

PLANNING NOTICE

An application has been received for a Permit under s.57 of the *Land Use Planning Approvals Act 1993*:

APP NO.:	PA\26\0226
APPLICANT:	6ty Pty Ltd
SITE:	5-7 Bradford Avenue, Prospect Vale (CTs: 6080/10 & 62093/6)
PROPOSAL:	Multiple dwellings (8 existing, 1 new) – private open space, privacy, parking areas, attenuation area.

The application can be inspected until **Thursday, 16 April 2026**, at www.meander.tas.gov.au or at the Council Office, 26 Lyall Street, Westbury (during normal office hours).

Written representations may be made during this time addressed to the General Manager, PO Box 102, Westbury 7303, or by email to planning@mvc.tas.gov.au. Please include a contact phone number. Please note any representations lodged will be available for public viewing.

If you have any questions about this application please do not hesitate to contact Council's Planning Department on 6393 5320.

Notified on 28 March 2026.

Jonathan Harmeyp
GENERAL MANAGER

APPLICATION FORM

PLANNING PERMIT

Land Use Planning and Approvals Act 1993



- Application form & details **MUST** be completed **IN FULL**.
- Incomplete forms will not be accepted and may delay processing and issue of any Permits.

OFFICE USE ONLY

Property No:	<input type="text"/>	Assessment No:	<input type="text"/>	-	<input type="text"/>	-	<input type="text"/>
DA\	<input type="text"/>	PA\	<input type="text"/>	PC\	<input type="text"/>		

- Is your application the result of an illegal building work? Yes No Indicate by ✓ box
- Have you already received a Planning Review for this proposal? Yes No
- Is a new vehicle access or crossover required? Yes No

PROPERTY DETAILS:

Address:	<input type="text" value="5 & 7 Bradford Avenue"/>	Certificate of Title:	<input type="text" value="6080/10 & 62093/6"/>
Suburb:	<input type="text" value="Prospect Vale"/>	Lot No:	<input type="text"/>
Land area:	<input type="text"/>	<i>m² / ha</i>	
Present use of land/building:	<input type="text" value="Multiple dwellings"/>	<i>(vacant, residential, rural, industrial, commercial or forestry)</i>	

- Does the application involve Crown Land or Private access via a Crown Access Licence: Yes No
- Heritage Listed Property: Yes No

DETAILS OF USE OR DEVELOPMENT:

- Indicate by ✓ box
- | | | | |
|---|--|--------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Building work | <input type="checkbox"/> Change of use | <input type="checkbox"/> Subdivision | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Forestry | <input type="checkbox"/> Other | | |

Total cost of development (inclusive of GST): *Includes total cost of building work, landscaping, road works and infrastructure*

Description of work:

Use of building: (main use of proposed building – dwelling, garage, farm building, factory, office, shop)

New floor area: m² New building height: m

Materials: External walls: Colour:
Roof cladding: Colour:

SEARCH OF TORRENS TITLE

VOLUME 6080	FOLIO 10
EDITION 3	DATE OF ISSUE 14-Sep-2017

SEARCH DATE : 29-Aug-2022

SEARCH TIME : 10.59 AM

DESCRIPTION OF LAND

Town of PROSPECT VALE
 Lot 10 on Sealed Plan 6080
 (formerly Lots 1 & 5 on Sealed Plan No. 6080)
 Derivation : Part of Lot 971 Gtd. to H. Burrows
 Prior CT 3479/81

SCHEDULE 1

E100791 TRANSFER to JASON JOHN SHERRIFF and WENDY LOUISE
 SHERRIFF Registered 14-Sep-2017 at noon

SCHEDULE 2

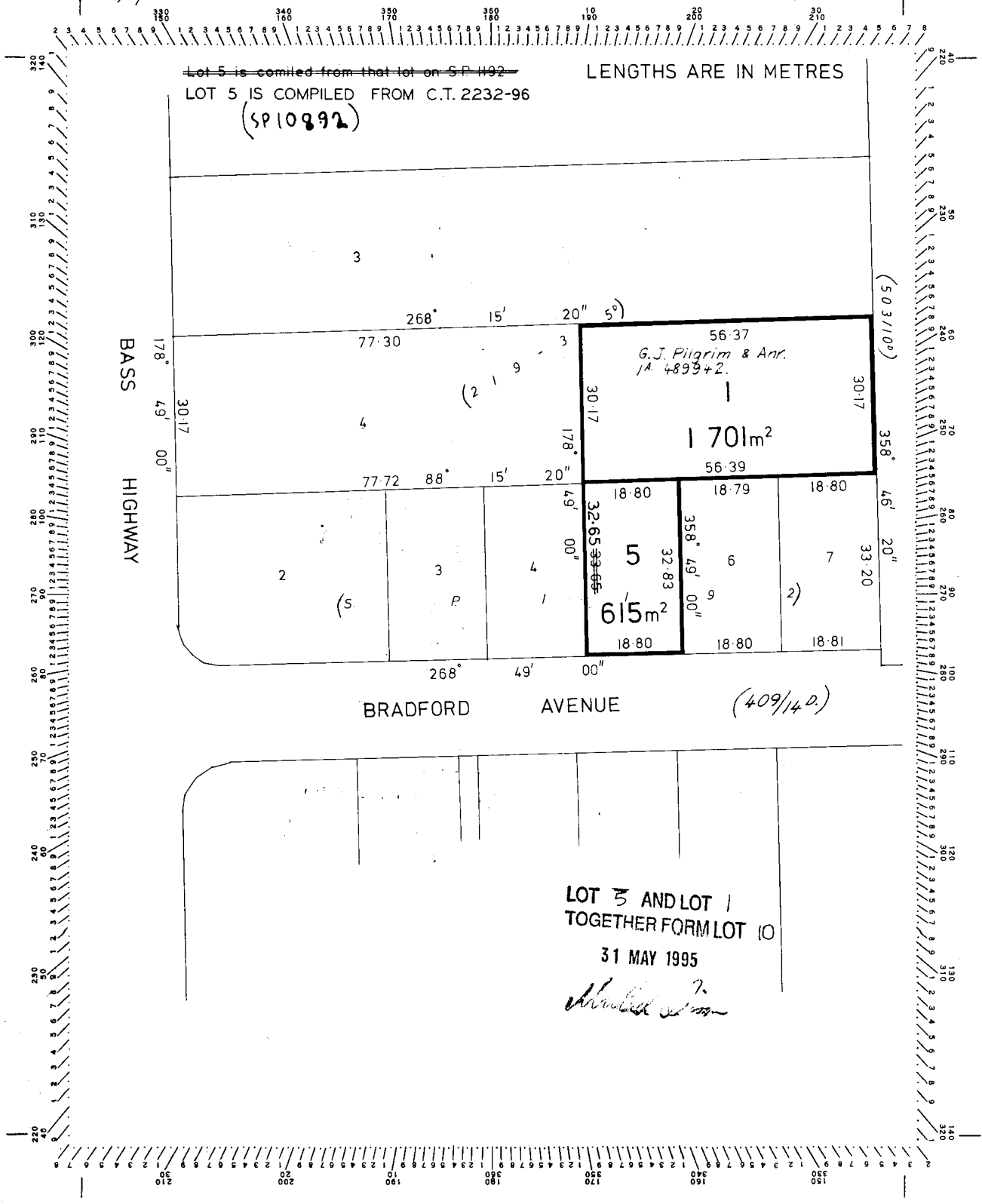
Reservations and conditions in the Crown Grant if any
 SP 6080 EASEMENTS in Schedule of Easements
 SP 1192 COVENANTS in Schedule of Easements
 A303886 FENCING PROVISION in Transfer
 130061 FENCING CONDITION in Transfer
 E100792 MORTGAGE to National Australia Bank Limited
 Registered 14-Sep-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

6080 2/7/74

<p>Owner: Robert Clive Young & Marjorie Joyce Young <i>G.J. & D.F. Pilgrim</i></p>	<p>PLAN OF SURVEY by Surveyor <i>J.W. Cohen</i> of land situated in the</p>	<p>Registered Number: S.P.6080</p>
<p>Title Reference: C.T. Vol. 2620 fol. 45 " " 2232 " 96</p>	<p>TOWN OF PROSPECT VALE</p>	
<p>Grantee: Part of Lot 97l, 32la, 3r, 25p. granted to Henry Burrows <i>Memo 8/5/74</i></p>	<p>Scale 1:750</p>	<p>Effective from: <i>17.7.75</i> P/I <i>OMA</i> <i>Asintb</i> Recorder of titles</p>



SEARCH OF TORRENS TITLE

VOLUME 62093	FOLIO 6
EDITION 5	DATE OF ISSUE 30-Nov-2017

SEARCH DATE : 25-Jun-2025

SEARCH TIME : 03.49 PM

DESCRIPTION OF LAND

Town of PROSPECT VALE
 Lot 6 on Sealed Plan 62093 (formerly being SP1192)
 Derivation : Part of Lot 971 Gtd. to H. Burrows
 Prior CT 2232/97

SCHEDULE 1

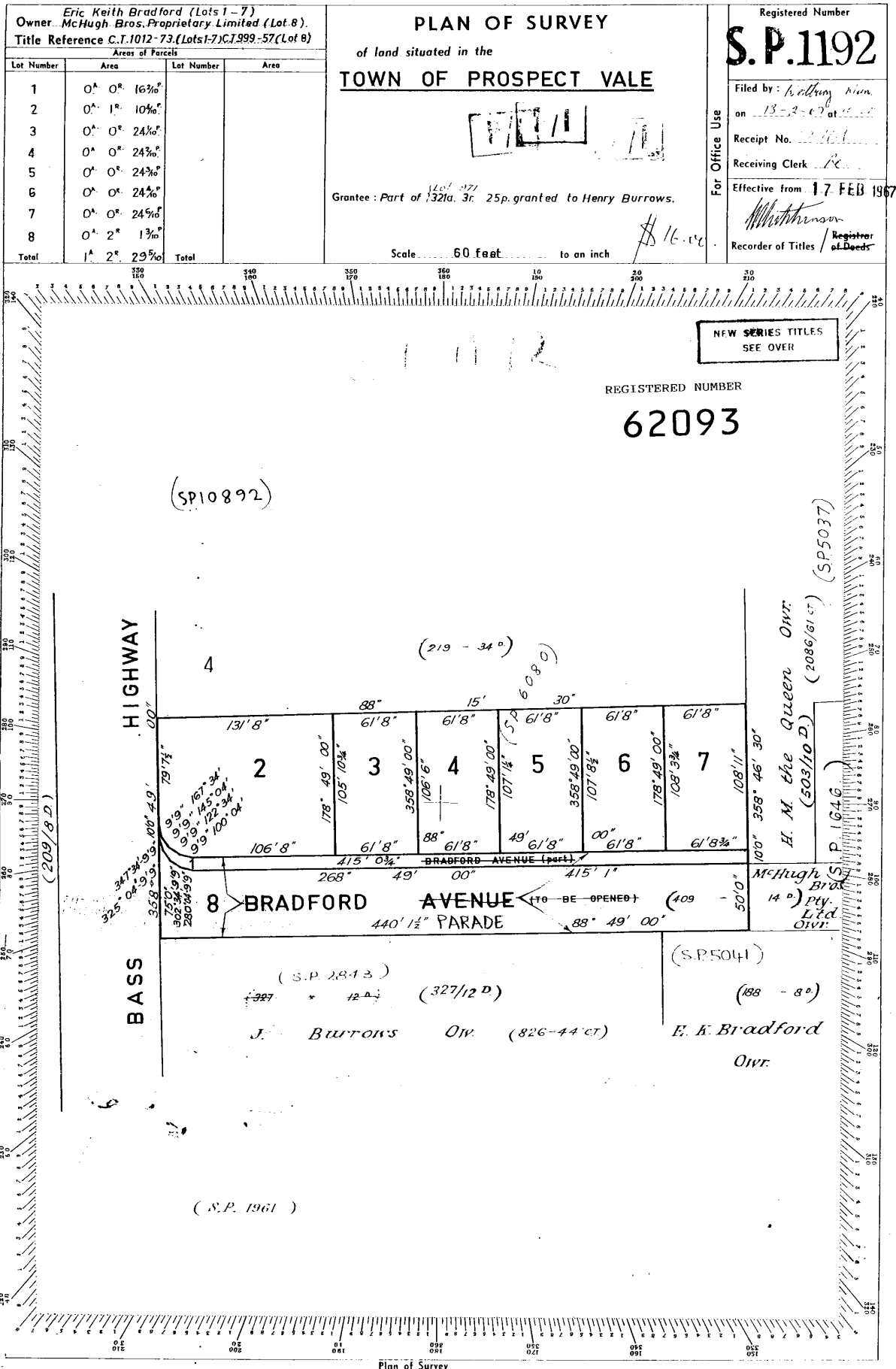
M661171 TRANSFER to WENDY LOUISE SHERRIFF and JASON JOHN SHERRIFF Registered 30-Nov-2017 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 62093 COVENANTS in Schedule of Easements
 SP 62093 EASEMENTS in Schedule of Easements
 E111948 MORTGAGE to National Australia Bank Limited
 Registered 30-Nov-2017 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

188947 Priority Sealed Plan Lodged by SIXTY DEGREES on 12-Jun-2025 BP: 188947



NOTES

confirm all dimensions prior to construction.

do not scale - if in doubt ask (admin@urbantas.com.au)

ensure all stormwater is directed away from foundations

all construction to be in accordance wit NCC volume2 2019 and relevant AUS standards

install hard wired smoke detectors near all sleeping areas and on each storey to NCC volume2 2019 3.7.5.2

all smoke alarms must be interconnected



location of hot water cylinder (H.W)



heat pump unit - indoor



heat pump unit - outdoor



concrete / paved paths to all access points of dwelling max step ht 190mm. fall away from dwelling at 1:50min direct all stormwater to s/w pits / drains to s/w system



all exhaust fans are to be ducted to exterior of building to requirements of NCC volume2 2019 3.12.3.4 and be fitted with self closing damper (or filter in rangehood) where the exhaust fan is the only source of ventilation or in areas prone to condensation hard wire fan to light switch



b/h - bulk head over
o/h - over head cupboards

floor finishes
- carpet finish over quality underlay to AS/NZ 2455

- tiling is to be carried out in accordance with AS3958. where required waterproofing to NCC volume2 3.8.1

the products used in the construction are to be suitably resistant to the actions that would be encountered and specifically fit for purpose

these plans are to be used in conjunction with written specifications and the building contract with all products included in the construction determined prior to commencement of construction

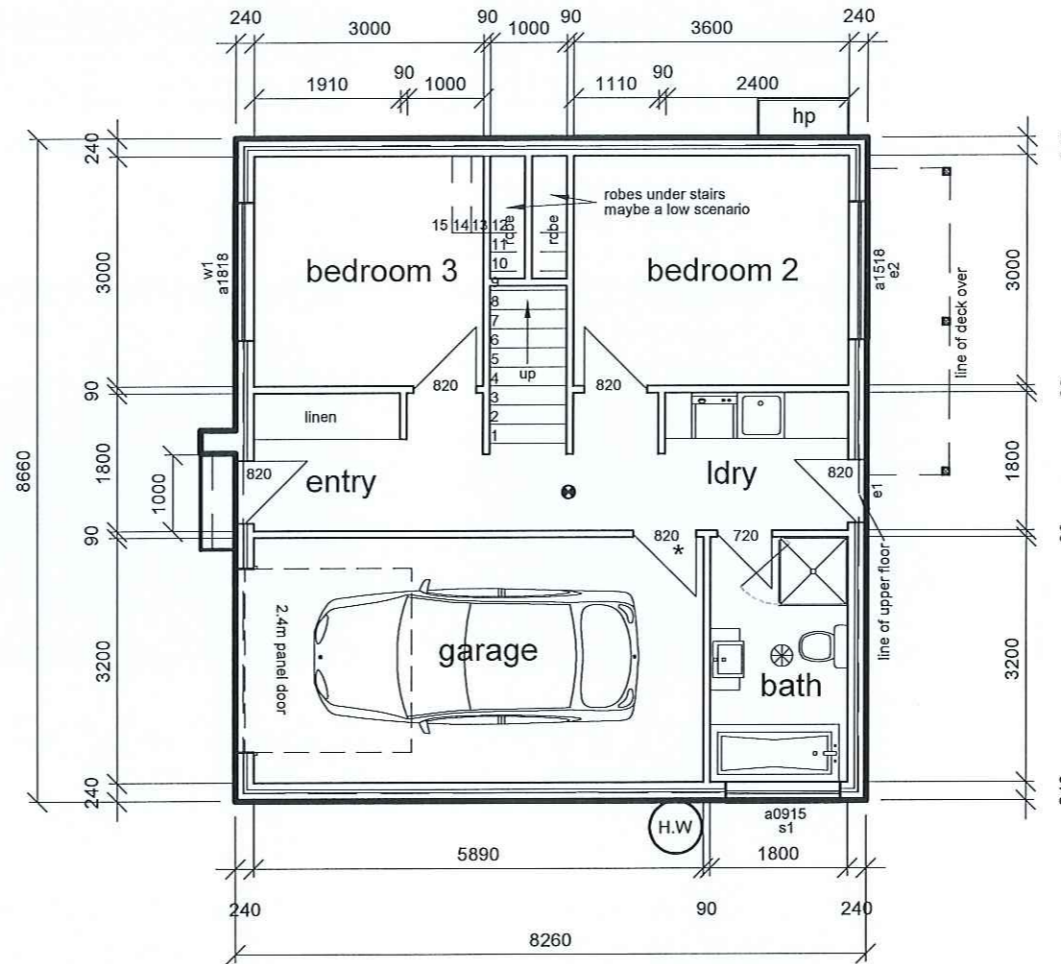
Urban Design Solutions are to be notified of any changes prior to commencement of construction these plans are to be read in conjunction with ALL other approved documents included in the Certificate of Likely Compliance as issued by the building surveyor

all associated maintenance manuals and instructions are to be handed to the owner / occupier of the dwelling prior to occupancy

* garage access to dwelling seal door to NCC volume2 2019 3.12.3.3 sealed to restrict air infiltration into the conditioned space. install draft stopper to bottom of door and a foam /rubber seal to the edges of the jamb



unit 8



upper floor area 68.18m2
lower floor area 71.53m2
total floor area 139.71m2 (15.03sq)

lower floor plan

© THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW AND ARE NOT TO BE COPIED IN ANY FORM, OR USED FOR ANY ADVERTISING PURPOSES (INCLUDING INTERNET ADVERTISING) WITHOUT WRITTEN PERMISSION OF URBAN DESIGN SOLUTIONS / JASON VAN ZETTEN	amendment
	1.
	2.
	3.
	4.

proposed unit development for: J. & W. SHERRIFF lot : 10 & 6, no. 5 & 7 Bradford Avenue Prospect Vale

dwg no. 6404	version - 03
sheet: 80 of 95	print date
date: July 2022	27 JUL 2022
scale 1:100 @ A3	
bal n/a	drawn: JVZ

URBAN DESIGN SOLUTIONS

Launceston Office Phone (03) 63 344 089
PO BOX 7647 Launceston 7250
Email admin@urbantas.com.au

Jason Van Zetten Acr.cc1952x
www.urbantas.com.au

NOTES

confirm all dimensions prior to construction.

do not scale - if in doubt ask (admin@urbantas.com.au)

ensure all stormwater is directed away from foundations

all construction to be in accordance with NCC volume2 2019 and relevant AUS standards

install hard wired smoke detectors near all sleeping areas and on each storey to NCC volume2 2019 3.7.5.2
all smoke alarms must be interconnected

location of hot water cylinder (H.W)

heat pump unit - indoor

heat pump unit - outdoor (hp)

concrete / paved paths to all access points of dwelling
max step ht 190mm. fall away from dwelling at 1:50min
direct all stormwater to s/w pits / drains to s/w system

all exhaust fans are to be ducted to exterior of building to requirements of NCC volume2 2019 3.12.3.4 and be fitted with self closing damper (or filter in rangehood) where the exhaust fan is the only source of ventilation or in areas prone to condensation
hard wire fan to light switch

b/h - bulk head over
o/h - over head cupboards

floor finishes
- carpet finish over quality underlay to AS/NZ 2455

- tiling is to be carried out in accordance with AS3958. where required waterproofing to NCC volume2 3.8.1

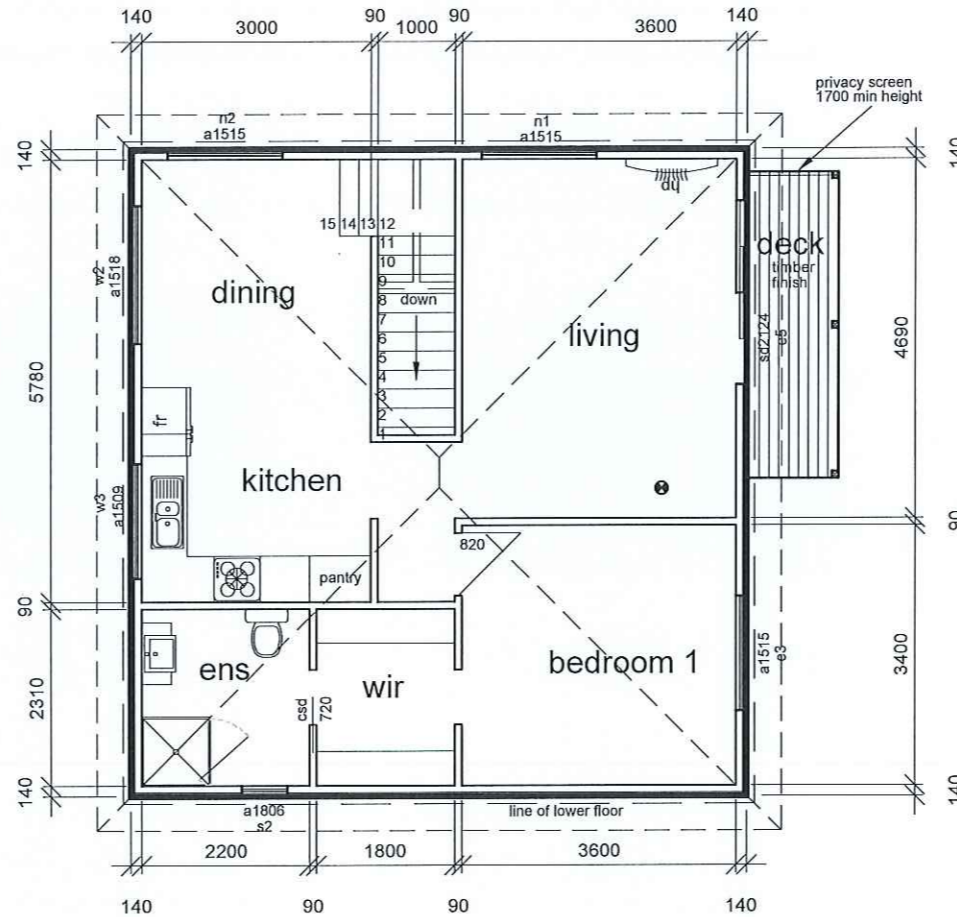
the products used in the construction are to be suitably resistant to the actions that would be encountered and specifically fit for purpose

these plans are to be used in conjunction with written specifications and the building contract with all products included in the construction determined prior to commencement of construction

Urban Design Solutions are to be notified of any changes prior to commencement of construction
these plans are to be read in conjunction with ALL other approved documents included in the Certificate of Likely Compliance as issued by the building surveyor

all associated maintenance manuals and instructions are to be handed to the owner / occupier of the dwelling prior to occupancy

* garage access to dwelling
seal door to NCC volume2 2019 3.12.3.3
sealed to restrict air infiltration into the conditioned space. install draft stopper to bottom of door and a foam /rubber seal to the edges of the jamb



upper floor plan

<p>© THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW AND ARE NOT TO BE COPIED IN ANY FORM, OR USED FOR ANY ADVERTISING PURPOSES (INCLUDING INTERNET ADVERTISING) WITHOUT WRITTEN PERMISSION OF URBAN DESIGN SOLUTIONS / JASON VAN ZETTEN</p>	amendment	<p>proposed unit development for: J. & W. SHERRIFF lot : 10 & 6, no. 5 & 7 Bradford Avenue Prospect Vale</p>	dwg no. 6404	version - 03
	1.		sheet: 81 of 95	print date
	2.		date: July 2022	27 JUL 2022
	3.		scale: 1:100 @ A3	
4.		bal n/a	drawn: JVZ	

URBAN DESIGN SOLUTIONS

Launceston Office Phone (03) 63 344 089
PO BOX 7647 Launceston 7250
Email admin@urbantas.com.au

Jason Van Zetten Accr.cc1952x
www.urbantas.com.au

FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

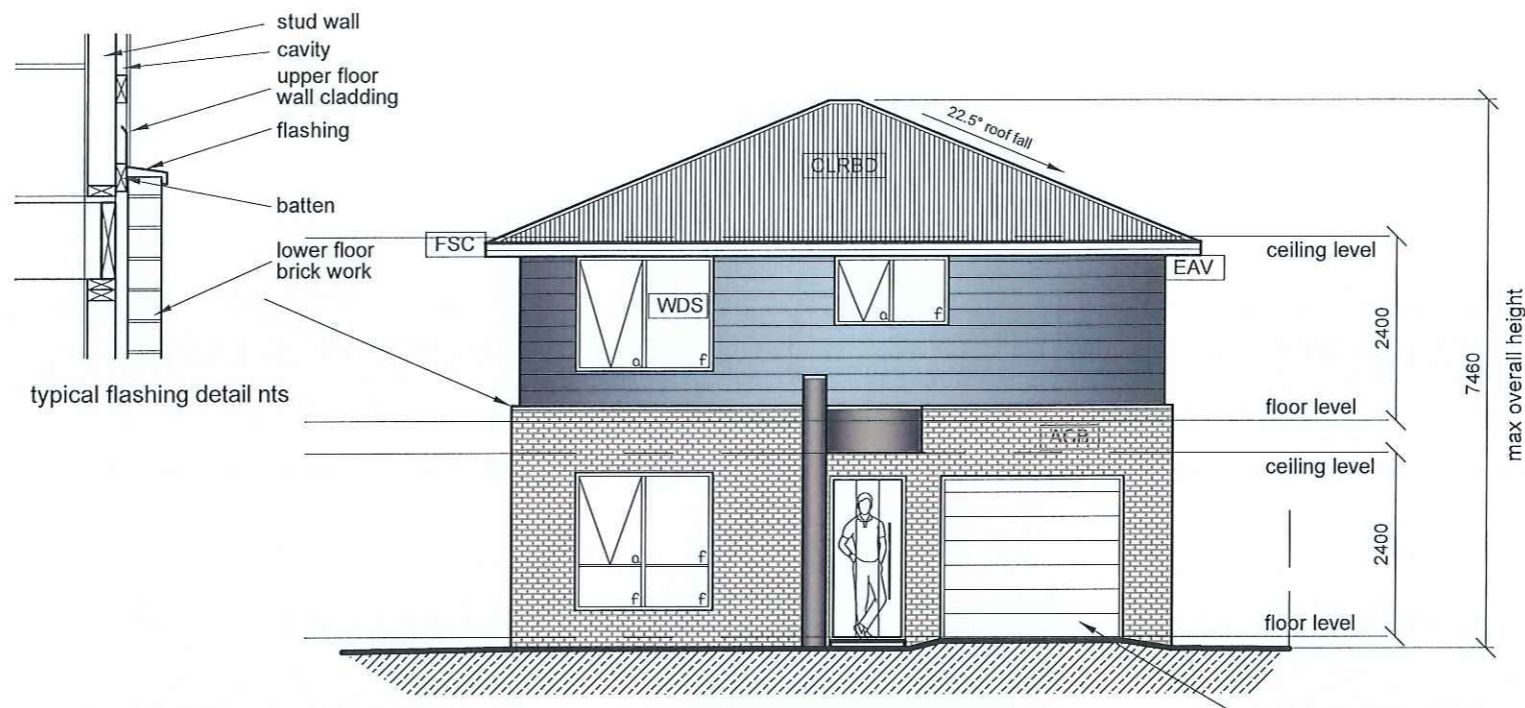
CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

WDS
windows and doors

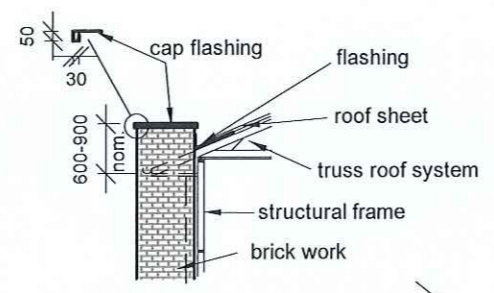
MW
Master Wall cladding system

JH-st
James Hardie stria cladding system

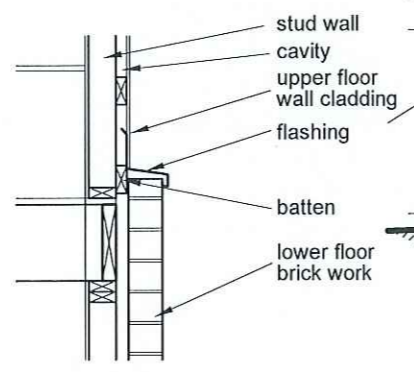


west elevation

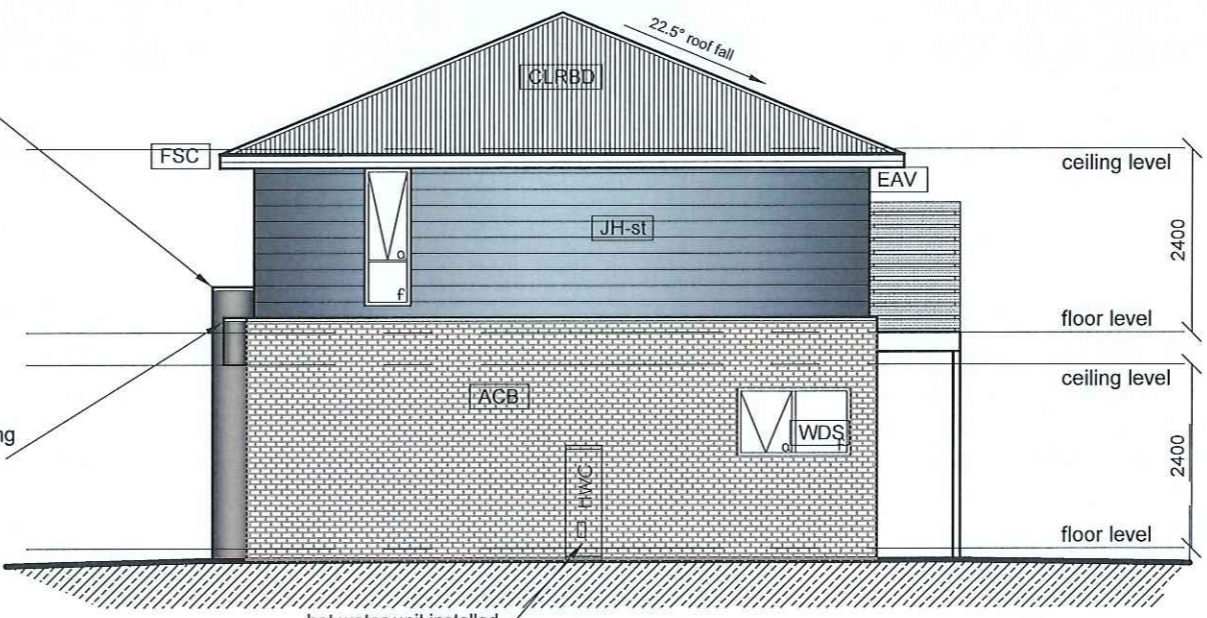
2200 x 2400mm panel lift door selected automatic garage door to comply with AS4505. beam over to engineers details centered on wall from front



typical cap flashing detail - nts
fall flashing back to front away from roof
roof flashing to direct water away from column



typical flashing detail nts



south elevation

ngl ——— natural ground level
fgl ——— finished ground level

elevations

<p>© THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW AND ARE NOT TO BE COPIED IN ANY FORM, OR USED FOR ANY ADVERTISING PURPOSES (INCLUDING INTERNET ADVERTISING) WITHOUT WRITTEN PERMISSION OF URBAN DESIGN SOLUTIONS / JASON VAN ZETTEN</p>	amendment	<p>proposed unit development for: J. & W. SHERRIFF lot : 10 & 6, no. 5 & 7 Bradford Avenue Prospect Vale</p>	dwg no. 6404	version - 03
	1.		sheet: 82 of 95	print date
	2.		date: July 2022	2 7 JUL 2022
	3.		scale 1:100 @ A3	
4.		bal n/a	drawn: JVZ	

URBAN DESIGN SOLUTIONS

Launceston Office Phone (03) 63 344 089
PO BOX 7647 Launceston 7250
Email admin@urbantas.com.au

Jason Van Zetten Acr.ct1952x
www.urbantas.com.au

FSC
colorbond pre-coated folded metal gutter and fascia trim system

EAV
eave overhang 450mm all round

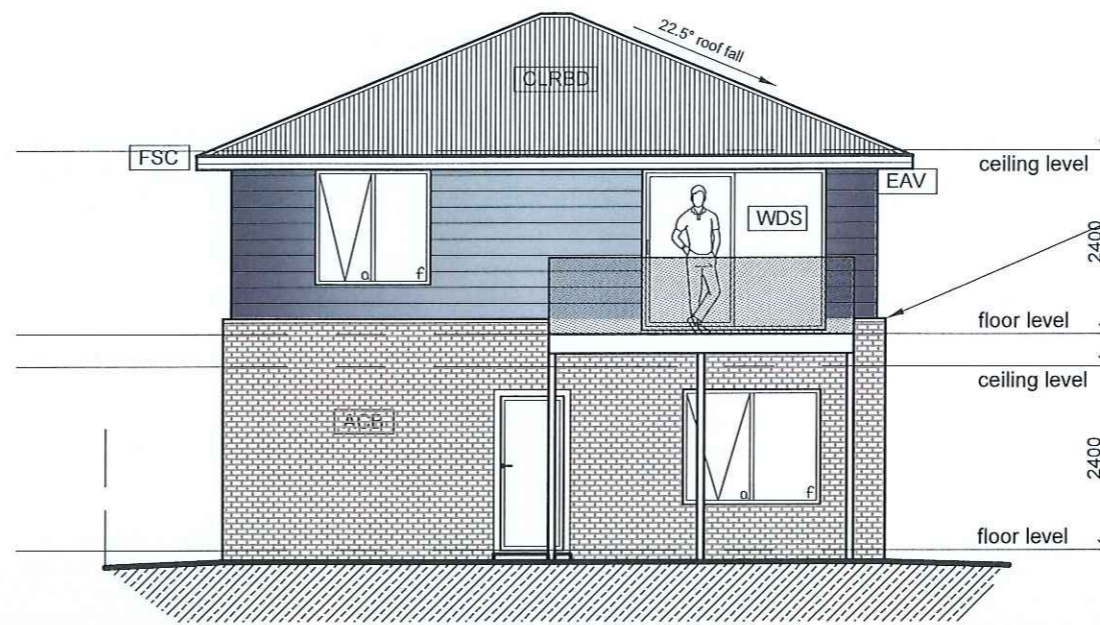
CLRBD
Colorbond 'corrugated' (min 5deg) roof

ACB
selected austral brick fired clay face bricks

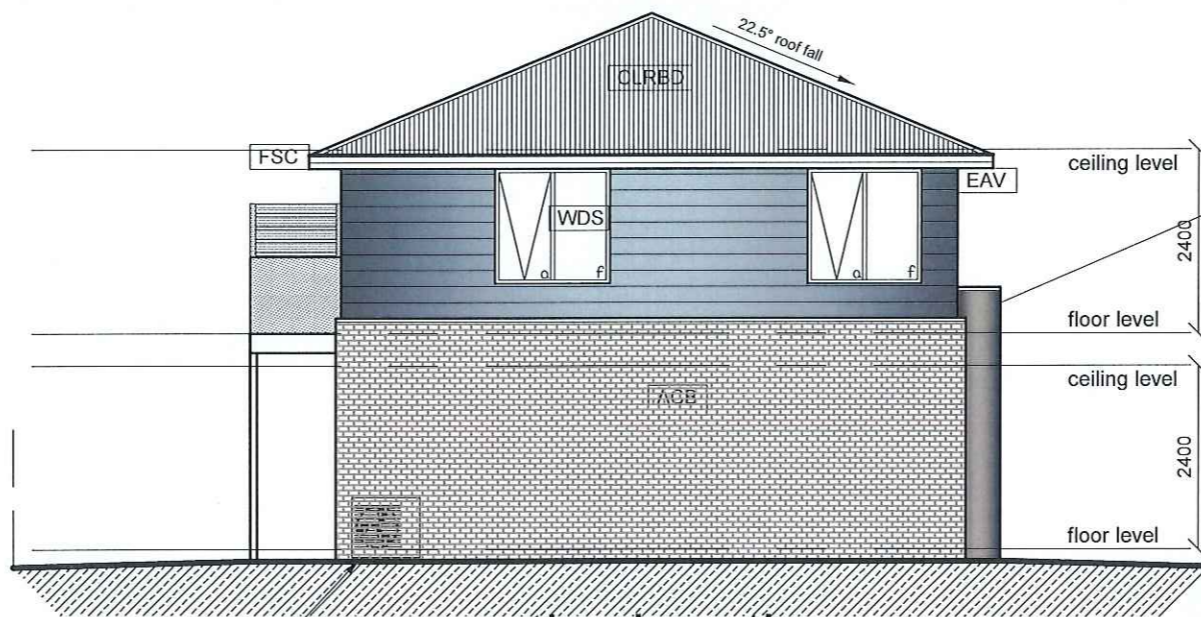
WDS
windows and doors

MW
Master Wall cladding system

JH-st
James Hardie stria cladding system



east elevation



north elevation

heat pump unit installed to manufacturers specifications

ngl ——— natural ground level
fgl ——— finished ground level

elevations

© THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW AND ARE NOT TO BE COPIED IN ANY FORM, OR USED FOR ANY ADVERTISING PURPOSES (INCLUDING INTERNET ADVERTISING) WITHOUT WRITTEN PERMISSION OF URBAN DESIGN SOLUTIONS / JASON VAN ZETTEN

amendment
1.
2.
3.
4.

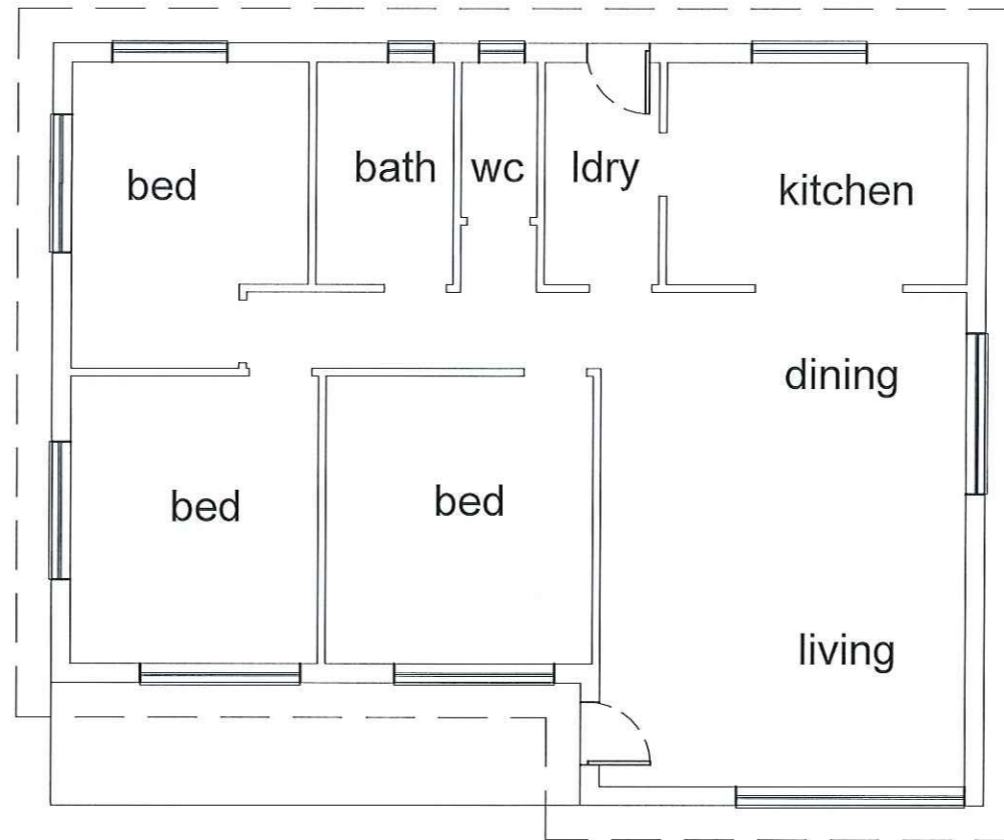
proposed unit development
for: J. & W. SHERRIFF
lot : 10 & 6, no. 5 & 7
Bradford Avenue
Prospect Vale

dwg no.	6404	version -	03
sheet:	83	of	95
date:	July 2022		
scale	1:100 @ A3		
bal	n/a		
		print date	7 JUL 2022
		drawn:	JVZ

URBAN
DESIGN SOLUTIONS

Launceston Office Phone (03) 63 344 089
PO BOX 7647 Launceston 7250
Email admin@urbantas.com.au

Jason Van Zetten Accr. cc1952x
www.urbantas.com.au



existing floor plan

<small>© THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW AND ARE NOT TO BE COPIED IN ANY FORM, OR USED FOR ANY ADVERTISING PURPOSES (INCLUDING INTERNET ADVERTISING) WITHOUT WRITTEN PERMISSION OF URBAN DESIGN SOLUTIONS / JASON VAN ZETTEN</small>	amendment	proposed unit development	dwg no. 6404	version - 02
	1.	lot : 10 & 6, no. 5 & 7 Bradford Avenue Prospect Vale	sheet: 09 of 30	print date
	2.		date: March 2021	21 MAY 2021 drawn: JVZ
	3.		scale 1:100 @ A3	
	4.		bal n/a	

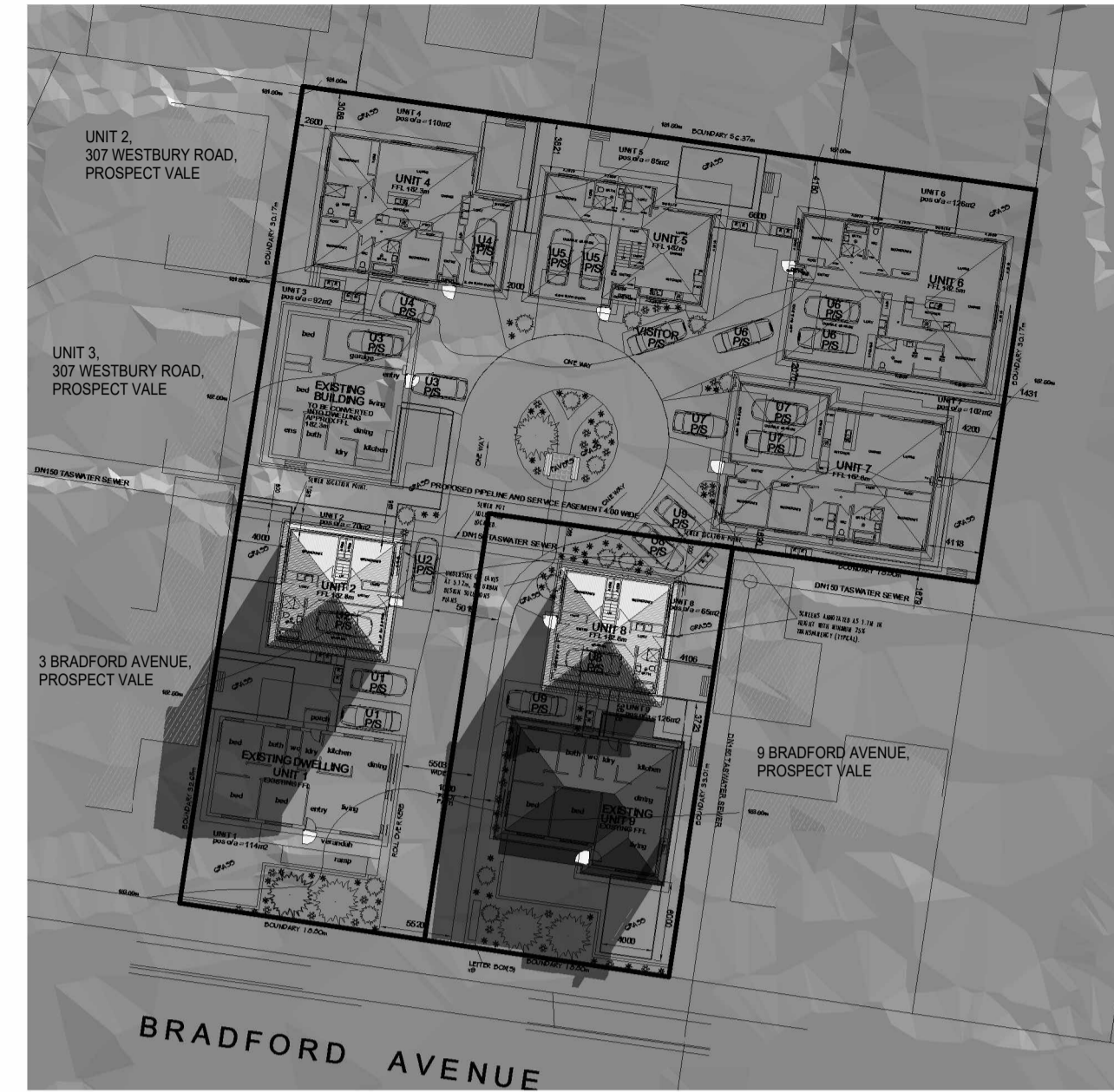
URBAN
DESIGN SOLUTIONS

Launceston Office Phone (03) 63 344 089
 PO BOX 7647 Launceston 7250
 Email admin@urbantas.com.au

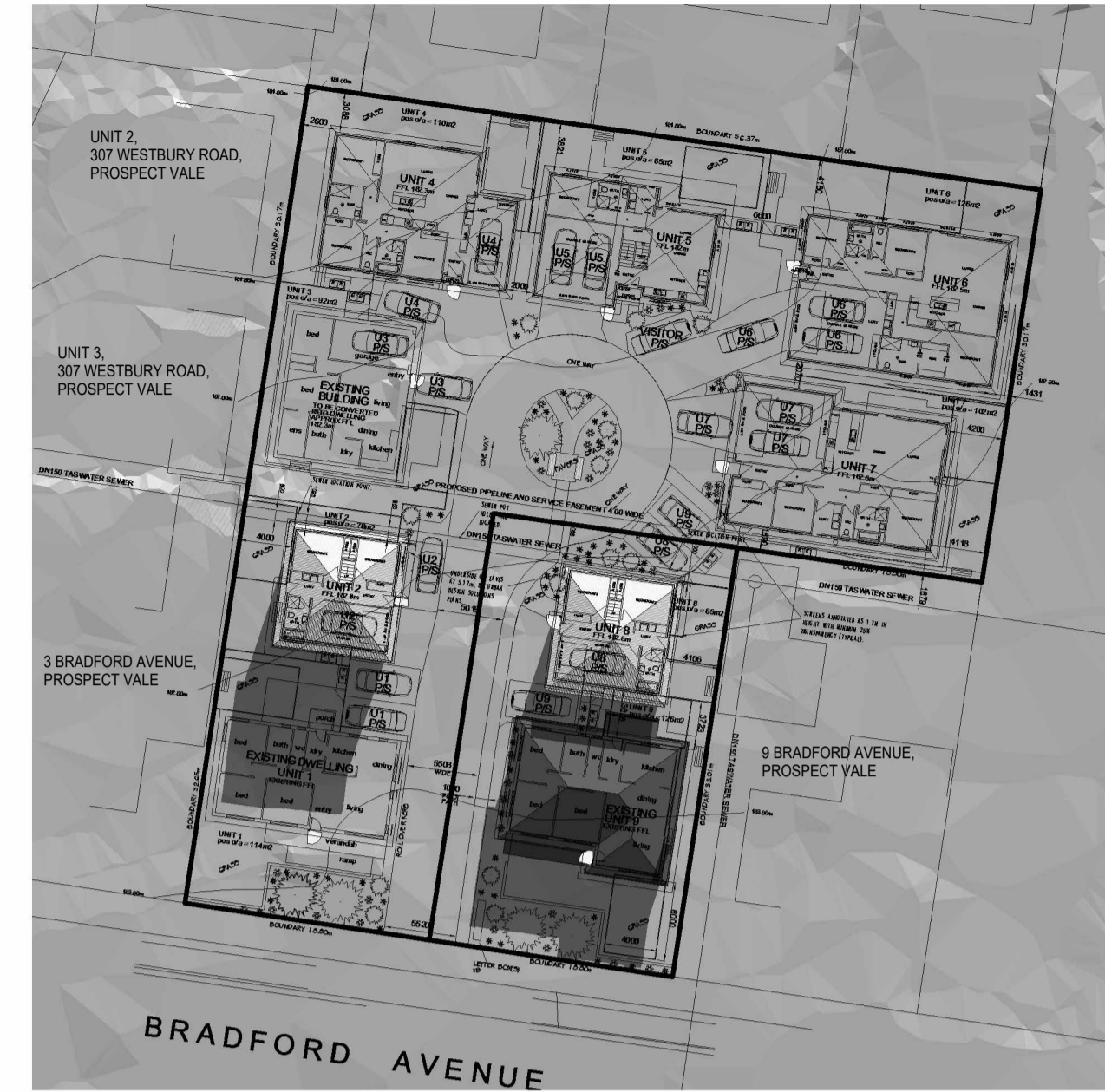
Jason Van Zetten Acr.cc1952x
 www.urbantas.com.au



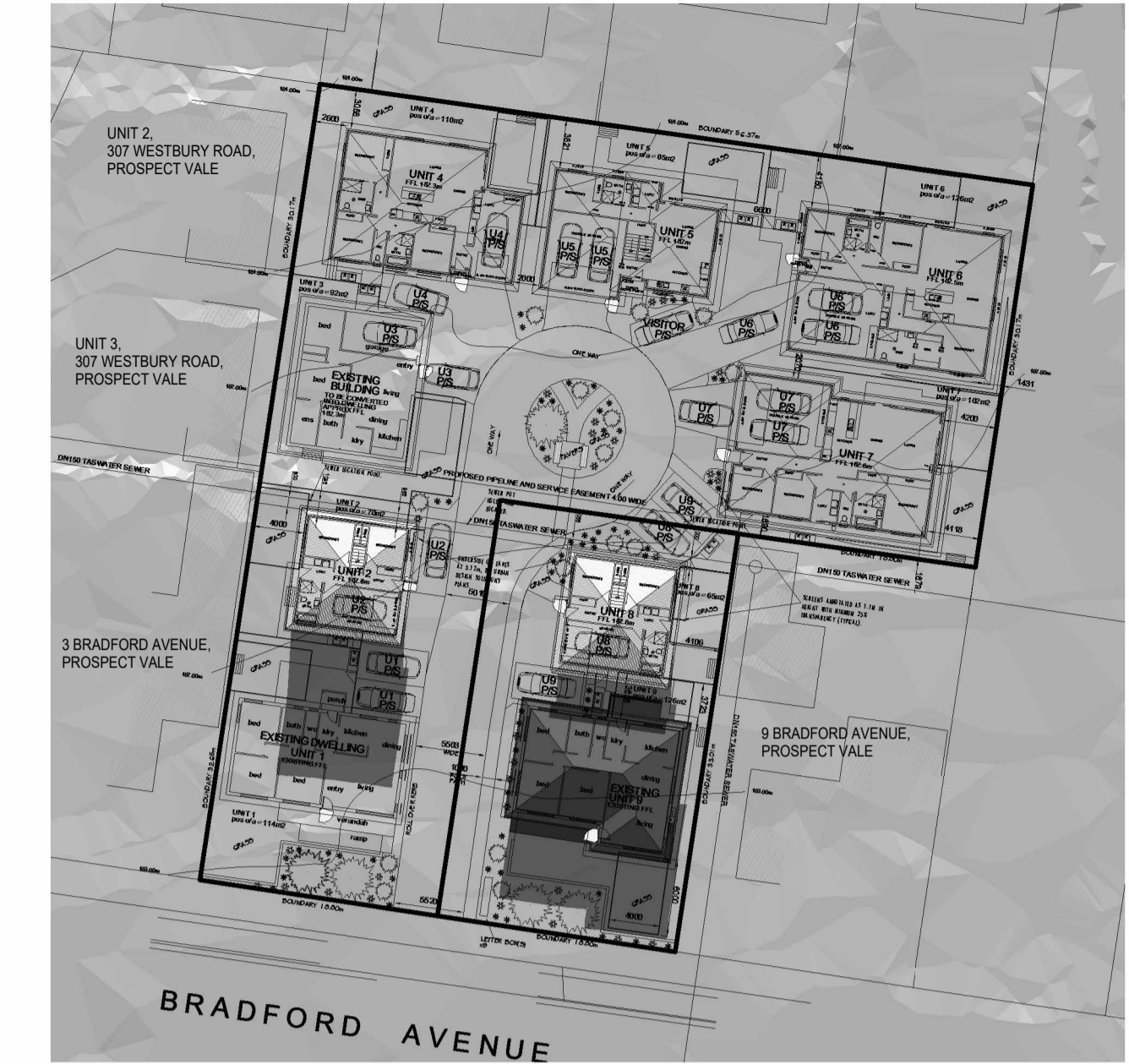
SHADOW DIAGRAM JUNE 21 - 10AM
SCALE



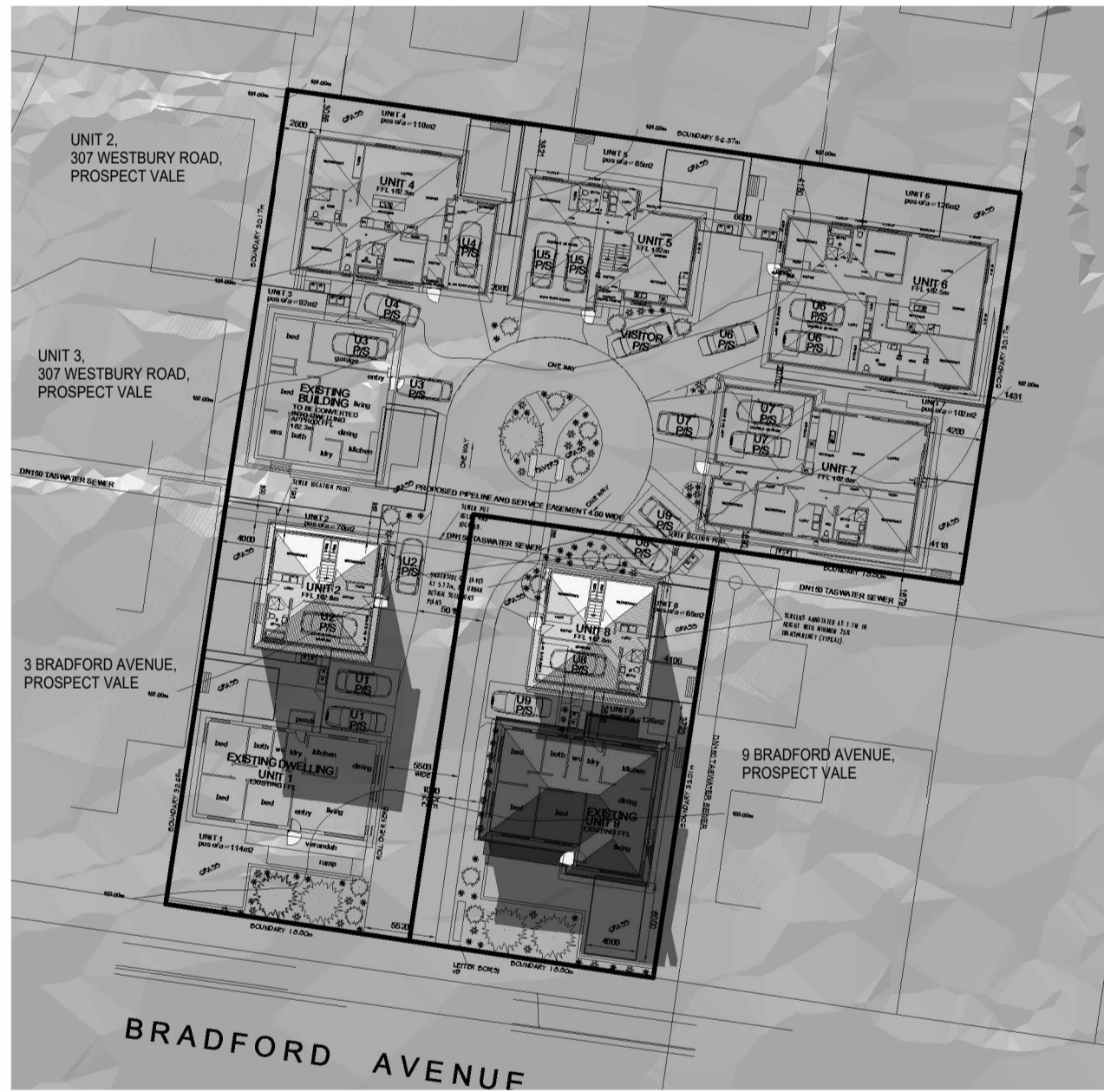
SHADOW DIAGRAM JUNE 21 - 11AM
SCALE



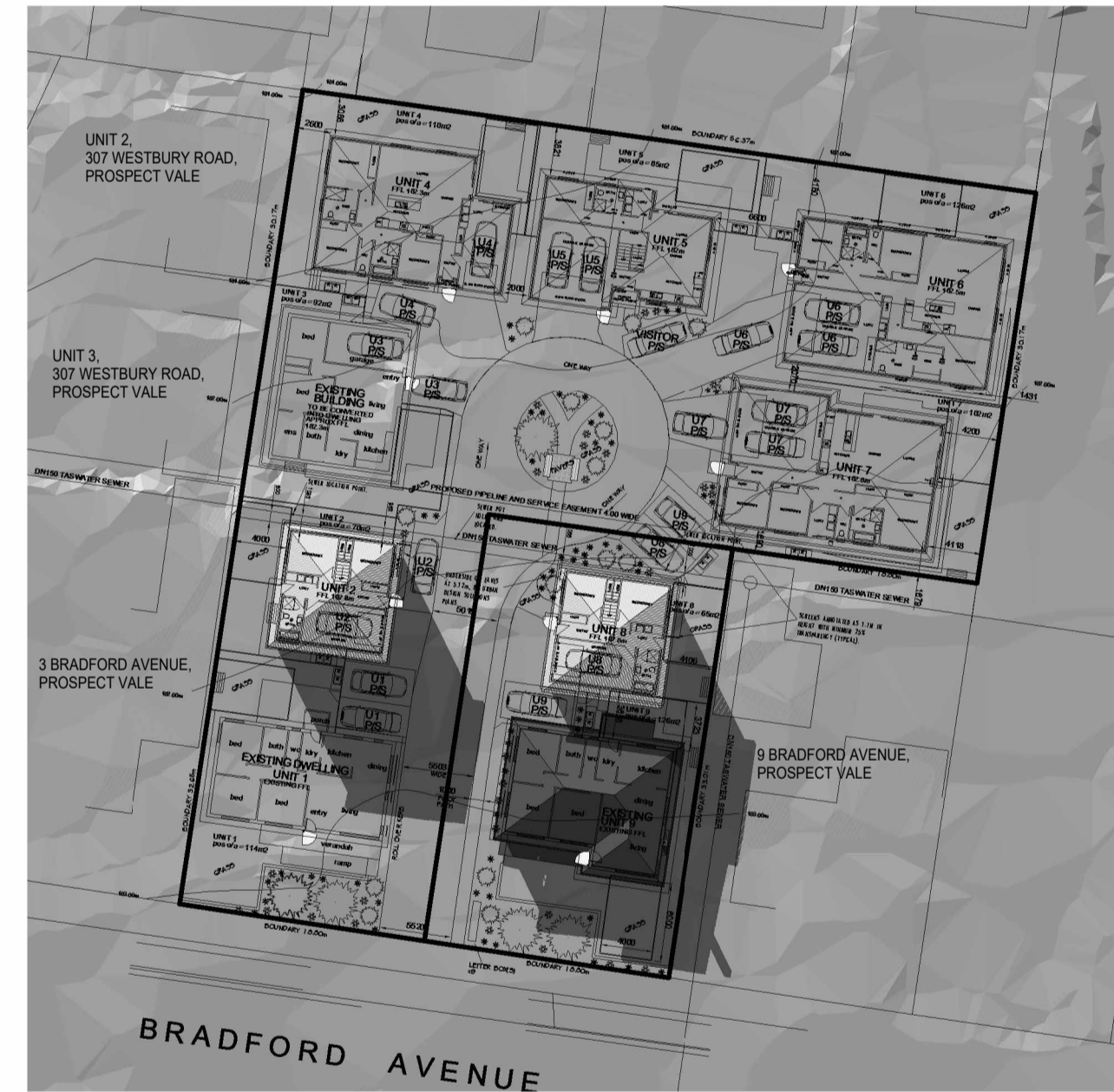
SHADOW DIAGRAM JUNE 21 - 12PM
SCALE



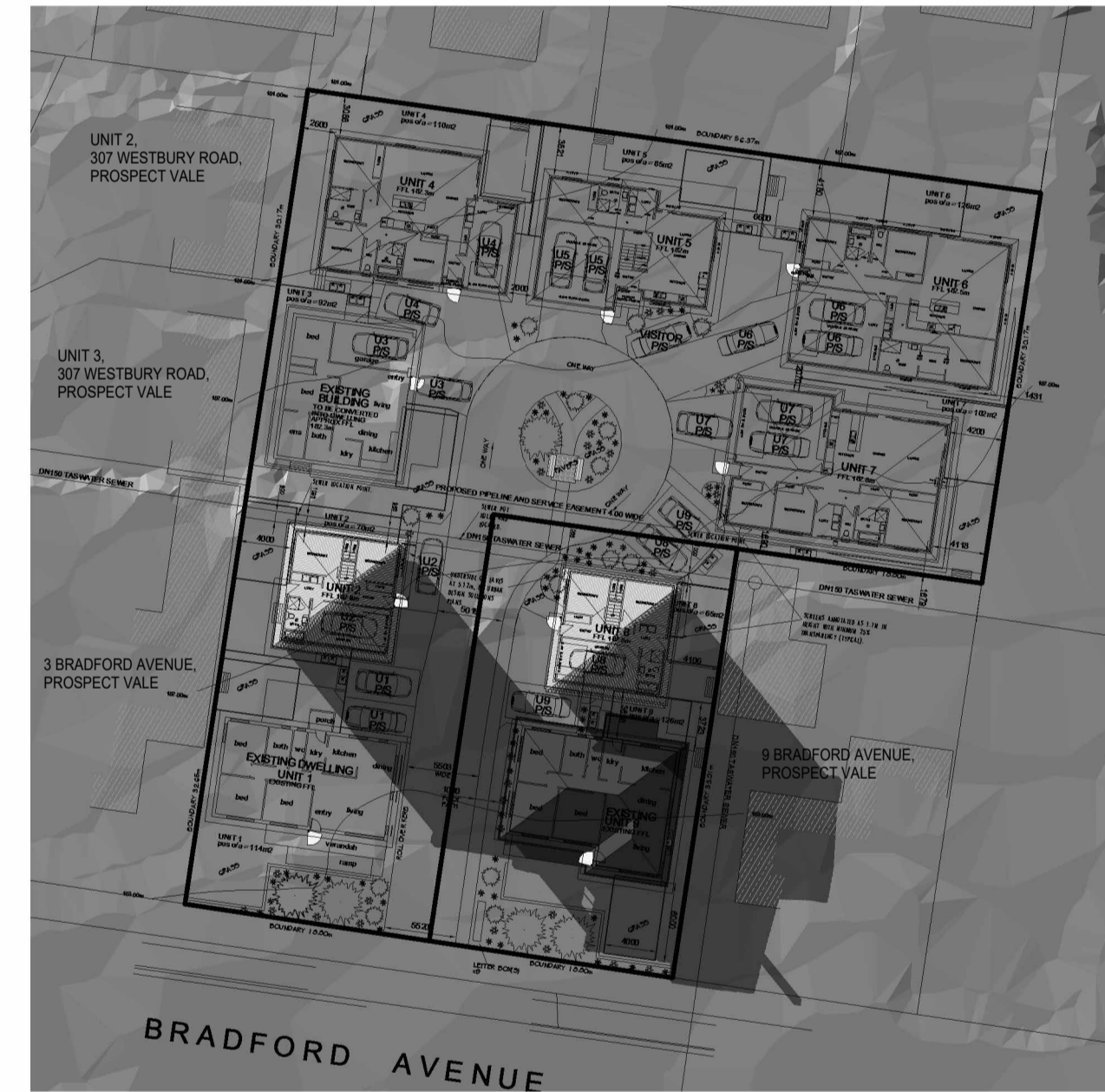
SHADOW DIAGRAM JUNE 21 - 1PM
SCALE



SHADOW DIAGRAM JUNE 21 - 2PM
SCALE



SHADOW DIAGRAM JUNE 21 - 3PM
SCALE



SHADOW DIAGRAM JUNE 21 - 4PM
SCALE



SHADOW DIAGRAM JUNE 21 - 5PM
SCALE

18 March 2026

6ty Pty Ltd
ABN 27 014 609 900

Natasha Whitely
Team Leader -Town Planning
Meander Valley Council

Postal Address
PO Box 63
Riverside
Tasmania 7250
W 6ty.com.au
E admin@6ty.com.au

By Email: planning@mvc.tas.gov.au

Tamar Suite 103
The Charles
287 Charles Street
Launceston 7250
P (03) 6332 3300

Dear Natasha

57 Best Street
PO Box 1202
Devonport 7310
P (03) 6424 7161

DEVELOPMENT APPLICATION – 5-7 BRADFORD AVENUE, PROSPECT VALE – MULTIPLE DWELLINGS

6ty° Pty Ltd has been engaged by Jason Sherriff to prepare a new development application for approval of two multiple dwellings that form part of a 9 unit development across two existing titles at 5-7 Bradford Avenue, Prospect Vale (the site).

Council have previously approved the 9 unit development (PA\21\0304). As discussed in correspondence with Council, changes to the unit layout have been required, necessitating this new DA for approval of Units 8 and 9.

The change has generated a new discretion regarding the provision of Private Open Space for Unit 9.

An assessment of Clause 8.4.3 is provided below.

1. Development Standards for Dwellings - Clause 8.4.3

8.4 Development Standards for Dwellings			
Standard		Assessment	Compliance
8.4.3 Site coverage and private open space for all dwellings			
A1	Dwellings must have: (a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and	While this application relates to Units 8 and 9 only, the total site coverage of the 9 unit development is approximately 44%. Site area is 2933m ² . The total coverage of existing and proposed dwellings is 1293.3m ² .	Complies with Acceptable Solution

8.4 Development Standards for Dwellings

Standard	Assessment	Compliance
	<p>(b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</p>	<p>All of the proposed dwellings have a total area of private open space that exceeds 60m².</p> <p>Complies with Acceptable Solution</p>
<p>A2</p>	<p>A dwelling must have private open space that:</p> <p>(a) is in one location and is not less than:</p> <p>(i) 24m²; or</p> <p>(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(b) has a minimum horizontal dimension of not less than:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p>	<p>Units 8 and 9 each have an area of private open space of 24m² in one area.</p> <p>Complies with Acceptable Solution</p> <p>None of the proposed dwellings have a finished floor area entirely above 1.8m.</p> <p>Not Applicable</p> <p>Units 8 and 9 each have an area of private open space with a minimum horizontal dimension of 4m.</p> <p>Complies with Acceptable Solution</p> <p>None of the proposed dwellings have a finished floor area entirely above 1.8m.</p> <p>Not Applicable</p>

8.4 Development Standards for Dwellings		
Standard	Assessment	Compliance
(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and	<p>The private open space for Unit 8 is compliant, as it not located between the dwelling and the frontage.</p> <p>The nominated 24m² of private open for the existing Unit 9 is located between the dwelling and the frontage. The frontage is not oriented between 30 degrees west and east of true north.</p> <p>Assessment against the Performance Criteria is required.</p>	Relies on Performance Criteria
(d) has a gradient not steeper than 1 in 10.	The proposed private open space areas have a gradient no steeper than 1 in 10.	Complies with Acceptable Solution

8.4.3 Site coverage and private open space for all dwellings	
Objective	
<p>That dwellings are compatible with the amenity and character of the area and provide</p> <ul style="list-style-type: none"> (a) for outdoor recreation and the operational needs of the residents; (b) opportunities for the planting of gardens and landscaping; and (c) private open space that is conveniently located and has access to sunlight. 	
Performance Criteria P2	Assessment
A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:	<p>Unit 9 will be provided with a suitable area of private open space that can meet the needs of the occupants.</p> <p>The nominated area of private open space is located directly outside the living space</p>

<p>(a) conveniently located in relation to a living area of the dwelling; and</p> <p>(b) orientated to take advantage of sunlight.</p>	<p>of the dwelling. The area is more than 4m wide and joins to the other areas of private open space to the side and rear of the dwelling.</p> <p>The private open space will be provided with a fence and landscaping to provide privacy from the street.</p> <p>The provided shadow diagrams show that the private open space at the front of the dwelling will have at least partial access to sunlight during winter mornings and again in the late afternoon around 5pm.</p> <p>The smaller areas of private open space along the eastern side of the dwelling and to the rear will retain good solar access until after 1pm, supplementing the availability of sunlight for the occupants.</p> <p>Overall, it is considered that the proposed dwelling will be provided with a sufficient area of private open space that is orientated to receive sufficient sunlight.</p>
--	---

Please do not hesitate to contact me should you have any queries on this application.

Yours faithfully
6ty° Pty Ltd



Jacqui Tyson
 Planning Consultant