
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025168**

Location: **21 Tower Place, West Ulverstone**

Proposal: **Residential - shed, retaining wall and second access**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before 16 April 2026

Date of Notification: **28 March 2026**

CENTRAL COAST COUNCIL

PO Box 220
19 King Edward Street
ULVERSTONE TASMANIA 7315
Ph: (03) 6429 8900
Email: planning@centralcoast.tas.gov.au
www: centralcoast.tas.gov.au



**Land Use Planning and Approvals Act 1993
Tasmanian Planning Scheme – Central Coast
PLANNING PERMIT APPLICATION**

**CENTRAL COAST COUNCIL
LAND USE PLANNING**
Received: 22/07/2025
Application No: DA2025168
Doc ID: 525806

Office use only: Zone: Permit Pathway – NPR/Permitted/Discretionary

Use or Development Site:

Site Address: 21 TOWER PLACE WEST ULVERSTONE

Certificate of Title Reference: 182 326 FOLIO 14

Land Area: 1179 Heritage Listed Property: NO YES

Applicant(s)

First Name(s): ADAM Surname(s): WEEBA

Company name (if applicable): WEEBA DRAFTING Contact No: 0427 333 129

Postal Address: 95 QUEEN STREET WEST ULVERSTONE.

Email address: ADMIN@WEEBADRAFTING.COM.AU

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s): MICHAEL MICHIELLE Middle Names(s): JOHN

Surname(s): GLOVER ADPLEBY Company name (if applicable):

Postal Address: 21 TOWER PLACE WEST ULVERSTONE.

PERMIT APPLICATION INFORMATION

(If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Use Class

Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

PRE FABRICATED SHED

RETAINING WALL

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)

\$..... Estimate/ Actual

Total floor area of the development54.....m²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I ADAM WOOD, declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant

Date 24/01/25

If the application involves land within a Strata Corporation

I _____, declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL

Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

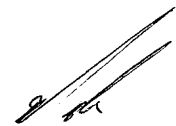
I, _____ the Minister
responsible for the land, consent to the making of this permit application.

Minister (Signature) _____ Date _____

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we ADAM WEBER
declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  Date 25/06/25

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	

CERTIFICATE OF TITLE

LAND TITLES ACT 1980

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	22/07/2025
Application No:	DA2025168
Doc ID:	525809



TASMANIA

TORRENS TITLE	
VOLUME	FOLIO
182326	14
EDITION	DATE OF ISSUE
2	23-Mar-2022
Page 1	of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

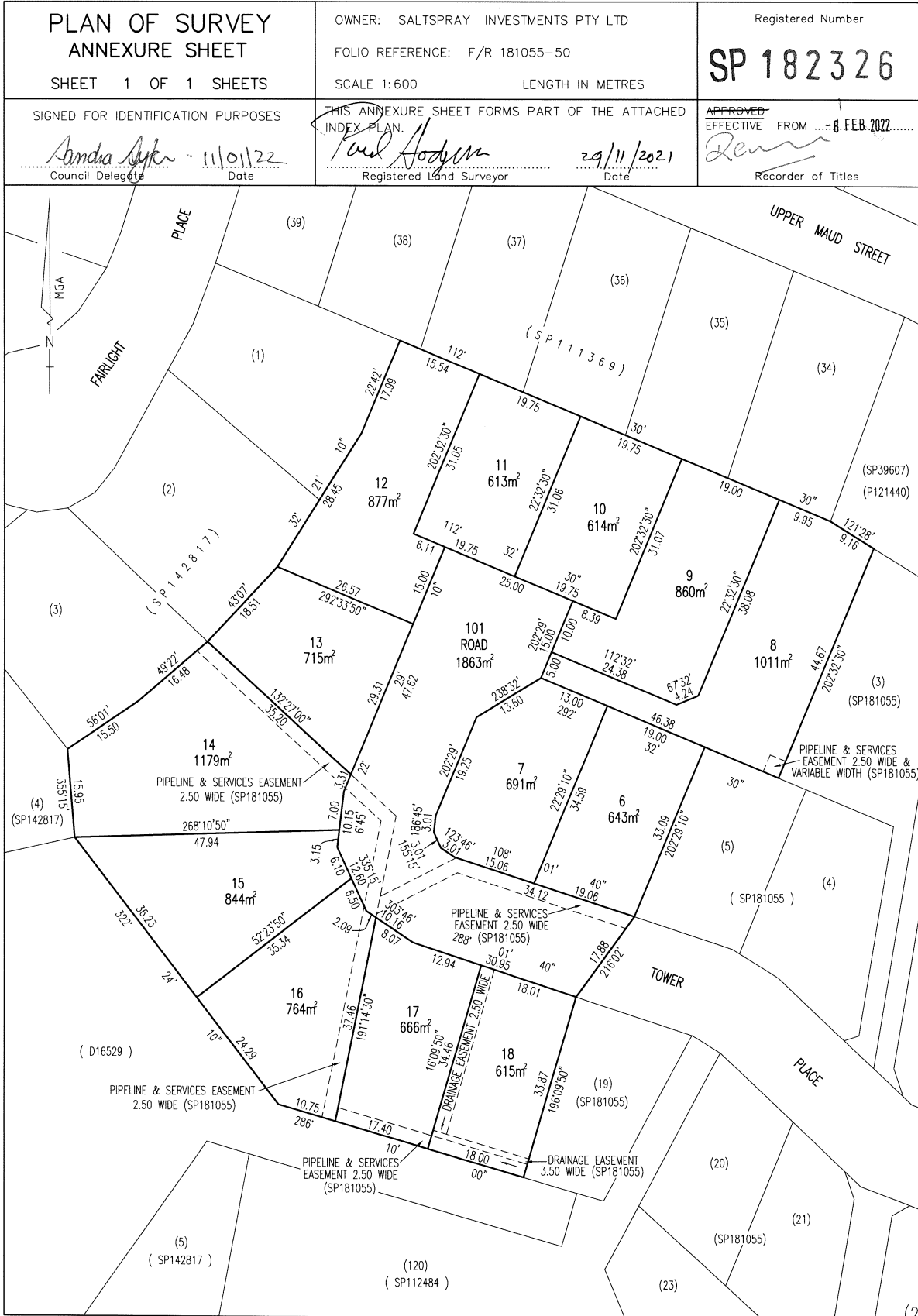
Town of ULVERSTONE
Lot 14 on Sealed Plan 182326
Derivation : Part of Lot 6012, 195A-3R-0P Gtd. to Thomas
Denman Jowett
Prior CT 181055/50

SCHEDULE 1

M949451 TRANSFER to MICHAEL JOHN GLOVER and MICHELLE APPLEBY
Registered 23-Mar-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP182326 EASEMENTS in Schedule of Easements
SP182326 FENCING PROVISION in Schedule of Easements
SP181055 FENCING PROVISION in Schedule of Easements
SP138845 FENCING COVENANT in Schedule of Easements



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 182326

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS


Lot 8 ("the Lot") is subject to a Pipeline and Services Easement in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 2.50 WIDE & VARIABLE WIDTH (SP181055)" shown on the plan ("the Easement Land").

Lots 14, 16, 17 ^{AND LOT 101} and 18 ("the Lot") are subject to a Pipeline and Services Easement in gross in favour of TasWater over the land marked "PIPELINE & SERVICES EASEMENT 2.50 WIDE (SP181055)" as shown on the plan ("the Easement Land").


Lot 18 is subject to a Right of Drainage in gross in favour of Central Coast Council over the land marked "DRAINAGE EASEMENT 2.50 WIDE (~~SP181055~~)" as shown on the plan.

Lot 18 is subject to a Right of Drainage in gross in favour of Central Coast Council over the land marked "DRAINAGE EASEMENT 3.50 WIDE (SP181055)" as shown on the plan.


 Saltspray Investments Pty Ltd


 NJ Capital Pty Ltd

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Saltspray Investments Pty Ltd FOLIO REF: Volume 181055 Folio 50 SOLICITOR & REFERENCE: Debbie Hutton Conveyancing Pty Ltd 210964	PLAN SEALED BY: Central Coast Council DATE: 11 January 2022 DA2025168 REF NO.  Council Delegate
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 3 PAGES	Registered Number SP 182326
SUBDIVIDER: Saltspray Investments Pty Ltd FOLIO REFERENCE: Volume 181055 Folio 50	

FENCING PROVISION

In respect of each lot shown on the plan, the Vendor, Saltspray Investments Pty Ltd shall not be required to fence.

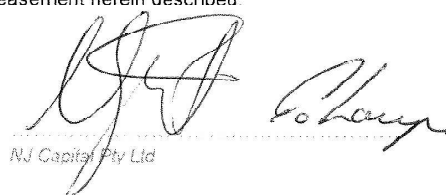
"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.


 Saltspray Investments Pty Ltd


 NJ Capital Pty Ltd

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 3 PAGES	Registered Number SP 182326
SUBDIVIDER: Saltspray Investments Pty Ltd FOLIO REFERENCE: Volume 181055 Folio 50	

Interpretation:

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.


"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

SIGNED by SALTSPRAY INVESTMENTS)
 PTY LTD (ACN 097 733 107) the)
 registered proprietors of the land in Certificate)
 of Title Volume 181055 Folio 50 in accordance)
 with s127 of the Corporations Act 2001)



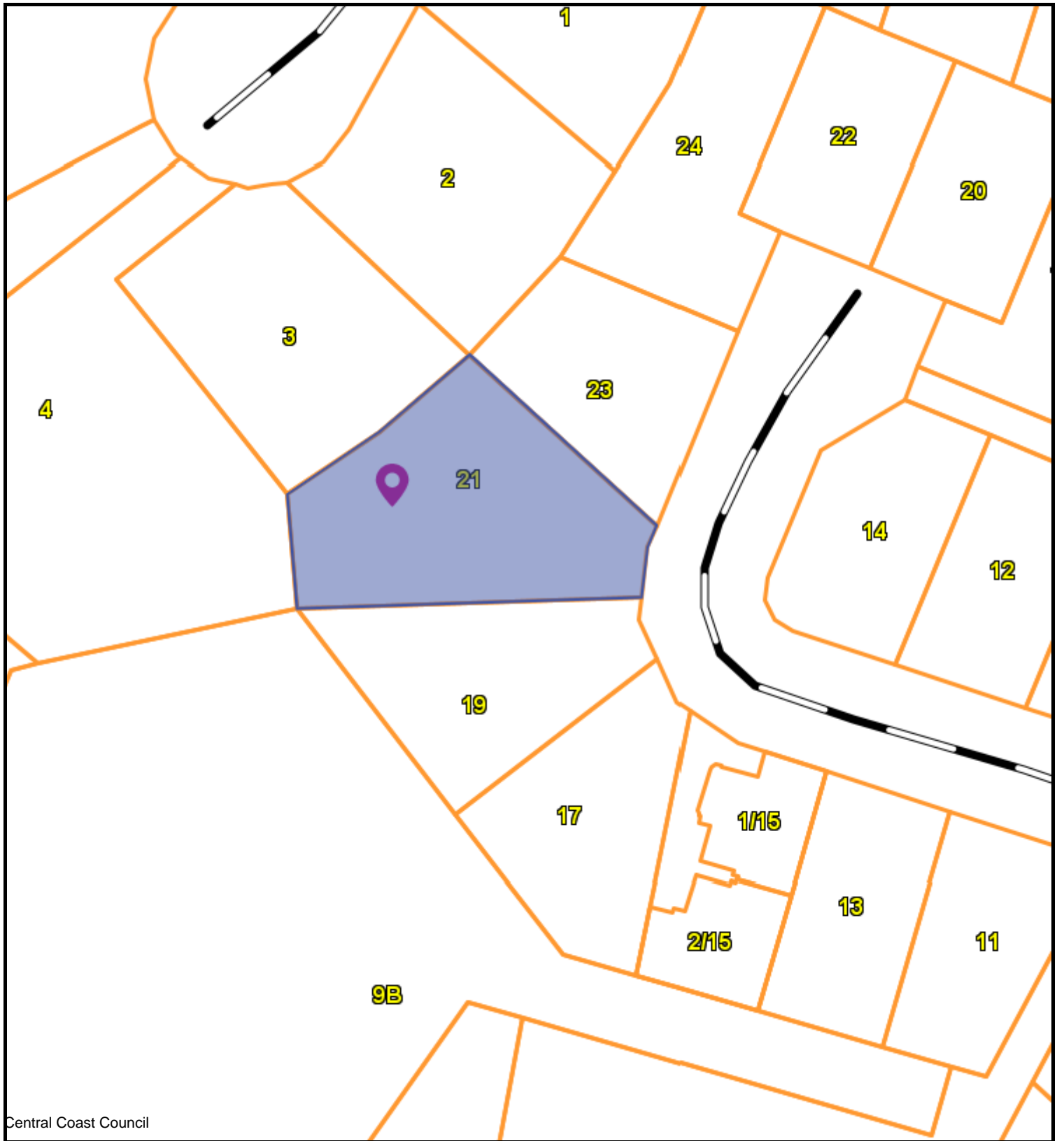
 Christopher Ross Grimm
 Sole Director Sole Secretary

SIGNED BY NJ CAPITAL PTY LTD)
 (ACN 604 483 409) the Mortgagee noted on)
 Certificate of Title Volume 181055 Folio 50 in)
 accordance with s127 of the Corporations Act 2001)



 Michael Terzowski George Loupas
 Director..... Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



26-Mar-2026

**21 TOWER PLACE,
 WEST ULVERSTONE
 DA2025168**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.

© Central Coast Council 2025.

20 m

Scale =
1:737.100

PROPOSED DETACHED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE WEST ULVERSTONE FOR

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 15/12/2025
Application No: DA2025168
Doc ID: 540577

M.J. GLOVER & M. APPEBY.

NOVEMBER 2025

PROJECT No. 5225

KNOWN SITE HAZARDS REFER TO SAFETY SITE PLAN		UNDERGROUND SERVICES		WORKING AT HEIGHTS		BUSHFIRE ATTACK LEVEL B.A.L. - N/A (CLASS 10A)	
DISTRIBUTION	DRAFT	PLANNING APPROVAL	BUILDING APPROVAL	BUILDING SURVEYOR	TITLE HOLDER	BUILDER	
TITLE REFERENCE Volume 217603 Folio 3		DESIGN WIND SPEED 'N2'	SOIL CLASS. 'H1'	BUILDING CLASS. 10(a)	CLIMATE ZONE SEVEN	ALPINE AREA NO	KNOWN SITE HAZARDS REFER TO SAFETY NOTES
AREAS AREA OF SHED 54.00 m ²		EXISTING DWELLING AREA TOTAL BUILDINGS	244.90 m ² 298.90 m ²	EXISTING LOT AREA SITE COVERAGE	1179.00 m ² 25.35 %		

TITLE PAGE	5225 - 1 OF 8
FLOOR, ELECTRICAL & ROOF PLANS 1:100	5225 - 2 OF 8
SLAB PLAN & ELEVATIONS 1:100	5225 - 3 OF 8
CROSS SECTIONAL DETAILS 1:20	5225 - 4 OF 8
GENERAL NOTES & SPECIFICATIONS	5225 - 5 OF 8
SITE LOCATION & SERVICES PLAN	5225 - 6 OF 8
SITE LOCATION & SETTING OUT PLAN	5225 - 7 OF 8
CONSTRUCTION SAFETY NOTES	5225 - 8 OF 8

PROPERTY IDENTIFICATION NUMBER 9716037
CERTIFICATE OF TITLE NUMBER 182326 FOLIO 14

NOTE: THE BUILDING CONTRACTOR SHALL ENSURE THAT THE WHOLE SET OF DRAWINGS AND SUPPORTING DOCUMENTATION IS PASSED ONTO ALL SUB CONTRACTORS & SUPPLIERS PRIOR TO THOSE ENTITIES COMMENCING MANUFACTURING OR SUPPLYING MATERIALS FOR THE PROJECT. WEEDA DRAFTING & BUILDING CONSULTANTS Pty. Ltd. WILL NOT BE LIABLE FOR ANY ACTION IF THESE CONDITIONS ARE NOT FOLLOWED. IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS OR SUPPORTING DOCUMENTS, THEY MUST BE REFERRED TO THE DESIGNER/DRAFTSMAN FOR RESOLUTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT © AND SHALL NOT BE REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN APPROVAL OF BOTH THE OWNERS AND WEEDA DRAFTING & BUILDING CONSULTANTS Pty. Ltd. PRIOR TO WORK COMMENCING ON SITE THE OWNER & BUILDER SHALL CHECK THAT THE APPROVED SET OF DRAWINGS ARE CORRECT & ARE THE SET OF DRAWINGS STATED IN THE BUILDING CONTRACT.

WEEDA Drafting
& Building Consultants Pty Ltd

95 Queen Street, West Ulverstone, 7315
Phone: (03) 6425 9333
Email: admin@weedadrafting.com.au

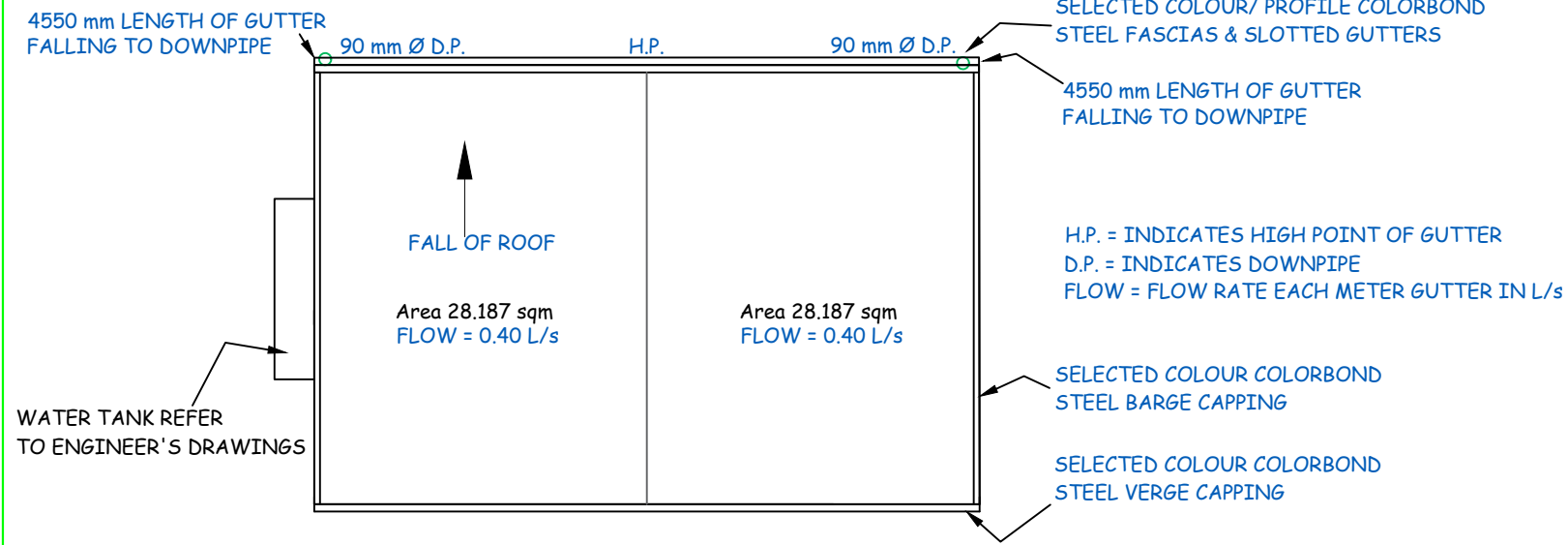
WORKPLACE STANDARDS TASMANIA BUILDING PRACTITIONER AC NUMBERS, ADAM: CC 5317 P Cat B.D.

PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE WEST ULVERSTONE FOR M.J. GLOVER & M. APPEBY.				DATE: 24/11/2025	SCALE: 1:100	CHECKED BY: J WEEDA	DRAWN BY: A WEEDA	DWG No. 5225 - 1 OF 8
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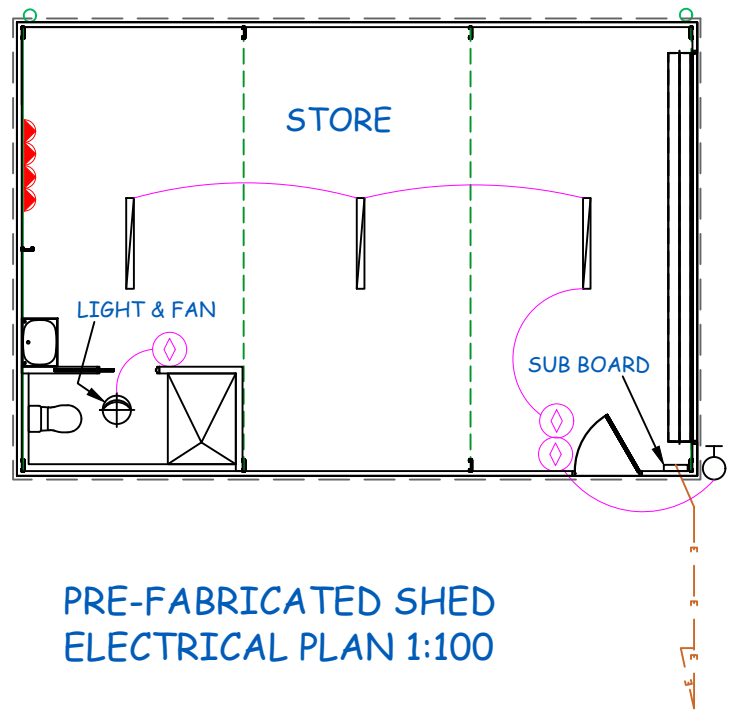
GUTTER & DOWNPIPE NOTES & CALCULATIONS:
 THE FOLLOWING IS TAKEN FROM PART THREE PLUMBING & DRAINAGE AUSTRALIAN STANDARDS AS/NZS 3500.3.2003
 CALCULATIONS TAKEN FROM ZONE 4 TASMANIAN A.R.I. CHART IN AN OCCURRENCE >/20 YEARS. FIGURE E8 5 MIN A.R.I. = 130 mm. PITCH SLOPE AS INDICATED ON THE ROOF PLAN. GRADIENT FOR THE EAVES GUTTERS SHALL BE 1:500 OR STEEPER. THEREFORE A_e IS 6400 m² 90 mmØ ROUND DOWNPIPE OR 100 X 50 mm SQUARE DOWNPIPE OR 6700 mm 100 mmØ ROUND DOWNPIPE OR 75 X 70 mm SQUARE DOWNPIPE. FROM FIGURE H2 MAXIMUM AREA PER 90 mmØ IS 52 m² & 100 mmØ IS 57 m².

ELECTRICAL LEGEND

- 275 mm HIGH DOUBLE POINTS
- HIGH DOUBLE POINTS
- EXTERNAL POWER POINTS
- SINGLE 1200 mm 11 W FLURO LIGHTS WITH DIFFUSER
- SENSOR LIGHT
- BATTEN LIGHT
- SWITCH
- 2 WAY SWITCH

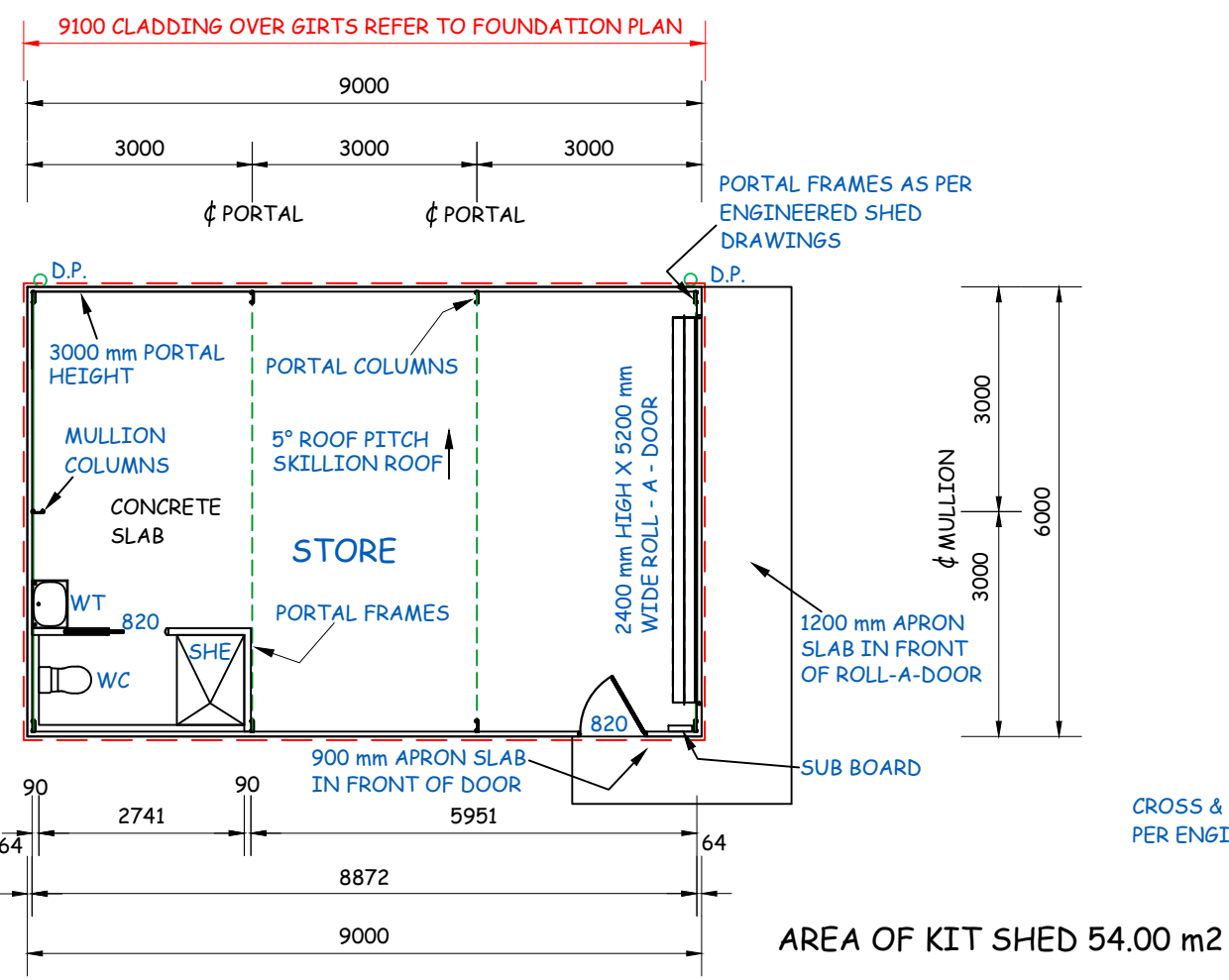
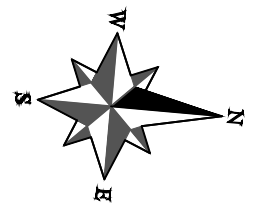


PRE-FABRICATED SHED ROOF PLAN 1:100

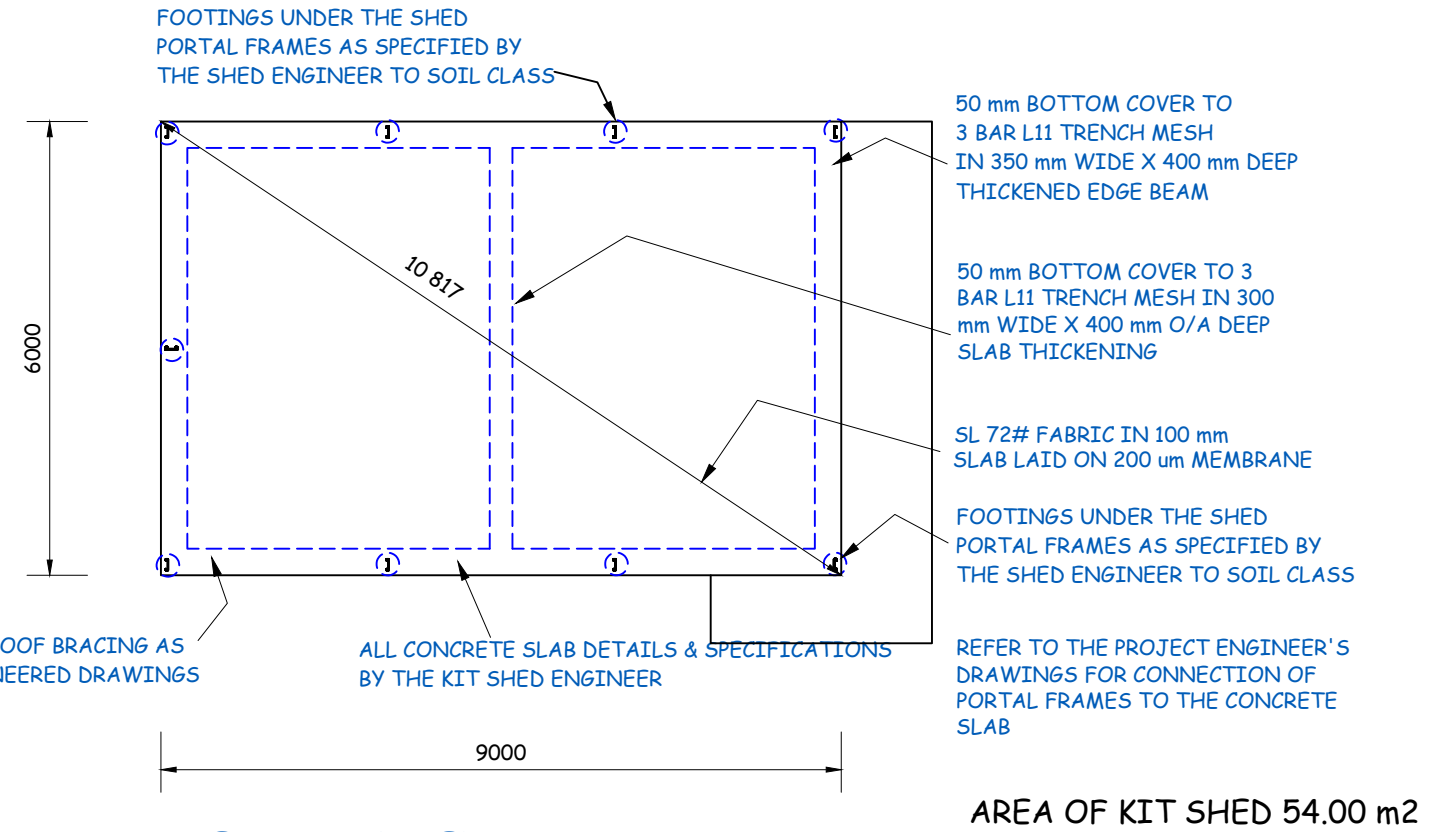


PRE-FABRICATED SHED ELECTRICAL PLAN 1:100

WET AREAS NOT NATURALLY VENTILATED REQUIRE MAKE UP AIR VIA A DOOR UNDERCUT OR COMPLY WITH A.S. 1668.2
 BATHROOMS NOT NATURALLY VENTILATED SHALL HAVE EXHAUSTS WITH A 10 MINUTE RUN-OFF TIMER INTERLOCKED WITH ROOMS LIGHT SWITCH.



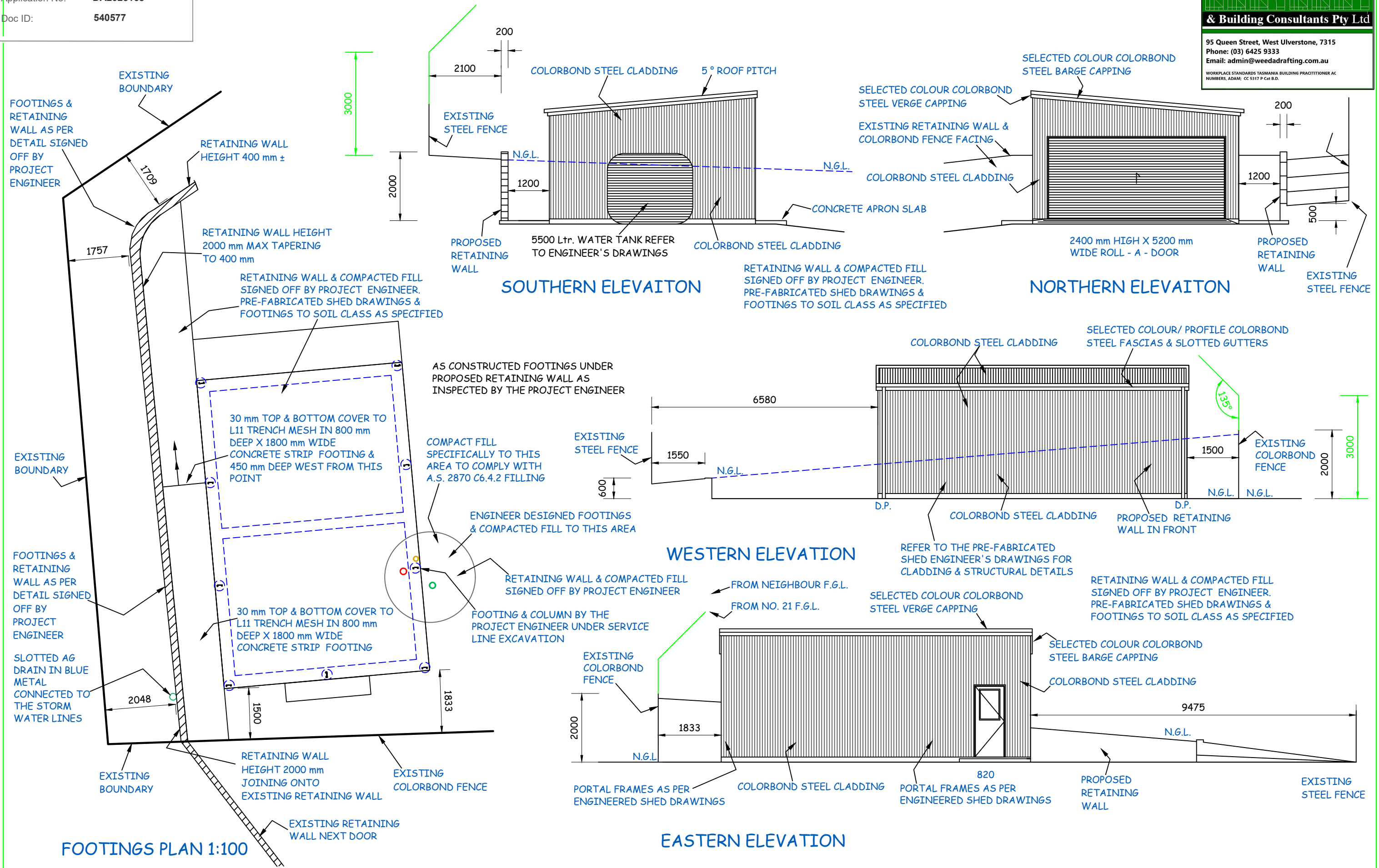
PRE-FABRICATED SHED FLOOR PLAN 1:100



PRE-FABRICATED SLAB PLAN 1:100

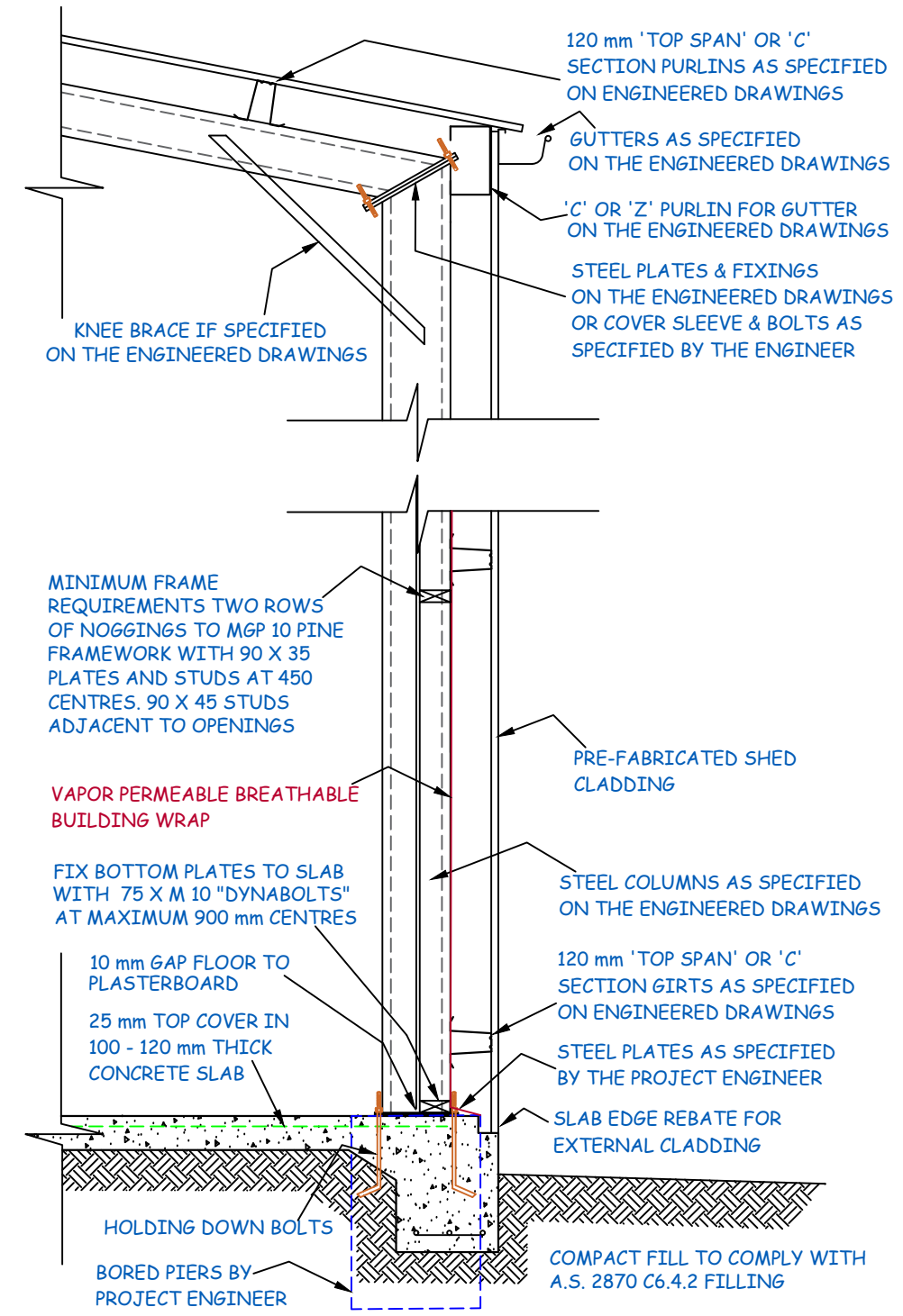
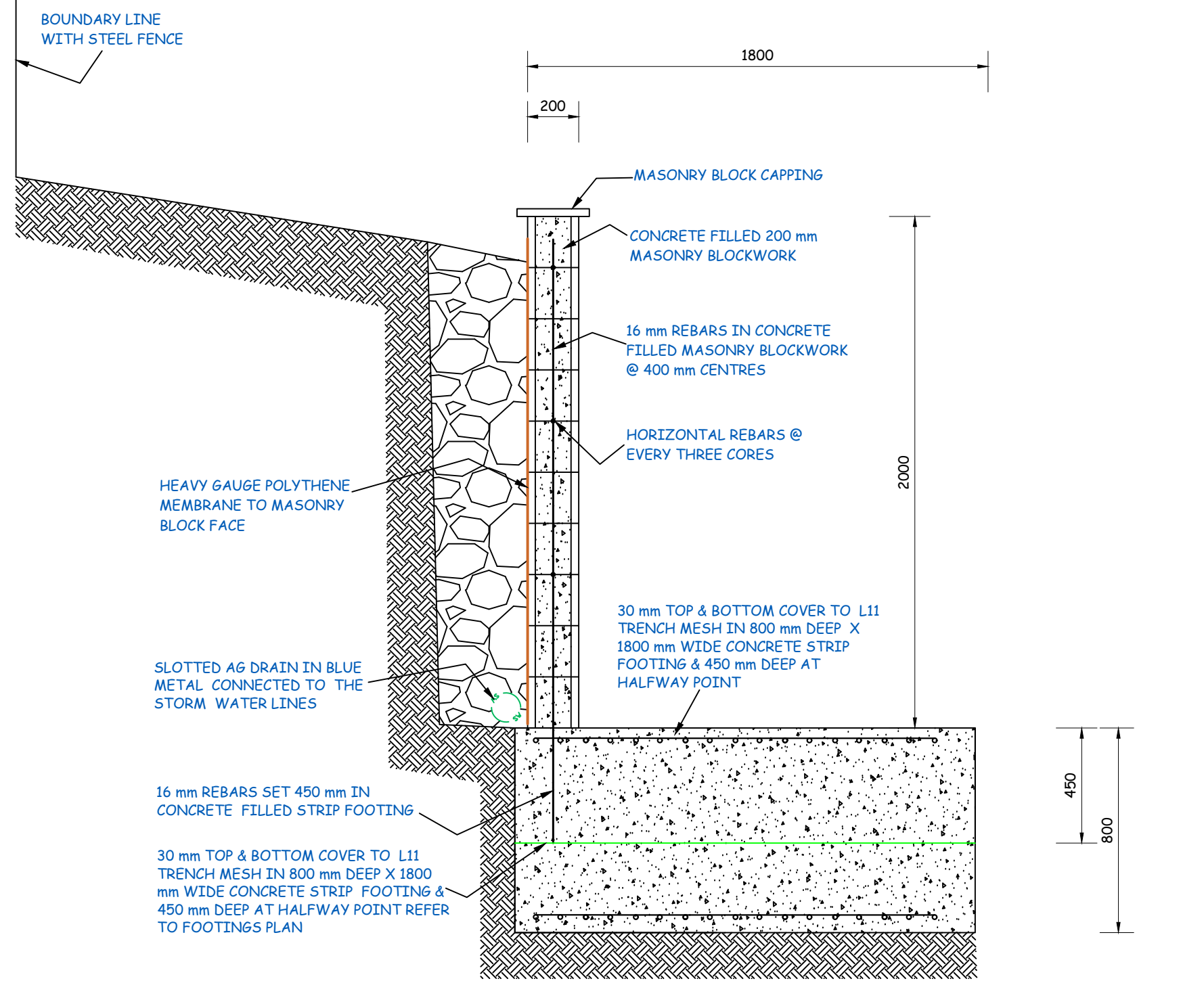
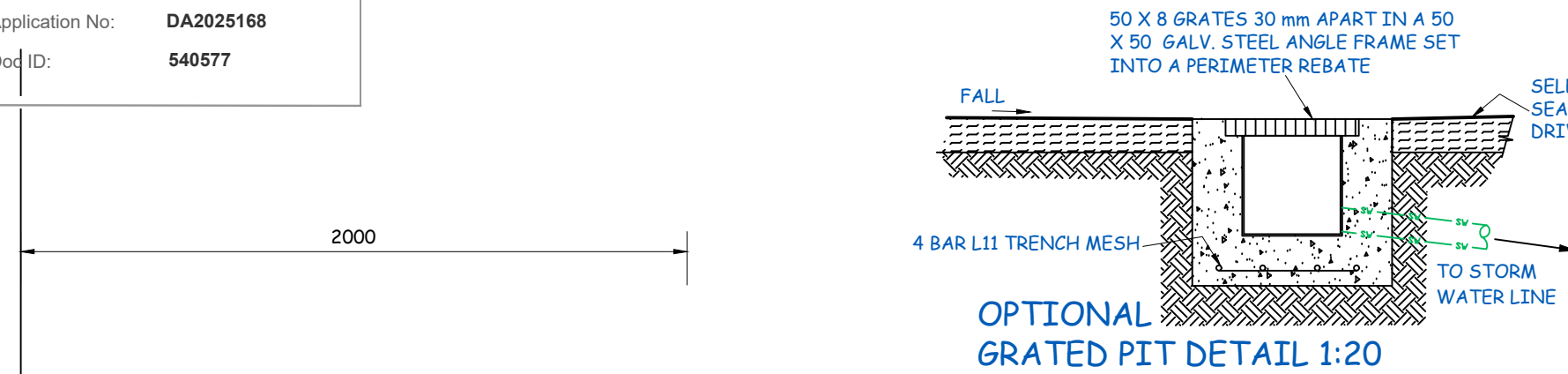
PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE WEST ULVERSTONE FOR M.J. GLOVER & M. APPLEBY.

DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
24/11/2025	1:100	J WEEDA	A WEEDA	5225 - 2 OF 8



PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE WEST ULVERSTONE FOR M.J. GLOVER & M. APPLEBY.

DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
24/11/2025	1:100	J WEEDA	A WEEDA	5225 - 3 OF 8



RETAINING WALL DETAIL 1:20

SLAB EDGE DETAIL 1:20

PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE WEST ULVERSTONE FOR M.J. GLOVER & M. APPLEBY.

DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
24/11/2025	1:20	J WEEDA	A WEEDA	5225 - 4 OF 8

The overriding document is the "NATIONAL CONSTRUCTION CODE SERIES " "Building Code of Australia Volume 2, Class 1 & 10 Buildings" which refers to the relevant Australian / NZ Standards. WHERE AS/NZ STANDARDS ARE NOTED, ENSURE THAT THE LATEST AND CURRENT EDITION IS REFERENCED

THE BUILDER SHALL APPLY & PAY FOR THE RELEVANT COUNCIL "WORKS IN A ROAD RESERVATION" PERMIT FOR DELIVERY OF GOODS VEHICLES THAT CAN NOT BE ACCOMMODATED FULLY ON THE SITE AT THE TIME OF DELIVERY.

THE SOIL CLASSIFICATION FOR THIS SITE HAS BEEN ASSESSED AS 'H1' UNDER A.S. 2870.

THE WIND CATEGORY FOR THIS SITE HAS BEEN ASSUMED AS 'N2' UNDER A.S. 4055.

THE CLIMATE ZONE FOR THIS SITE IS 7 UNDER N.C.C. H6V2 & FIGURE 2 & TABLE 3

NOTES

1. THE BUILDER SHALL HAVE A PUBLIC RISK INSURANCE POLICY TO THE VALUE OF \$5 MILLION.
2. THE BUILDER SHALL BE ACCREDITED FOR CLASS 1 & 10 CLASS BUILDINGS.
3. THE BUILDER SHALL ENSURE THE SAFETY ON SITE . USE ONLY APPROVED SCAFFOLDING.
4. USE ONLY TESTED & TAGGED POWER TOOLS.

SPECIFICATIONS (PRE-FABRICATED SHED)

1. CLEAR THE SITE & SET OUT THE WORKS. EXCAVATE THE SITE TO A LEVEL BASE.
2. FORM UP & EXCAVATE FOR THE THICKENED EDGE BEAM SLAB.
3. PROVIDE GRANULATED FILL AND CONSOLIDATE FULLY.
4. LAY 200 um MEMBRANE WITH 200 mm LAPPED JOINTS.
5. PROVIDE & PLACE THE TRENCH MESH & SL72 FABRIC TO COVER. FOR 100 mm THICK SLAB.
6. POUR THE SLAB AND FINISH TO A STEEL FLOAT LEVEL TOP WITH EDGE REBATES FOR THE ROLLER DOOR CURTAINS & CLADDINGS.
7. ALL STEELWORK ERECTION SHALL BE UNDER THE DIRECT SUPERVISION OF A QUALIFIED RIGGER.
8. ERECT THE STEELWORK TO DETAIL.
9. PROVIDE & FIX THE ROOF & WALL CLADDINGS.
10. PROVIDE & INSTALL THE ROLLER DOOR'S & P.A. DOOR SLIDER DOOR & ANY OPTIONAL WINDOWS AS DIRECTED BY THE OWNER(S).
11. FORM UP FOR THE GRAVELED HARDSTAND AREA OR AN APRON SLAB IN FRONT OF THE ROLLER DOORS.
12. PROVIDE & FIX GUTTERS & DOWNPIPES.
13. PROVIDE STORM WATER LINES AND CONNECT AS SHOWN ON THE PART SITE LOCATION & SERVICES PLAN.
14. PROVIDE SEWER LINES AND CONNECT AS SHOWN ON THE PART SITE LOCATION & SERVICES PLAN.
15. PROVIDE WATER LINE FROM DWELLING TO SHED.
16. RETAINING WALL AS PER DETAIL & SIGNED OFF BY ENGINEER.
17. PROVIDE AN UNDERGROUND MIXED POWER CIRCUIT FROM THE DWELLING & INSTALL A SUB BOARD.
18. LIGHTING AND POWER POINTS IN THE NEW BUILDING AS DIRECTED.
19. ALL SERVICE LINES ARE TO BE IDENTIFIED PRIOR TO START OF WORKS. LOCATION OF NEW SERVICE LINES SHALL BE RECORDED.
20. ON COMPLETION, CART AWAY DEBRIS AND LEAVE THE SITE TIDY.

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 15/12/2025
Application No: DA2025168
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WET AREA WATERPROOFING

WET AREAS SHALL EITHER COMPLY WITH THE N.C.C. Vol 2 H4D2 OR A.S. 3740-2021 & PART 10.2 OF THE ABCB HOUSING PROVISIONS. PLEASE NOTE THAT THE HOUSING PROVISIONS 10.2.12 STATES THAT THE MINIMUM FALL SHALL BE 1:80.

BUILDERS OR AGENT TO THE PROJECT BUILDER TAKE NOTE:
WET AREA WATER-PROOFING SHALL BE CHECKED BY BUILDING SURVEYOR AS PART SCHEDULED INSPECTIONS. THE BUILDER SHALL CONFIRM THIS WITH PROJECT BUILDING SURVEYOR PRIOR TO THE FLOOR COVERINGS OR WALL FINISHES BEING APPLIED. THE BUILDER SHALL ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS OF THE WATER-PROOFING PRODUCT & ALLOW FOR IMMINENT WEATHER CONDITIONS AS APPROPRIATE. THE WATER-PROOFING SPECIFICATIONS & APPLICATION USED BY THE BUILDER SHALL BY PROVIDED TO THE BUILDING SURVEYOR AS PART OF COMPLIANCE PAPERWORK

TERMINOLOGY

BACKING ROD - A SECTION OF CLOSED CELL FOAM MADE FROM FLEXIBLE PLASTICS

BOND BREAKER - A SYSTEM THAT PREVENTS THE MEMBRANE BONDING TO THE SUBSTRATE, BEDDING OR LINING

MEMBRANE - A BARRIER THAT IS IMPERVIOUS TO MOISTURE WHICH MAY BE A SINGLE OR MULTI-PART SYSTEM

WATERPROOF - THE PROPERTY OF A MATERIAL THAT DOES NOT ALLOW MOISTURE TO PENETRATE THROUGH IT WHEN TESTED IN ACCORDANCE WITH A.S. 4858

WATERPROOFING SYSTEM - A COMBINATION OF ELEMENTS THAT ARE REQUIRED TO ACHIEVE A WATERPROOF BARRIER AS REQUIRED BY A.S. 4858

WATER RESISTANT - THE PROPERTY OF A SYSTEM THAT RESTRICTS MOISTURE MOVE- MENT & WILL NOT DEGRADE UNDER CONDITIONS OF MOISTURE

WET AREA - AN AREA WITHIN A BUILDING WITH WATER FROM A WATER SUPPLY SYSTEM, WHICH INCLUDES BATHROOMS, SHOWERS, LAUNDRIES AND SANITARY COMPARTMENTS EXCLUDING KITCHENS, BAR AREA, KITCHENETTES OR DOMESTIC FOOD & PREPERATION AREAS

MATERIALS DEEMED WATERPROOF i) STAINLESS STEEL ii) MATERIAL NOT LESS THAN 99.9%% COPPER iii) FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS OF THE SHEETING iv) MEMBRANES MEETING THE REQUIREMENTS OF A.S. 4858 v) A.S. 3740 POLISHED CONCRETE WITH THE CORRECT APPLICATION

WATERPROOFING SYSTEM FOR THIS BUILDING PROJECT IS TO BE LOW VOC, AIR BARRIER, LOAD BEARING CLASS THREE MEMBRANE SUCH AS "LATICRETE HYDRO BAN" OR EQUIVALENT TO A.S. 4654.1 & A.S. 4654.2.

MASONRY TO PART 5.7

NOTE: FIBRE CEMENT SHEET STRUCTURAL FLOORING IS NOW INCLUDED AS A 'DEEMED TO SATISFY' SOLUTION AS OPPOSED TO JUST COMPRESSED CEMENT SHEET FLOORING WHICH ALLOWS FIBRE CEMENT SHEET PRODUCT TO BE INSTALLED WITHOUT THE NEED FOR A PERFORMANCE SOLUTION.

NOTE: HAND HELD BIDET SPRAY INSTALLATION SHALL BE TREATED AS SHOWER IN A WET AREA REFER TO WET AREA NOTES.

SILICONE USED MUST BE PAINTABLE & NON ACIDIC IF PLASTERBOARD IS USED IN WET AREAS THE BOTTOM EDGE MUST BE MADE WATERPROOF. WATER RESISTANT SHEETING SHALL BE IN ACCORDANCE WITH AS/NZS 2588. "VILLABOARD" LINING IS SPECIFIED TO WET AREAS SHALL BE USED IN PREFERENCE TO STANDARD PLASTERBOARD.

MATERIALS USED IN THE MANUFACTURE OF PERFORMED, PREFINISHED SHOWER BASES & ENCLOSURES SHALL BE SUCH THAT THE FINISHED PRODUCT IS WATERPROOF. SEALANTS: ALL SEALANTS SHALL BE WATERPROOF, FLEXIBLE, MOULD RESISTANT & COMPATIBLE WITH ADJACENT MATERIALS. IT IS STRONGLY RECOMMENDED THAT TO BE COMPATIBLE WITH ADJACENT MATERIALS & PRODUCTS THAT THE SAME MANUFACTURER'S SYSTEM IS USED. ADHESIVES: ALL ADHESIVES USED IN A WATERPROOFING SYSTEM SHALL BE WATER- PROOF & COMPATIBLE WITH THE MATERIALS BEING ADHERED. CURING: MATERIALS SHALL BE CURED ADEQUATELY FOR THEIR INTENDED USE.

WHERE REQUIRED, FALLS IN FLOOR FINISHES SHALL ALLOW ALL SURFACE WATER TO DRAIN WITHOUT PONDING EXCEPT FOR RESIDUAL WATER REMAINING DUE TO SURFACE TENSION. FOR SHOWER AREAS WITH A VERTICAL SEPARATION BETWEEN THE SHOWER AND THE WET AREA SUCH AS SHOWER SCREEN, HOB, STEP DOWN OR WATER STOP, THE FALL SHALL BE A MINIMUM OF 1:80. ALL OTHER SHOWER AREAS THE FALL SHALL BE A MINIMUM OF 1:80. FALLS TO THE GENERAL BATHROOM AREAS SHALL BE A MINIMUM OF 1:80. ALL SHOWER AND BATH BASES SHALL BE FULLY SUPPORTED TO PREVENT DISTORTION OR CRACKING.

WATERPROOFING FOR THIS DESIGN MUST ADHERE TO ALL INFORMATION CONTAINED HEREIN AND AUSTRALIAN STANDARDS. IN REGARDS TO THE POTENTIAL COSTS IN RECTIFYING WATER LEAKAGE DISTANCES TO WATERPROOF IN WET AREAS SHALL EXCEED THOSE REQUIRED TO THE PLANS SHOWN AT RIGHT. WATER PENETRATION MAINLY OCCURS AT JOINTS, SPECIAL ATTENTION MUST BE TAKEN IN THESE AREAS & POTENTIAL MOVEMENT AROUND JOINTS ACCOUNTED FOR.

FOR MEMBRANE APPLICATION REFER TO AS 3740 SECTION 4.5.

WATER STOPS AS 3740 SECTION 4.8

FOR DOOR OPENINGS AS 3740 SECTION 4.9 ALL FIGURES 4.9.1 & ADJACENT DETAILS.

FOR PENETRATIONS REFER TO AS 3740 SECTION 4.12. FOR BATHS & SPAS SECTION 4.13 (WITH SHOWERS OVER 4.13.3)

FREESTANDING BATHS 4.13.4. SHOWER CLASSIFICATION SECTION 2.2

FOR PREFORMED SHOWER BASES REFER TO AS 3740 SECTION 4.14.1 TO 4.15.4.

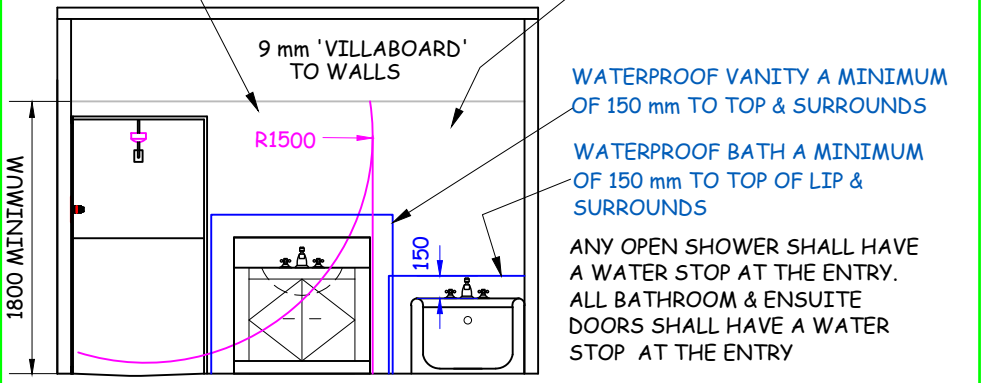
UNENCLOSED SHOWERS AS 3740 SECTION 4.8.2.

VINYL AS 3740 SECTION 4.16

WIND CLASS (NON CYCLONE)	WIND SPEED (Vh,u)	TERMINATION HEIGHT (mm)
N1	34	40
N2	40	50
N3	50	70
N4	61	100
N5	74	150
N6	86	180

WHERE THERE IS AN OPEN SHOWER OF ANY KIND WATERPROOFING MUST EXTEND IN EACH DIRECTION 1500 mm FROM SHOWER HEAD

BASED ON COVERAGE OF WATER-PROOFING SHOWN IT IS STRONGLY RECOMMENDED ALL WALLS FROM 1800 mm DOWN & ALL THE FLOOR REGARDLESS OF SUBSTRATE BE WATERPROOFED



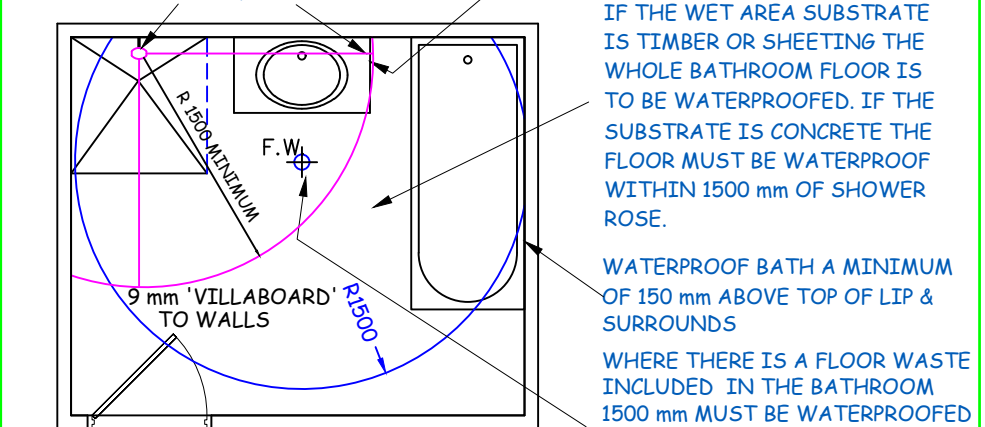
TYPICAL BATHROOM ELEVATION 1:50

IF THE SHOWER IS FULLY ENCLOSED WATERPROOFING CAN BE CONFINED TO THE AREA OF THE SHOWER & TO 1800 mm HIGH

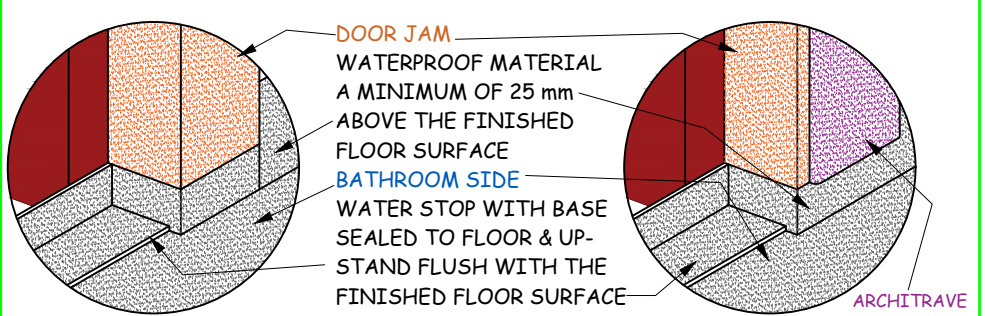
WHERE THERE IS AN OPEN SHOWER OF ANY KIND WATERPROOFING MUST BE 1500 mm FROM SHOWER HEAD

ENSURE ALL JOINTS ARE WATERPROOFED ADEQUATELY

WATERPROOF VANITY A MINIMUM OF 150 mm TO TOP & SURROUNDS



TYPICAL FLOOR PLAN 1:50



WATERPROOFING PRIOR TO INSTALLATION OF OF ARCHITRAVE

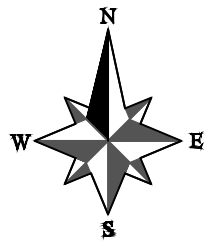
WATERPROOFING AFTER INSTALLATION OF OF ARCHITRAVE

PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE WEST ULVERSTONE FOR M.J. GLOVER & M. APPLEBY.				
DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
24/11/2025	AS SHOWN	J WEEDA	A WEEDA	5225 - 5 OF 8

WEEDA Drafting
& Building Consultants Pty Ltd

95 Queen Street, West Ulverstone, 7315
Phone: (03) 6425 9333
Email: admin@weedadrafting.com.au

WORKPLACE STANDARDS TASMANIA BUILDING PRACTITIONER AC NUMBERS, ADAM: CC 5317 P Cat B.D.



CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 15/12/2025
 Application No: DA2025168
 Doc ID: 540577

PROPERTY IDENTIFICATION NUMBER 9716037
 CERTIFICATE OF TITLE NUMBER 182326 FOLIO 14
 GENERAL RESIDENTIAL PLANNING ZONE
 LOT AREA 1179 m2
 BUSHFIRE PRONE AREA

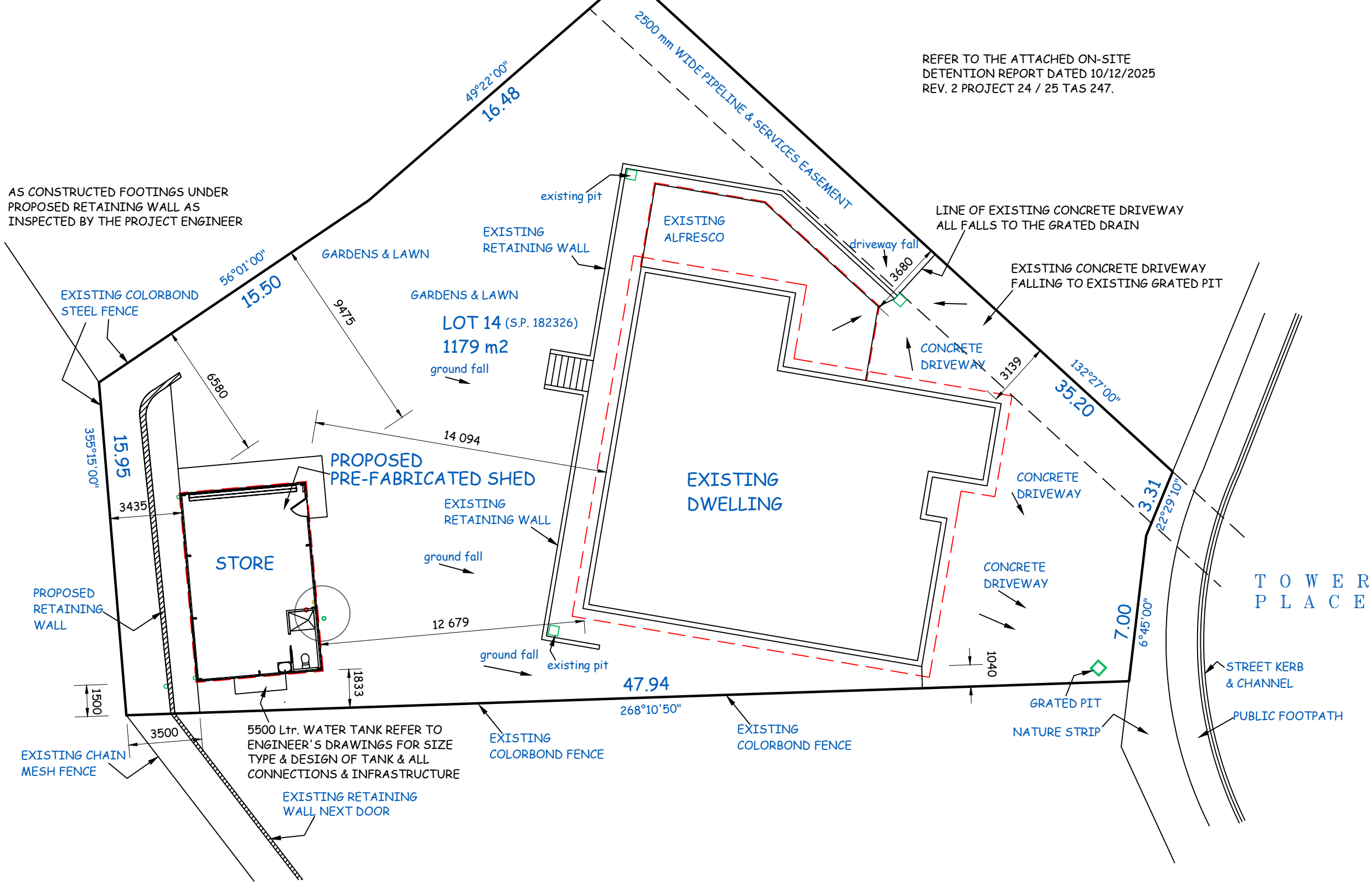
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 & Building Consultants Pty Ltd

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 Phone: (03) 6425 9333
 Email: admin@weedadrafting.com.au

WORKPLACE STANDARDS TASMANIA BUILDING PRACTITIONER AC
 NUMBERS, ADAM: CC 5317 P CA B.D.

**DOMESTIC CONSTRUCTION
 GENERAL NOTES**

- ONLY COMPLY WITH ITEMS RELEVANT TO THIS PROJECT
1. THE OWNER SHALL VERIFY THE CORRECT BOUNDARIES OF THE PROPERTY.
 2. THE BUILDER IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF ALL WORK.
 3. THE BUILDER SHALL VERIFY DIMENSIONS AND DETERMINE LEVELS ON SITE.
 4. FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED.
 5. ALL CONCRETE SHALL BE POKER VIBRATED AND CURED FOR 3 DAYS MIN.
 6. ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA CLASS 1 & 10 BUILDINGS AND THE FOLLOWING AUSTRALIAN STANDARDS:
 (a) A.S.2870 RES SLABS & FOOTINGS.
 (b) A.S.1302, 1303, & 1304 REINFORCEMENT.
 (c) A.S.1684 TIMBER FRAMING CODE.
 (d) A.S.4055 WIND LOADS & BRACING.
 (e) A.S.1720 TIMBER ROOF TRUSSES.
 (f) A.S.1562 STEEL ROOF CLADDING.
 (g) A.S.2050 TILED ROOFING.
 (h) A.S.4200 SARKING.
 (i) A.S.2589 PLASTERBOARD WALL LINING.
 (j) A.S.3740 WET AREA LININGS.
 (k) A.S.1288 GLASS & GLAZING.
 (l) A.S.3700 MASONRY CODE.
 (m) A.S.3500 PLUMBING WORK.
 7. GUTTERS AND DOWN PIPES SHALL COMPLY WITH THE N.C.C. H1D7
 8. PLASTERBOARD LINING TO WALLS AND BATTENED CEILING GENERALLY.
 9. "VILLABOARD" LINING TO WET AREAS REQUIRED BY N.C.C. H2D2 & H2D4 & A.S. 3740
 10. BRICK ARTICULATION JOINTS SHALL BE PROVIDED TO COMPLY WITH H1D5
 11. STAIRS & BALUSTRADES SHALL COMPLY WITH H5D2
 12. THIS PROJECT SHALL BE BUILT TO THE H.I.A. GENERAL SPECIFICATION FOR DOMESTIC AND OTHER APPROPRIATE BUILDINGS NOT EXCEEDING 12m HEIGHT.
 13. THIS WORK IS COPYRIGHT © AND MAY NOT BE COPIED IN ANY FORM WITHOUT PRIOR CONSENT FROM WEEDA DRAFTING & BUILDING CONSULTANTS Pty. Ltd.
 14. BUILDING FABRIC INSULATION SHALL COMPLY WITH A.S. 4859
 15. BUILDING SEALING SHALL COMPLY WITH N.C.C. H6V3
 16. BUILDING AIR MOVEMENT SHALL COMPLY WITH N.C.C. H4O5
 17. BUILDING SERVICES SHALL COMPLY WITH N.C.C. H4F3



AS CONSTRUCTED FOOTINGS UNDER PROPOSED RETAINING WALL AS INSPECTED BY THE PROJECT ENGINEER

REFER TO THE ATTACHED ON-SITE DETENTION REPORT DATED 10/12/2025 REV. 2 PROJECT 24 / 25 TAS 247.

SITE LOCATION & SETTING OUT PLAN 1:200

**PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE
 WEST ULVERSTONE FOR M.J. GLOVER & M. APPLEBY.**

DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
24/11/2025	1:200	J WEEDA	A WEEDA	5225 - 7 OF 8

ACRONYMS AND TERMS

AIRBORNE DUST - SUSPENSION OF SOLID PARTICLES IN THE AIR
 ASPHYXIAN - VAPOUR OR GAS THAT REDUCES/INTERFERES WITH THE BODIES ABILITY TO USE OXYGEN
 BAL - BUSHFIRE ATTACK LEVEL
 CHEMICAL AGENT - A SUBSTANCE THAT AFFECTS THE BODY IN A HARMFUL WAY
 CONFINED SPACE - AN AREA IN WHICH GAS/VAPOUR/DUST MAY OCCUR OR IN WHICH OXYGEN MAY BE USED UP OR AN AREA NOT DESIGNED FOR CONTINUOUS OCCUPANCY
 CORROSIVE - SUBSTANCE THAT WILL BURN THE SKIN OR EYES ON CONTACT
 HAZARD - ANY SITUATION WITH THE POTENTIAL TO CAUSE INJURY OR ILLNESS
 HIERARCHY OF CONTROL - METHOD OF CONTROLLING RISKS. REFER START OF WORKS MANUAL HANDLING - ACTIVITY THAT INVOLVES LIFTING LOWERING PUSHING OR PULLING BUILDING COMPONENTS
 OH&S - OCCUPATIONAL HEALTH & SAFETY
 OUT OF SERVICE TAG - INFORMATION SECURELY ATTACHED TO ANY EQUIPMENT WHICH IS NOT IN A CONDITION FIT FOR INTENDED USE
 PCBU - PERSON CONDUCTING A BUSINESS OR UNDERTAKING
 PPE - PERSONAL PROTECTIVE EQUIPMENT
 RISK - THE LIKELIHOOD THAT EXPOSURE TO A HAZARD WILL RESULT IN INJURY
 RSAH - ROOF SPACE ACCESS HATCH
 SDS - SAFETY DATA SHEETS
 SWMS - SAFE WORK METHOD STATEMENTS
 TOOL BOX MEETING - AN OCCUPATIONAL HEALTH & SAFETY SITE MEETING
 WHITE CARD - OH&S CONSTRUCTION INDUCTION SAFETY CARD
 WHS - WORK HEALTH & SAFETY
 WHSMP - WORK HEALTH & SAFETY MANAGEMENT PLAN

PROJECT CONTACT NUMBERS

NAME & NUMBER OF OWNER(S)	
NAME & NUMBER OF DRAFTSMAN	6425 9333 OR 0427 333 129
NAME & NUMBER OF ENERGY RATER	
NAME & NUMBER OF ENGINEER	
NAME & NUMBER OF BUILDING SURVEYOR	
NAME & NUMBER OF BUILDER	
NAME & NUMBER OF EXCAVATOR	
NAME & NUMBER OF CONCRETOR	
NAME & NUMBER OF BRICKLAYER	
NAME & NUMBER OF PLUMBER	
NAME & NUMBER OF ELECTRICIAN	
NAME & NUMBER OF DEMOLISHER	
NAME & NUMBER OF STEEL WORKER	
NAME & NUMBER OF DRAIN LAYER	
NAME & NUMBER OF WINDOW INSTALLER	
NAME & NUMBER OF ROOFER	
NAME & NUMBER OF PLASTERER	
NAME & NUMBER OF JOINER	
NAME & NUMBER OF PAINTER	
NAME & NUMBER OF INSULATION INST	
NAME & NUMBER OF GARAGE DOOR	
NAME & NUMBER OF TILE LAYER	
NAME & NUMBER OF GAS FITTER	
NAME & NUMBER OF SOLAR/AC INSTALLER	
NAME & NUMBER OF FLOOR FURNISHER	
NAME & NUMBER OF WINDOW FURNISHER	
NAME & NUMBER OF FENCER	
NAME & NUMBER OF LANDSCAPER	
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GENERAL SAFETY NOTES

NOTE: BY STARTING BUILDING WORKS IT IS UNDERSTOOD THAT THE BUILDER IN CHARGE HAS FULLY READ, UNDERSTOOD AND WILL ADHERE TO THE PLAN & ASSOCIATED DOCUMENTATION.

1. READ ALL PLANS PRIOR TO START OF WORK. PARTICULAR ATTENTION MUST BE MADE OF THE SAFETY INFORMATION CONTAINED WITHIN THE PLANS INCLUDING ANY ENGINEERING DRAWINGS.
2. THE PLANS & DOCUMENTATION NOTED ON THE FORM 35 SHALL BY USED IN CONJUNCTION WITH 'WORKSAFE TASMANIA' & WHERE NOTED OR DIRECTED BY 'WORKSAFE TASMANIA' 'SAFE WORK AUSTRALIA' THE FOLLOWING GUIDANCE NOTES ARE AVAILABLE ON 'WORKSAFE TASMANIA' THROUGH 'TASMANIA DEPARTMENT OF JUSTICE' WEBPAGE.
 - A) 'WORK SAFE AUSTRALIA' INCIDENT NOTIFICATION FACT SHEET
 - B) 'WORKSAFE TASMANIA' GUIDANCE NOTE
 - i) GN049 USING PORTABLE LADDERS SAFELY
 - ii) GN051 MAKING HOUSING CONSTRUCTION SITES SECURE AGAINST UNAUTHORISED PUBLIC ACCESS
 - iii) GN050 GUIDANCE ON PREVENTION OF FALLS IN HOUSING CONSTRUCTION
 - iv) GN104 FACILITIES FOR WORKERS AT CONSTRUCTION WORKPLACES
 - v) GN052 USING TIMBER FOR TEMPORARY PERIMETER GUARDRAILS
3. REFER TO THE FOLLOWING 'WORKSAFE TASMANIA' REGULATIONS
 - i) WHAT IS HIGH RISK CONSTRUCTION WORK WHS REGULATION 291
 - ii) WHAT IS A CONSTRUCTION PROJECT WHS REGULATION 292
 - iii) PRINCIPAL CONTRACTOR WHS REGULATION 293
 - iv) WHAT IS INVOLVED IN MANAGING RISKS ASSOCIATED WITH CONSTRUCTION WORK WHS REGULATION 297
 - v) CONSULTING WORKERS WHS ACT SECTION 47 & 48
 - vi) CONSULTING, COOPERATING & COORDINATING ACTIVITIES WITH OTHER DUTY HOLDERS WHS SECTION 46
 - vii) DUTIES RELATING TO CONSTRUCTION WORK WHS REGULATION 294 - 296
 - viii) PRINCIPAL CONTRACTOR WHS REGULATION 308 - 315
 - ix) MAINTAINING & REVIEWING CONTROL MEASURES WHS REGULATION 37 - 38
 - x) WHAT IS A SAFE WORK METHOD STATEMENT
 - xi) PREPARING A SWIM WHS REGULATION 299
 - xii) IMPLEMENTING A SWMS 300 / REVIEWING A SWMS
 - xiii) WHAT IS A WHS MANAGEMENT PLAN
 - xiv) WHAT MUST THE WHS MANAGEMENT PLAN CONTAIN
 - xv) HOW TO PREPARE A WHS MANAGEMENT PLAN
 - xvi) INFORMING PEOPLE ABOUT THE WHS MANAGEMENT PLAN
 - xvii) REVIEWING & REVISING A WHS MANAGEMENT PLAN
 - xviii) KEEPING THE WHS MANAGEMENT PLAN
 - xix) INFORMATION TRAINING INSTRUCTION & SUPERVISION WHS REGULATION 39
 - xx) GENERAL CONSTRUCTION INDUCTION TRAINING WHS REGULATION 316 - 317
 - xxi) WHITE CARDS WHS REGULATION 317 & 319
 - xxii) WORKPLACE SPECIFIC INDUCTION TRAINING
 - xxiii) OTHER TRAINING
 - xxiv) SUPERVISION
 - xxv) MANAGEMENT ARRANGEMENTS
 - a) APPENDIX & GLOSSARY
 - b) EXAMPLES OF CONSTRUCTION WORK
 - c) EXAMPLES OF HIGH RISK CONSTRUCTION WORK
4. APPENDIX D 'DESIGN DUTIES'
5. APPENDIX E 'SAFE WORK METHOD STATEMENT TEMPLATE GUIDELINES'
6. APPENDIX F 'SAMPLE OF A COMPLETED SAFE WORK METHOD STATEMENT'
7. APPENDIX G 'PREPARING A WHS MANAGEMENT PLAN'
8. APPENDIX H 'WHS MANAGEMENT PLAN TEMPLATE'
9. APPENDIX I 'SAMPLE OF A COMPLETED WHS MANAGEMENT PLAN'
10. APPENDIX J 'HOUSING CONSTRUCTION WORKPLACE MANAGEMENT ARRANGEMENTS'
11. APPENDIX K 'GENERAL CONSTRUCTION WORKPLACE MANAGEMENT ARRANGEMENTS' WHS REGULATION 40 (INCLUDING)
 - i) ENTRY & EXIT
 - ii) WORK AREAS
 - iii) FLOOR & SURFACES
 - iv) LIGHTING
 - v) HEAT & COLD
 - vi) ESSENTIAL SERVICES
 - vii) UNDERGROUND ESSENTIAL SERVICES
12. FACILITIES AT A CONSTRUCTION WORKPLACE WHS REGULATION 305
13. FIRST AID WHS REGULATION 42
14. EMERGENCY PLANNING WHS REGULATION 43
15. PERSONAL PROTECTIVE EQUIPMENT WHS REGULATION 44 & 46



NOTE: THE BUILDING CONTRACTOR SHALL ENSURE THAT THE WHOLE SET OF DRAWINGS AND SUPPORTING DOCUMENTATION IS PASSED ONTO ALL SUB CONTRACTORS & SUPPLIERS PRIOR TO THOSE ENTITIES COMMENCING MANUFACTURING OR SUPPLYING MATERIALS FOR THE PROJECT. WEEDA DRAFTING & BUILDING CONSULTANTS Pty. Ltd. WILL NOT BE LIABLE FOR ANY ACTION IF THESE CONDITIONS ARE NOT FOLLOWED. IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS OR SUPPORTING DOCUMENTS, THEY MUST BE REFERRED TO THE DESIGNER/DRAFTSMAN FOR RESOLUTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT © AND SHALL NOT BE REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN APPROVAL OF BOTH THE OWNERS AND WEEDA DRAFTING & BUILDING CONSULTANTS Pty. Ltd. PRIOR TO WORK COMMENCING ON SITE THE OWNER & BUILDER SHALL CHECK THAT THE APPROVED SET OF DRAWINGS ARE CORRECT & ARE THE SET OF DRAWINGS STATED IN THE BUILDING CONTRACT.

WEEDA Drafting

& Building Consultants Pty Ltd

95 Queen Street, West Ulverstone, 7315
 Phone: (03) 6425 9333
 Email: admin@weedadrafting.com.au

WORKPLACE STANDARDS TASMANIA BUILDING PRACTITIONER AC
 NUMBERS, ADAM: GC 5317 P Cat 8.D

WORKS IN A ROAD RESERVATION

1. WHERE PRACTICABLE ALL DELIVERY TRUCKS INCLUDING CONCRETE SHOULD UNLOAD ON SITE, IF DRIVEWAYS ARE TO BE POURED CONCRETE TRUCKS SHOULD POUR ON SITE & BEFORE LANDSCAPING IS DONE.
2. WHERE TRUCKS ARE UNLOADING FROM A ROAD RESERVATION A WORKS IN A ROAD RESERVATION PERMIT MUST BE OBTAINED FROM LOCAL COUNCIL. (FEE MAY BE APPLIED)
3. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO A.S. 1742.3 PRIOR TO WORKS.
4. CROSSOVERS MUST BE TO THE URBAN ROADS TYPICAL VEHICLE CROSSING STANDARDS.
5. PCBU MUST HAVE PUBLIC LIABILITY INSURANCE TO A MINIMUM OF \$5 m.

DURING BUILDING WORKS

1. THE BUILDER SHALL NOTIFY THE DESIGNER OF ANY DEFECTS OR AMBIGUOUS INFORMATION ON THE PLANS.
2. THE BUILDER SHALL NOTIFY THE DESIGNER OF ANY MAJOR CHANGES TO THE PLANS THAT HAS BEEN AGREED TO BY THE OWNER(S).

DEMOLITION

1. DEMOLITION MUST BE DONE IN ACCORDANCE WITH A.S. 2601
2. ALL DEMOLITION WORK IS TO BE CARRIED OUT BY LICENCED/QUALIFIED PCBU'S
3. ALL HAZARDOUS SUBSTANCES MUST BE IDENTIFIED PRIOR TO COMMENCEMENT.
4. THE PCUB SHALL CARRY OUT A DILAPDATION SURVEY OF ALL PROPERTIES IN CLOSE PROXIMITY THAT MAY BE AFFECTED BY THE DEMOLITION OF BUILDING WORK.
5. ALL DEMOLITION WORK MUST BE APPROVED BY BUILDING SURVEYOR & LOCAL COUNCIL.
6. DEMOLITION WORK MUST BE DONE IN A LOGICAL AND SAFE MANNER, A SITE PLAN SHOULD BE DRAWN UP TO DESIGNATE AREAS FOR WORK SHED, TOILET, PARKING, TRAFFIC MOVEMENT, REFUSE DISPOSAL & EMERGENCY EVACUATION POINT.

THESE DRAWINGS & IN PARTICULAR THE SAFETY INFORMATION ARE COPYRIGHT AND ANY UNAUTHORISED USE OF THIS MATERIAL WILL INCUR VIGOROUS LEGAL ACTION.

EMERGENCY NUMBERS

POLICE/FIRE/AMBULANCE	000 OR MOBILE 112
AURORA HOTLINE	1300 132 003 FALLEN POWER LINE 132 004
BURNIE CITY COUNCIL	6430 6666
CENTRAL COAST COUNCIL	6429 8900
DEVONPORT CITY COUNCIL	6423 0511
DIAL BEFORE YOU DIG	1100
ENERGY AUSTRALIA	131 388
GAS - TASGAS	131 888 OR TASGAS 180 2111 PIPELINE 1800 195 666
KENTISH COUNCIL	6491 2500
LATROBE COUNCIL	6421 4650
POISONS INFORMATION CENTRE	13 1126
STATE EMERGENCY SERVICE	132 500 OR 03 6434 5333
TAS WATER	13 6992 OR 13 699 2837
TELSTRA HOTLINE	132 125
WARATAH WYNARD COUNCIL	03 6443 8333 ALL HOURS
WEEDA BUILDING CONSULTANTS	03 6425 9333 OR 0438 252 861 OR 0427 333 129
WORKCOVER	1300 776 572
WORKPLACE STANDARDS	1300 366 322
MEANDER VALLEY	63935300

**PROPOSED STEEL FRAMED STEEL CLAD PRE-FABRICATED SHED AT 21 TOWER PLACE
 WEST ULVERSTONE FOR M.J. GLOVER & M. APPLEBY.**

DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
24/11/2025	1:100	J WEEDA	A WEEDA	5225 - 8 OF 8



CONSULTING
ENGINEERS

STORMWATER DRAINAGE MANAGEMENT REPORT

 CENTRAL COAST COUNCIL	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	18/02/2026
Application No:	DA2025168
Doc ID:	547495

Report prepared for:

21 Tower Place
West Ulverstone TAS 7315

Title Reference: 182326/14

Property Id: 9716037

Issue: P01

Date: 18 February 2026

Project: 24/25 TAS 247

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Report Amendment Register

Issue Ref	Amended Section(s)	Issue / Amendment Details	Author(s)	Reviewer	Date

REVISION/ISSUE AUTHOR:



Risden Knightley BE (Civil)

Ass Dip Civil Eng, FIEAust, CC 2539X

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1. Introduction

1.1 Scope

This document forms the basis for the stormwater management design and documentation for the project.

This report provides reference information, standards and inputs, a description of the existing site and the proposed works, discussion on the hydrological and hydraulic analysis of the proposed stormwater design.

This report has been prepared to support a Development Application in accordance with Central Coast Council's Stormwater Quality Management Policy for storm events up to and including 1% AEP.

Calculations have been prepared by a qualified practicing engineer using DRAINS and Australian Rainfall & Runoff Data from the BOM Hub site.

1.2 Project Overview

The Project site is located in West Ulverstone. The project site is within the Central Coast Council Local Government Area. The subject site is located at 21 Tower Pl, West Ulverstone, 7315 (title reference 182326/14).

Figure 1 - Locality Plan



As outlined in the opening Scope, this report addresses:

- Technical advice for storm events from 0.2EY to 1% for stormwater flows; and
- Australian Standard AS 3500.3 – Stormwater Drainage.

1.3 Existing Site Description and Conditions

The site is approximately 1179m² in area. The site has an existing dwelling. It is proposed to erect a steel framed steel clad pre-fabricated shed at the rear of the site. Refer plans by Weeda Drafting and Building Consultants.

2. Stormwater Management Design

2.1 Design Storm Events

Proposed stormwater drainage systems are designed for the peak flow of 0.2EY to 1% for stormwater flows with a 50% impervious level which was advised by Council. To address all the council requirements calculations are presented that represent the site both pre and post development. The Drains output files are attached.

2.2 DRAINS Model

A DRAINS model (Initial Loss – Continuing Loss Model) was utilised to simulate site conditions with impervious, supplementary and pervious surface storages. Design criteria for hydrology and hydraulic analysis was obtained and imported in accordance with ARR2019 from BOM and ARR data hub.

Catchment details utilized in the model are summarized as follows:

Pre Development	Sub Catchment	Area (m ²)	% Impervious	% Pervious
	Pre Development		1179	50

Post Development	Flow to Pit	Impervious Area	% Impervious	Pervious Area	% Pervious	Total Area (m ²)
	Rainwater Tank House	527m ²	100			527
	Rainwater Tank Shed	86m ²	100			86
	Remainder	566m ²	30		70	566
	Pit - yard					

2.3 OSD and Tank Details

Retention requirements over the site are estimated based on achieving a reduced discharge suitable for the design prepared by Weeda Drafting and Design. Since the increased impervious area is 86m^2 , retention storage required is 6.3m^3 for 1% AEP and 2.6m^3 for 0.2 AEP. Therefore, a minimum of 8m^3 (3m^3 for shed and 5m^3 for house) of retention storage must be provided for impervious surfaces on site, in conjunction with the pipe sizes designed.

Roof runoff will be conveyed to new proposed tanks as follows:

- Shed – 2 x 3000L tanks with a 30mm orifice
- House – 1 x 5000L tank with a 60mm orifice.

Total OSD required is 8000L.

3. Results

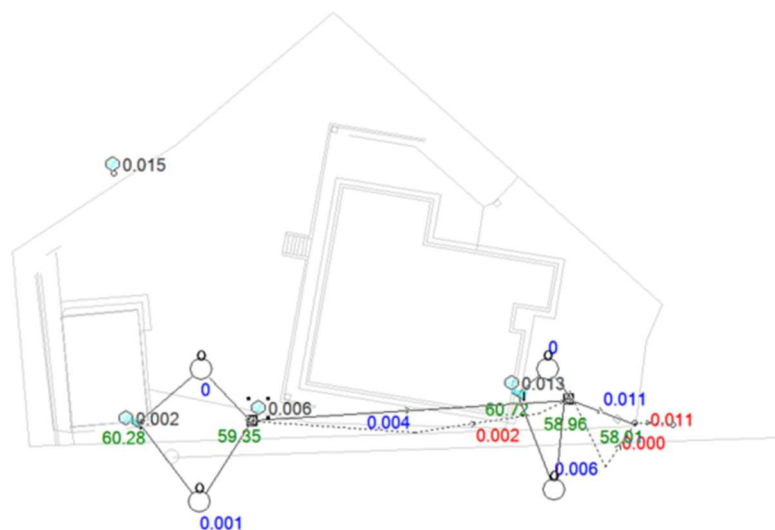
The following calculations verify that discharge from the site does not exceed the predeveloped conditions for design storm bursts up to and including 1% AEP. In compliance with Central Coast Council's policy, the Major and Minor drainage systems have been designed and summarised as follows:

Minor Drainage (0.2EY): (Figure 2 below)

- For residential and rural residential areas, the drainage must be designed to cater for a 0.2EY event.
- Based upon the existing conditions, the permissible peak discharge from the site is $0.015\text{m}^3/\text{s}$ for 0.2EY.
- Post development the total peak discharge from the site for 0.2EY is $0.011\text{m}^3/\text{s}$.
- The post-development peak flow rates from the site do not exceed the pre-development peak flow rates.

Figure 2 - Minor Drainage

Results for median storm in critical 20% AEP ensembles using Full Unsteady hydraulic model.

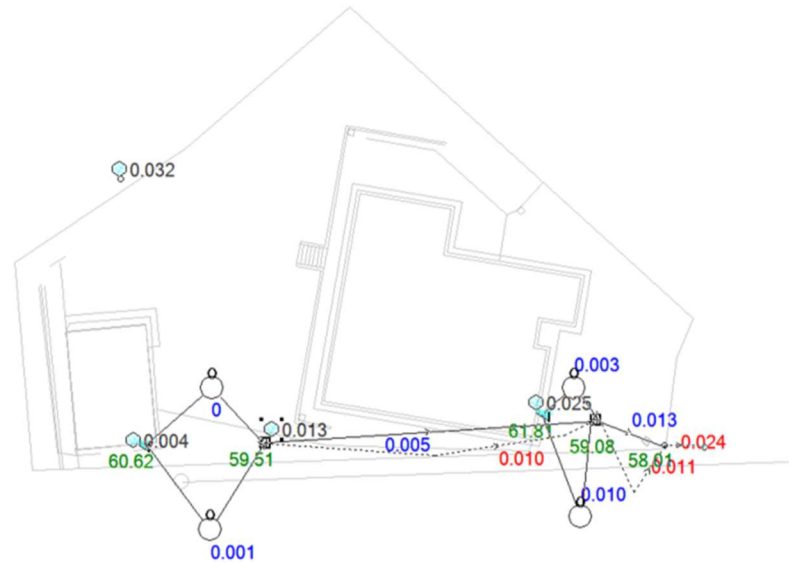


Major Drainage (1% AEP): (Figure 3 below)

- For residential and rural residential areas, the drainage must be designed to cater for a 1% AEP event.
- Based upon the existing conditions, the permissible peak discharge from the site is 0.015m³/s as it is limited by initial development design requirements.
- Post development the total peak discharge from the site for 1% AEP is 0.013m³/s in the pipes system with overland flow being 0.011m³/s.
- The post-development peak piped flow rates from the site do not exceed the pre-development peak flow rates.

Figure 3 – Major Drainage

Results for median storm in critical 1% AEP ensembles using Full Unsteady hydraulic model.



4. Erosion and Sediment Control

To maintain the water quality during the construction stage, erosion and sediment control measures will be installed. Soil management measures shall follow the Landcom guidelines – Managing Urban Stormwater Runoff: Soils and Construction (“Blue Book”).

Potential erosion and sediment control measures for the development may include, but not limited to, the following:

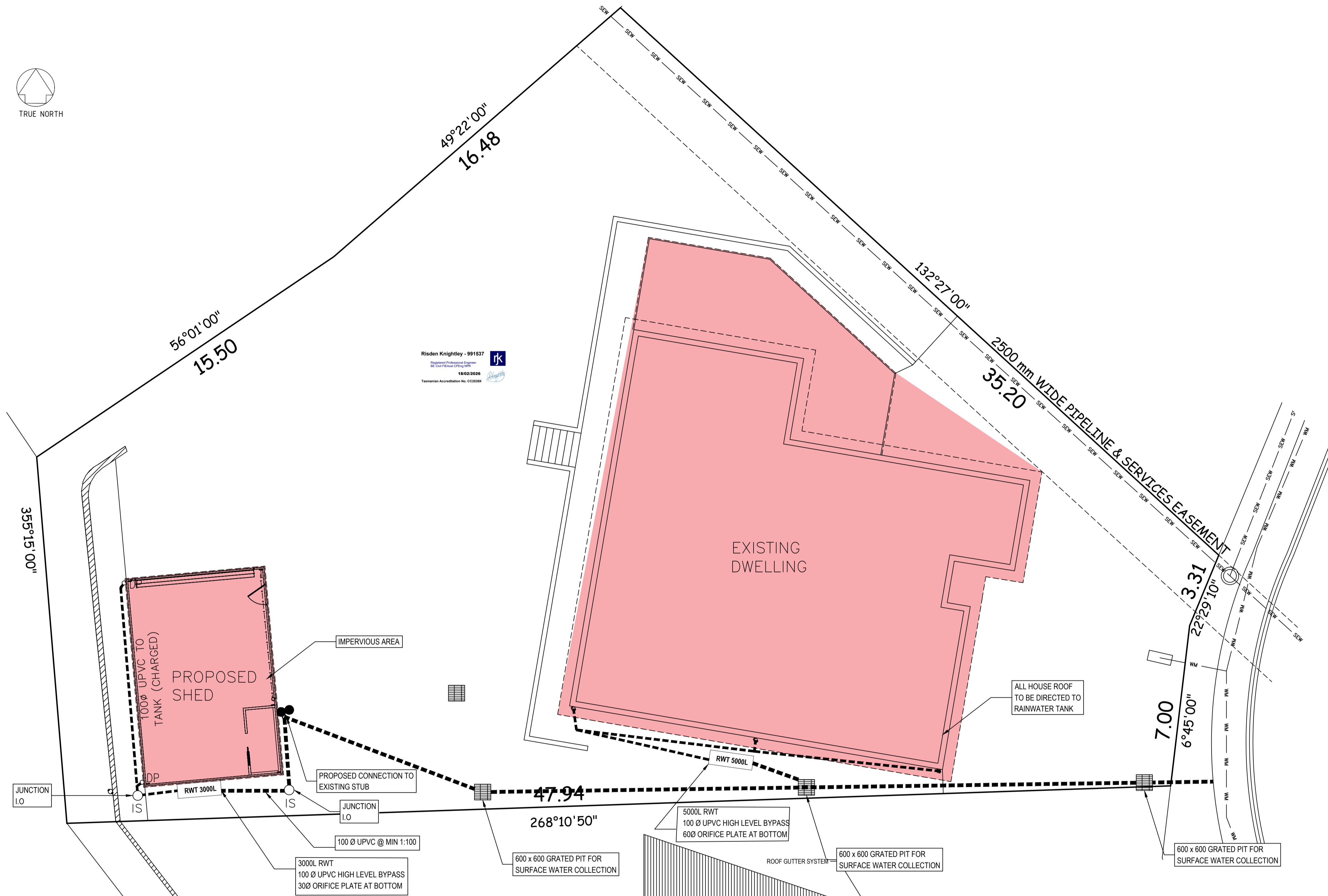
- Sediment fences around stockpiles and construction zones where soils are exposed.
- Settlement tanks/basins.
- Catch drains/bunds to collect construction site runoff and convey flows to the settlement basin.
- Sediment protection devices on existing and proposed inlet pits i.e., filter socks.

5. Conclusion

This report outlines the concept design principles that are intended for the management of stormwater runoff quality and quantity associated with the proposed development.

The report and data supports the use of a minimum 6.3m³ of storage. Refer Drains Calculations.

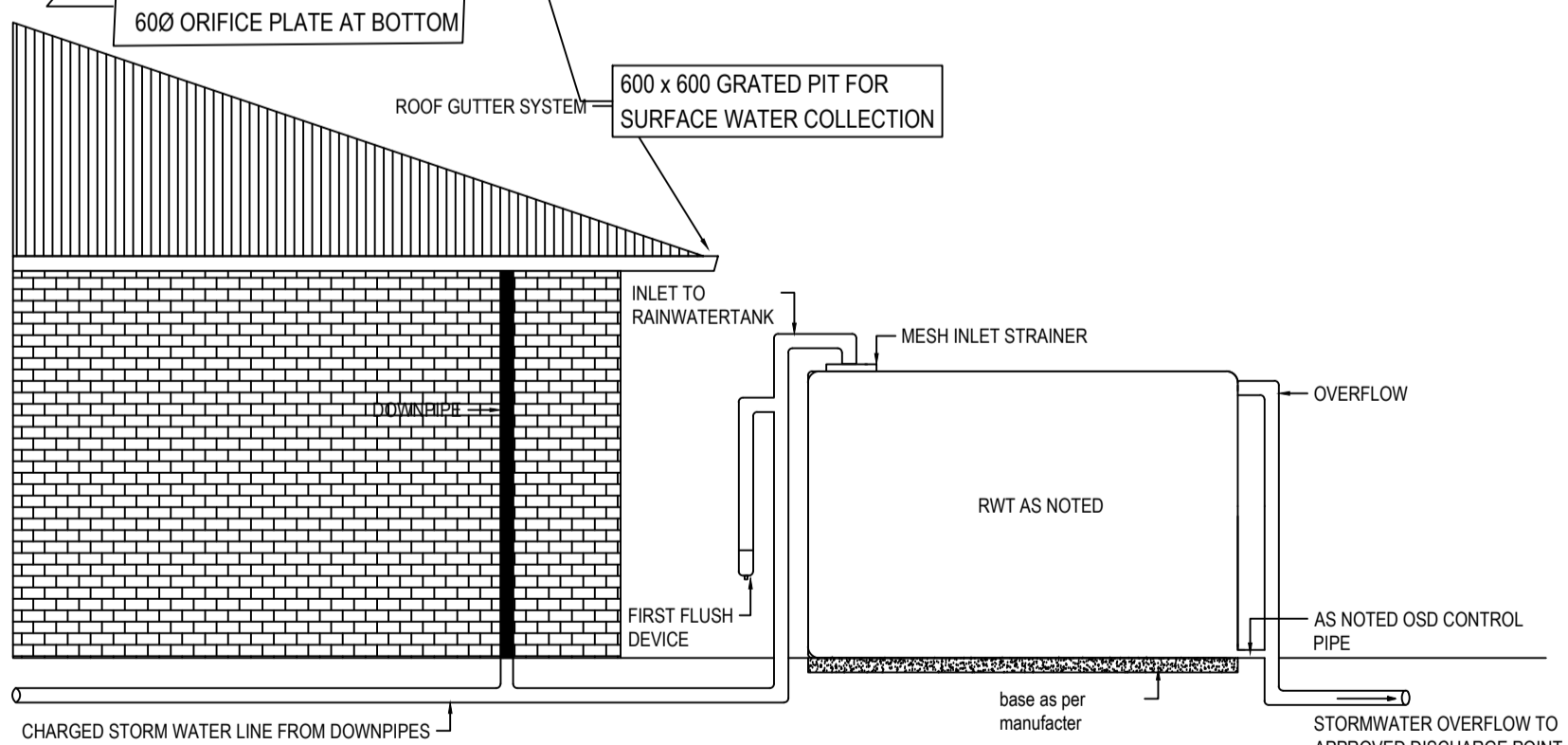
The report has been based on subjective design levels and these would need to be confirmed prior to construction should they differ to the data input data.



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 18/02/2026
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LEGEND	
DP 100Ø uPVC -	DOWNPIPE CONNECTION
DP _o -	DOWNPIPE
-----	100Ø CHARGED DOWNPIPE
GP	GRATED PIT
SP	SILT PIT
IS	INSPECTION SHAFT
AGI	AGI DRAIN (CONNECT TO SILT PIT)

CIVIL DRAINAGE PLAN
 SCALE 1:100



DETENTION TANK SPECIFICATIONS
 SLIMLINE ABOVE GROUND TANK.

NOTE
 BUILDER TO CONFIRM ALL SURFACE AND INVERT LEVELS ON SITE PRIOR TO CONSTRUCTION.

NOTE
 BEWARE OF ALL UNDERGROUND SERVICES. ALL THE EXISTING SERVICES ARE NOT SHOWN ON THE PLAN. BUILDER TO ENSURE CLEARANCES FROM THE SERVICES.

NOTE
 BUILDER MUST CONFIRM THE EXACT LOCATION, DEPTH & INVERT OF EXISTING KERB ON SITE PRIOR TO COMMENCING ANY INTERNAL DRAINAGE WORKS. ANY DISCREPANCIES MUST BE REFERRED TO APPLICANT'S ENGINEER TO AMEND PLANS AND RESUBMIT TO COUNCIL FOR APPROVAL.

TITLE DRAINAGE DESIGN PLAN
 21 TOWER PI, WEST
 ULVERSTONE TAS 7315

No.	Subject	Date	Initial
	CHANGED OSD TO MEET COUNCIL	11.02.26	A.A.
A	PRELIMINARY ISSUE TO CLIENT	22.09.25	A.A.
REVISIONS			

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RJK CONSULTING ENGINEERS
 0400 642 469
 TASMANIA - PO BOX 128, PROSPECT
 TAS 7250

Design	A.A.	Date	11/02/26
Checked	R.K.	Scale	1:100
Page	Scale A1	Drawing No.	
Sheet No.	2	Rev.	A
			24/25 TAS247

PIT / NODE DETAILS

Version 15

Name	Type	Family	Size	Ponding Volume (cu.m)	Pressure Change Coeff. Ku	Surface Elev (m)	Max Pond Depth (m)	Base Inflow (cu.m/s)	Blocking Factor	x	y	Bolt-down lid	id	Part Full Shock Loss	Inflow Hydrograph	Pit is	Internal Width (mm)	Inflow is Misaligned	Minor Safe Pond Depth (m)	Major Safe Pond Depth (m)
N469	Node								0	2.19E+08	27728259		123022		No					
N2109	Node					58.9			0	2.19E+08	27728238		396252		No					
Pit3	OnGrade	Grated Pit	600x600		1.5	59.5			0	0	2.19E+08	27728238	No	5	1 x Ku	No	New			
Pit4	OnGrade	Grated Pit	600x600		1.5	59			0	0	2.19E+08	27728240	No	9	1 x Ku	No	New			
N5	Node					59			0	2.19E+08	27728238		6		No					

DETENTION BASIN DETAILS

Name	Elev	Surf. Area	Not Used	Outlet Type	K	Dia(mm)	Centre RL	Pit Family	Pit Type	x	y	HED	Crest RL	Crest Leng	id
shed rwt	59.99	1.714		None						2.19E+08	27728238	No			3
	60	1.714													
	60.5	1.714													
	61.75	1.714													
	61.86	1.714													
Basin6	59.99	2.857		None						2.19E+08	27728241	No			15790
	60	2.857													
	61.75	2.857													
	61.86	2.857													

SUB-CATCHMENT DETAILS

Name	Pit or Node	Total Area (ha)	EIA %	Perv Area %	RIA %	EIA Time (min)	Perv Time (min)	RIA Time (min)	EIA Length (m)	Perv Length (m)	RIA Length (m)	EIA Slope(%)	Perv Slope %	RIA Slope %	EIA Rough	Perv Rough	RIA Rough	Rainfall Multiplier
Cat1	shed rwt	0.0086	100	0	0	5	7	2										1
Cat2	Basin6	0.0527	100	0	0	5	7	2										1
Cat288	N469	0.1179	50	50	0	5	7	2										1
Cat3	Pit3	0.0566	30	70	0	5	10	2										1

PIPE DETAILS

Name	From	To	Length (m)	U/S IL (m)	D/S IL (m)	Slope (%)	Type	Dia (mm)	I.D. (mm)	Rough	Pipe Is	No. Pipes	Chg From	At Chg	Chg (m)	RL (m)	Chg (m)	RL (m)	etc (m)
Pipe2	Pit3	Pit4	30	59	58.7		1 uPVC, not t	90	86	0.012	New	1	Pit3		0				
Pipe3	Pit4	N5	5	58.65	58.6		1 uPVC, not t	100	105	0.012	New	1	Pit4		0				

DETAILS of SERVICES CROSSING PIPES

Pipe	Chg (m)	Bottom Elev (m)	Height of S Chg (m)	Bottom Elev (m)	Height of S Chg (m)	Bottom Elev (m)	Height of S etc (m)

CHANNEL DETAILS

Name	From	To	Type	Length (m)	U/S IL (m)	D/S IL (m)	Slope (%)	Base Width (m)	L.B. Slope (1:?)	R.B. Slope (1:?)	Manning n	Depth (m)	Roofed

OVERFLOW ROUTE DETAILS

Name	From	To	Travel	Spill	Crest	Weir	Cross	Safe Depth	SafeDepth	Safe	Bed	D/S Area	id	U/S IL	D/S IL	Length (m)

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18/02/2026

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[Handwritten signature]

			Time (min)	Level (m)	Length (m)	Coeff. C	Section	Major Storr (m)	Minor Storr (m)	DxV (sq.m/sec)	Slope (%)	Contributing %				
OF1752	Pit3	Pit4	0.2				4 m wide pi	0.3	0.15	0.4	1.56	0	393973	59.5	59	32
OF382	Pit4	N5	0.1				4 m wide pi	0.3	0.15	0.4	20	0	120093	59	58	5
OF1755	N5	N2109	0.1				4 m wide pi	0.3	0.15	0.4	5	0	395378	58	57.9	2

PIPE COVER DETAILS

Name	Type	Dia (mm)	Safe Cover	Cover (m)	
Pipe2	uPVC, not t	86	0.3	0.21	Unsafe
Pipe3	uPVC, not t	105	0.3	0.24	Unsafe

This model has no pipes with non-return valves

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18/02/2026

Tasmanian Accreditation No. CC2539X

DRAINS results prepared from Version 2025.01.9147.24925

PIT / NODE DETAILS

Version 8

Name	Max HGL	Max Pond HGL	Max Surf Flow (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint
Pit3	59.35		0.007		0.15	0.002	Inlet Capacity
Pit4	58.96		0.003		0.04	0	Inlet Capacity
N5	58.01		0.003				

SUB-CATCHMENT DETAILS

Name	Max Flow Q (cu.m/s)	EIA Max Q (cu.m/s)	Remaining EIA Max Q (cu.m/s)	EIA Tc (cu.m/s)	RIA Tc (min)	PA Tc (min)	Due to Storm (min)
Cat1	0.002	0.002	0	5	5	2	7 20% AEP, 5 min burst, Storm 1
Cat2	0.013	0.013	0	5	5	2	7 20% AEP, 5 min burst, Storm 1
Cat288	0.015	0.015	0	5	5	2	7 20% AEP, 5 min burst, Storm 1
Cat3	0.006	0.002	0.004	5	5	2	10 20% AEP, 45 min burst, Storm 5

PIPE DETAILS

Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm
Pipe2	0.004	0.69	59.313	58.959	20% AEP, 45 min burst, Storm 5
Pipe3	0.011	1.29	58.755	58.697	20% AEP, 45 min burst, Storm 6

CHANNEL DETAILS

Name	Max Q (cu.m/s)	Max V (m/s)	Due to Storm

OVERFLOW ROUTE DETAILS

Name	Max Q U/S	Max Q D/S	Safe Q	Max D	Max DxV	Max Width	Max V	Due to Storm
overflow								
orifice	0.001	0.001						20% AEP, 15 min burst, Storm 7
O15	0.006	0.006						20% AEP, 15 min burst, Storm 7
O10								
OF1752	0.002	0.002	1.134	0.012	0	1.23	0.29	20% AEP, 45 min burst, Storm 5
OF382	0	0	1.311	0	0	0	0	
OF1755	0.011	0.011	1.401	0.018	0.01	1.82	0.66	20% AEP, 45 min burst, Storm 6

DETENTION BASIN DETAILS

Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level
shed rwt	60.28	0.5	0.001	0	0.001
Basin6	60.72	2.1	0.006	0	0.006

Run Log for DRAINS v2025.01.9147.24925 run at 16:34:46 on 11/2/2026.

Run Log for DRAINS v2025.01.9147.24925 run at 16:34:46 on 11/2/2026.

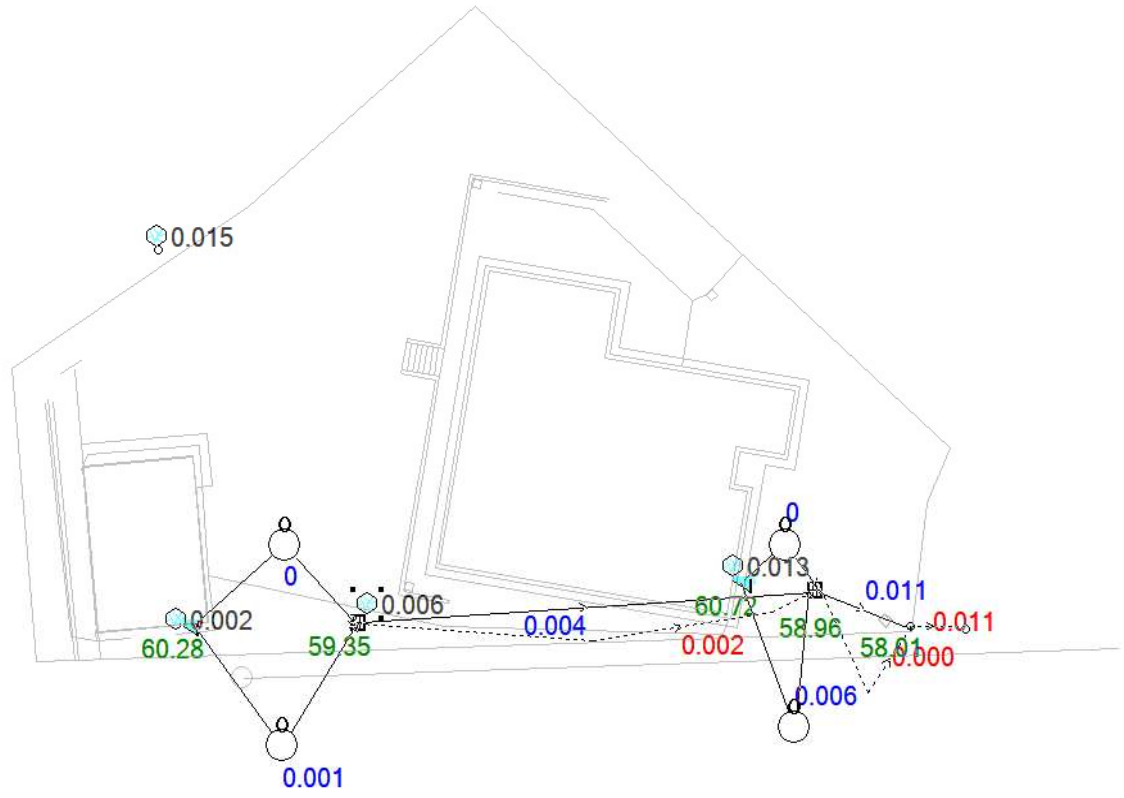
No water upwelling from any pit.

Freeboard was less than 0.15m at Pit4

Flows were safe in all overflow routes.



Results for median storm in critical 20% AEP ensembles using Full Unsteady hydraulic model.



DRAINS results prepared from Version 2025.01.9147.24925

PIT / NODE DETAILS

Version 8

Name	Max HGL	Max Pond HGL	Max Surf Flow (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint
Pit3	59.51		0.018		0	0.01	Outlet System
Pit4	59.08		0.014		0	0.011	Outlet System
N5	58.01		0.018				

SUB-CATCHMENT DETAILS

Name	Max Flow Q (cu.m/s)	EIA Max Q (cu.m/s)	Remaining EIA Max Q (cu.m/s)	EIA Tc (cu.m/s)	RIA Tc (min)	PA Tc (min)	Due to Storm (min)
Cat1	0.004	0.004	0	5	2	7	1% AEP, 5 min burst, Storm 1
Cat2	0.025	0.025	0	5	2	7	1% AEP, 5 min burst, Storm 1
Cat288	0.032	0.017	0.015	5	2	7	1% AEP, 30 min burst, Storm 2
Cat3	0.013	0.006	0.01	5	2	10	1% AEP, 30 min burst, Storm 4

PIPE DETAILS

Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm
Pipe2	0.005	0.79	59.465	59.083	1% AEP, 2 hour burst, Storm 9
Pipe3	0.013	1.52	58.755	58.702	1% AEP, 15 min burst, Storm 7

CHANNEL DETAILS

Name	Max Q (cu.m/s)	Max V (m/s)	Due to Storm

OVERFLOW ROUTE DETAILS

Name	Max Q U/S	Max Q D/S	Safe Q	Max D	Max DxV	Max Width	Max V	Due to Storm
overflow								
orifice	0.001	0.001						1% AEP, 20 min burst, Storm 1
O15	0.01	0.01						1% AEP, 15 min burst, Storm 4
O10	0.003	0.003						1% AEP, 15 min burst, Storm 4
OF1752	0.01	0.01	1.462	0.022	0.01	4	0.33	1% AEP, 30 min burst, Storm 2
OF382	0.011	0.011	1.311	0.014	0.02	1.43	1.11	1% AEP, 30 min burst, Storm 1
OF1755	0.024	0.024	1.401	0.024	0.02	4	0.65	1% AEP, 15 min burst, Storm 3

DETENTION BASIN DETAILS

Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level
shed rwt	60.62	1.1	0.001	0	0.001
Basin6	61.81	5.2	0.013	0	0.013

Run Log for DRAINS v2025.01.9147.24925 run at 16:39:16 on 11/2/2026.

Run Log for DRAINS v2025.01.9147.24925 run at 16:39:16 on 11/2/2026.

No water upwelling from any pit.

Freeboard was less than 0.15m at Pit4, Pit3

Flows were safe in all overflow routes.



Results for median storm in critical 1% AEP ensembles using Full Unsteady hydraulic model.

