
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025161**

Location: **15-17 Boyes Street, Turners Beach**

Proposal: **Subdivision (boundary adjustment),
new dwelling;**

Performance Criteria: ***C2.0 Parking and Sustainable Transport
Code***

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2015*.

The representation must be made on or before **8 October 2025**

Date of Notification: **24 September 2025**

CENTRAL COAST COUNCIL
PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION

CENTRAL COAST COUNCIL **CENTRAL COAST COUNCIL**
LAND USE PLANNING
Received: 11/07/2025
Application No: DA2025161
Doc ID: 524807

Office use only: Zone: Permit Pathway – NPR/Permitted/Discretionary

Use or Development Site:

Site Address

15-17 Boyes Street, Turners Beach

Certificate of
Title Reference

CT 86498/1 & CT 86498/2

Land Area

Heritage Listed Property

NO

YES

Applicant(s)

First Name(s)

Agent acting on behalf of the owners

Surname(s)

Company name
(if applicable)

Michell Hodgetts Surveyors

Contact No:

6424 5144

Postal Address:

PO BOX 712, DEVONPORT TAS 7310

Email address:

mhasurv@bigpond.net.au

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s)

Nathan
Kate

Middle Names(s)

John
Marie

Surname(s)

Dick
Depaoli

Company name (if applicable)

Postal Address:

15-17 Boyes Street, Turners Beach 7315

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Residential

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Subdivision/Boundary Adjustment

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$ 10000 Estimate/ Actual

Total floor area of the developmentm²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

John Turnbull of Michell Hodgetts Surveyors, Agent acting on behalf of the owners I, , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant

Date 10/07/2025

If the application involves land within a Strata Corporation

I, , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, _____ the Minister
responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we John Turnbull of Michell Hodgetts Surveyors, Agent acting on behalf of the owners
declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s _____ Date 10/07/2025



Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/07/2025
Application No: DA2025161
Doc ID: 524811

REGISTERED NUMBER
86498

GRAM FROM ACTUAL SURVEY **D 578/28**

TURNERS BEACH
TOWN OF LEITH

Scale - 40 feet to an inch

No. OF APPLICATION

W.B. Hawkins & Ors.
887-55 CT.

SEC. B.
Part of Lot 6. 1. 0
Granted to Thomas Ernest Hardy

LANDS TITLES OFFICE
- 4 JAN 1966
TASMANIA

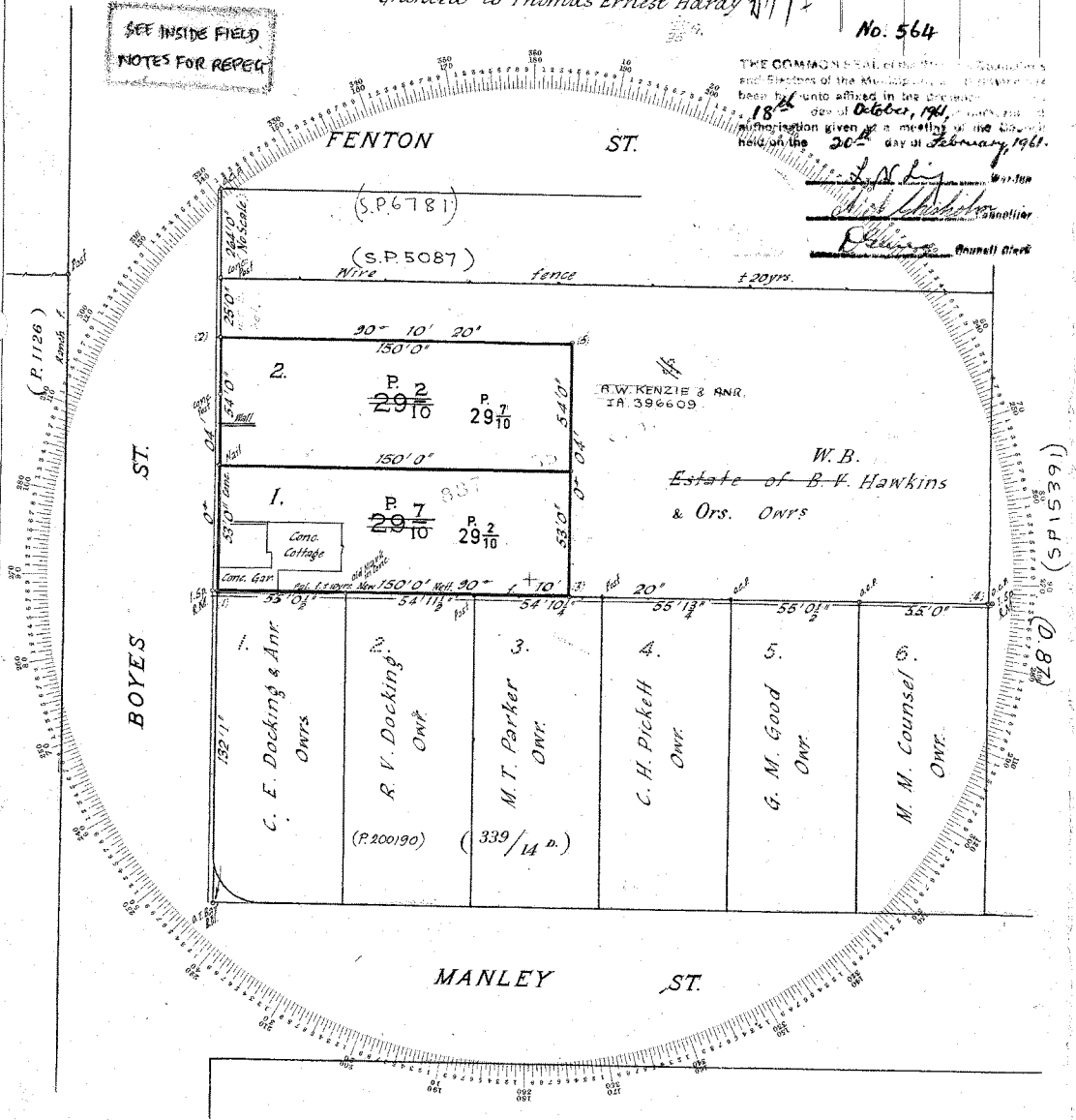
REFERENCE TO CORNERS

CR.	BEARING	DISTANCE	FROM
1.	30° 10' 20"	2' 0"	1 Spike
4.	270° 10' 20"	1' 11 1/2"	"

No. 564

SEE INSIDE FIELD
NOTES FOR REPEAT

THE COMMON SEAL of the Tasmanian Government and the Seal of the Registrar of Land Titles have been affixed in the presence of the Registrar on the day of October, 1961, in pursuance of the authorisation given at a meeting of the Council held on the 20th day of February, 1961.



To be filled in by Surveyor

Date of Instructions
Survey commenced
Survey finished 9. 10. '61
Error of close in NIL

Office Examination

Plot Regulations Checked 1/2 27. 11. '64
Computations Checked 1/2 27. 11. '64
Boundaries Checked 1/2 22. 12. '64
Entered on Diagrams
Entered on General Plan
State Permanent Marks
Finally examined

May be acted upon
Acted upon 27/1/69

PURCHASER'S NAME	ACT	DATE OF CONTRACT	GRANTED	Report
Brian Stanley Banks & Ulverstone				

Registered Surveyor of Tasmania, do hereby certify that this plan has been made from surveys executed by me, or under my own personal supervision and field check, and that the same are correct and have been made in accordance with the provisions of the Land Titles Act 1980.

Dated this 27th day of October 1961

B. S. Banks
Authorized Surveyor.

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 11/07/2025
Application No: DA2025161
Doc ID: 524812

GRAM FROM ACTUAL SURVEY **D 578/28**

REGISTERED NUMBER **86498**

TURNERS BEACH
TOWN OF LEITH

SEC. B.

Scale - 40 feet to an inch

Part of Lot 6. 1. of 0 TASMANIA

Granted to Thomas Ernest Hardy

LANDS TITLES OFFICE
- 4 JAN 1966
2.30

REFERENCE TO CORNERS

CR.	BEARING	DISTANCE	FROM
1.	30° 10' 20"	2' 0"	1. Spike
4.	270° 10' 20"	1' 11 3/4"	"

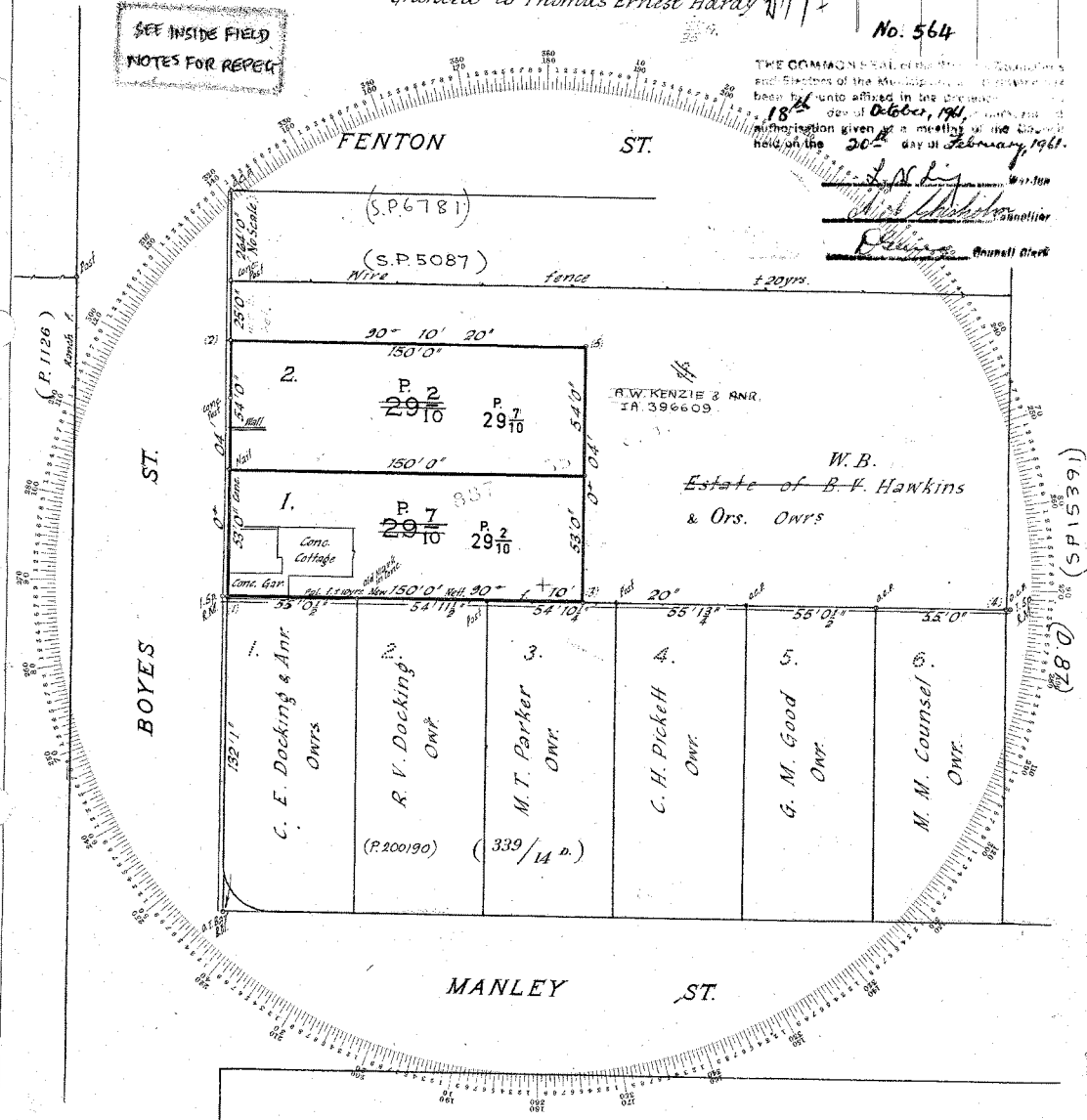
No. 564

No. OF APPLICATION
W.B. Hawkins & Ors.
887-55 CT.

SEE INSIDE FIELD
NOTES FOR REPEAT

THE COMMON SEAL of the Tasmanian Government and the Seal of the Registrar of Titles have been affixed in the presence of a Justice of the Peace on the 18th day of October, 1961, in pursuance of the authorisation given at a meeting of the Council held on the 20th day of February, 1961.

J. M. King Justice of the Peace
John J. O'Connell Registrar of Titles
William J. Burnett Clerk



To be filled in by Surveyor

Date of Instructions
Survey commenced
Survey finished 9-10-61
Error of close 1 in NIL

Office Examination

Plot Regulations Checked *W.L.* 27-11-64
Computations Checked *W.L.* 27-11-64
Boundaries Checked *B.L.* 22-12-64
Entered on Diagrams
Entered on General Plan
State Permanent Marks
Finally examined

May be acted upon
Acted upon *W.L.* 27/1/69

PURCHASER'S NAME	ACT	DATE OF CONTRACT	GRANTED
Brian Stanley Banks & Ulverstone			

Report

Registered Surveyor of Tasmania, do hereby certify that this plan has been made from surveys executed by me, or under my own personal supervision and field check, and that the same are true and correct, and have been made in accordance with the provisions of the Land Titles Act 1980.

Dated this 10th day of October 1961

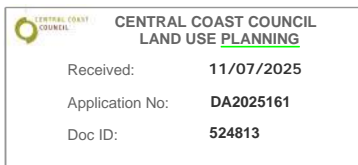
B. Banks
Authorised Surveyor.

SEARCH OF TORRENS TITLE

VOLUME 86498	FOLIO 1
EDITION 8	DATE OF ISSUE 15-Dec-2020

SEARCH DATE : 11-Jul-2025

SEARCH TIME : 09.54 AM



DESCRIPTION OF LAND

Town of LEITH
Lot 1 on Diagram 86498 (formerly being 578-28D)
Derivation : Part of Lot 6 Sec. B. Gtd. to T.E. Hardy
Prior CT 3303/41

SCHEDULE 1

M616628 TRANSFER to KATE MARIE DEPAOLI and NATHAN JOHN DICK
Registered 31-Mar-2017 at 12.01 PM

SCHEDULE 2


Reservations and conditions in the Crown Grant if any
E243691 MORTGAGE to Residential Mortgage Group Pty Ltd
Registered 15-Dec-2020 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 86498	FOLIO 2
EDITION 8	DATE OF ISSUE 24-Jul-2020

 **CENTRAL COAST COUNCIL**
LAND USE **PLANNING**

Received: 11/07/2025
Application No: DA2025161
Doc ID: 524814

SEARCH DATE : 11-Jul-2025
SEARCH TIME : 09.54 AM

DESCRIPTION OF LAND

Town of LEITH
Lot 2 on Diagram 86498 (formerly being 578-28D)
Derivation : Part of Lot 6 Section B Gtd. to T.E. Hardy
Prior CT 3303/42

SCHEDULE 1

M616628 TRANSFER to KATE MARIE DEPAOLI and NATHAN JOHN DICK
Registered 31-Mar-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
A417945 FENCING PROVISION in Transfer
E222520 MORTGAGE to Residential Mortgage Group Pty Ltd
Registered 24-Jul-2020 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



22-Sep-2025

**15-17 BOYES STREET,
 TURNERS BEACH
 DA2025161**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

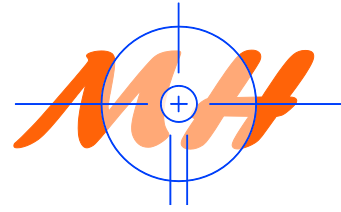
This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.

© The List 2025.
 © Central Coast Council 2025.

20 m

Scale =
1:850.500

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	11/07/2025
Application No:	DA2025161
Doc ID:	524808



Application for Planning Permit
PROPOSED SUBDIVISION / BOUNDARY ADJUSTMENT

In the
GENERAL RESIDENTIAL ZONE

15-17 Boyes Street
TURNERS BEACH

Supporting Documentation
July 2025

IMPORTANT DETAILS

This document has been prepared for the sole use of the client and for a specific purpose, as expressly stated in the document. Michell Hodgetts Surveyors undertakes no duty nor accepts any responsibility to any third party not being the intended recipient of this document. The information contained in this document has been carefully compiled based on the clients' requirements. Michell Hodgetts Surveyors may have relied on information provided by the client and/or other external parties to prepare this document, some of which may not have been verified. Subject to the above conditions, Michell Hodgetts Surveyors recommends this document should only be transmitted, reproduced or disseminated in its entirety.

Engagement & Invoicing Directions

Michell Hodgetts Surveyors (the Agent, acting as the Applicant) have been engaged by the owner (the Permit Holder) to prepare documentation for a planning permit for a Proposed Subdivision located on land known as **15-17 Boyes Street, Turners Beach**. Any Permit issued is affixed to land and not an individual.

The services rendered by the Applicant are strictly limited to the preparation of documentation in order to obtain planning permissions only. The Applicant is not to be considered as the "permit holder" as part of any permit condition issued by any Authority and is not responsible for any costs incurred through a Permit Holder enacting a permit condition. All costs and invoices associated with this use or development is borne of the Permit Holder only.

In such circumstances where the primary Permit Holder named above sells land or otherwise relinquishes the land; the new permit holder is the party responsible for all costs and invoices incurred by enacting any permit issued that is affixed to the land.

In granting any permit or consent for this development the issuing or consenting Authority hereby agree and are bound to the terms listed above.

The applicable Scheme standards for development in the **General Residential Zone** are described in the following relevant sections of the *Tasmanian Planning Scheme*:

8.0 General Residential Zone

- 8.1 Zone Purpose
- 8.2 Use Table
- 8.3 Use Standards
- 8.4 Development Standards for Dwellings – **Not Applicable**
- 8.5 Development Standards for Non-dwellings– **Not Applicable**
- 8.6 Development Standards for Subdivision

8.1 Zone Purpose

The purpose of the General Residential Zone is:

8.1.1 To provide for residential use and development that accommodates a range of dwelling types where full infrastructure services are available or can be provided.

8.1.2 To provide the efficient utilisation of available social, transport and other service infrastructure.

8.1.3

To provide for non-residential use that:

(a) primarily serves the local community; and

(b) does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts.

8.1.4 To provide for Visitor Accommodation that is compatible with residential character.

8.2 Use Table

Use Class	Qualification
Permitted	
Residential	If not listed as No Permit Required or Permitted.

8.3 Use Standards

8.3.1 Discretionary uses

Objective:
That Discretionary uses do not cause an unreasonable loss of amenity to adjacent sensitive uses.

8.6 Development Standards for Subdivision

8.6.1 Lot design

Objective:	
That each lot:	
(a) has an area and dimensions appropriate for use and development in the zone;	
(b) is provided with appropriate access to a road;	
(c) contains areas which are suitable for development appropriate to the zone purpose, located to avoid natural hazards; and	
(d) is orientated to provide solar access for future dwellings.	
Acceptable Solutions	Performance Criteria
A1	P1

<p>Each lot, or a lot proposed in a plan of subdivision, must:</p> <ul style="list-style-type: none"> (a) have an area of not less than 450m² and: <ul style="list-style-type: none"> (i) be able to contain a minimum area of 10m x 15m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; and b. easements or other title restrictions that limit or restrict development; and (ii) existing buildings are consistent with the setback required by clause 8.4.2 A1, A2 and A3, and 8.5.1 A1 and A2; (b) be required for public use by the Crown, a council or a State authority; (c) be required for the provision of Utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. 	<p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the relevant requirements for development of buildings on the lots; (b) the intended location of buildings on the lots; (c) the topography of the site; (d) the presence of any natural hazards; (e) adequate provision of private open space; and (f) the pattern of development existing on established properties in the area.
<p>Performance:</p>	<p>Acceptable Solution Satisfied</p>
<p>Discussion: Both lots are larger than 450m² Both lots have existing driveways, as shown on the plan. Lot 1 contains an existing house and lot 2 contains existing buildings. Both lots are consistent with setback requirements.</p>	
<p>A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 12m.</p>	<p>P2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to:</p> <ul style="list-style-type: none"> (a) the width of frontage proposed, if any; (b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access; (c) the topography of the site; (d) the functionality and useability of the frontage; (e) the ability to manoeuvre vehicles on the site; and (f) the pattern of development existing on established properties in the area, and is not less than 3.6m wide.

Performance:	Acceptable Solution Satisfied
Discussion: Both lots have a frontage greater than 12m.	

A3 Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority	P3 Each lot, or a lot proposed in a plan of subdivision, must be provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to: (a) the topography of the site; (b) the distance between the lot or building area and the carriageway; (c) the nature of the road and the traffic; (d) the anticipated nature of vehicles likely to access the site; and (e) the ability for emergency services to access the site.
--	---

Performance:	Acceptable Solution Satisfied
Discussion: Both lots have existing driveways to Boyes Street.	

A4 Any lot in a subdivision with a new road, must have the long axis of the lot between 30 degrees west of true north and 30 degrees east of true north.	P4 Subdivision must provide for solar orientation of lots adequate to provide solar access for future dwellings, having regard to: (a) the size, shape and orientation of the lots; (b) the topography of the site; (c) the extent of overshadowing from adjoining properties; (d) any development on the site; (e) the location of roads and access to lots; and (f) the existing pattern of subdivision in the area.
--	--

Performance:	Acceptable Solution Satisfied
Discussion: N/A – No new road.	

8.6.2 Roads

Objective: That the arrangement of new roads within a subdivision provides for: (a) safe, convenient and efficient connections to assist accessibility and mobility of the community; (b) the adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; and (c) the efficient ultimate subdivision of the entirety of the land and of surrounding land.

Acceptable Solutions	Performance Criteria
<p>A1 The subdivision includes no new roads.</p>	<p>P1 The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety and convenience for vehicles, pedestrians and cyclists, having regard to:</p> <ul style="list-style-type: none"> (a) any road network plan adopted by the council; (b) the existing and proposed road hierarchy; (c) the need for connecting roads and pedestrian paths, to common boundaries with adjoining land, to facilitate future subdivision potential; (d) maximising connectivity with the surrounding road, pedestrian, cycling and public transport networks; (e) minimising the travel distance between key destinations such as shops and services and public transport routes; (f) access to public transport; (g) the efficient and safe movement of pedestrians, cyclists and public transport; (h) the need to provide for bicycle infrastructure on new arterial and collector roads in accordance with the <i>Guide to Road Design Part 6A: Paths for Walking and Cycling 2016</i>; (i) the topography of the site; and (j) the future subdivision potential of any balance lots on adjoining or adjacent land.
<p>Performance:</p>	<p>Acceptable Solution Satisfied</p>
<p>Discussion: N/A -No new roads are to be created.</p>	

8.6.3 Services

Objective:	
<p>That the subdivision of land provides services for the future use and development of the land.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a full water supply service.</p>	<p>P1 A lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a limited water supply service, having regard to:</p> <ul style="list-style-type: none"> (a) flow rates; (b) the quality of potable water; (c) any existing or proposed infrastructure to provide the water service and its location; (d) the topography of the site; and (e) any advice from a regulated entity.

Performance:	Acceptable Solution Satisfied
Discussion: Both lots have existing water connections to the water main in Boyes Street.	
A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a connection to a reticulated sewerage system.	P2 No Performance Criterion.
Performance:	Acceptable Solution Satisfied
Discussion: Both lots have existing sewer connections into the sewerage system in Boyes Street.	
A3 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of connecting to a public stormwater system.	P3 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must be capable of accommodating an on-site stormwater management system adequate for the future use and development of the land, having regard to: (a) the size of the lot; (b) topography of the site; (c) soil conditions; (d) any existing buildings on the site; (e) any area of the site covered by impervious surfaces; and (f) any watercourse on the land.
Performance:	Acceptable Solution Satisfied
Discussion: Both lots are connected into the stormwater system.	

Specific Area Plan

CCO-S5.0 Turners Beach Specific Area Plan

CCO-S5.8 Development Standards for Subdivision

This clause is not used in this specific area plan.

Conclusion

This supporting documentation demonstrates that the proposal of a **Subdivision** supports and furthers the Planning Scheme aims and objectives, relevant Clauses and Schedules as set out for development within the **General Residential Zone**.

Where the proposal does not comply with the Acceptable Solution (AS) it has been demonstrated that the Performance Criteria (PC) are satisfied and there is not an unreasonable loss of amenity as a consequence of this proposal. Therefore, Council are requested to exercise its Discretionary powers in relation to this development.

With the above in mind, a planning permit for a **2 Lot Subdivision** at **15-17 Boyes Street, Turners Beach** is respectfully sought from the Planning Authority.



MICHELL HODGETTS SURVEYORS

A.C.N. 109 596 152

AUTHORISED SURVEYORS

DEVONPORT – WYNYARD – SMITHTON – LAUNCESTON – SCOTTSDALE

P.O. Box 712 , Devonport 7310

AUSDOC DX 70346 , Devonport

E.Mail : mhasurv@bigpond.net.au

Telephone (03) 6424 5144

Fax (03) 6423 4090

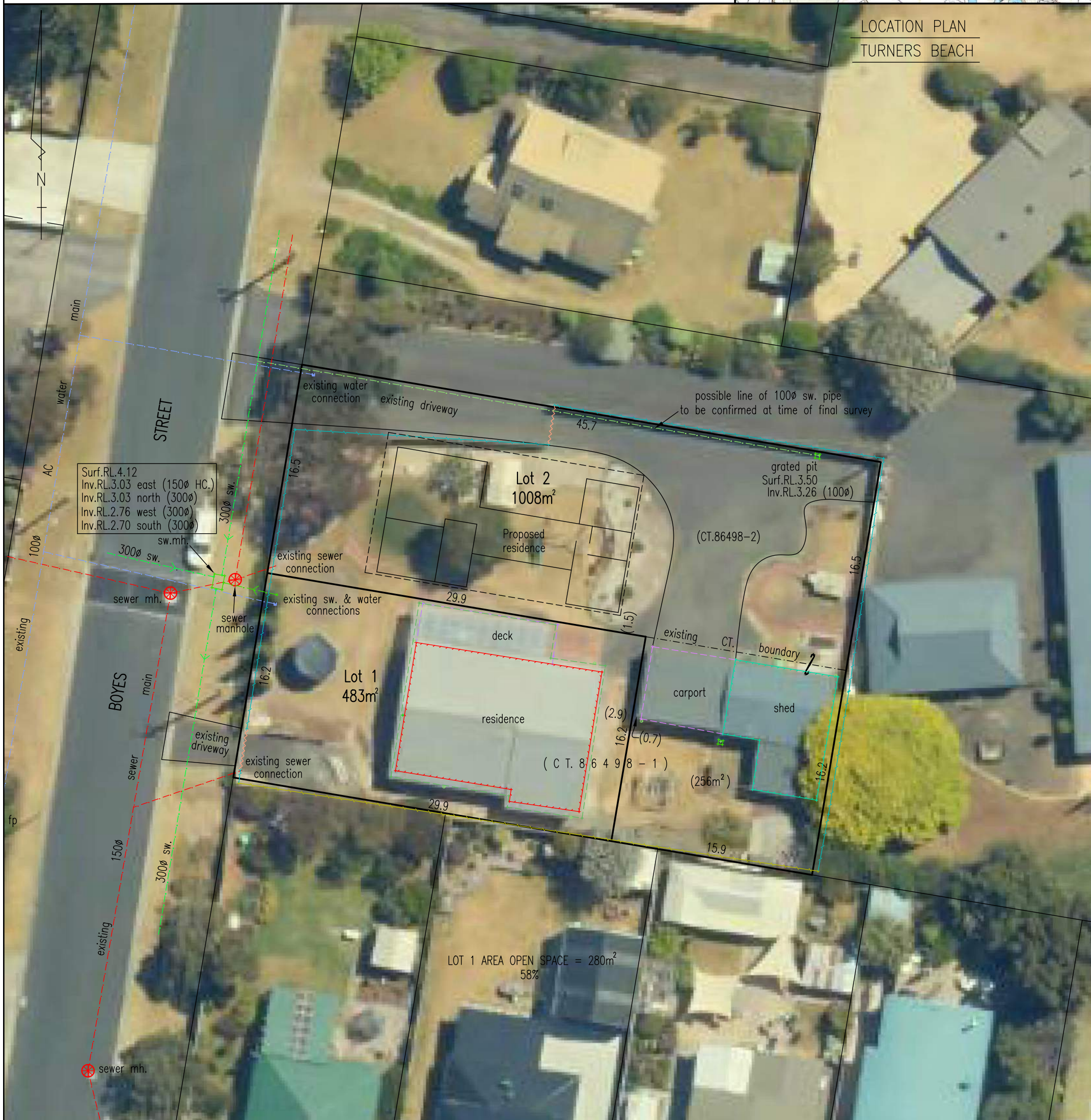
PROPOSED BOUNDARY AMENDMENT

15–17 Boyes Street, Turners Beach

N.J. Dick & K.M. Depaoli



LOCATION PLAN
TURNERS BEACH



This plan has been prepared only for the purpose of obtaining subdivision approval from the local planning authority & the information shown hereon should be used for no other purpose.

All dimensions & areas subject to final survey .

All measurements are in metres .



Paul Hodgetts – registered land surveyor

Drawing No.

225087

REVISION 1

Drawn : J.A.T

Scale : 1:300(A3)

Date : 09/09/25

MICHELL HODGETTS SURVEYORS

A.C.N. 109 596 152

AUTHORISED SURVEYORS

DEVONPORT – WYNYARD – SMITHTON – LAUNCESTON – SCOTTSDALE

P.O. Box 712 , Devonport 7310

AUSDOC DX 70346 , Devonport

E.Mail : mhasurv@bigpond.net.au

Telephone (03) 6424 5144

Fax (03) 6423 4090

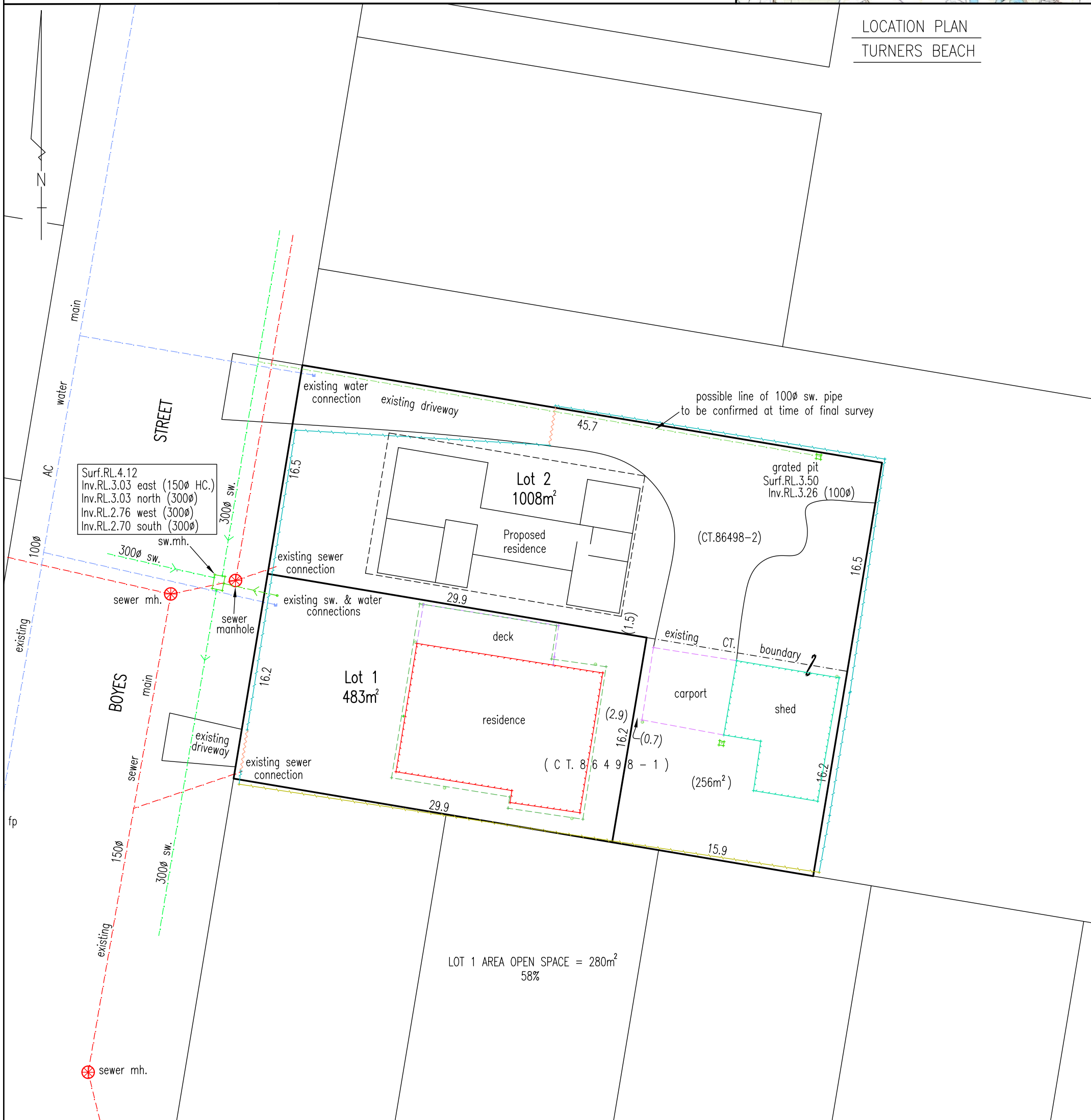


PROPOSED BOUNDARY AMENDMENT

15-17 Boyes Street, Turners Beach

N.J. Dick & K.M. Depaoli

LOCATION PLAN
TURNERS BEACH



This plan has been prepared only for the purpose of obtaining subdivision approval from the local planning authority & the information shown hereon should be used for no other purpose.

All dimensions & areas subject to final survey .

All measurements are in metres .



Drawn : J.A.T

Scale : 1:300(A3)

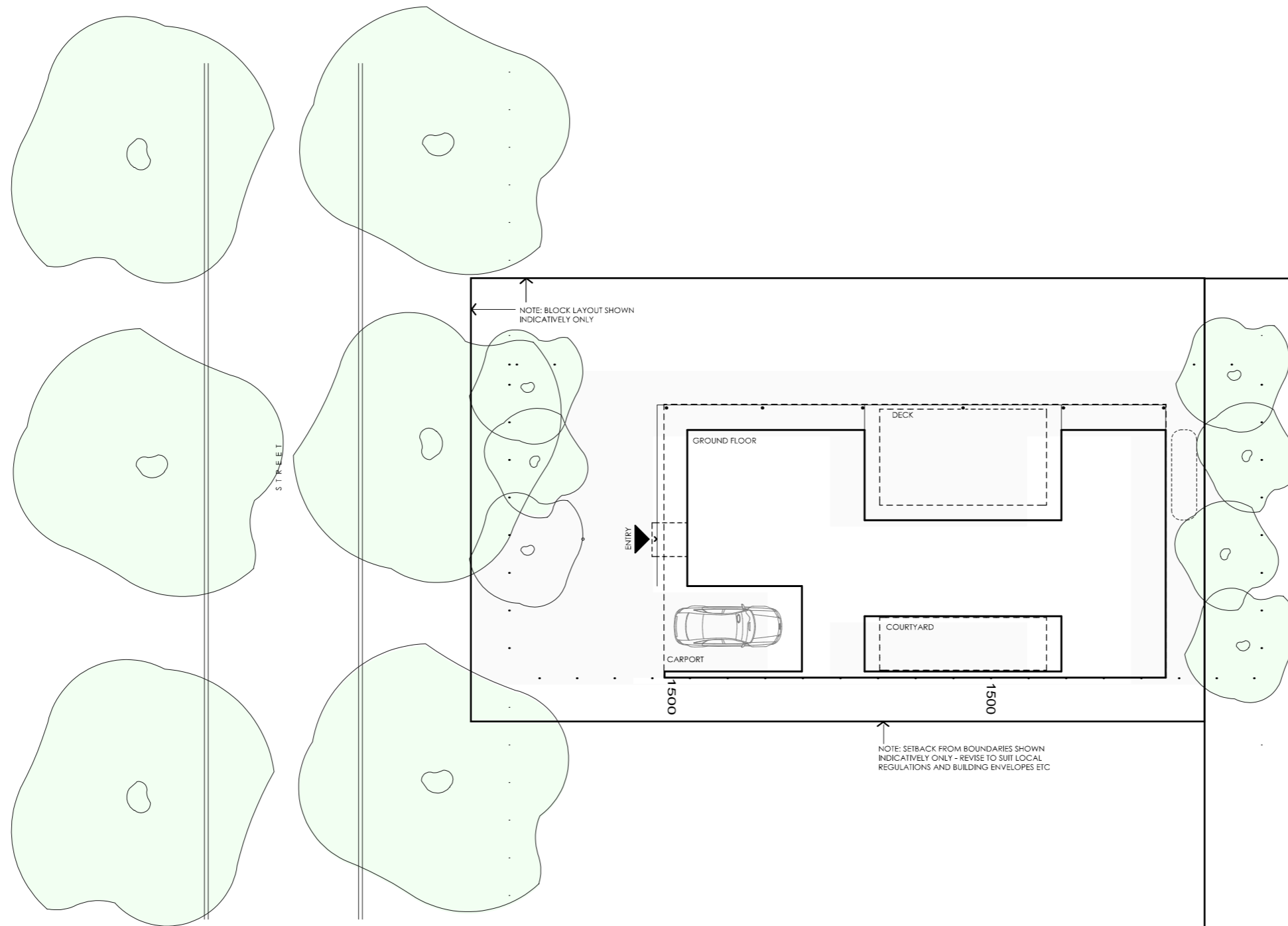
Date : 09/09/25

Paul Hodgetts – registered land surveyor

Drawing No.

225087

REVISION 1



LEGEND

N/A

PROJECT



DESIGN

Acacia House

**DESIGNED FOR
Turners Beach**

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Site Plan

Scale: 1:200

Paper size: A3

Drawing number: 1/10

Date issued: June 2023

Project stage: Preliminary

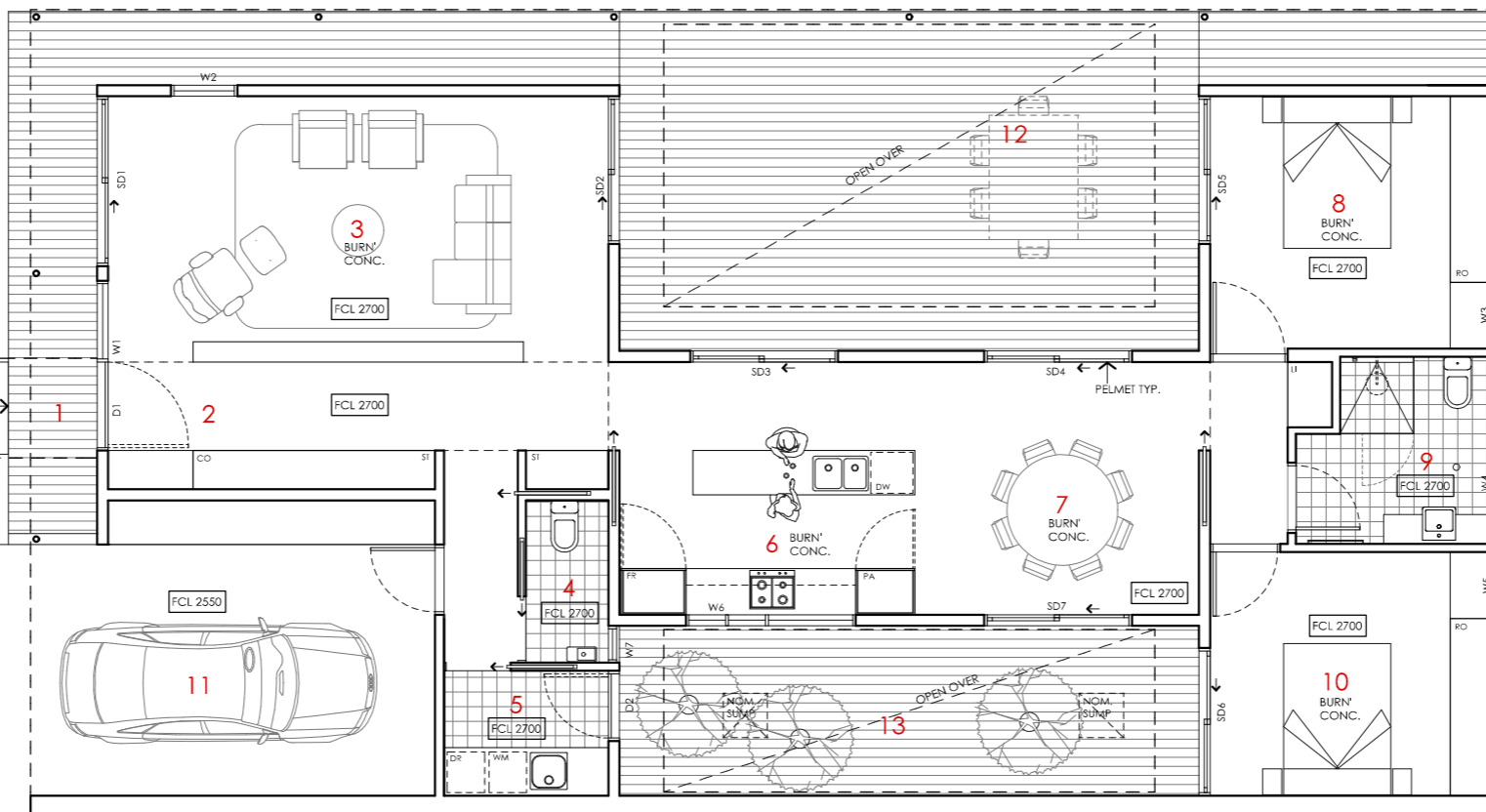


DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.

KEY

- 1 ENTRY PORTICO
- 2 ENTRY
- 3 LIVING
- 4 POWDER ROOM
- 5 LAUNDRY
- 6 KITCHEN
- 7 MEALS
- 8 BEDROOM 1
- 9 BATHROOM
- 10 BEDROOM 2
- 11 CARPORT
- 12 "LIVING COURT"
- 13 "WINTER COURT"
- 14 WATER TANK
- 15 SERVICES



LEGEND

- FR FRIDGE
- PA PANTRY
- DW DISH WASHER
- RO ROBE
- DE DESK
- ST STORAGE CUPBOARD
- SH SHELVING
- WM WASHING MACHINE
- DR CLOTHES DRYER
- CO COAT CUPBOARD
- LI LINEN CUPBOARD
- FCL FINISHED CEILING LEVEL

ACACIA HOUSE

NOTES	
GFL LIVING	123 m2
CARPORT	23 m2
TOTAL GFA	146 m2 (including carport)

REFER TO NCC FOR SANITARY COMPARTMENT CIRCULATION, WALL REINFORCEMENT AND THRESHOLD/HOB REQUIREMENTS

DOOR OPENINGS, CORRIDOR WIDTHS AND THRESHOLDS, ENTRY RAMP GRADES AND COVER ETC TO NCC REQUIREMENTS

CONSTRUCTION NEAR BOUNDARY MUST COMPLY WITH NCC REQUIREMENTS - REVISE TO SUIT LOCAL REGULATIONS AND BUILDING ENVELOPES ETC

SETBACK FROM BOUNDARIES SHOWN INDICATIVELY ONLY - REVISE TO SUIT LOCAL REGULATIONS AND BUILDING ENVELOPES ETC

NOTE: GFA CALCULATIONS DO NOT INCLUDE DECKS, TERRACES, COURTYARDS, VERANDAH, VOIDS, STAIRS & BALCONIES @ UFL. NOTE THAT INTERNAL ROOM DIMENSIONS ARE NOMINAL ONLY.

CEILING INSULATION VALUES SPECIFIED EXTEND TO EAVES

PROJECT

Australian Government

YourHome
Australia's guide to environmentally sustainable homes

Design For Place

DISCLAIMER

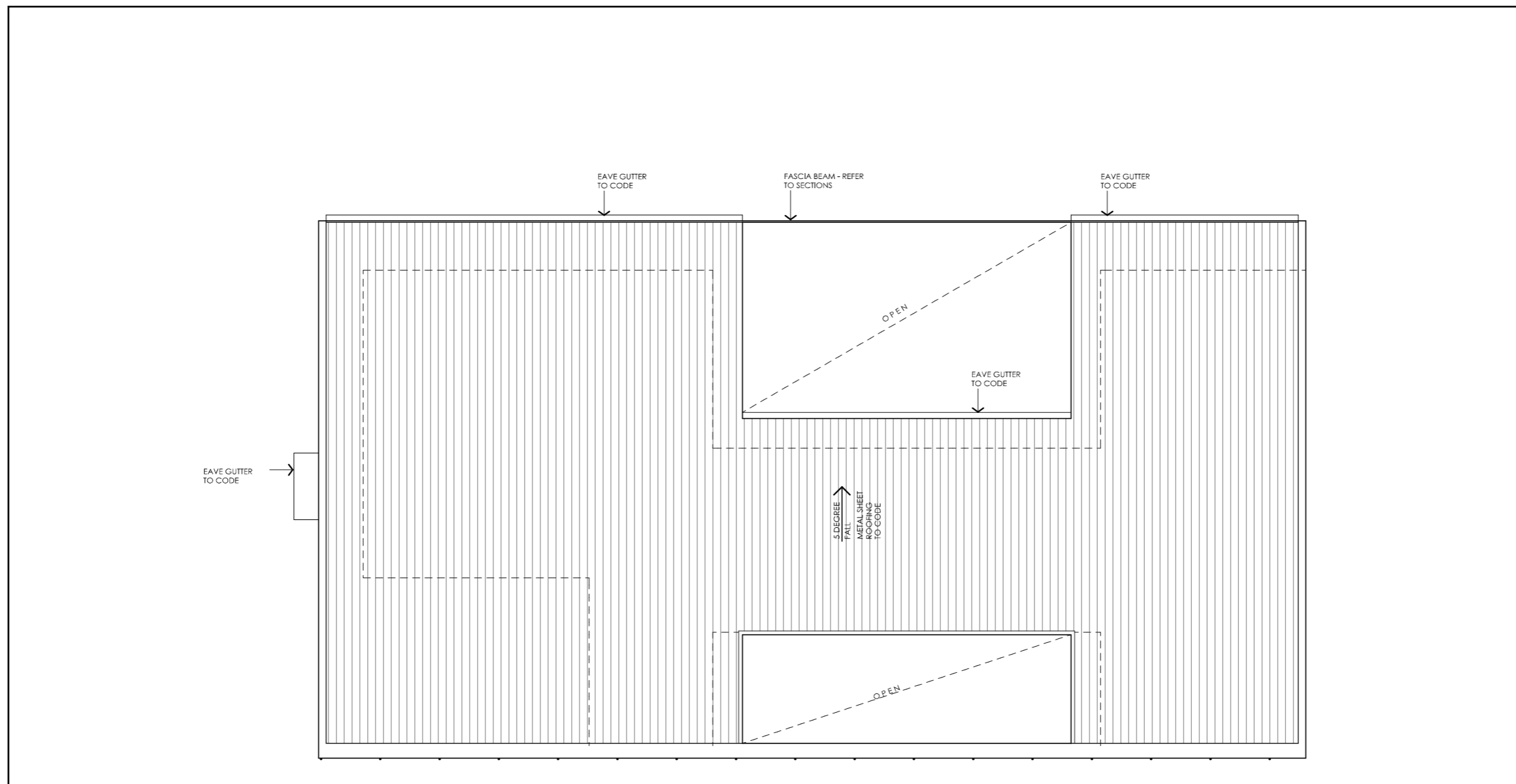
This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.

DESIGN
Acacia House

DESIGNED FOR
Melbourne

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS
Drawing title: Floor Plan
Scale: 1:100
Paper size: A3
Drawing number: 2/10
Date issued: June 2023
Project stage: Preliminary



NOTE: BUILDER TO CONFIRM ROOF DESIGN, SHEET TYPE, DOWN PIPE AND GUTTER SIZE ETC COMPLIES WITH BCA PRIOR TO COMMENCEMENT OF WORKS. SIZES SHOWN ARE NOTIONAL ONLY. ENSURE WARRANTIES ARE PROVIDED FROM MANUFACTURER



ACACIA HOUSE

NOTES	
GFL LIVING	123 m2
CARPORT	23 m2
TOTAL GFA	146 m2 (including carport)
<small>NOTE: GFA CALCULATIONS DO NOT INCLUDE DECKS, TERRACES, COURTYARDS, VERANDAHS, VOIDS, STAIRS & BALCONIES @ UFL. NOTE THAT INTERNAL ROOM DIMENSIONS ARE NOMINAL ONLY AND GENERALLY INCLUDE JOINERY WITHIN THOSE DIMENSIONS.</small>	

PROJECT



Australian Government



YourHome
Australia's guide to environmentally sustainable homes



Design For Place

DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.

DESIGN

Acacia House

DESIGNED FOR

Melbourne

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Roof Plan


Scale: 1:100

Paper size: A3

Drawing number: 3/10

Date issued: June 2023

Project stage: Preliminary





01 | NORTH ELEVATION

1:100

ACACIA HOUSE

LEGEND

- BW FACE BRICK WALL
TYPE & COLOUR TBC
- WB WEATHERBOARD CLADDING
TYPE & COLOUR TBC
- CFC COMPRESSED FC SHEET ON TIMBER FRAME
EXPRESSED JOINT AT EDGES INDICATED
- MF FOLDED METAL FASCIA
COLOUR TBC
- ST STEEL WORK
COLOUR TBC
- GD GARAGE DOOR
COLOUR TBC
- AL ALUMINIUM COVER PLATE
COLOUR TO MATCH WINDOW FRAMES

PROJECT



Australian Government



Design For Place

DESIGN

Acacia House

DESIGNED FOR
Melbourne

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Elevation-North

Scale: 1:100

Paper size: A3

Drawing number: 4/10

Date issued: June 2023

Project stage: Preliminary

DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.



01 | WEST ELEVATION

1:100

ACACIA HOUSE

LEGEND

- BW FACE BRICK WALL
TYPE & COLOUR TBC
- WB WEATHERBOARD CLADDING
TYPE & COLOUR TBC
- CFC COMPRESSED FC SHEET ON TIMBER FRAME
EXPRESSED JOINT AT EDGES INDICATED
- MF FOLDED METAL FASCIA
COLOUR TBC
- ST STEEL WORK
COLOUR TBC
- GD GARAGE DOOR
COLOUR TBC
- AL ALUMINIUM COVER PLATE
COLOUR TO MATCH WINDOW FRAMES

PROJECT



DESIGN

Acacia House

**DESIGNED FOR
Melbourne**

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Elevation-West

Scale: 1:100

Paper size: A3

Drawing number: 5/10

Date issued: June 2023

Project stage: Preliminary

DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.



01 | EAST ELEVATION
1:100

ACACIA HOUSE

LEGEND

- BW FACE BRICK WALL
TYPE & COLOUR TBC
- WB WEATHERBOARD CLADDING
TYPE & COLOUR TBC
- CFC COMPRESSED FC SHEET ON TIMBER FRAME
EXPRESSED JOINT AT EDGES INDICATED
- MF FOLDED METAL FASCIA
COLOUR TBC
- ST STEEL WORK
COLOUR TBC
- GD GARAGE DOOR
COLOUR TBC
- AL ALUMINIUM COVER PLATE
COLOUR TO MATCH WINDOW FRAMES

PROJECT



DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.

DESIGN

Acacia House

**DESIGNED FOR
Melbourne**

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Elevation-East

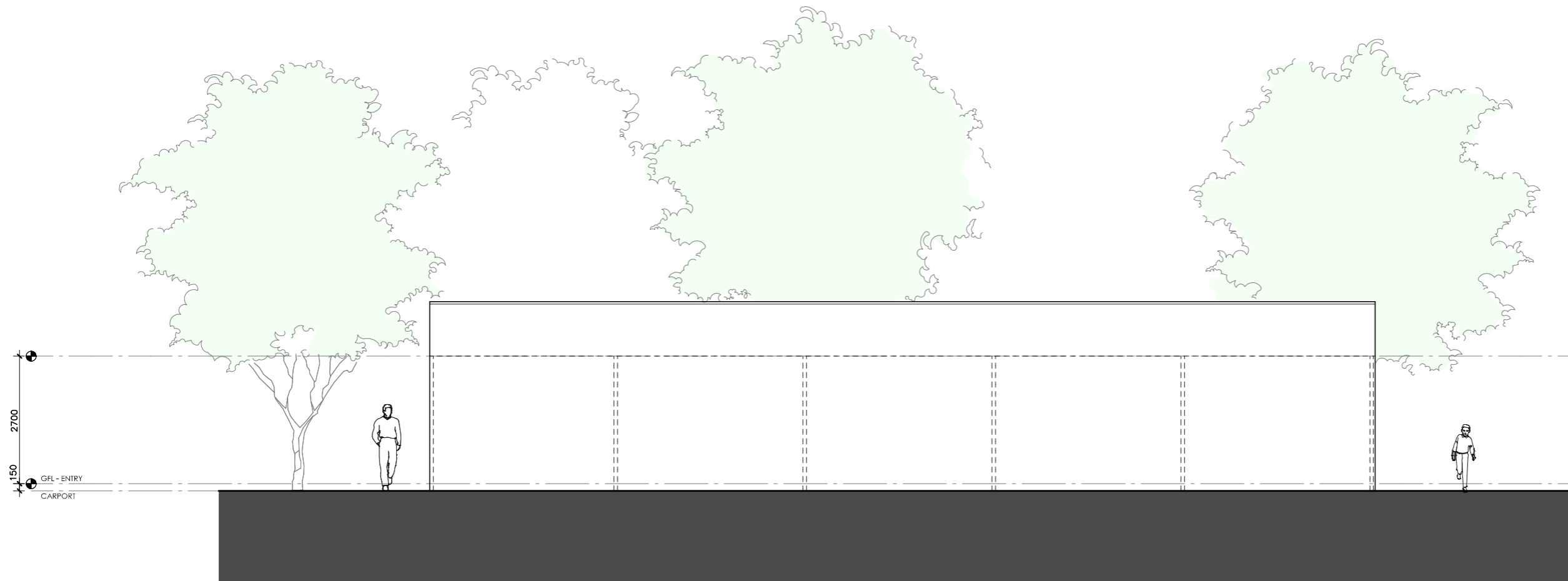
Scale: 1:100

Paper size: A3

Drawing number: 6/10




Date issued: June 2023

Project stage: Preliminary



01 | SOUTH ELEVATION
1:100

ACACIA HOUSE

<p>LEGEND</p> <ul style="list-style-type: none"> BW FACE BRICK WALL TYPE & COLOUR TBC WB WEATHERBOARD CLADDING TYPE & COLOUR TBC CFC COMPRESSED FC SHEET ON TIMBER FRAME EXPRESSED JOINT AT EDGES INDICATED MF FOLDED METAL FASCIA COLOUR TBC ST STEEL WORK COLOUR TBC GD GARAGE DOOR COLOUR TBC AL ALUMINIUM COVER PLATE COLOUR TO MATCH WINDOW FRAMES 	<p>PROJECT</p> <div style="display: flex; justify-content: space-around; align-items: center;">  <p>Australian Government</p>  <p>Australia's guide to environmentally sustainable homes</p>  <p>Design For Place</p> </div> <p>DISCLAIMER</p> <p>This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.</p>	<p>DESIGN Acacia House</p> <p>DESIGNED FOR Melbourne</p> <p>Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.</p>	<p>DETAILS</p> <p>Drawing title: Elevation-South Scale: 1:100 Paper size: A3 Drawing number: 7/10 Date issued: June 2023 Project stage: Preliminary</p>
---	--	--	--



01 | SECTION AA
1:100

ACACIA HOUSE

LEGEND

- BW FACE BRICK WALL
TYPE & COLOUR TBC
- WB WEATHERBOARD CLADDING
TYPE & COLOUR TBC
- CFC COMPRESSED FC SHEET ON TIMBER FRAME
EXPRESSED JOINT AT EDGES INDICATED
- MF FOLDED METAL FASCIA
COLOUR TBC
- ST STEEL WORK
COLOUR TBC
- GD GARAGE DOOR
COLOUR TBC
- AL ALUMINIUM COVER PLATE
COLOUR TO MATCH WINDOW FRAMES

PROJECT



Australian Government



Design For Place

DESIGN

Acacia House

DESIGNED FOR
Melbourne

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Section

Scale: 1:100

Paper size: A3

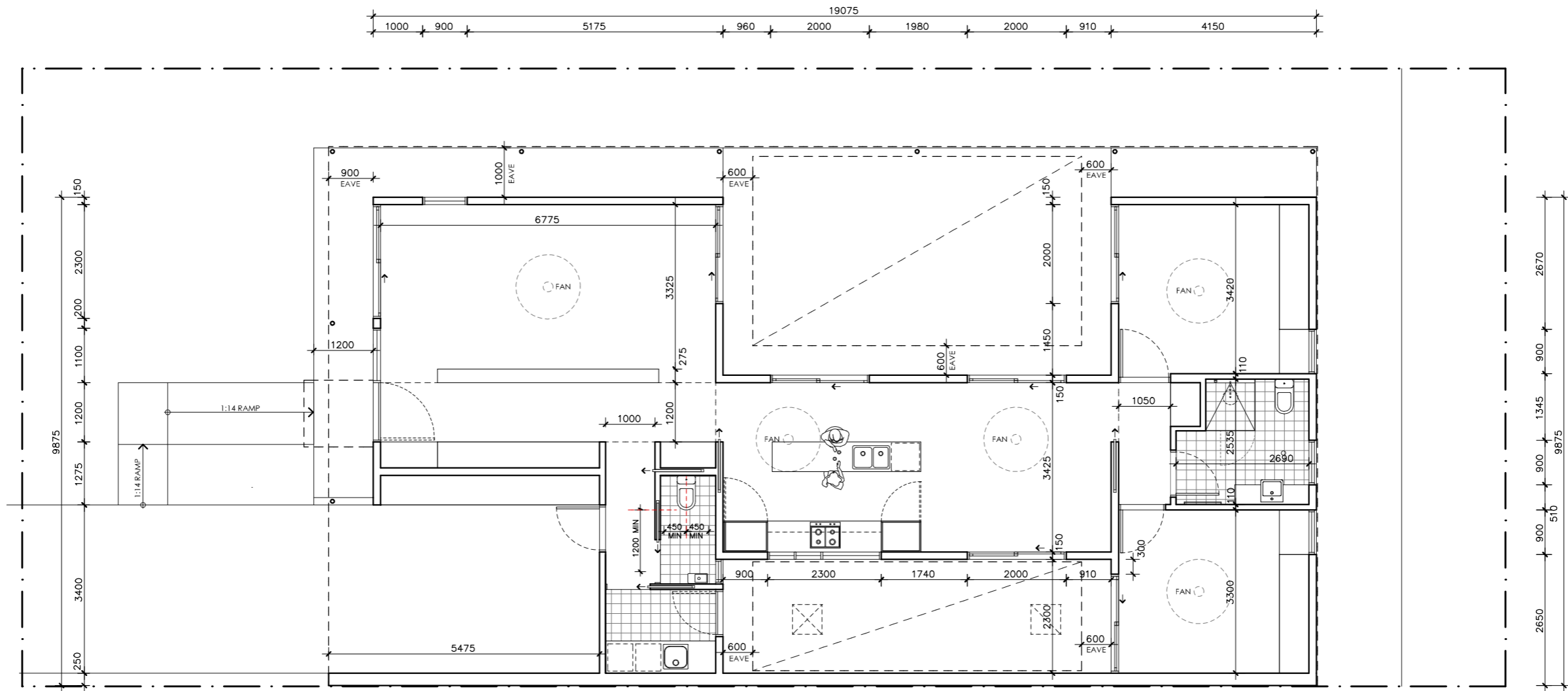
Drawing number: 8/10

Date issued: June 2023

Project stage: Preliminary

DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.



ACACIA HOUSE

NOTES	
GFL LIVING	123 m2
CARPORT	23 m2
TOTAL GFA	146 m2 (including carport)

REFER TO NCC FOR SANITARY COMPARTMENT CIRCULATION, WALL REINFORCEMENT AND THRESHOLD/HOB REQUIREMENTS

DOOR OPENINGS, CORRIDOR WIDTHS AND THRESHOLDS, ENTRY RAMP GRADES AND COVER ETC TO NCC REQUIREMENTS

CONSTRUCTION NEAR BOUNDARY MUST COMPLY WITH NCC REQUIREMENTS - REVISE TO SUIT LOCAL REGULATIONS AND BUILDING ENVELOPES ETC

SETBACK FROM BOUNDARIES SHOWN INDICATIVELY ONLY - REVISE TO SUIT LOCAL REGULATIONS AND BUILDING ENVELOPES ETC

NOTE: GFA CALCULATIONS DO NOT INCLUDE DECKS, TERRACES, COURTYARDS, VERANDAHS, VOIDS, STAIRS & BALCONIES @ UFL. NOTE THAT INTERNAL ROOM DIMENSIONS ARE NOMINAL ONLY.

CEILING INSULATION VALUES SPECIFIED EXTEND TO EAVES

PROJECT

Australian Government

YourHome
Australia's guide to environmentally sustainable homes

Design For Place

DISCLAIMER

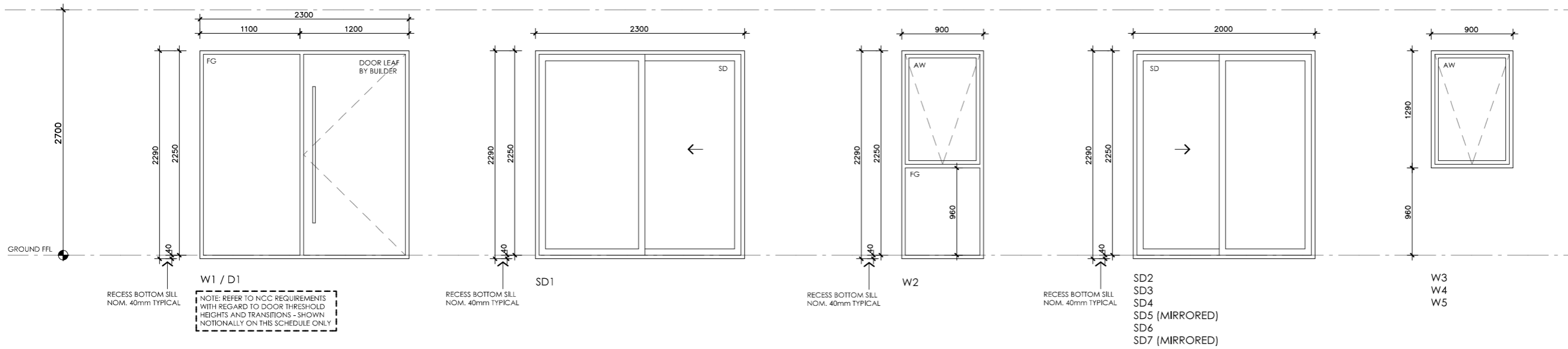
This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.

DESIGN
Acacia House

DESIGNED FOR
Melbourne

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS
Drawing title: Setout Plan
Scale: 1:100
Paper size: A3
Drawing number: 9/10
Date issued: June 2023
Project stage: Preliminary

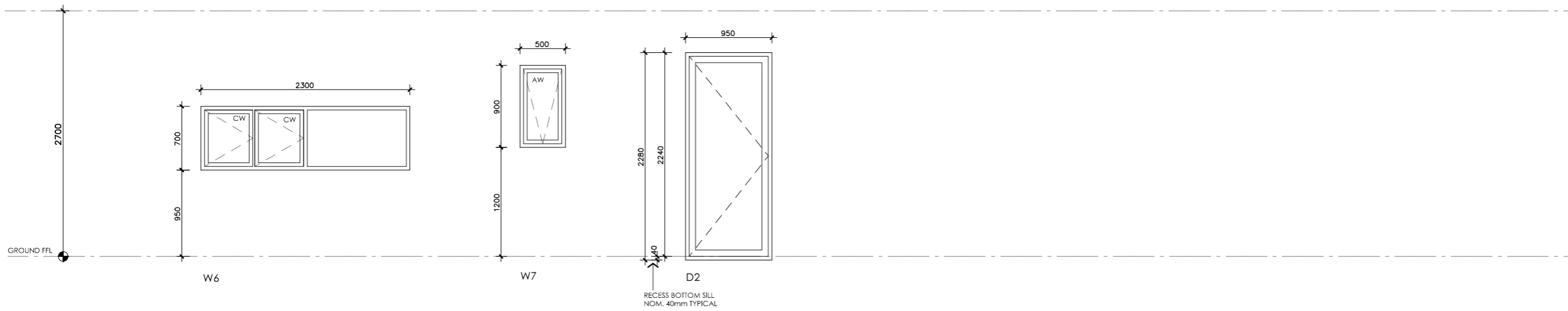


NOTE: FABRICATOR TO CONFIRM WHICH WINDOWS/DOORS REQUIRE LAMINATED SAFETY GLASS AND SPECIFY ACCORDINGLY. ALL GLAZING TO CODE REQUIREMENTS

NOTE: FRAME SECTION WIDTHS DIMENSIONED ARE NOTIONAL ONLY. FABRICATOR TO CONFIRM FRAME SECTION SIZE

NOTE: OVERALL WINDOW DIMENSIONS NOMINAL ONLY - CHECK MEASURE EXISTING OPENING ON SITE PRIOR TO ORDERING

NOTE: REFER TO SPECIFICATIONS DOCUMENT FOR FRAME TYPE, AND GLAZING PERFORMANCE VALUES (U-VALUE AND SHGC)



ACACIA HOUSE

LEGEND	
FG	FIXED GLASS GLAZING TO CODE REQUIREMENTS
CW	CASEMENT SASH GLAZING TO CODE REQUIREMENTS
AW	AWNING SASH GLAZING TO CODE REQUIREMENTS
SD	SLIDING DOOR GLAZING TO CODE REQUIREMENTS
SSD	SLIDING STACKER DOOR GLAZING TO CODE REQUIREMENTS
SW	SLIDING WINDOW GLAZING TO CODE REQUIREMENTS

PROJECT



DISCLAIMER

This house plan is a guide only. It does not constitute legal or other professional advice. You should seek legal or other professional advice in relation to your specific circumstances before adopting any recommendation made within it e.g. advice on structural engineering or building certification requirements. The Commonwealth does not accept responsibility for the accuracy or completeness of this plan, its fitness for a particular purpose, or compliance with any regulatory requirements and standards. Further, the Commonwealth also disclaims liability, to the extent permitted by law, for any liabilities, losses, damages and costs arising from any reliance on the contents of this plan.

DESIGN

Acacia House

DESIGNED FOR
Melbourne

Technical drawings should be read with the Acacia House Melbourne 'Design Options' document which includes building specifications and rating information.

DETAILS

Drawing title: Window and Door Schedule

Scale: 1:50

Paper size: A3

Drawing number: 10/10

Date issued: June 2023

Project stage: Preliminary