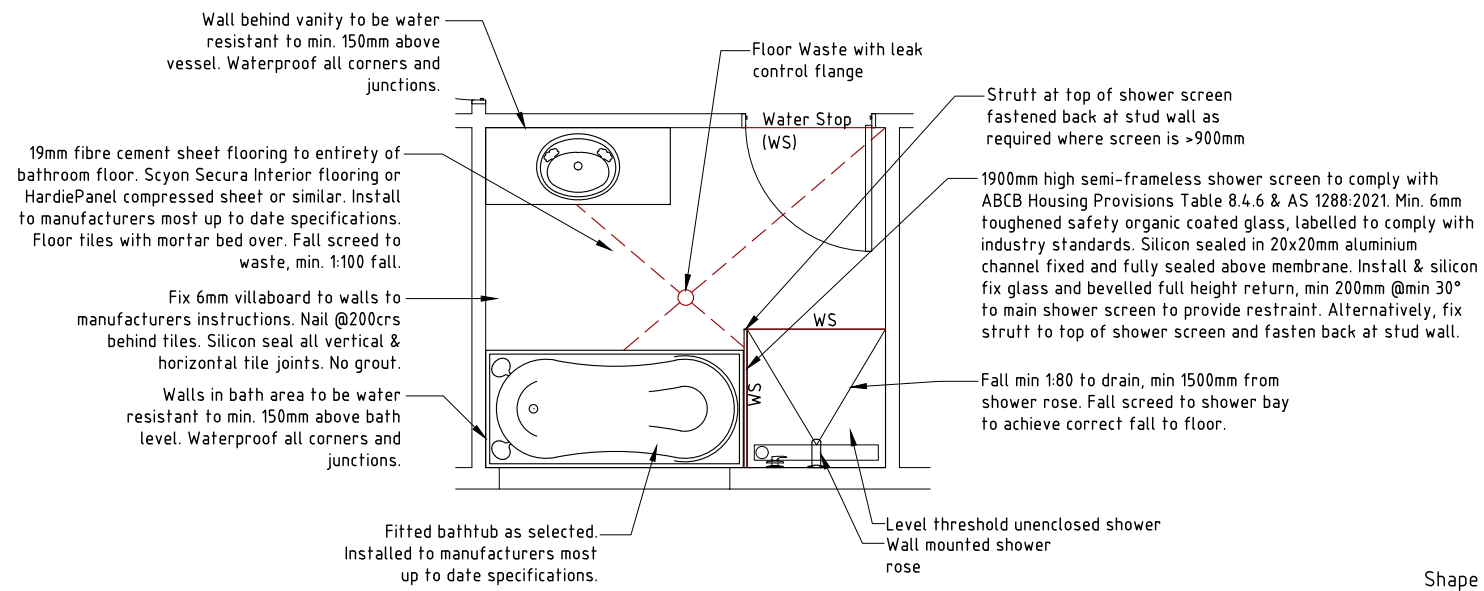
ABSORPTION TRENCH (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



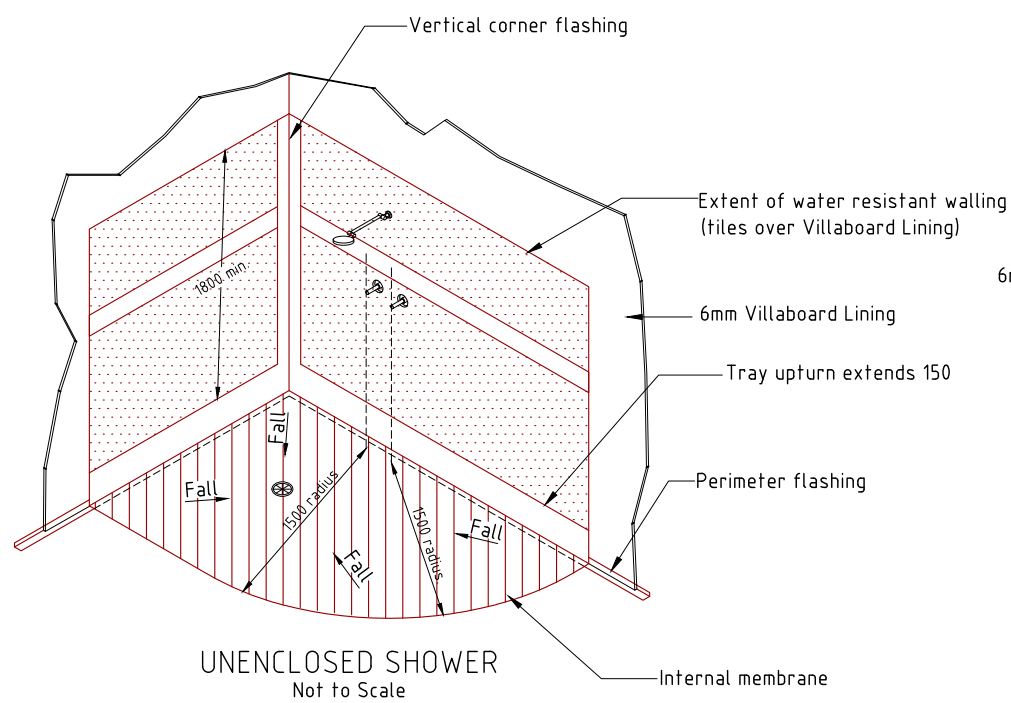
WET AREA DETAIL - BATHROOM
Scale 1:50

Seal all joints, gaps & wall junctions with PVA sealant - cover floor/wall junctions min R6: 2 coats of approved PVA membrane installed to manufacturers instructions and on top of the screed to ensure waterproof membrane is drained to the floor waste, including cloth tape to wall junctions and penetrations. To floor, continue 50mm up vertical surfaces & to shower bay 1800x1500 each way from shower rose or to shower screen. To timber skirting or door architrave to stop <25mm above finished floor level.

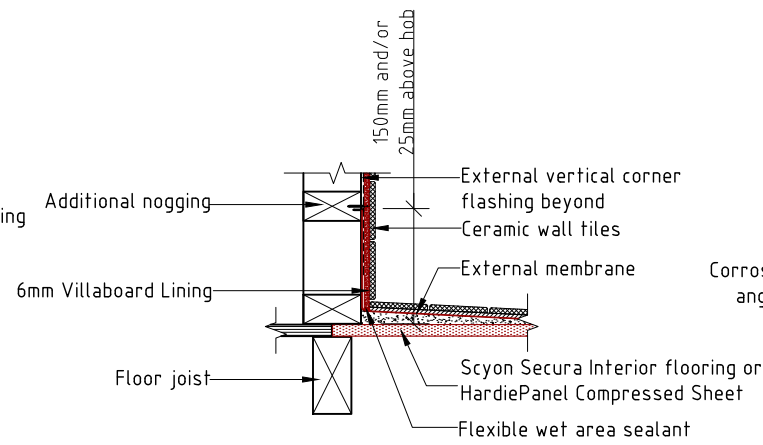
Surface drainage to conform with NCC Vol. 2 Part H2D2.
NOTE: 50mm fall required over first 1m from building.

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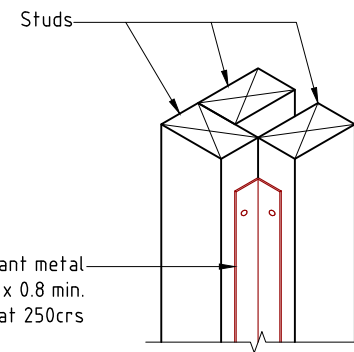
PROPOSED RESIDENCE FOR SJM PROPERTY DEVELOPMENTS PTY LTD AT 4 SANDSCAPE COURT HADSPEN 7290	PLUMBING DETAILS	DATE 05/05/2026	DRAWN BY G. Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:20 0 200 400	AMENDED	DRAWING NO. 06 OF 07



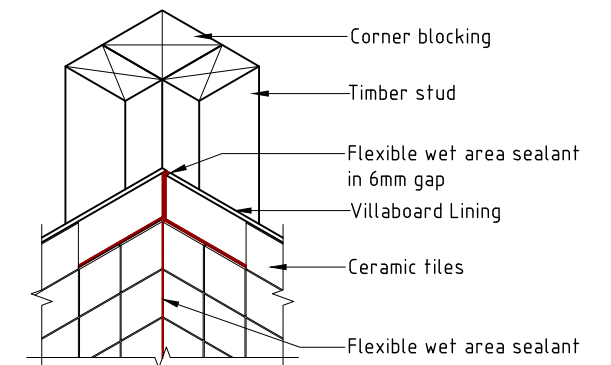
UNENCLOSED SHOWER
Not to Scale



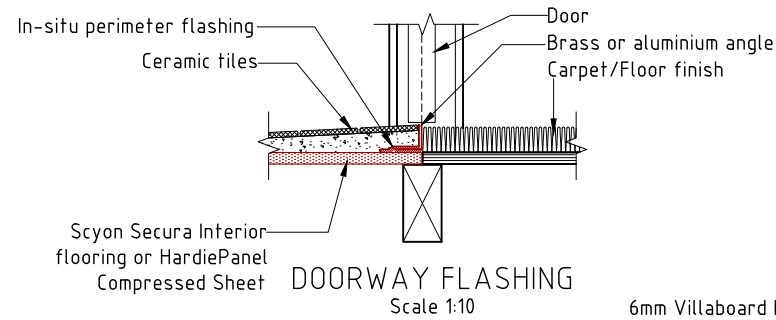
EXTERNAL MEMBRANE - VILLABOARD LINING
Scale 1:10



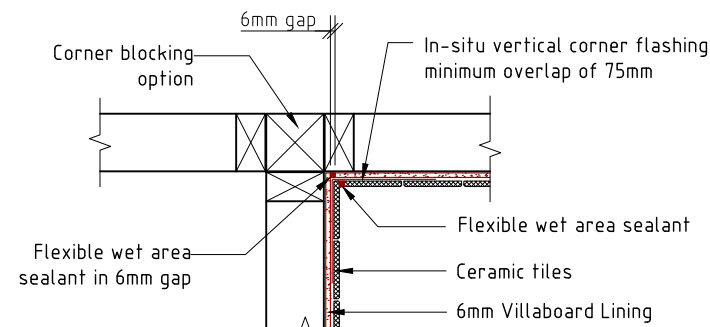
ANGLE REINFORCED CORNER
Scale 1:10



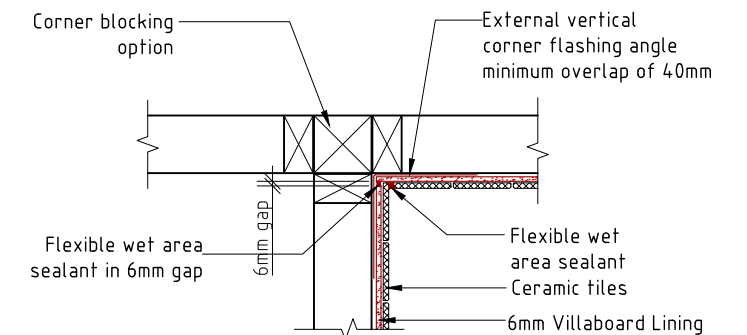
INTERNAL TILED CORNER
Scale 1:10



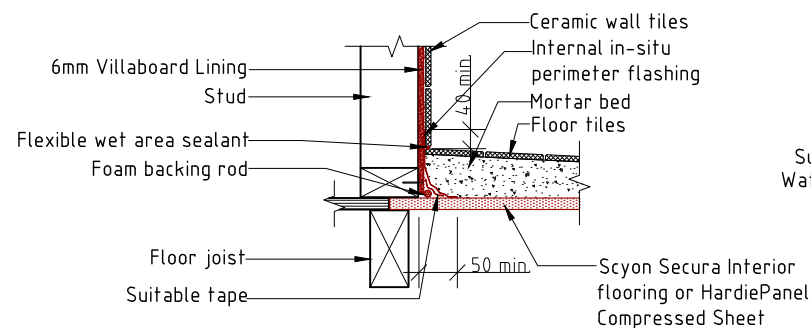
DOORWAY FLASHING
Scale 1:10



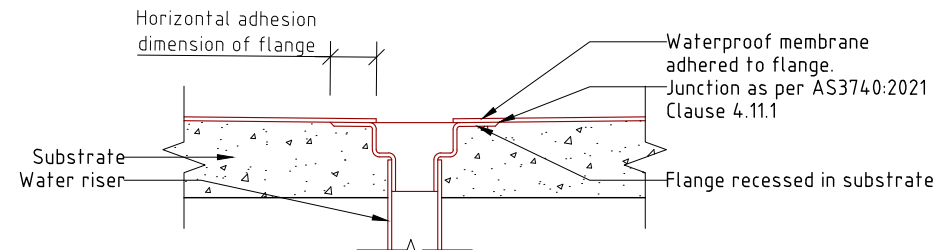
VERTICAL CORNER FLASHING FOR INTERNAL MEMBRANE - SHOWER RECESS
Scale 1:10



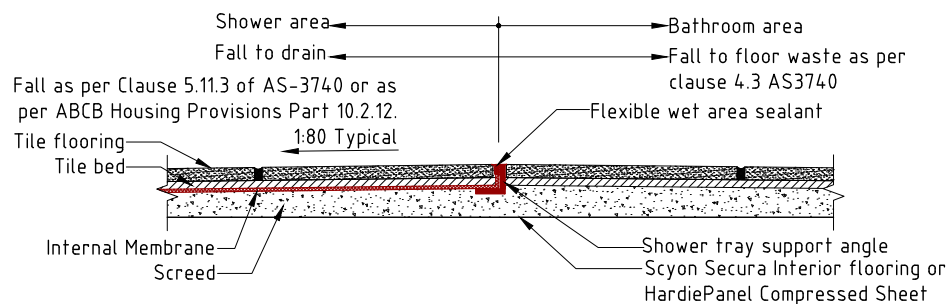
VERTICAL CORNER FLASHING FOR EXTERNAL MEMBRANE - SHOWER RECESS
Scale 1:10



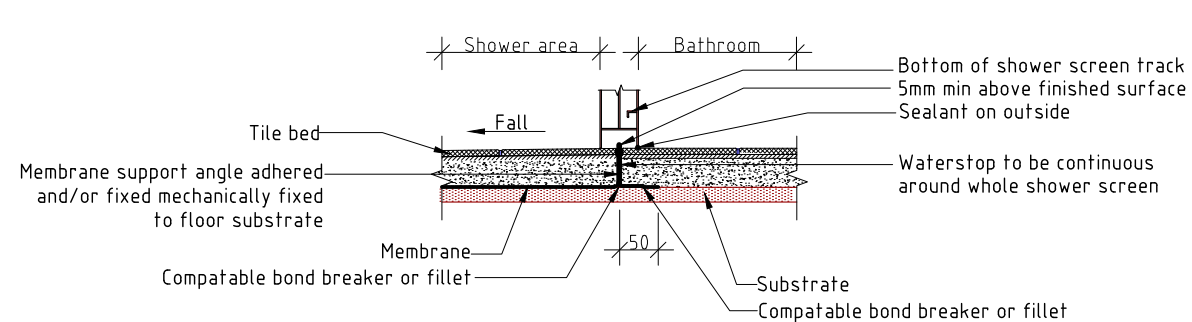
INTERNAL FLASHING
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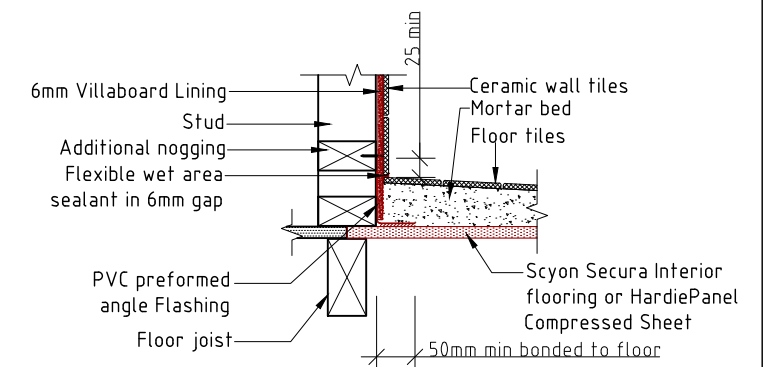
TYPICAL MEMBRANE TERMINATION AT LEAK CONTROL FLANGE
Scale 1:10



TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA - UNENCLOSED
Scale 1:5



ENCLOSED LEVEL THRESHOLD SHOWER - EDGE FINISHING DETAIL
Scale 1:10



EXTERNAL FLASHING - VILLABOARD LINING FINISHED WITH TILES
Scale 1:10

DEVELOPMENT DRAWINGS ONLY
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PROPOSED RESIDENCE FOR
SJM PROPERTY DEVELOPMENTS PTY LTD AT
4 SANDSCAPE COURT HADSPEN 7290

PLUMBING DETAILS

SCALE 1:10
0 100 200

AMENDED

DATE
05/05/2026





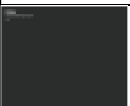
DRAWING NO.
07 OF 07




DRAWN BY G. Tilley
email: gtilley7@biopond.com
phone ph 0400 671 582






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SJM EXTERIOR SCHEDULE – SCHEME: STONE



Builder:	SJM Property Developments			
Revision Date:	07/10/2025			
Revision No:	03			
Design:				
Item/Location	Product Code/Name	Finish/Size/Colour/Comments	Manufacturer	Image
Roofing				
Corrugated Roof Sheet	Custom Orb	Colorbond Night Sky		
Fascia & Gutter	Quad Profile	Colorbond Night Sky		
Downpipes	Round PVC	Painted Dulux Natural White		
Garage Door				
Garage Door	Panelift	Nullarbor, Woodgrain Textures Colorbond Surfmist		
Doors				
Front Door	Madison PMAD 101	Translucent Glass	Corinthian	
Rear Garage Door (where applicable to design)	Solid Core External		Corinthian	
Windows and Flyscreens				
Windows (Double Glazed)		Colorbond Night Sky Frame Black Hardware		
Fly Screens (as per BAL requirement)		Colorbond Night Sky Frame Mesh – BAL compliant mesh if required		



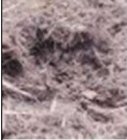

Render				
Render (where applicable to design)	As per plans	Colorbond Dune	Dulux	
Cladding				
A - Refer to Exterior Elevations	James Hardie – Axon 133mm Smooth Vertical	Colorbond Dune	Dulux	
B - Refer to Exterior Elevations (where applicable to design)	James Hardie – Fine Texture Cladding	Colorbond Surfmist	Dulux	

Paint				
Alfresco / Porch Ceiling		Natural White	Dulux	
Eave Lining		Natural White	Dulux	
Front Door		Colorbond Surfmist	Dulux	
Rear Garage Door (where applicable to design)		Colorbond Surfmist	Dulux	
Posts (where applicable to design)		Colorbond Dune	Dulux	

Concreting				
Driveway	Exposed Concrete			

Electrical				
Porch / Alfresco Ceiling Lights	Builder's Range LED	White		

Miscellaneous				
Clothesline	Single Fold Down MK2 Lift and Lock	Black	Daytek	
Letterbox	Dune Letterbox	Black	Sandleford	

Landscaping				
Grass	Hydroseed Lawn			
Planting	15x Lomandra Tanika 15x Lomandra Lime Tuff 1x Pittosporum			
Garden Beds	Gum Bark Mulch			
Retaining Walls	Island Block – Eco Rockface	Bluestone		
Fence/Gate	1.8m high	Boundary fencing & side access gate		

AS2870:2011 SITE ASSESSMENT

4 Sandscape Court

Hadspen

February 2026



GEO-ENVIRONMENTAL

S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

Investigation Details

Client:	SJM Property Developments (Aus) Pty Ltd
Site Address:	4 Sandscape Court, Hadspen
Date of Inspection:	10/02/2024
Proposed Works:	New house
Investigation Method:	Drill Tech Auger
Inspected by:	AM

Site Details

Certificate of Title (CT):	185620/183
Title Area:	Approx. 703.5 m ²
Applicable Planning Overlays:	Bushfire-prone areas
Slope & Aspect:	12° NW facing slope
Vegetation:	Grass & Weeds, Fill

Background Information

Geology Map:	MRT
Geological Unit:	Quaternary Sediments
Climate:	Annual rainfall 700mm
Water Connection:	Mains
Sewer Connection:	Serviced-Mains
Testing and Classification:	AS2870:2011, AS1726:2017 & AS4055:2021

Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

Soil Profile Summary

BH 1 Depth (m)	USCS	Description
0.00-0.20	SC	FILL: Clayey SAND : orange, brown, dry, loose, cobbles
0.20-0.70	CL	FILL: Silty CLAY : medium plasticity, yellow, brown, slightly moist, stiff,
0.70-1.30	CH	FILL: Silty CLAY : high plasticity, grey mottled orange, moist, very stiff, cobbles
1.30-1.60	CL	Silty CLAY : medium plasticity, yellow, brown mottled white, slightly moist, hard, refusal on rock/boulder

BH 2 Depth (m)	BH 3 Depth (m)	USCS	Description
0.00-0.40	0.00-0.20	CL	FILL: Silty CLAY : medium plasticity, orange, brown, slightly moist, stiff, hole 2 refusal on rock/boulder
	0.20-0.60	CH	FILL: Silty CLAY : high plasticity, brown with patches of white, slightly moist, very stiff, cobbles
	0.60-0.90	CL	FILL: Sandy CLAY : medium plasticity, orange, brown, slightly moist, very stiff
	0.90-1.30	CH	Silty CLAY : medium plasticity, grey mottled orange, slightly moist, very stiff, refusal on rock/boulder

Site Notes

Soil depth in the proposed building area is variable, and the soil contains a significant amount of fill. The fill is of various size fractions and is likely to have variable bearing capacity and should not be used as a founding substrate. The natural clay examined was moderately plastic and is likely to exhibit moderate soil movement with moisture fluctuations.

Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “*Residential Slabs and Footings*”.

The site has been classified as:

Class P

Y^s range: **20-40mm**

Notes: due to site fill exceeding 0.40m

Wind Loading Classification

According to “AS4055:2021 - *Wind Loads for Housing*” the house site is classified below:

Wind Classification:	N3
Region:	A
Terrain Category:	2.5
Shielding Classification:	PS
Topographic Classification:	T2
Wind Classification:	N3
Design Wind Gust Speed – m/s (V _{h,u}):	50

Construction Notes & Recommendations

The site has been classified as **Class P** - see 'Site Classification' above.

All foundations must penetrate through any fill material & topsoil and be placed onto the underlying bedrock

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.

A handwritten signature in blue ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director

Explanatory Notes

1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsistence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

NON COHESIVE – SAND & GRAVEL		
Consistency Description	Field Test	Dynamic Cone Penetrometer blows/100 mm
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

COHESIVE - SILT & CLAY		
Consistency Description	Field Test	Indicative undrained shear strength kPa
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				NOTES	
COARSE GRAINED SOILS (more than half of material less than 63 mm & larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{30}}$	$C_c = \frac{(D_{30})^3}{(D_{10})(D_{60})}$		
	COBBLES	63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4		Between 1 and 3
		medium	6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI < 4	—		—
				GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI > 7	—		—
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6		Between 1 and 3
		medium	0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine	0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI < 4	—		—
				SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI > 7	—		—
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤ 50%)		ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'					
			CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
			OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit > 50%)		MH	Inorganic silts, mic-aceous or diato-maceous fine sands or silts, elastic silts						
			CH	Inorganic clays of high plasticity, fat clays						
			OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils						

Plasticity Chart

For classification of fine grained soils and fine fraction of coarse grained soils.

The Plasticity Chart plots Plastic Index (%) on the y-axis (0 to 60) against Liquid Limit (%) on the x-axis (0 to 100). Key features include:

- A-line (U=2.5):** $PI = 0.73(LL - 20)$
- U-line (U=7.5):** $PI = 0.0075(LL - 40) + 0.73(LL - 20)$
- 15% Clay Content Line:** $PI = 0.002(LL - 20) + 0.0044(LL - 20)^2$
- 4% Clay Content Line:** $PI = 0.0005(LL - 20) + 0.001(LL - 20)^2$
- Classification Regions:** CL (low plasticity clay), CH (high plasticity clay), MH (medium plasticity silt), OH (high plasticity organic silt/clay), ML (low plasticity silt), OL (low plasticity organic silt/clay), MI & CI (medium plasticity silt/clay), and PT (peat).

Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

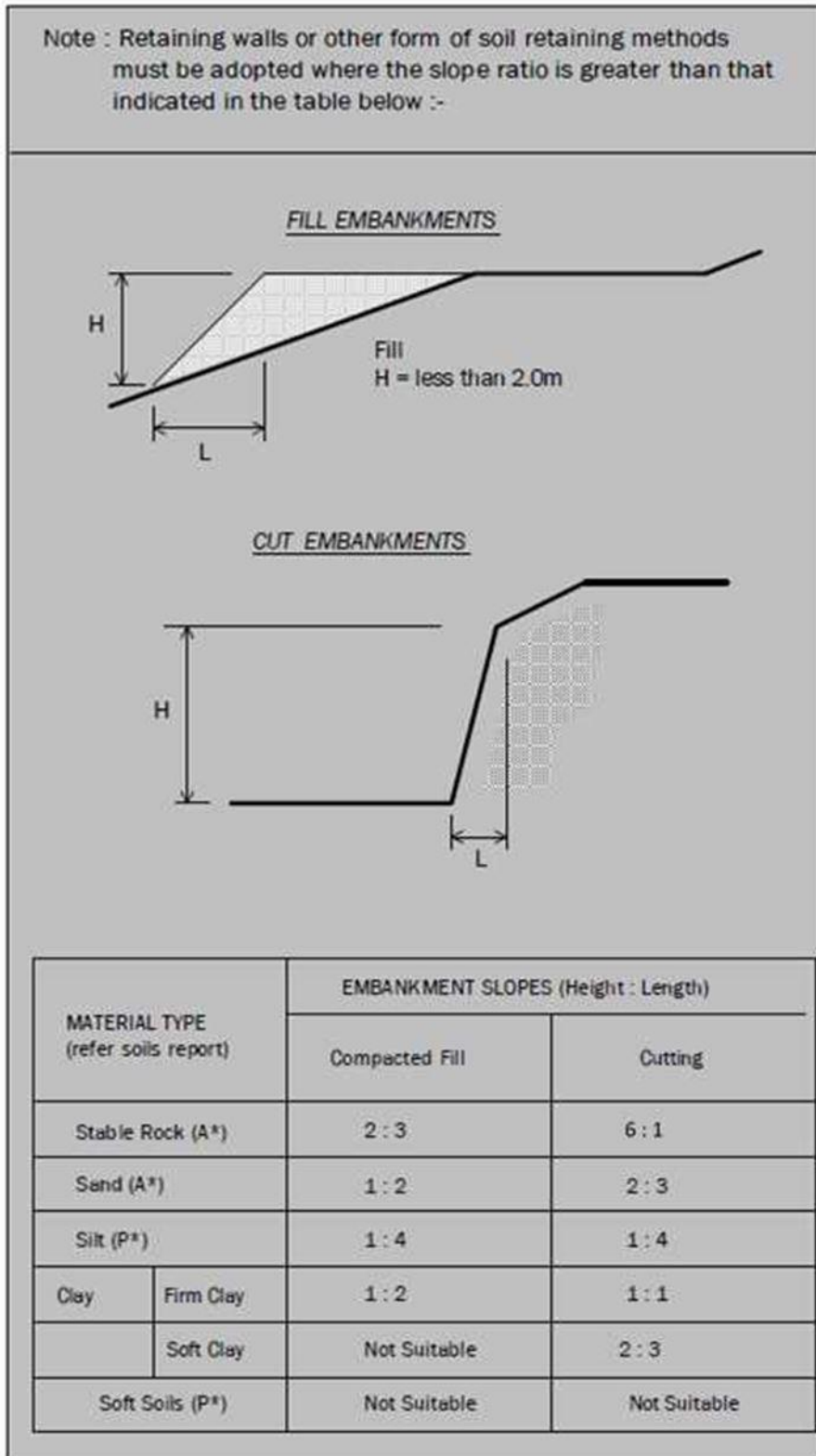
1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

1.5 Batter Angles for Embankments (Guide Only)



Glossary of Terms

Bearing Capacity – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

Clay – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

Dynamic Cone Penetrometer (DCP) – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

Dispersive soil – A soil that has the ability to pass rapidly into suspension in water.

Footing – Construction which transfers the load from the building to the foundation.

Foundation – Ground which supports the building

Landslip – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

Qualified Engineer – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

Reactive Site – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

Sand – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

Services – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

Silt – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

Site – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

Surface Movement (Ys) – Design movement (mm) at the surface of a reactive site caused by moisture changes.

Disclaimer

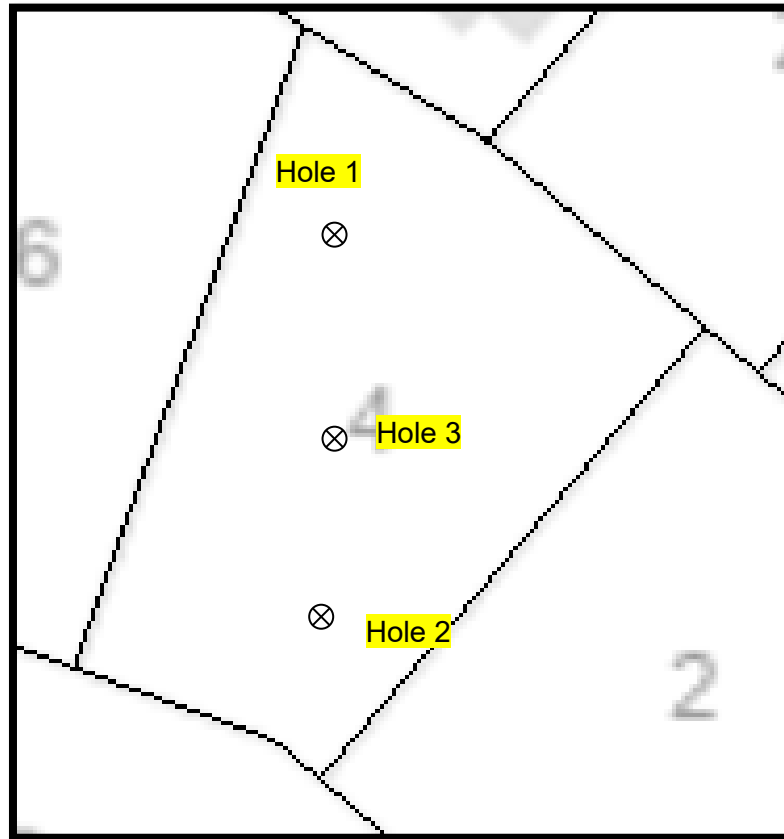
This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.

Site Plan



APPENDIX 1 - DCP Results Table

Dynamic Cone Penetration (DCP) Conversion to Californian Bearing Ratio
 (ref: Australian Standard AS 1289.6.3.2 - 1997)

DCP Location BH1

Depth (mm)	DCP (Blows/100mm)	DCP (mm/Blow)	DCP Resistance (mPa)	Allowable Bearing Capacity (kPa)	CBR (Rounded Up)
0-100	8	12.5	2.5	278	17
100-200	10	10.0	3.1	347	22
200-300	15	6.7	4.7	521	35
300-400	15	6.7	4.7	521	35
400-500	13	7.7	4.1	451	30
500-600	8	12.5	2.5	278	17
600-700	4	25.0	1.3	139	8
700-800	3	33.3	0.9	104	6
800-900	4	25.0	1.3	139	8
900-1000	6	16.7	1.9	208	13
1000-1100	4	25.0	1.3	139	8
1100-1200	15	6.7	4.7	521	35

Appendix 2 – Site Photos



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: *Owner /Agent*
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address:
Licence No: Email address:
Phone No:
Fax No:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
Certificate of title No:
The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

Substance of Certificate: (what it is that is being certified)

Site Classification consistent with AS2870-2011.
--

Scope and/or Limitations

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

I, John-Paul Cumming certify the matters described in this certificate.

Qualified person:

Signed:

Certificate No:

Date:

J12695

13/02/2026



A handwritten signature in black ink, appearing to read 'John Paul Cumming', written over a light grey background.



Proposed Residential Development – 4 Sandscape Court, Hadspen

Bushfire Hazard Report

Applicant: SJM Property Developments Pty Ltd



March 2026 J12695v1.0

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Attachment 1 – Bushfire Hazard Management Plan

Attachment 2 - Certificate of Others (Form 55)

Disclaimer

The measures contained in Australian Standard 3959-2018 cannot guarantee that a building will survive a bushfire event on every occasion. This is due to the unpredictable nature and behaviour of fire and extreme weather conditions.

GES has taken reasonable steps to ensure that the information contained within this report is accurate and reflects the conditions on and around the lot at the time of assessment. The assessment has been based on the information provided by you or your designer.

Authorship

This report was prepared by Alice Higgins FPO (planning), Bushfire Practitioner (BFP165) of Geo Environmental Solutions. Base data for mapping: TasMap, aerial photography, and GoogleEarth. On site Photography: Geo Environmental Solutions.



1.0 Purpose

This bushfire hazard report for 4 Sandstone Court, Hadspen has been developed in support of a building application in a bushfire-prone area. It will demonstrate compliance with the Building Regulations 2016, and the Directors Determination – Bushfire Hazard Areas, version 1.2, 16th July 2024. Attached is a certificate of others (Form 55) as specified by the Director of Building Control for bushfire hazard and a certified Bushfire Hazard Management Plan (BHMP) indicating the management and protection measures to be implemented in a form approved by the Chief Fire Officer of the Tasmania Fire Service.

2.0 Summary

Site details and compliance

Title reference	185620/183
PID	9302779
Address	4 Sandstone Court, Hadspen
Applicant	SJM Property Developments Pty Ltd
Municipality	Meander Valley
Planning Scheme	Tasmanian Planning Scheme - Meander Valley
Zoning	General Residential
Land size	~0.07Ha
Class of Building/s	Class 1a habitable building
Bushfire Attack Level	BAL – 12.5
Certificate of Others (Form 55)	Complete and attached
Bushfire Hazard Management Plan	Certified and attached

Development of a new class 1a habitable building at 4 Sandstone Court, Hadspen requires demonstrated compliance with the Building Regulations 2016, and the Directors Determination – Bushfire Hazard Areas, version 1.2, 16th July 2024. The site is within a bushfire prone area as defined under the Tasmanian Planning Scheme – Meander Valley. The Bushfire attack level has been determined as ‘BAL – 12.5’ as defined in AS3959 - 2018. Provisions for construction standards, hazard management areas (HMA), property access and water supplies for firefighting will be required as detailed in this report and on the BHMP.



3.0 Introduction

This bushfire hazard report has been completed to form part of supporting documentation for a building permit application for the proposed development. The proposed development site has been identified as being in a bushfire prone area. A site-specific Bushfire Attack Level (BAL) assessment and BHMP has been provided to ensure compliance with AS3959 – 2018 Construction of Buildings in Bushfire Prone Areas, National Construction Code (NCC), and the Directors Determination. Additional information for planning and building in bushfire-prone areas is available on the Tasmania Fire Service website.

4.0 Proposal

The proposal is for the construction of a new class 1a habitable building at 4 Sandstone Court, Hadspen. This assessment is based on plans provided by the client (Appendix B).

5.0 Bushfire Attack Level (BAL) Assessment

5.1 Methods

The bushfire attack level has been determined through the application of section 2 of AS3959-2018 'Simplified Procedure'. Vegetation has been classified using a combination of onsite observations and remotely sensed data to be consistent with Table 2.3 of AS3959-2018. Slope and distances have been determined by infield measurement and/or the use of remotely sensed data (aerial/satellite photography, GIS layers from various sources) analysed with proprietary software systems. Where appropriate vegetation has been classified as low threat. The fire danger index (FDI) of 50 applies across Tasmania.



5.2 Site Description

The proposal is located at 4 Sandstone Court, Hadspen, in the municipality of Meander Valley and is zoned General Residential under the Tasmanian Planning Scheme - Meander Valley. Access to the lot will be by an existing crossover from Sandstone Court, a council-maintained road. The lot is ~0.07 Ha, is irregular in shape and is located approximately 1.8 km northwest of Cherry Tree Hill (Figure 1).

Adjacent lands surrounding the lot are zoned General Residential and Low Density Residential and are a part of a partially developed subdivision. At a landscape scale the lot occurs on the south-eastern fringes of the Hadspen township interfacing large scale grassland vegetation with remnant patches of native forest vegetation generally confined to the surrounding hills. The lot has gentle slopes with a north westerly aspect with an altitude of approximately 175 metres above sea level and is unlikely to have a significant effect on fire behaviour.

5.3. Bushfire Attack Level Assessment

The vegetation classification system as defined in AS 3959-2018 Table 2.3 and Figure 2.3 (A to H) has been used to determine vegetation types within 100 metres of the site (Table 1). Vegetation surrounding the lot was assessed (Table 1) and described as 'grassland' or excluded from the assessment as low threat vegetation (as per AS3959-2018). The classified vegetation potentially having the greatest impact on the site occurs to the east of the site (Figure 2). The prevailing fire weather wind direction is from the north and west of the site.

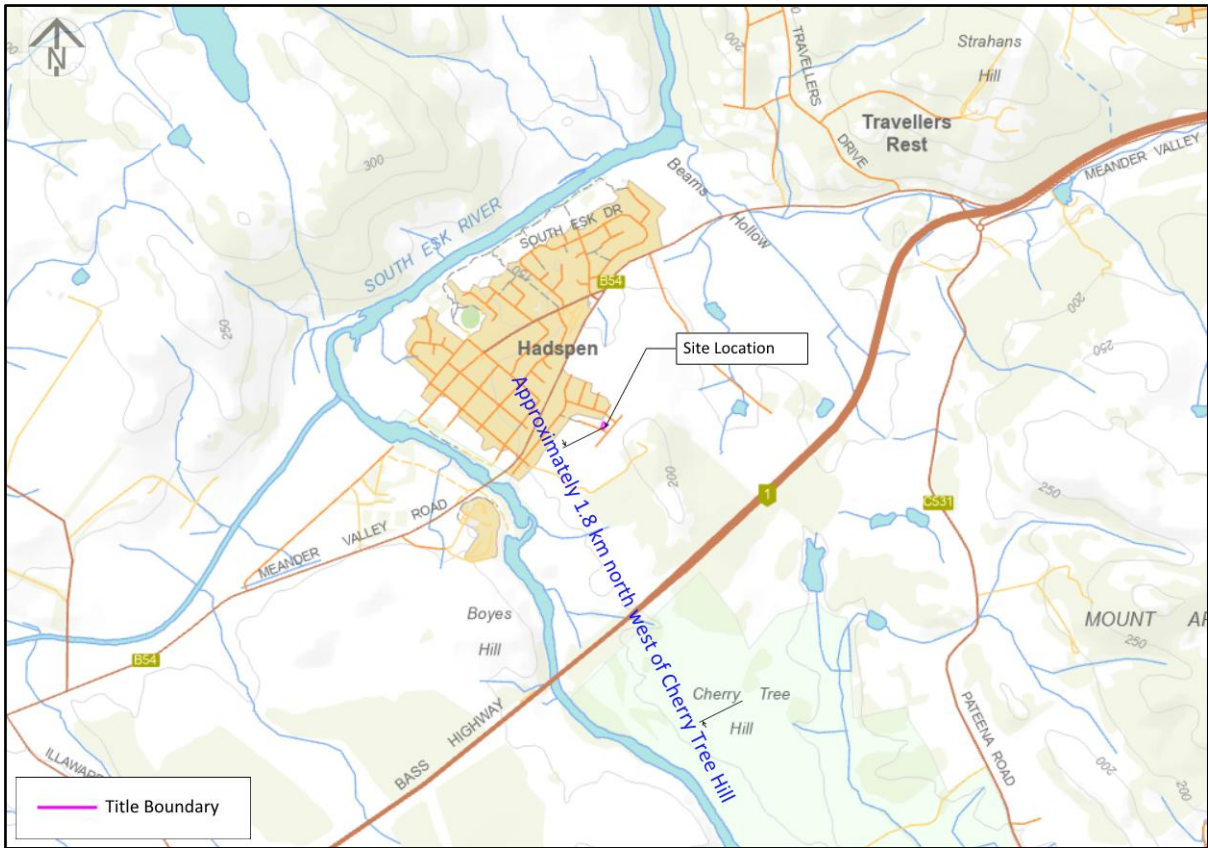


Figure 1. Site location outlined in pink (Image source: LISTmap 2026).

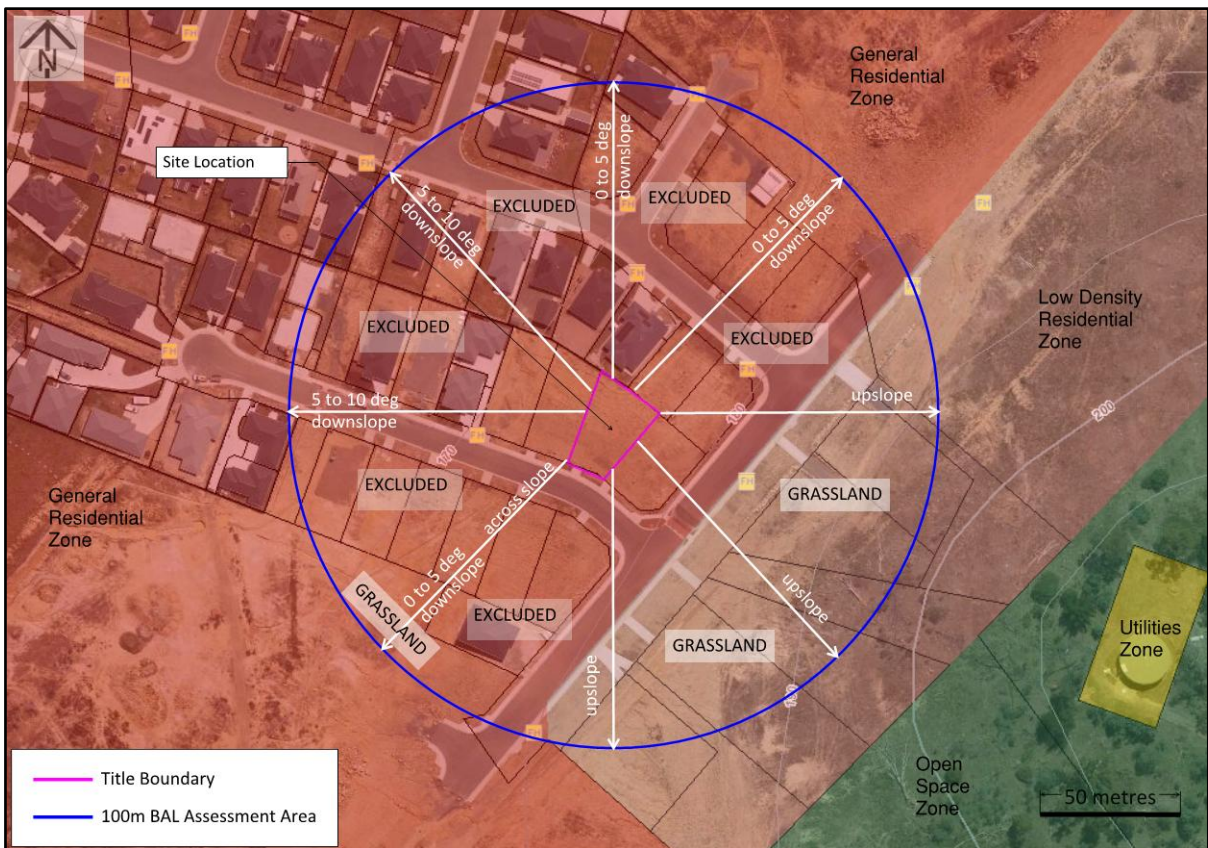


Figure 2. Shows the location of the site (outlined in pink) in the context of the adjacent lands, zoning, classified vegetation, and slopes (Image source: LISTmap 2026).



Table 1. Bushfire Attack Level (BAL) Assessment for the proposed class 1a habitable building

Azimuth	Vegetation Classification	Effective Slope	Distance to Bushfire-prone vegetation	Hazard Management Area Width	Bushfire Attack Level
North	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
North-east	Exclusion 2.2.3.2 (e, f)^	>0 to 5° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
East	Exclusion 2.2.3.2 (e, f)^	upslope	0 to 53 metres	Title Boundary	BAL-LOW
	Grassland^	upslope	53 to >100 metres		
	--	--	--		
	--	--	--		
South-east	Exclusion 2.2.3.2 (e, f)^	upslope	0 to 40 metres	3 metres	BAL-12.5
	Grassland^	upslope	40 to >100 metres		
	--	--	--		
	--	--	--		
South	Exclusion 2.2.3.2 (e, f)^	upslope	0 to 52 metres	Title Boundary	BAL-LOW
	Grassland^	upslope	52 to >100 metres		
	--	--	--		
	--	--	--		
South-west	Exclusion 2.2.3.2 (e, f)^	flat 0°	0 to 81 metres	Title Boundary	BAL-LOW
	Grassland^	>0 to 5° downslope	81 to >100 metres		
	--	--	--		
	--	--	--		
West	Exclusion 2.2.3.2 (e, f)^	>5° to 10° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		
North-west	Exclusion 2.2.3.2 (e, f)^	>5° to 10° downslope	0 to >100 metres	Title Boundary	BAL-LOW
	--	--	--		
	--	--	--		
	--	--	--		

^ Vegetation classification as per AS3959-2018, Table 2.3 and Figures 2.4(A) to 2.4 (H).

^^ Exclusions as per AS3959-2018, section 2.2.3.2, (a) to (f).



6.0 Results

The bushfire attack level for the site has been determined as BAL – 12.5. There is a risk of ember attack. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m².

The south-eastern azimuth requires a minimum separation distance from the bushfire prone vegetation of 14 metres to achieve a BAL of 12.5. This will be a combination of approximately 3 metres inside the title boundary and approximately 11 metres on the adjoining excluded land (existing sealed lot zoned as General Residential and Hadspen Hills Avenue).

6.1 Construction Requirements

The proposed class 1a habitable building must be constructed to BAL-12.5 standards in accordance with Sections 3 and 5 of AS3959-2018.

6.2 Property Access Requirements

Property access is less than 30 metres long, or access is not required for a fire appliance to access a firefighting water point. In this circumstance there are no specific design or construction requirements for property access in accordance with Table 2 Element A of the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024.



6.3 Water Supplies for Fire Fighting Requirements

Dedicated water supplies for firefighting will be provided by fire hydrants connected to a reticulated water supply system managed by Tas Water in accordance with Clause 2.3.3 and Table 3A of the Directors Determination – Bushfire Hazard Areas, v1.2, 16th July 2024 as shown below:

A. Distance between building to be protected and water supply

The following requirements apply:

- a) the building to be protected must be located within 120 metres of a fire hydrant, and
- b) the distance must be measured as a hose lay between the firefighting water point and the furthest part of the building.

B. Design criteria for proposed fire hydrants

The following requirements apply:

- a) fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA Edition V2.0 as amended from time to time, and
- b) fire hydrants are not installed in parking areas.

C. Hardstand associated with proposed fire hydrants

A hardstand area for fire appliances must be provided:

- a) no more than thirty metres from the hydrant measured as a hose lay,
- b) no closer than six metres from the building to be protected,
- c) with a minimum width of three metres and a minimum length of six metres constructed to the same standard as the carriageway, and
- d) connected to the property access by a carriageway equivalent to the standard of the property access.



6.4 Hazard Management Area Requirements

The Bushfire Attack Level for this site is BAL – 12.5. Table 1 above shows the separation distances (hazard management area width) for each azimuth of the site that will result in a bushfire attack level of BAL – 12.5.

A HMA will need to be established and maintained for the life of the development and is shown on the BHMP.

Guidance for the establishment and maintenance of the HMA is given below and on the BHMP.

A HMA is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through but is not limited to the following strategies.

- Remove fallen limbs, sticks, leaf and bark litter,
- Maintaining grass at less than a 100mm height,
- Avoid or minimise the use of flammable mulches (especially against buildings),
- Thin out under-story vegetation to provide horizontal separation between fuels,
- Prune low-hanging tree branches (<2 metres from the ground) to provide vertical separation between fuel layers,
- Remove and or prune larger trees to maintain a 6-metre horizontal separation between canopies,
- Minimise the storage of flammable materials such as firewood,
- Maintaining vegetation clearance around vehicular access,
- Use low-flammability plant species for landscaping purposes where possible, and
- Clear out any accumulated leaf and other debris from roof gutters and other debris accumulation points.

HMA Maintenance

The established HMA must be maintained in a minimal fuel state for bushfire protection mechanisms to be effective.

The need to maintain an effective HMA into the future must be considered when planting gardens and landscaping.

An annual inspection and maintenance of the HMA should be conducted prior to the bushfire season. It is particularly important that any flammable fine fuels at ground level such as leaves, litter and wood piles are suitably managed.

Any additional fire protection measures implemented by the owners such as fire pumps and sprinkler systems must be tested regularly to ensure functionality.



7.0 Compliance

Table 2. Compliance with the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024.

Requirements	Compliance
2.3.1 Design & Construction Requirements	<p>Clause 2.3.1 requires buildings to be constructed in accordance with AS3959-2018 or NASH standard – Steel Framed Construction in Bushfire Areas consistent with the BAL determined for the site.</p> <p>The BHMP specifies construction to BAL – 12.5 standards of AS3959-2018.</p> <p>If the proposed class 1a habitable building is designed and constructed in accordance with the above construction standards, the development will comply with clause 2.3.1</p>
2.3.2 Property Access	<p>Clause 2.3.2 requires property access to be designed and constructed to comply with Table 2 of the determination and is applicable from the public roadway to within (at minimum) 90 metres of the furthest part of the building/s and includes access to a hardstand for the firefighting water point.</p> <p>In this circumstance there is no requirement for minimum design and construction standards for property access as property access is less than 30 metres long and is not required to access a firefighting water connection point.</p> <p>No further requirements to achieve compliance with clause 2.3.2</p>
2.3.3 Water Supply for Firefighting	<p>Clause 2.3.3 requires that a new building constructed in a bushfire-prone area is provided with a dedicated firefighting water supply in accordance with Tables 3A or 3B.</p> <p>Reticulated water supplies consistent with Table 3A are available to the site and are marked on the BHMP.</p> <p>No further requirements to achieve compliance with clause 2.3.3.</p>
2.3.4 Hazard Management Areas	<p>Clause 2.3.4 requires that new buildings in bushfire-prone areas are provided with an HMA which is compliant with Table 4. The HMA must have the minimum separation distances required for the BAL determined for the site and, have an HMA established which reduces fuels and other hazards so that fuels and other hazards do not significantly contribute to the bushfire attack.</p> <p>HMA's are shown on the BHMP and are specified to the minimum widths required to achieve BAL – 12.5 for the proposed class 1a habitable building. This report and the BHMP specify requirements for hazard management areas.</p> <p>If the HMA's are established in accordance with the BHMP the proposal will comply with clause 2.3.4</p>
2.3.5 Emergency Plan	<p>The proposal is for the construction of a new class 1a habitable building and therefore in this circumstance Emergency Plans are not required for compliance.</p>
3. Bushfire Hazard Management Plan and Certificate	<p>A bushfire hazard management plan has been prepared for work for which this division applies and has been certified in accordance with the Chief Officers requirements by an accredited person.</p>



8.0 Guidance

The defensible space (HMA) around a building is critical for providing occupants and/or fire fighters with safe access to the building in order that firefighting activities may be undertaken. The larger the defensible space, the safer it will be for those defending the structure. Some desirable characteristics of a hazard management area are:

- The area directly adjacent to the building has a significant amount of flammable material removed such that there is little to no material available to burn around the building,
- Includes non-flammable areas such as paths, driveways, managed lawns,
- Establishment of orchards, vegetable gardens, dams or wastewater effluent disposal areas on the fire prone side of the building,
- Creating wind breaks and radiation shields such as non-combustible fences and low flammability hedges, and
- It is not necessary to remove all vegetation from the defensible space; trees can provide protection from wind borne embers and radiant heat in some circumstances.

9.0 Further Information

For further information on preparing yourself and your property for bushfires visit the Tasmania Fire Service website at www.fire.tas.gov.au or phone 1800 000 699 for information on:

- Preparing a bushfire survival plan,
- Preparing yourself and your home for a bushfire,
- Guidelines for development in bushfire prone areas in Tasmania,
- Fire resisting plants for the urban fringe and rural areas,
- Using fire outdoors,
- Fire permits,
- Total fire bans, and
- Bushfires burning in Tasmania.



10.0 Glossary

AS – Australian Standard

BAL – Bushfire Attack Level – A means of measuring the severity of a building’s potential exposure to ember attack, radiant heat, and direct flame contact, using increments of radiant heat expressed in kilowatts per metre squared, and the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire (AS3959-2018).

BFP – Bushfire Practitioner – An accredited practitioner recognised by Tasmania Fire Service.

BHMP – Bushfire Hazard Management Plan – A plan for an individual habitable building or subdivision identifying separation distances required between a habitable building(s) and bushfire-prone vegetation based on the BAL for the site. The BHMP also indicates requirements for construction, property access and firefighting water.

Class 1a building – A single habitable building, being a detached house, or one of a group of attached habitable buildings being a town house, row house or the like (NCC 2022).

deg – degrees

FDI – fire danger index – Relates to the chance of a fire starting, its rate of spread, its intensity, and the difficulty of its suppression, according to various combinations of air temperature, relative humidity, wind speed and both the long- and short-term drought effects (AS3959-2018).

ha – hectares

HMA – Hazard Management Area – The area, between a habitable building or building area and the bushfire-prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire.

km - kilometres

m – metres

mm – millimetres

NASH – National Association of Steel Framed Housing

t – tonnes



11.0 References

Australian Building Codes Board, National Construction Code, Building Code of Australia, Australian Building Codes Board, Canberra.

Building Act 2016. The State of Tasmania Department of Premier and Cabinet.

Building Regulations 2016. The State of Tasmania Department of Premier and Cabinet.

Directors Determination – Bushfire Hazard Areas, version 1.2 16th July 2024. Director of Building Control.

LISTmap 2026. Land Information System Tasmania, Tasmania Government.

Standards Australia, AS3959-2018 Construction of buildings in bushfire-prone areas. Sydney, NSW., Australia.

Tasmania Fire Service 2020, Building for Bushfire – Planning and Building in Bushfire-Prone Areas for Owners and Builders. Tasmania Fire Service, Tasmania.

Tasmanian Planning Scheme – Meander Valley, Tasmanian Planning Commission 2015, Tasmanian Planning Commission, Hobart.



12.0 Limitations Statement

This Bushfire Hazard Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the applicant named in section 2. To the best of GES's knowledge, the information presented herein represents the Client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that described in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible bushfire hazard condition and does not provide a guarantee that no loss of property or life will occur because of bushfire. As stated in AS3959-2018 "It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions". In addition, no responsibility is taken for any loss which is a result of actions contrary to AS3959-2018 or the Tasmanian Planning Commission Bushfire code.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required. No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third party.



Appendix A – Site Photos



Figure 3. North-eastern azimuth from the site of the proposed development looking at excluded land 0 to 5 degrees downslope.



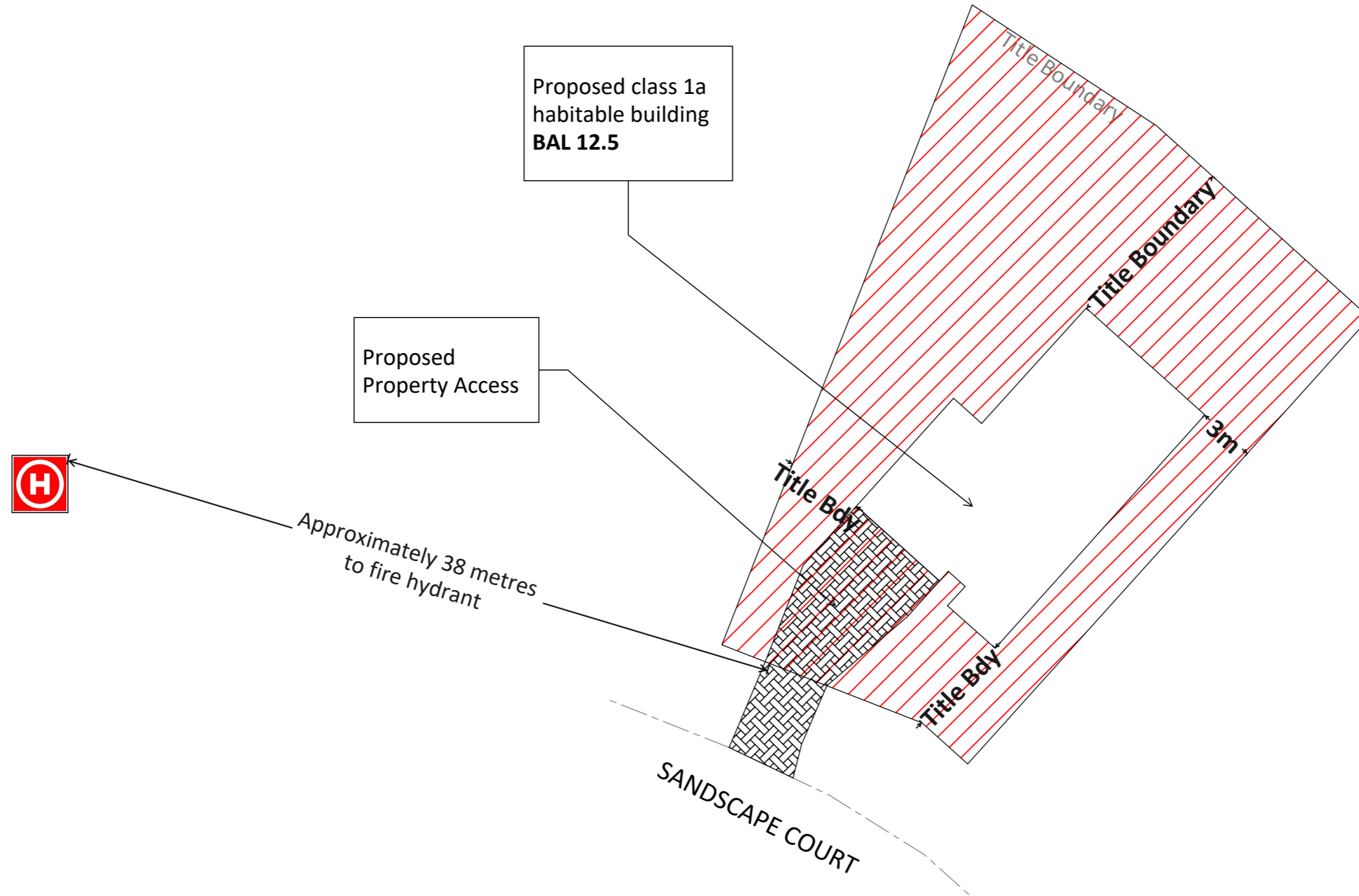
Figure 4. South-eastern azimuth from the site of the proposed development looking at excluded land upslope and grassland upslope beyond.



Figure 5. South-western azimuth from the site of the proposed development looking at excluded land across slope and grassland 0 to 5 degrees downslope beyond.



Figure 6. North-western azimuth from the site of the proposed development looking at excluded land 5 to 10 degrees downslope.



LEGEND	
	Proposed Class 1a Habitable Building
	Proposed Property Access
	Hazard Management Area
	Approx. Fire Hydrant Location

Building Specifications to BAL-12.5 for the proposed class 1a habitable building of AS3959-2018

Do not scale from these drawings. Dimensions to take precedence over scale. Written specifications to take precedence over diagrammatic representations.	Client Name and Address: SJM Property Developments 1/37 Ascot Drive Huntingfield, TAS, 7055	C.T.: 185620/183 PID: 9302779 Area: 0.07 Ha	The Bushfire Hazard Management Plan is to be printed at A3 in colour and read in conjunction with the Bushfire Hazard Report for the proposed class 1a habitable building at 4 Sandscape Court, Hadspen (GES, 11th of March 2026, J12695v1.0)	Certification No. J12695 Alice Higgins Acc. No. BFP-165 Scope 1, 2, 3A, 3B, 3C.	Sheet 1 of 2 Prepared by: Alice Higgins
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Design and Specification Requirements

Requirements for Construction

The proposed class 1a habitable building must be constructed to BAL-12.5 standards in accordance with Sections 3 and 5 of AS3959-2018.

Requirements for Property Access

Property access is less than 30 metres long, or access is not required for a fire appliance to access a firefighting water point. In this circumstance there are no specific design or construction requirements for property access in accordance with Table 2 Element A of the Directors Determination - Bushfire Hazard Areas, version 1.2, 16th July 2024.

Requirements for Reticulated Water Supplies for Fire Fighting

Dedicated water supplies for fire fighting will be provided by fire hydrants connected to a reticulated water supply system managed by Tas Water in accordance with Clause 2.3.3 and Table 3A of the Directors Determination – Bushfire Hazard Areas, v1.2, 16th July 2024.

A. Distance between building to be protected and water supply

The following requirements apply:

- (a) the building to be protected must be located within 120 metres of a fire hydrant, and
- (b) the distance must be measured as a hose lay between the firefighting water point and the furthest part of the building.

B. Design criteria for proposed fire hydrants

The following requirements apply:

- (a) fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA Edition V2.0 as amended from time to time, and
- (b) fire hydrants are not installed in parking areas.

C. Hardstand associated with proposed fire hydrants

A hardstand area for fire appliances must be provided:

- (a) no more than thirty metres from the hydrant measured as a hose lay,
- (b) no closer than six metres from the building to be protected,
- (c) with a minimum width of three metres and a minimum length of six metres constructed to the same standard as the carriageway, and
- (d) connected to the property access by a carriageway equivalent to the standard of the property access.

Requirements for Hazard Management Area

A hazard management area is required to be established and maintained for the life of the building and is shown on this BHMP. Guidance for the establishment and maintenance of the hazard management area is also provided below:

A HMA is the area, between a habitable building or building area and the bushfire prone vegetation, which provides access to a fire front for fire fighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire. This can be achieved through, but is not limited to the following actions;

- Remove fallen limbs, sticks, leaf and bark litter,
- Maintain grass at less than a 100mm height,
- Remove pine bark and other flammable mulch (especially from against buildings),
- Thin out under-story vegetation to provide horizontal separation between fuels,
- Prune low-hanging tree branches (<2m from the ground) to provide (vertical separation between fuel layers,
- Prune larger trees to maintain a 6 metre horizontal separation between canopies,
- Minimise the storage of flammable materials such as firewood,
- Maintain vegetation clearance around vehicular access and water supply points,
- Use low-flammability species for landscaping purposes where appropriate,
- Clear out any accumulated leaf and other debris from roof gutters and other accumulation points.

It is not necessary to remove all vegetation from the hazard management area, trees may provide protection from wind borne embers and radiant heat under some circumstances.

**CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE
ITEM****Section 321**

To: *Owner /Agent*
 Address
 Suburb/postcode

Form **55****Qualified person details:**

Qualified person:
 Address:
 Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: *(description of the assessable item being certified)*
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

Attachment 2

building work, plumbing work or plumbing installation or demolition work
OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Report for 4 Sandstone Court, Hadspen. 11th of March 2026, J12695v1.0. Bushfire Hazard Management Plan for 4 Sandstone Court, Hadspen. 11th of March 2026, J12695v1.0. And Form 55
Relevant	BAL assessed as per AS3959-2018 for the proposed class 1a habitable building identified on the BHMP
References:	AS3959-2018 Construction of Buildings in Bushfire-prone Areas Building Regulations 2016 National Construction Code (NCC) – Vol. 2 Directors Determination - Bushfire Hazard Areas, v1.2, 16 th July 2024

Substance of Certificate: (what it is that is being certified)

Bushfire Attack Level Assessment in accordance with AS3959-2018 and determination of other mitigation measures as required by the relevant Directors Determination as cited in the Bushfire Hazard Report and on the BHMP.
Design and construction for the proposed class 1a habitable building must be to a minimum standard of **BAL-12.5** (sections 3 and 5 of AS3959-2018).

Scope and/or Limitations

Scope: The bushfire hazard assessment was undertaken at the site to determine whether there is sufficient risk to the proposed class 1a habitable building from bushfire to warrant specific bushfire hazard management measures.

Limitations:

The assessment relates to bushfire hazard only.


The assessor has taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

The report only identifies the size, volume, and status of vegetation at the time the site assessment was undertaken, impacts of future development and vegetation growth have not been considered.

No liability will be accepted by the assessor for actions undertaken by the owners or others that compromise the effectiveness of the measures outlined in this assessment.

The effectiveness of the bushfire safety measures outlined in the assessment are reliant on their implementation and ongoing maintenance.

I certify the matters described in this certificate.

Qualified person:	Signed: 	Certificate No: J12695	Date: 11/03/2026
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