



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053137

PROPOSAL: Three Multiple Dwellings (Two Existing & One New)

LOCATION: 19 Roybridge Way, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 03 September 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 03 September 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 03 September 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: 3 bedroom, 2 bathroom, 2 living areas, single garage,

Location: **19 Roybridge Way, Howrah**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Kylie Wright

Current use of site: **2 existing units**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 183097	FOLIO 21
EDITION 2	DATE OF ISSUE 15-Dec-2022

SEARCH DATE : 13-Apr-2023

SEARCH TIME : 06.34 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 21 on Sealed Plan 183097
 Derivation : Part of 730 Acres Gtd. to Frances Butler & Justin
 McCarthy Browne
 Prior CT 179035/200

SCHEDULE 1

M987914 TRANSFER to LAVANYA BAJANTHRI MADHU and SURESH MARAN
 Registered 15-Dec-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP183097 EASEMENTS in Schedule of Easements
 SP183097 COVENANTS in Schedule of Easements
 SP183097 FENCING PROVISION in Schedule of Easements
 E34443 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 23-Feb-2016 at 12.02 PM
 E34444 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 23-Feb-2016 at 12.03 PM
 E303086 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 11-Aug-2022 at 12.02 PM
 E322988 MORTGAGE to Bank of Queensland Limited Registered
 15-Dec-2022 at 12.02 PM

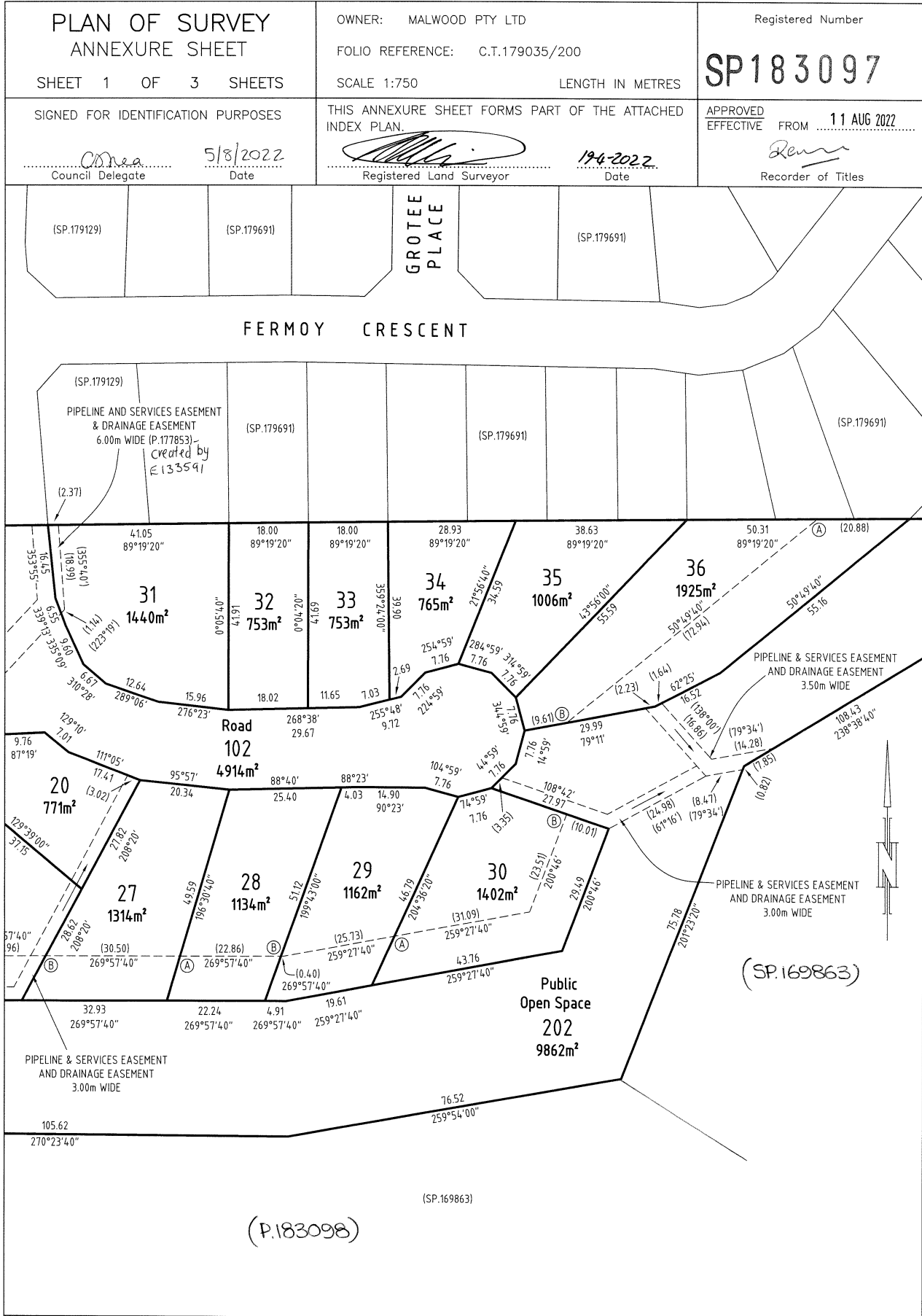
UNREGISTERED DEALINGS AND NOTATIONS

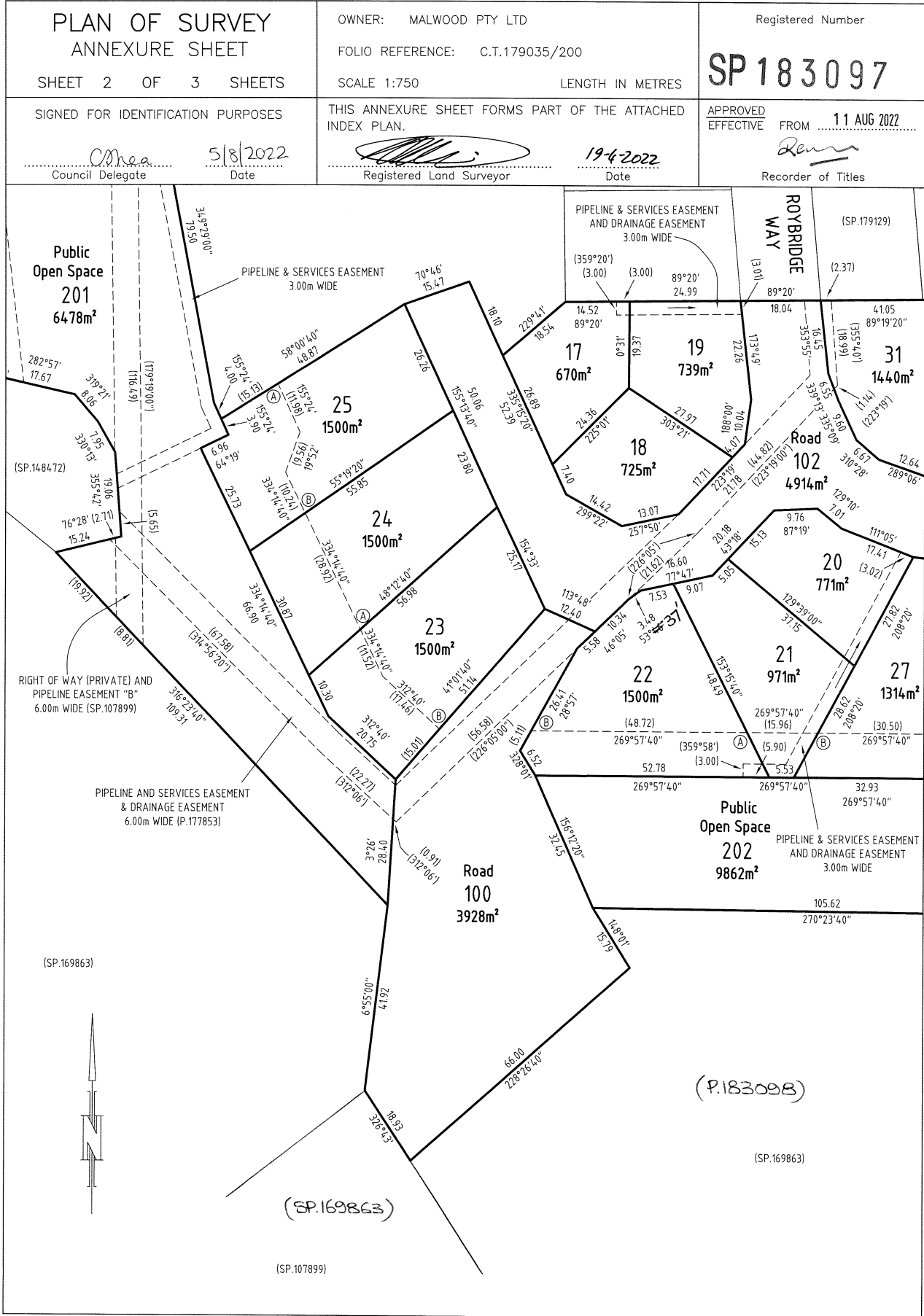
No unregistered dealings or other notations

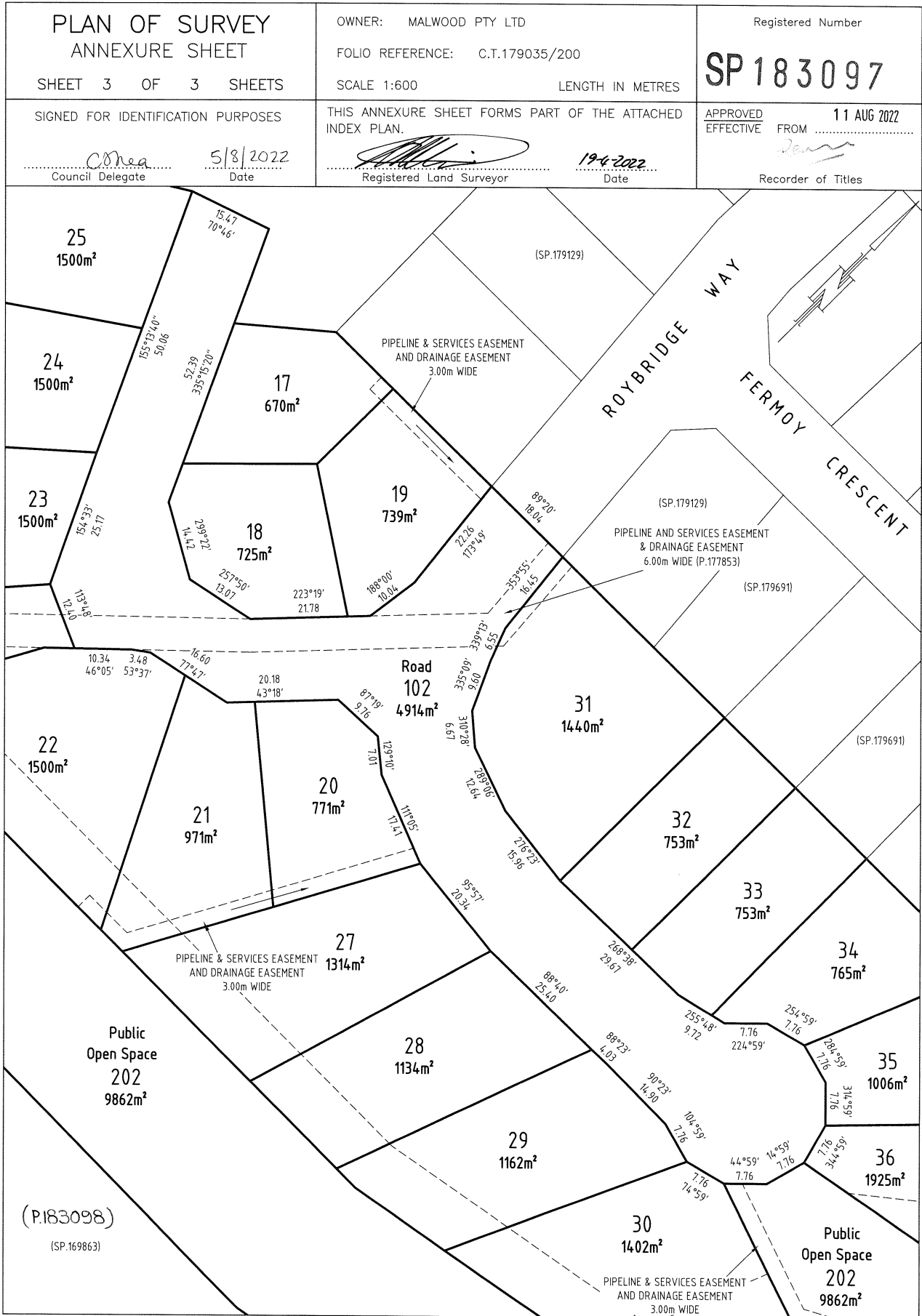
OWNER MALWOOD PTY LTD	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p>CITY OF CLARENCE</p> <p>SCALE 1: 1500 LENGTHS IN METRES</p>	REGISTERED NUMBER SP183097
FOLIO REFERENCE C.T.179035/200		APPROVED EFFECTIVE FROM 11 AUG 2022
GRANTEE PART OF 730 ACRES GRANTED TO FRANCES BUTLER & JUSTIN MCCARTHY BROWNE		Recorder of Titles



<p>Registered Land Surveyor</p>	<p>19/4/2022 Date</p>	<p>Council Delegate</p>	<p>5/8/2022 Date</p>
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SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP, 183097

PAGE 1 OF 6 PAGES
6

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 17 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 17 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 19 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 19 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lots 20-22 are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE passing through such lot on the plan

Lots 20-22 are each is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through such lot on the plan



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: MALWOOD PTY LTD FOLIO REF: 179035-200 SOLICITOR: MURDOCH CLARKE (Ben Dance)	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 5 Aug 2022 SUB-2011-30 REF NO. SD-2010/44
..... <i>C. Shea</i> Clare Shea Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES 6</p>	<p>Registered Number</p> <p>SP 183097</p>
<p>SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200</p>	

Lot 31 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE passing through that lot on the plan

Lot 31 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE ("the Easement Land") passing through that lot on the plan

Lots 100 & 102 are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE passing through such lot on the plan

Lots 100 & 102 are each subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 201 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE passing through that lot on the plan

Lot 201 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "B" 6.00 WIDE, PIPELINE & SERVICES EASEMENT 3.00 WIDE and PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 201 is subject to a right of carriageway (appurtenant to lot 5 on Sealed Plan 107899) over the land marked RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "B" 6.00 WIDE passing through that lot on the plan


Lot 201 is subject to a right of carriageway (appurtenant to lot 1 on Sealed Plan 148472) over the land marked RIGHT OF WAY (PRIVATE) 10.00 WIDE passing through that lot on the plan

Lot 202 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE and PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.50 WIDE passing through that lot on the plan

Director:

Director:

Director: 

Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

CS

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES 6</p>	<p>Registered Number</p> <p>SP183097</p>
<p>SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200</p>	

Lot 202 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE and PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.50 WIDE ("the Easement Land") passing through that lot on the plan

Easements continued Page 6

COVENANT A

The owners of lots 23-25 on the plan covenant with Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations-

1. Not to develop any part of a habitable building within the hazard management area delineated on the Bushfire Hazard Management Plan (Onto it Solutions 12 April 2022) unless constructed to a higher BAL, where the hazard management area on each lot is west of the line marked "AB" on the plan
2. Not to develop a habitable building to a higher BAL level within the hazard management area unless accompanied by a Bushfire Hazard Management Plan

COVENANT B

The owners of lots 21, 22, 27-30 & 36 on the plan covenant with Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations-

3. Not to develop any part of a habitable building within the hazard management area delineated on the Bushfire Hazard Management Plan (Onto it Solutions 12 April 2022) unless constructed to a higher BAL, where the hazard management area on each lot is south of the line marked "AB" on the plan
4. Not to develop a habitable building to a higher BAL level within the hazard management area unless accompanied by a Bushfire Hazard Management Plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Malwood Pty Ltd) shall not be required to fence

Director:

Director:

Director: *[Signature]*

Director: *[Signature]*

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 5 PAGES 6</p>	<p>Registered Number</p> <p>SP 183097</p>
<p>SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200</p>	

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means:-



FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);

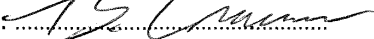
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ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES 6	Registered Number SP 183097
SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200	

- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

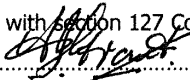
Signed for and on behalf of MALWOOD PTY LTD (ACN 009 577 931)
 being the registered proprietor of Folio 179035-200 in accordance
 with section 127 Corporations Act 2001 by-

Director: 
 Print Full Name: **TERENCE SCOTT CROMIN**
 Director: **DIRECTOR**
 Print Full Name:


**FREDERICK JAMES GRANT
 DIRECTOR**

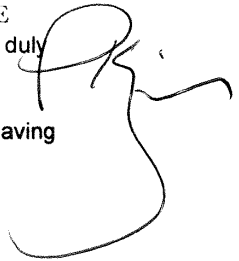
Signed for and on behalf of MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED
 (ACN 115 958 560) as mortgagee in Mortgage No B613235, Mortgage No B686336
 and Mortgage No B853252 pursuant to Transfer of Mortgage No C796934
 in accordance with section 127 Corporations Act 2001 by-

*AM 26/04/2022
 George Harris solicitor
 lawyer for mortgagee*

Director: 
 Print Full Name: **FREDERICK JAMES GRANT**
 Director: **DIRECTOR**
 Print Full Name:

EXECUTED by MURDOCH CLARKE MORTGAGE
 MANAGEMENT LIMITED ACN 115 958 560 as
 Responsible Entity of the MURDOCH CLARKE
 MORTGAGE FUND ARSN 093 255 559 by its duly
 authorised Attorney **PAUL KJZIS**
 pursuant to Power of Attorney registered on 15
 January 2018 Registered Number PA 109270 having
 received no notice of the revocation thereof

WITNESS: *AM Thomas*
 NAME: Andrea Marie Thomas
 ADDRESS: 10 Victoria Street,
 Hobart Tas 7000
 OCCUPATION: Legal Secretary



NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 6 PAGES</p>	<p>SP183097</p>
<p>SUBDIVIDER: - MALWOOD PTY LTD</p> <p>FOLIO REFERENCE: - 179035/200</p>	
<p>EASEMENTS CONTINUED</p> <p>Lots 31, 100, 102 & 201 are each subject to a pipeline and services easement in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Pipeline & Services Easement & Drainage Easement 6.00 wide on the plan and as created by and more fully set forth in E133591.</p> <p>Lot 201 is subject to a pipeline and services easement in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Right of Way (private) & Pipeline Easement 'B' 6.00 wide (SP107899) on the plan and as created by and more fully set forth in Sealed Plan 169863.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

Clause 8.4.1 Multiple dwelling density:
 A1 Acceptable Solution: Minimum of 325sqm per dwelling.
 Planning Comment: The subject site is 971sqm and the proposal for an additional dwelling including the 2 existing dwellings at the property would not comply with this.

Owing to the inability to comply with 325sqm per dwelling, the following P1 Performance Criteria are applicable:
 P1

Multiple dwellings must only have a site area per dwelling that is less than 325m², if the development will not exceed the capacity of infrastructure services and:

(a) is compatible with the density of existing development on established properties in the area;

or

(b) provides for a significant social or community benefit and is:

(i) wholly or partly within 400m walking distance of a public transport stop; or

(ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone.

Of the above, (b) is not applicable as this applies to large scale social housing developments.

In terms of (a), it is considered that as the subject site is in a fully serviced area, the proposal should be able to easily demonstrate that the capacity of existing infrastructure services (sewer, stormwater and water reticulation) should be able to cope with one additional dwelling. Council may require a servicing plan to demonstrate connection to services.

In terms of whether a development seeking approval with 3 dwellings on 323.6sqm would be consistent with development in the surrounding area.

The surrounding area is predominantly single dwellings on lots measuring between approximately 600-1900 sqm. There are, however, 3 multiple dwelling developments within 650m of the subject site. These are:

26 Buckingham Drive

2 dwellings on an internal strata scheme lot measuring 586sqm (inc access strip), giving an average of 293sqm each per dwelling;

22 Raleigh Court

4 dwellings on a strata scheme lot measuring 1230sqm, giving an average of 307.5sqm each per dwelling;

11 Connolly Dr

2 dwellings on a strata scheme lot measuring 685sqm, giving an average of 342.5sqm each per dwelling;

It is considered that at 323.6sqm per dwelling, an additional dwelling at 19 Roybridge Way could be considered to be consistent with these densities

RFI response to dot point 2:

See plan by Lark & Creese regarding Site density for multiple housing in the area

NOTE: Units are to be constructed to BAL-19 as per subdivision BAL assessment apart from the portion of Proposed Unit 2, where it encroaches line "A-B", a Bushfire Hazard Management plan will be required in accordance with Covenant B on the title

Refer to BAL report by Gary Williams for individual Unit BAL construction requirements

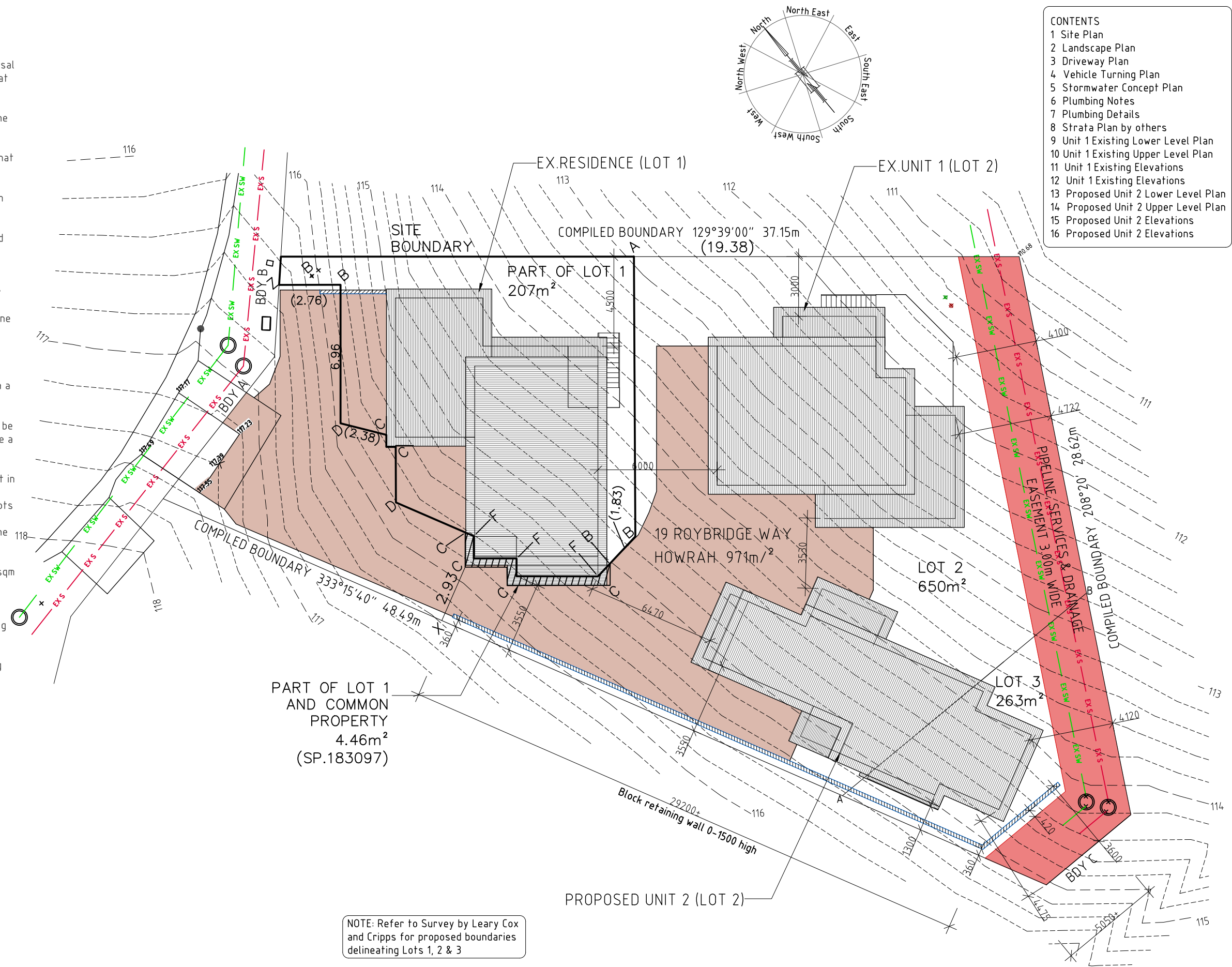
**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

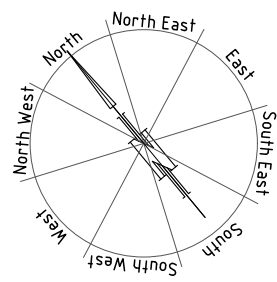
NOTE: Refer to Survey by Leary Cox and Cripps for proposed boundaries delineating Lots 1, 2 & 3

Line AB denotes BAL delineation line on title to a higher BAL rating

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH	SITE PLAN	DATE 15/07/25	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED 15/07/2025	DRAWING NO. 01 OF 16 Certified: G. Tilley Accreditation No. CC620H © copyright 2025 2025

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1	Site Plan
2	Landscape Plan
3	Driveway Plan
4	Vehicle Turning Plan
5	Stormwater Concept Plan
6	Plumbing Notes
7	Plumbing Details
8	Strata Plan by others
9	Unit 1 Existing Lower Level Plan
10	Unit 1 Existing Upper Level Plan
11	Unit 1 Existing Elevations
12	Unit 1 Existing Elevations
13	Proposed Unit 2 Lower Level Plan
14	Proposed Unit 2 Upper Level Plan
15	Proposed Unit 2 Elevations
16	Proposed Unit 2 Elevations



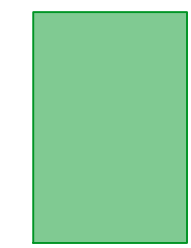


- CL Freestanding Retractable clothes line
- F1 1800 high paling fence
- F2 1200 high paling fence
- G Gate
- S 750x1500 shed
- WS 1.5m² impervious area for waste storage
1000x1500 concrete pad/paving

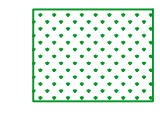
- Protea neriifolia 2-3m high
- Leucadendron Red gem 1.5m high
- Escallonia "Hedge edge" or similar 0.5m high

NOTE: Plant height stated is matured height apart from the hedge which can be managed to desired height.

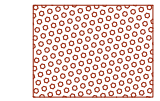
Garden bed not to extend against building, refer to CSIRO report for info



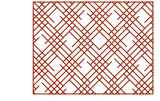
6.0m x 4.0m (24.00m²)
Private Open Space
Max. 1:10 gradient



Lawn



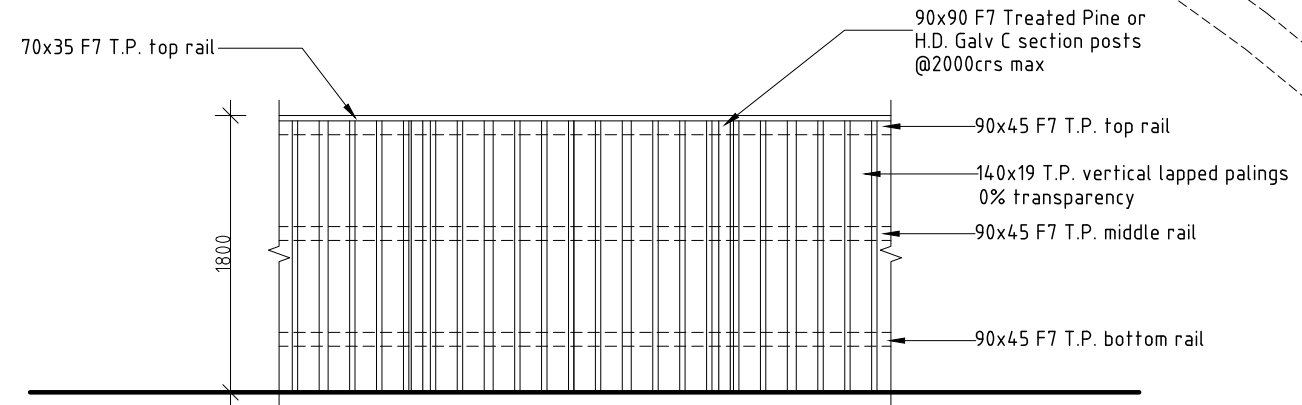
Decorative pebbles/gravel



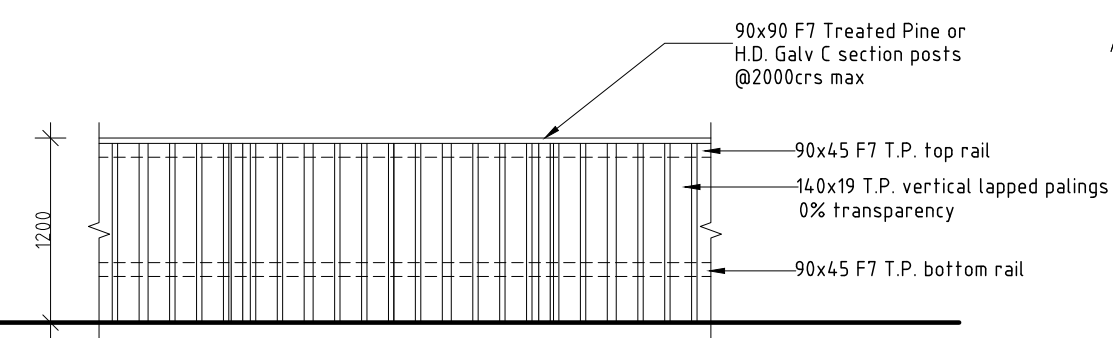
Mulched garden

Existing residence private Open Space	70.22m ²
Existing Unit 1 Private Open Space	138.93m ²
Proposed Unit 2 Private Open Space	144.52m ²

Impervious surface	575.47m ² divide by 971m ² = 59.26%
Pervious surface	345.53m ² divide by 971m ² = 40.74%



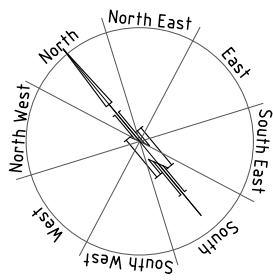
F FENCE ELEVATION (Typical)
Scale 1:50



F2 FENCE ELEVATION (Typical)
Scale 1:50

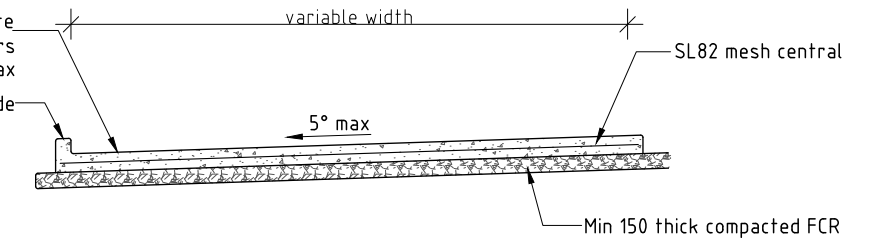
DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH	LANDSCAPE PLAN		DATE 15/07/25	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED 15/07/2025	DRAWING NO. 02 OF 16	Certified: G. Tilley Accreditation No. CC620H copyright 2025 2025

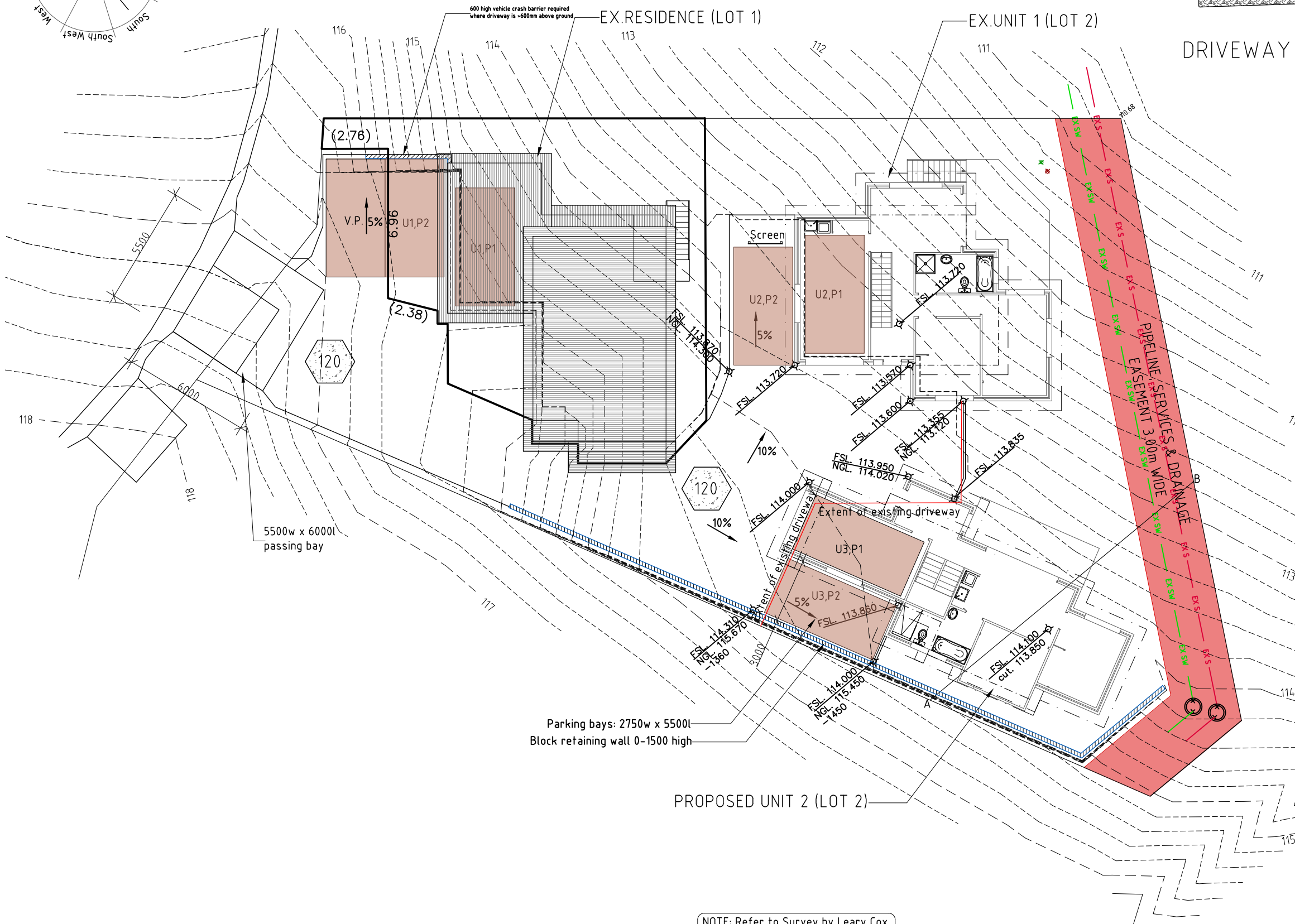


120 min thick 32MPa concrete
35mm sawcut at max 24 hours
after pour @6000 crs max

100 high barrier kerb to low side



DRIVEWAY CROSS SECTION (TYPICAL)
SCALE 1:50



— S — Sawcut to 25% of slab thickness as soon as able to cut without dragging out the aggregate

120 120mm Slab on grade, N25, 100 slump SL82 Central

Natural coloured concrete broom finished paving slab to driveway/access & parking

NOTE: All parking and turning areas to be clearly marked

Carparking and vehicle maneuvering to be of sealed construction and comply with AS2890.1-2004
NO PARKING/KEEP CLEAR signage to be installed for the turning bays so as to remain clear of vehicles at all times.
Visitor parking signs to be installed at visitor parking bays
Signage noting residential parking for all units to be installed for Unit parking spaces.
Parking and vehicle circulation roadways & pedestrian paths to be provided with bollard lighting. Refer to landscape plan for lighting locations.

NOTE: Max 10% gradient to vehicle manoeuvring areas

NOTE: Refer to Survey by Leary Cox and Cripps for proposed boundaries delineating Lots 1 & 2

**DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION**

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH

DRIVEWAY PLAN

SCALE 1:200
0 2000 4000

AMENDED 15/07/2025

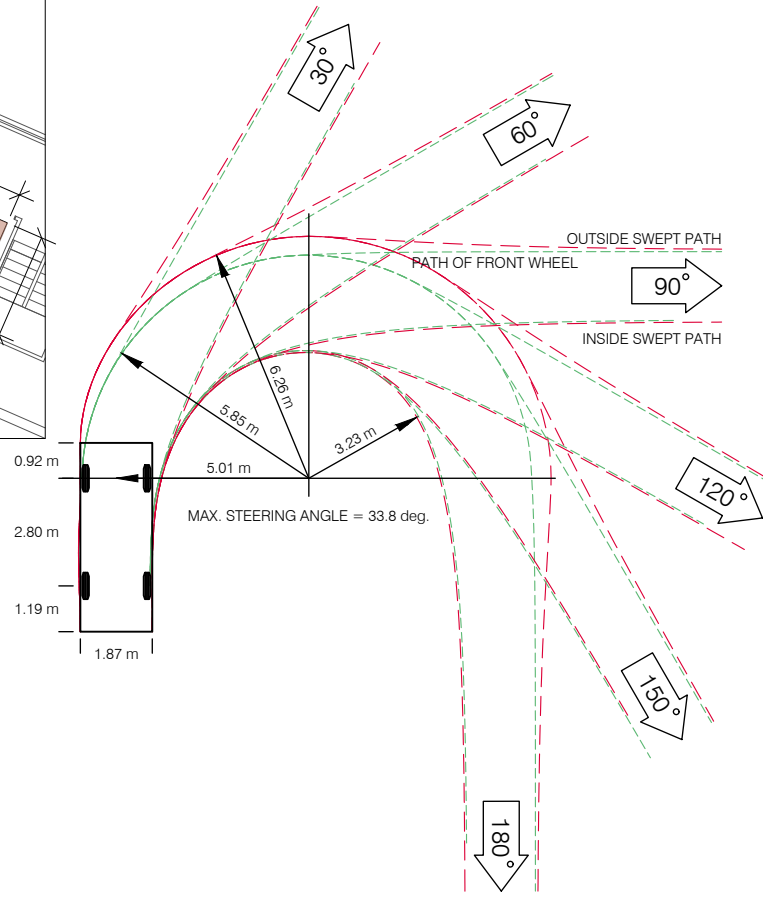
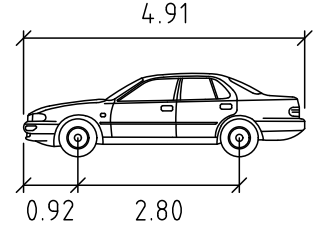
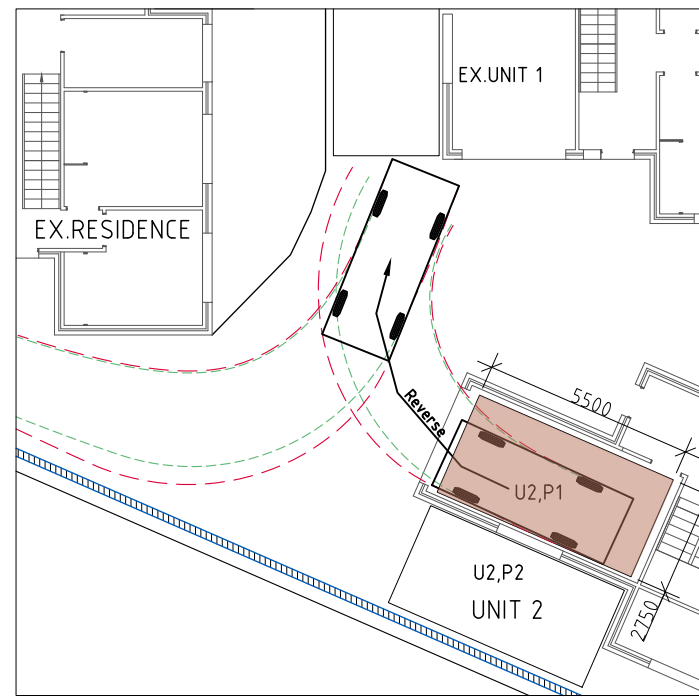
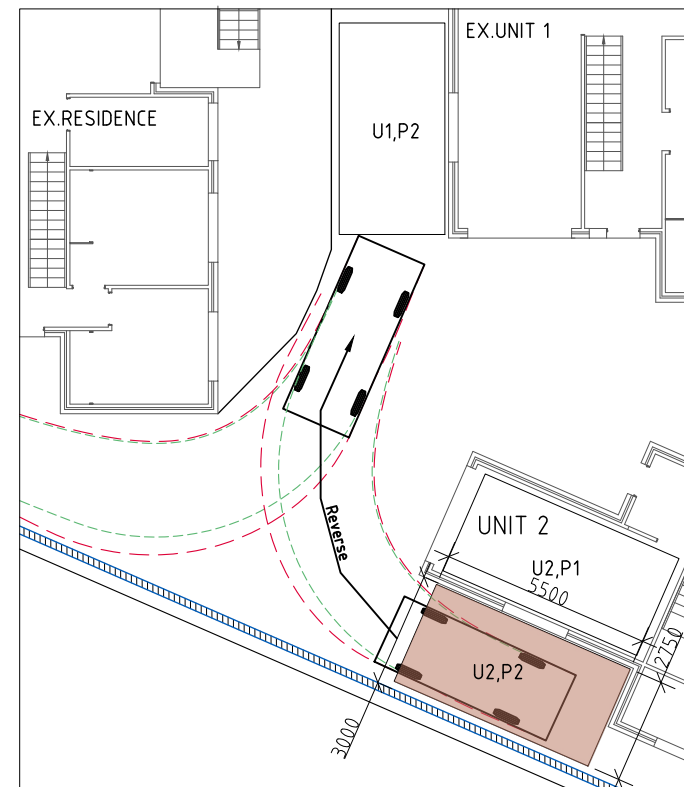
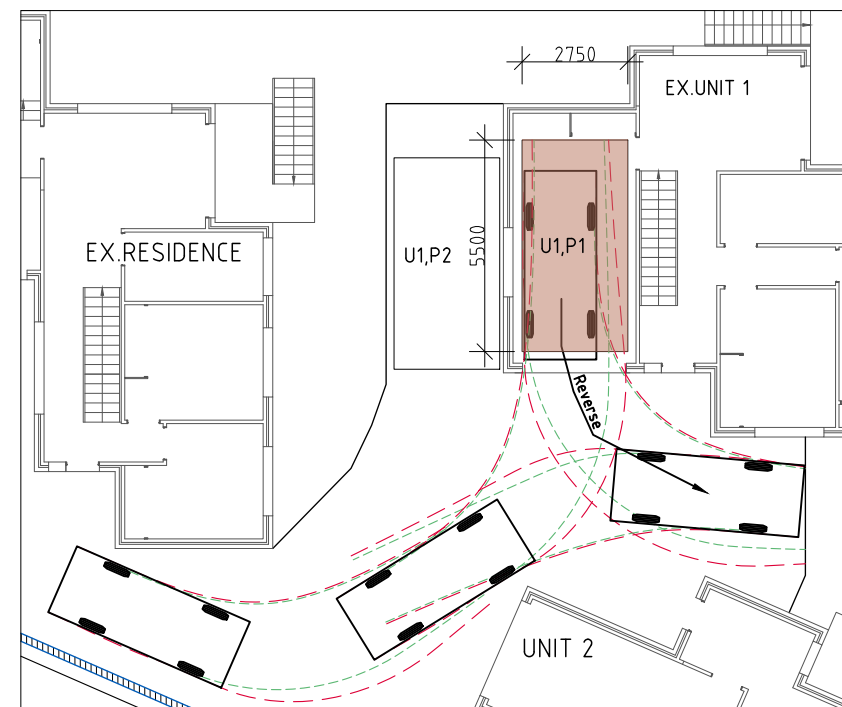
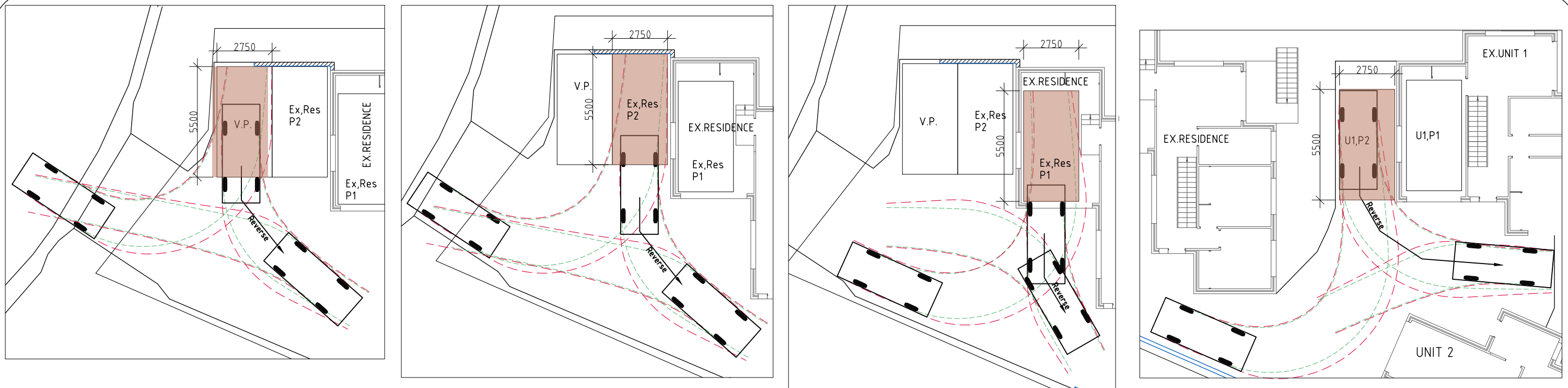
DATE 15/07/25

DRAWING NO. 03 OF 16

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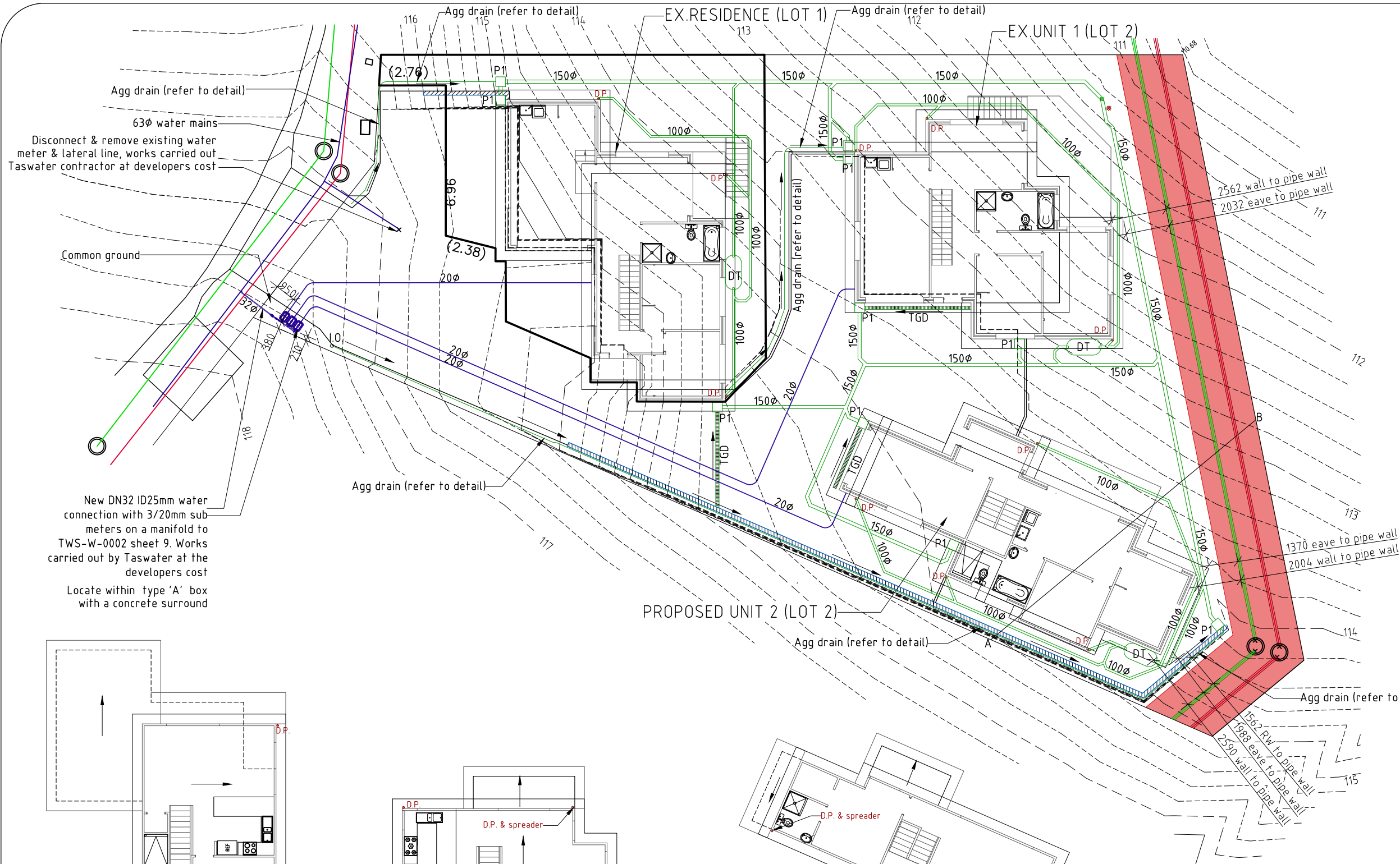
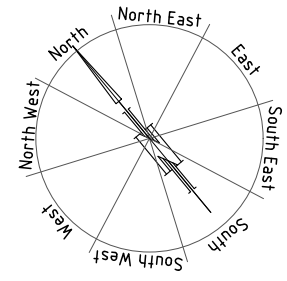
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B85 meters
 Width : 1.87
 Track : 1.77
 Lock to Lock Time : 6.00
 Steering Angle : 34.00

**DEVELOPMENT DRAWINGS ONLY
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PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH	VEHICLE TURNING		DATE 15/07/25	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED 15/07/2025	DRAWING NO. 04 OF 16	Certified: G. Tilley Accreditation No. CC620H © copyright 2025 2025



- TGD Trafficable grate drain
- P1 450x450 Trafficable pit
Each grate pit to be fitted with quality improvement device
Designed & installed in accordance with manufacturers instructions
- DT 2000 liter detention tank, size to be confirmed by the Engineer at detail design stage

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

Agg drains to be installed prior to slab preparation. Evidence of the agg drainage installation to be supplied to the Engineer

- 150φ 150uPVC stormwater
1:100 min fall
- S100φ 100uPVC sewerage
1.67% min fall
- 100φ 100uPVC stormwater
1:100 min fall
- 100x100 cast in kerb to driveway perimeter
I.O. at each intersection & bend

NOTE: SERVICES LOCATED BY SURVEYPLUS SURVEYORS

WATER MAINS LOCATED VIA THELIST

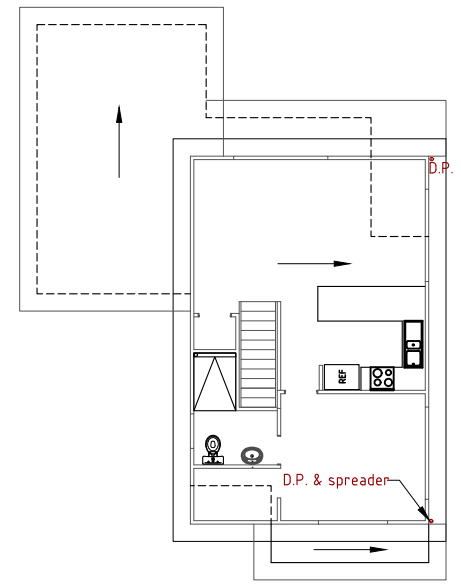
Water meters for strata developments must be located in common property to allow unfettered access to enable reading, testing, inspection, maintenance and exchange without impediment and must be kept clear of obstructions at all times. Water meters in trafficable areas must be housed boxes with a class "A" lid if not located in trafficable area

NOTE: All works are to be in accordance with the Water supply code of Australia WSA03-2011-3.1 Version 3.1 MRWA Edition V2.0 & sewerage Code of Australia Melbourne Retail water agencies Code WSA02-2002 Version 2.3 MRWA Edition 1.0 & Taswater's supplements to those codes

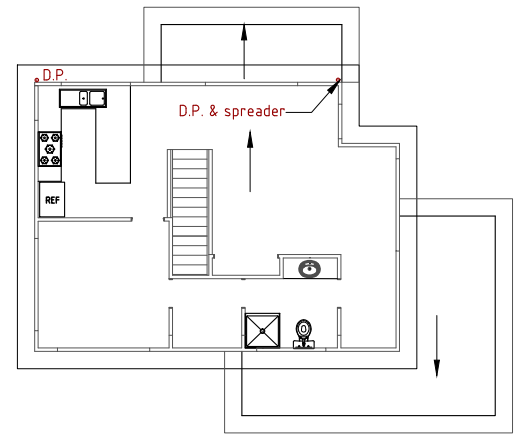
NOTE: Refer to Survey by Leary Cox and Cripps for proposed boundaries delineating Lots 1 & 2

Disconnect & remove existing water meter & lateral line, works carried out Taswater contractor at developers cost

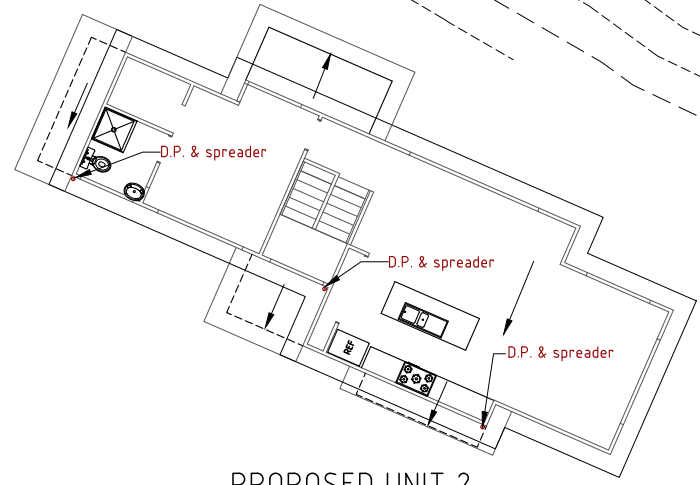
New DN32 ID25mm water connection with 3/20mm submeters on a manifold to TWS-W-0002 sheet 9. Works carried out by Taswater at the developers cost
Locate within type 'A' box with a concrete surround



EX.RESIDENCE (LOT 1) UPPER LEVEL



EX.UNIT 1 UPPER LEVEL



PROPOSED UNIT 2 UPPER LEVEL

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH

STORMWATER CONCEPT PLAN

SCALE 1:200
0 2000 4000

AMENDED 15/07/2025

DATE 15/07/25

DRAWING NO. 05 OF 16

DRAWN BY G Tilley
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WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740

WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:

FLOOR: Waterproof entire floor if no preformed shower base provided
WALLS: Waterproof to not less than 1800mm above the floor substrate
WALL JUNCTIONS AND JOINTS: Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof internal and external corners and joints
PENETRATIONS: Waterproof all penetrations

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:

FLOORS: Entire floor to be water resistant
WALLS/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:

FLOORS: Waterproof entire floor
WALL/FLOOR JUNCTIONS: Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
WALLS: Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.
WALL JUNCTIONS AND JOINTS: Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof for the extent of the vessel

AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):

FLOOR: Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.
HORIZONTAL SURFACES: Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip
WALLS: Waterproof walls to not less than 150mm above the lip of the vessel
WALL JUNCTIONS AND JOINTS: Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction
WALL/FLOOR JUNCTIONS: Waterproof wall/floor junctions 25mm above finished floor level
PENETRATIONS: Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

OTHER AREAS (LAUNDRIES AND WCs):
FLOOR: Water resistant floor to entire room
WALLS: Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall
WALL JUNCTIONS AND JOINTS: Waterproof junctions where a vessel is fixed to a wall
WALL/FLOOR JUNCTIONS: Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used
PENETRATIONS: Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

WATERPROOFING SYSTEMS:
 Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.
FALLS TO WET AREA FLOORS:
 Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.
STEPDOWN SHOWERS:
 Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.
HOB CONSTRUCTION:
 Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.
ENCLOSED SHOWERS WITH LEVEL THRESHOLD:
 Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

UNENCLOSED SHOWERS:
 Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

PENETRATIONS:
 All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

FLASHINGS/JUNCTIONS:
 All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

SHOWER SCREENS:
 1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

- HYDRAULIC NOTES:**
- All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
 - The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
 - Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
 - Refer to designers drawings and fixture and equipment technical specifications for pipework connections.
 - Make good all disturbed surfaces to match existing.
 - Remove all excess soil and surplus materials from site.
 - All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.
 All plumbing & drainage to be in accordance with local Council requirements. Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.
 Stormwater line (100mm uPVC)
 Sewer line (100mm uPVC)

SERVICES
 The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia
 Thermal insulation for heated water piping must:
 a) be protected against the effects of weather and sunlight; and
 b) be able to withstand the temperatures within the piping; and
 c) use thermal insulation in accordance with AS/NZS 4859.1

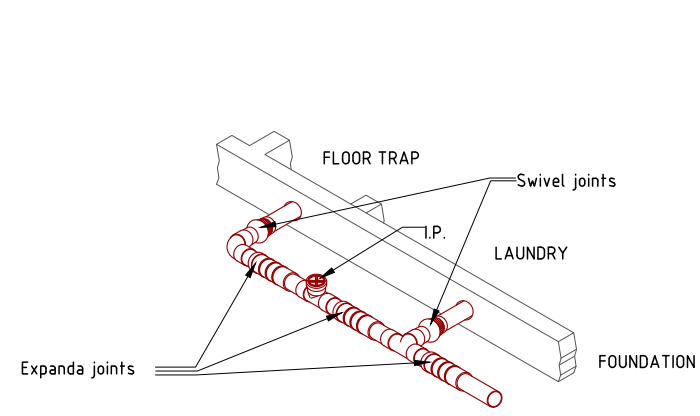
Heated water piping that is not within a conditioned space must be thermally insulated as follows:

- Internal piping:
 - All flow and return internal piping that is -
 - within an unventilated wall spaces
 - within an internal floor between storeys; or
 - between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
 - All flow and return piping
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space:
 - All flow and return piping.
 - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

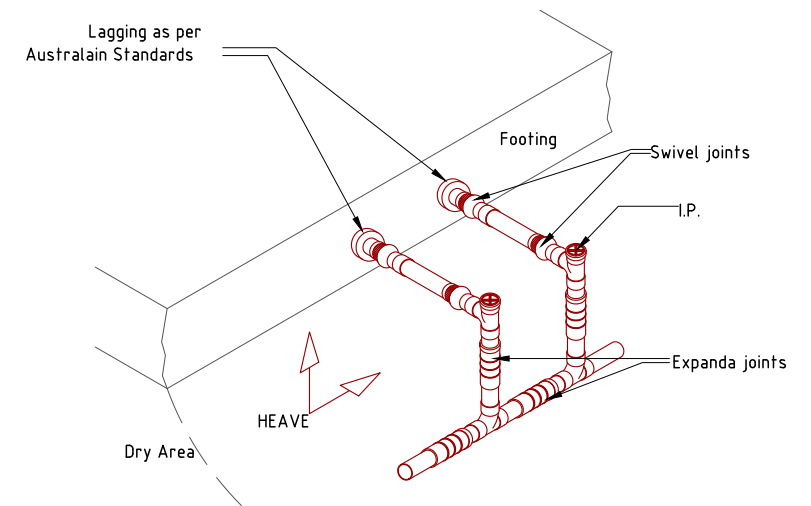
Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

Insulation Schedule		
Heated water pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line Offtake	20-25 18	19mm Bradflex 13mm Bradflex
Cold water pipes exposed		
Type	Size Range	Insulation
All	>20	13mm Bradflex
Other cold water pipes		
Type	Size Range	Insulation
All	All	Not required

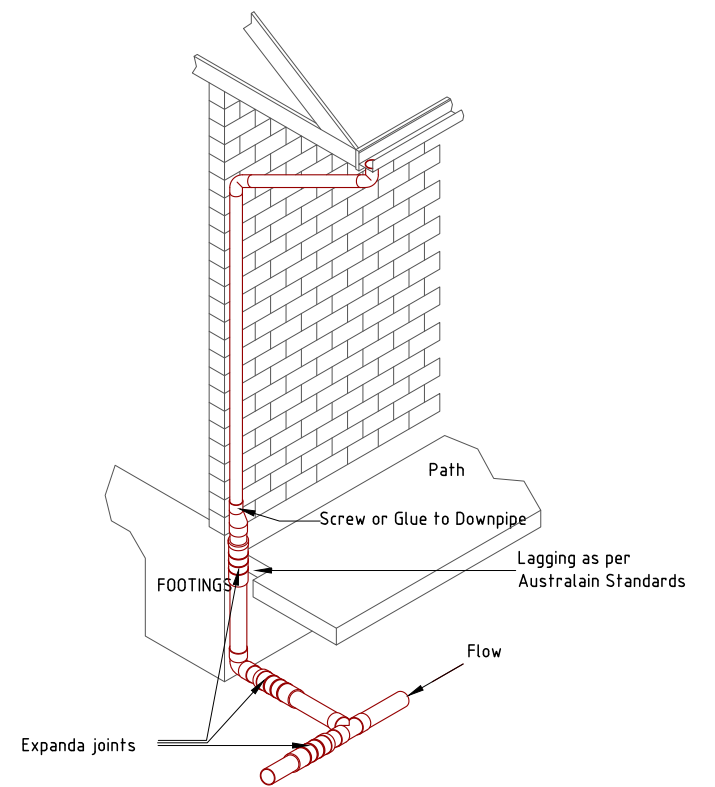
NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



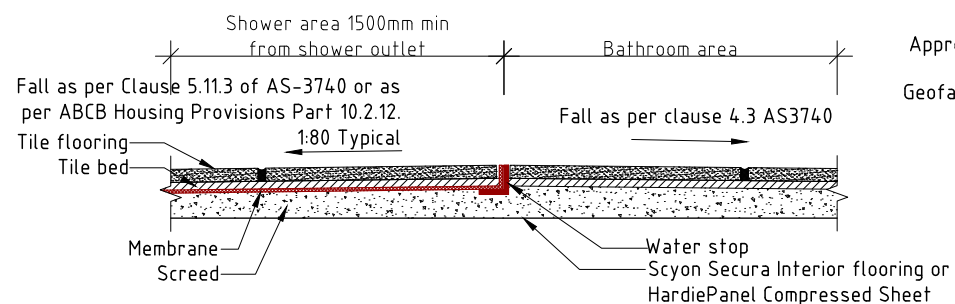
GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.

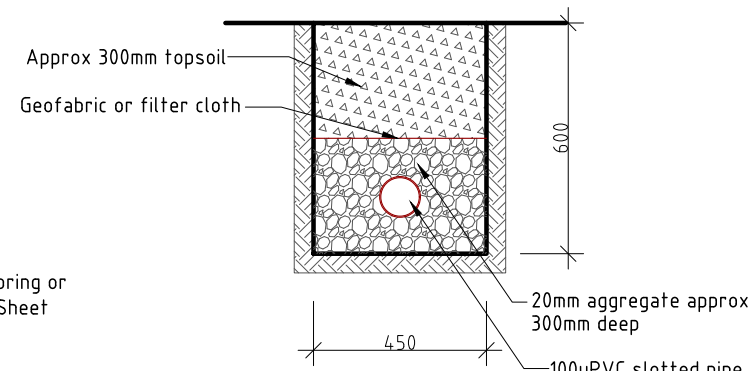
IMPORTANT NOTICE FOR ATTENTION OF OWNER:
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

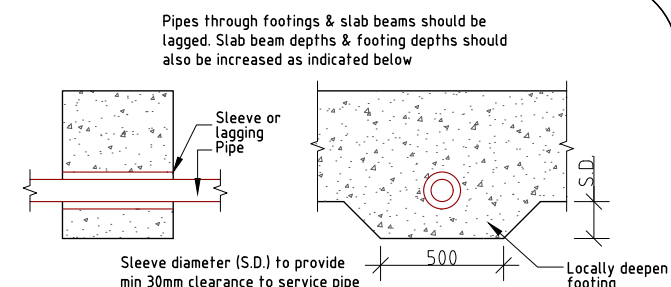
PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH	PLUMBING NOTES		DATE 15/07/2025	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE N/A	AMENDED	DRAWING NO. 06 OF 16	Certified: G. Tilley Accreditation No. CC620H © copyright 2025 2025



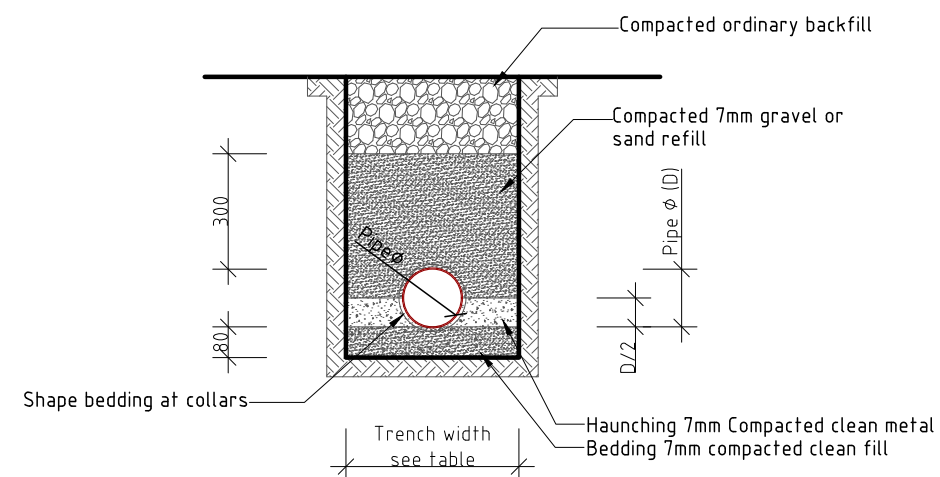
TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA
Scale 1:5



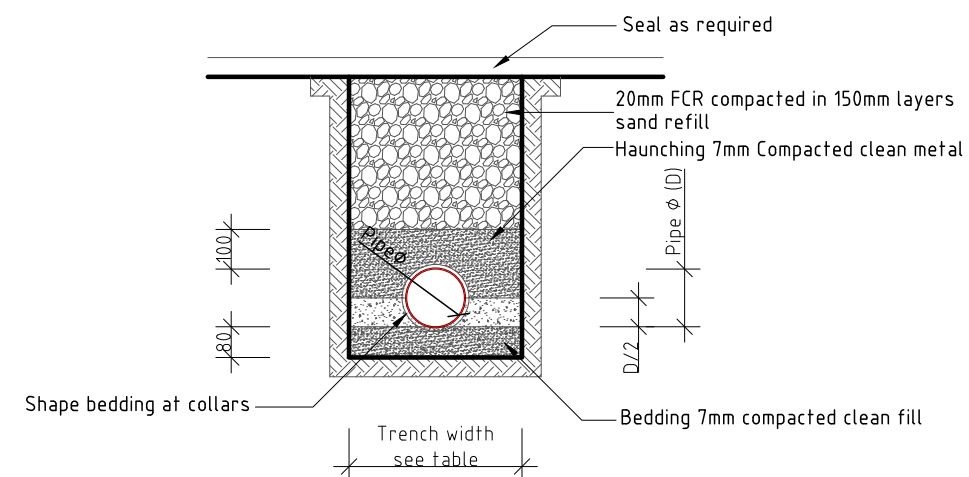
ABSORPTION TRENCH (TYPICAL)
Scale 1:20



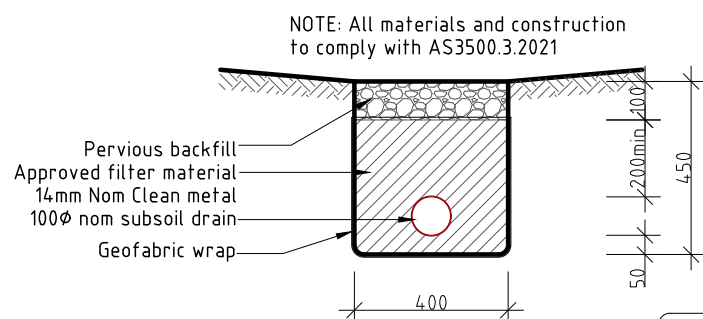
FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS
Scale 1:20



PIPE TRENCH DETAIL TO NON-TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



PIPE TRENCH DETAIL TO TRAFFICABLE AREAS (TYPICAL)
Scale 1:20



AGG DRAIN DETAIL (TYPICAL)
Scale 1:20

NOTE: All materials and construction to comply with AS3500.3:2021

TRENCH WIDTHS	
Pipe diameter	Min trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	φ plus 300mm

Surface drainage to conform with BCA Vol2 Part 3.1.2.2. NOTE: 50mm fall required over the first 1 meter from the building

IMPORTANT NOTICE FOR ATTENTION OF OWNER.
The owner's attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owner's responsibility to maintain the site in accordance with this document.

**DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION**

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH

PLUMBING DETAILS

SCALE 1:20
0 200 400

AMENDED

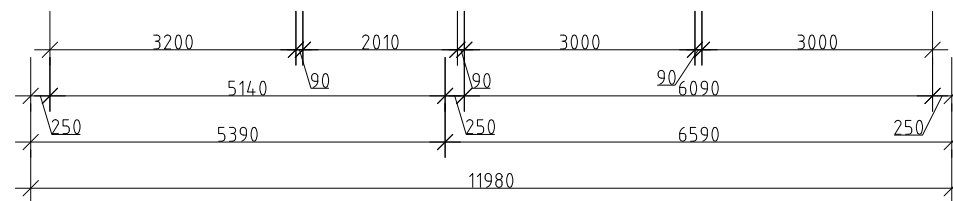
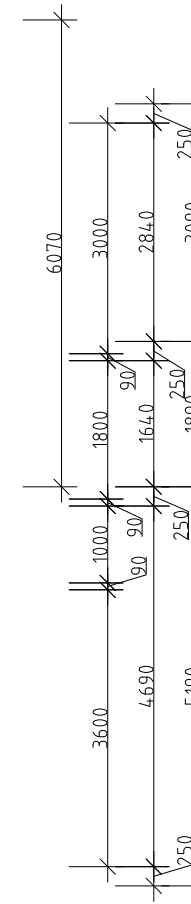
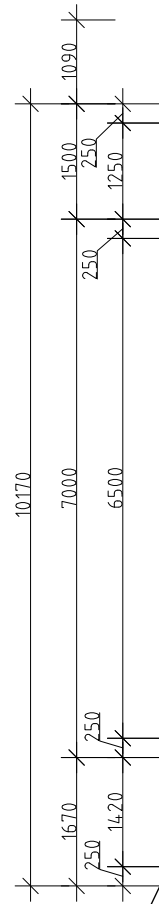
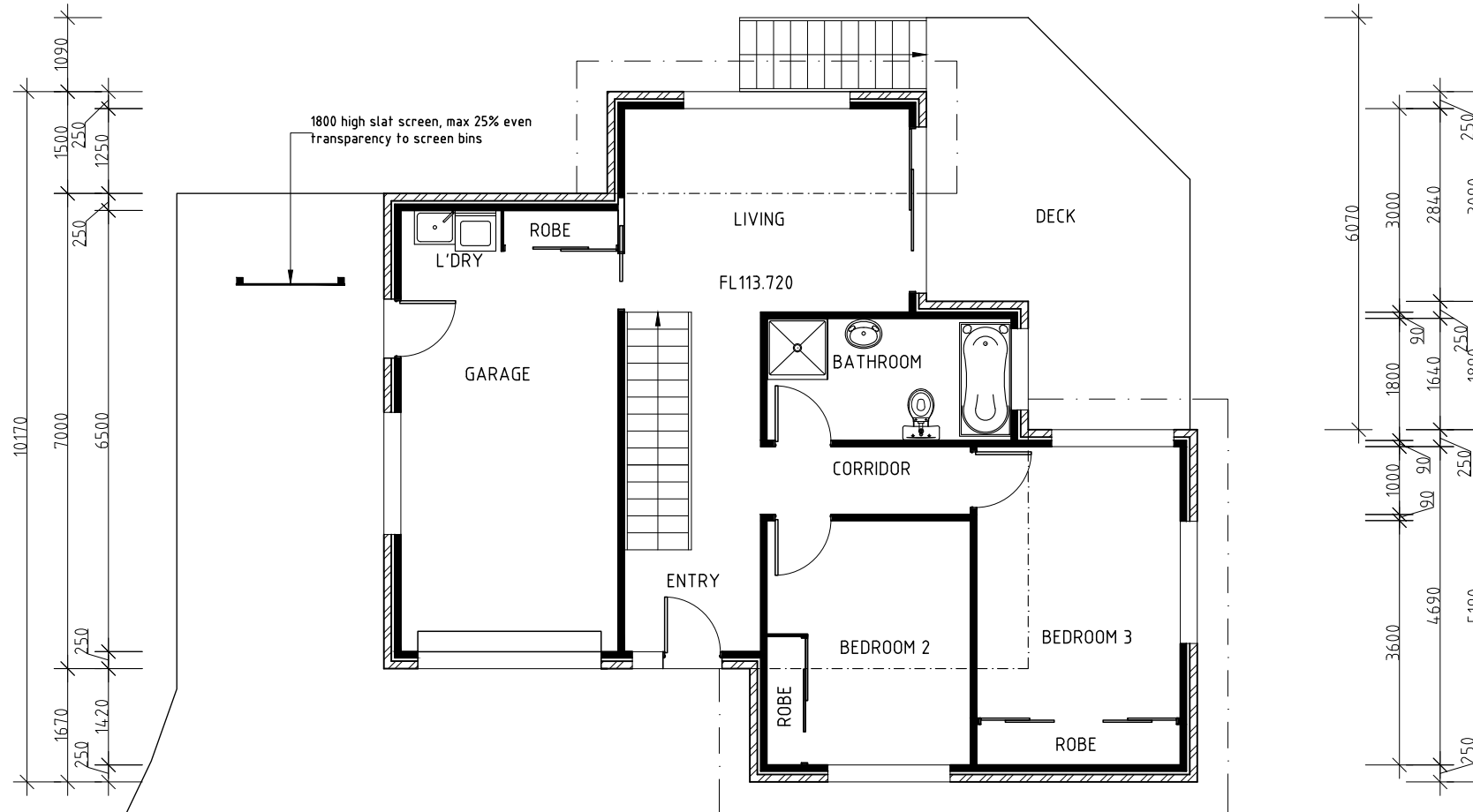
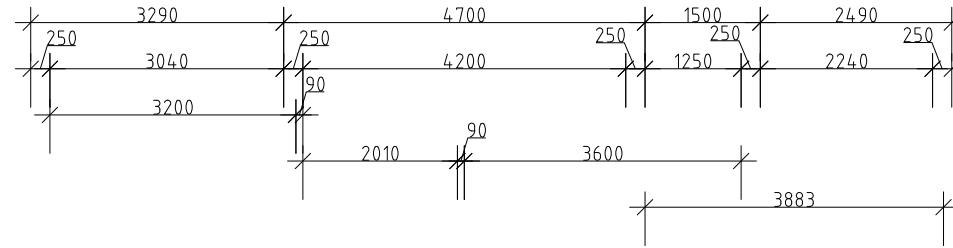
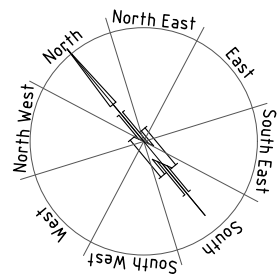
DATE
15/07/2025

DRAWING NO.
07 OF 16

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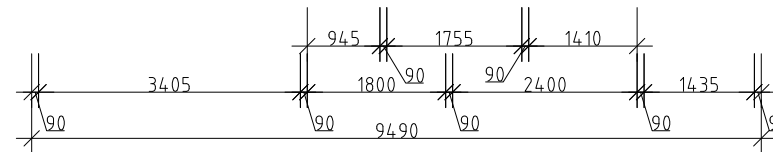
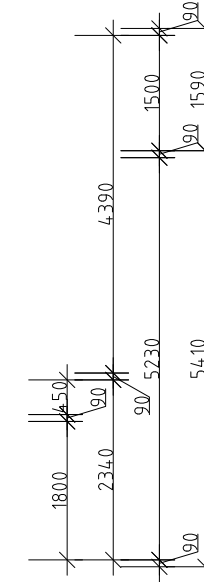
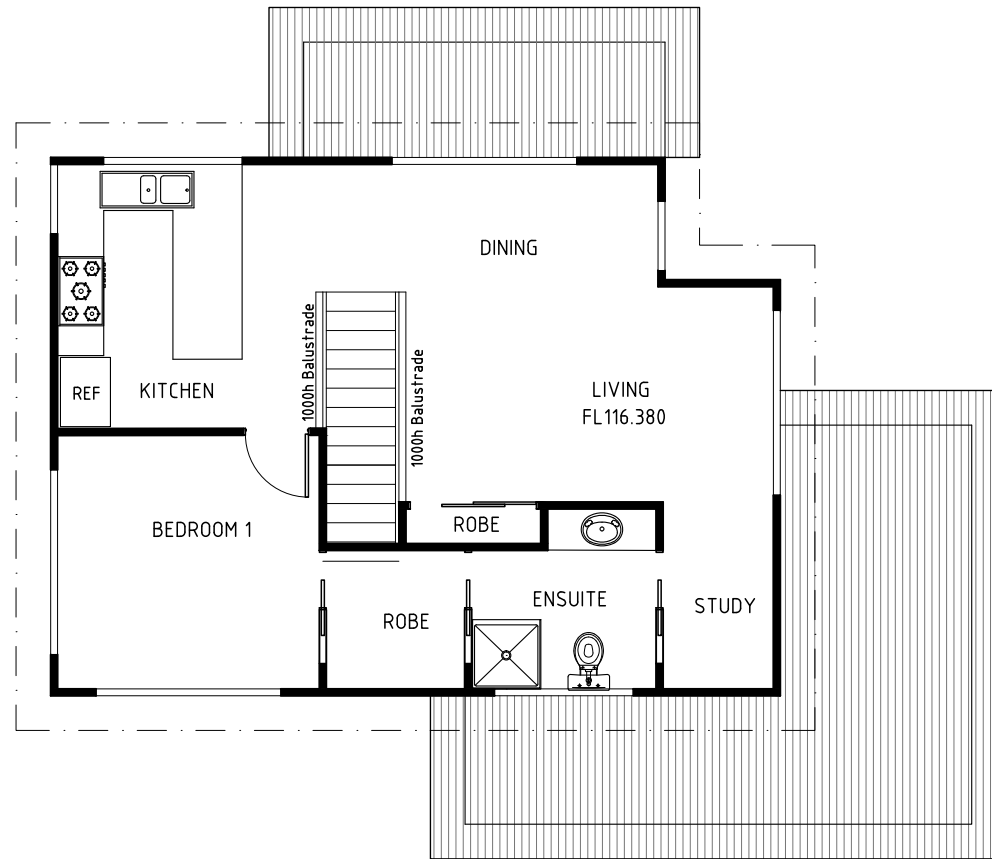
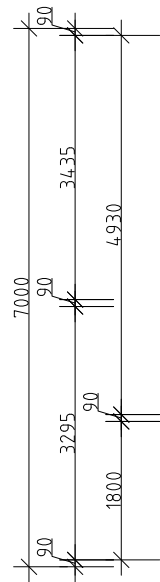
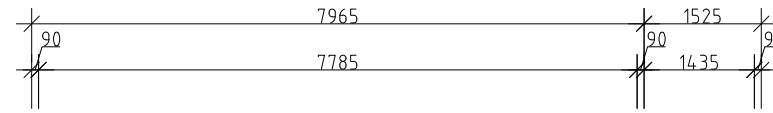
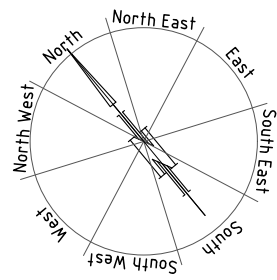
AREAS Existing UNIT 1
Lower Level 90.86m/2
Upper Level 64.04m/2
Total 154.90m/2
Deck 17.89m/2

**DEVELOPMENT DRAWINGS ONLY
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EXISTING UNIT 1

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH	UNIT 1 EXISTING LOWER LEVEL PLAN	DATE 15/07/25	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
	SCALE 1:100 	AMENDED	DRAWING NO. 09 OF 16
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AREAS	Existing UNIT 1
Lower Level	90.86m/2
Upper Level	64.04m/2
Total	154.90m/2
Deck	17.89m/2

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

EXISTING UNIT 1

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR
TAYLOR AND BEESON BUILDING PTY LTD AT
LOT 2 19 ROYBRIDGE WAY HOWRAH

UNIT 1 EXISTING UPPER LEVEL PLAN

DATE
15/07/25

DRAWN BY G Tilley
email: gtilley7@biopond.com
phone ph 0400 671 582

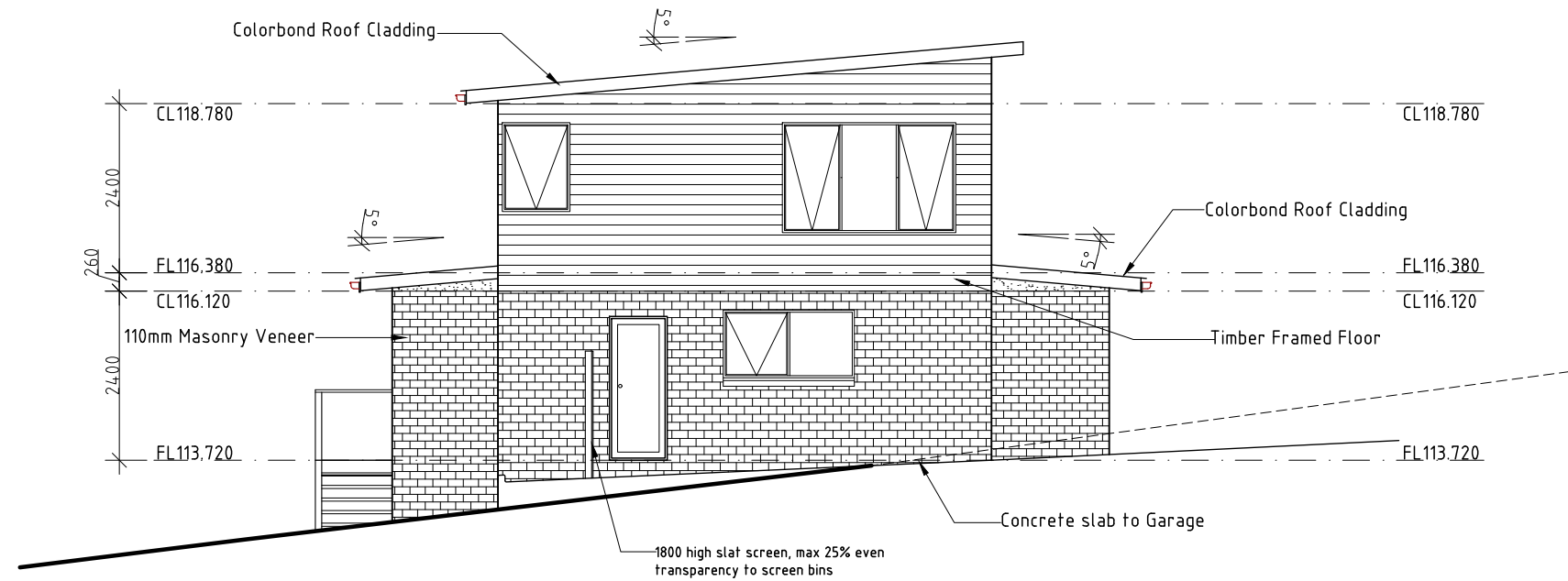
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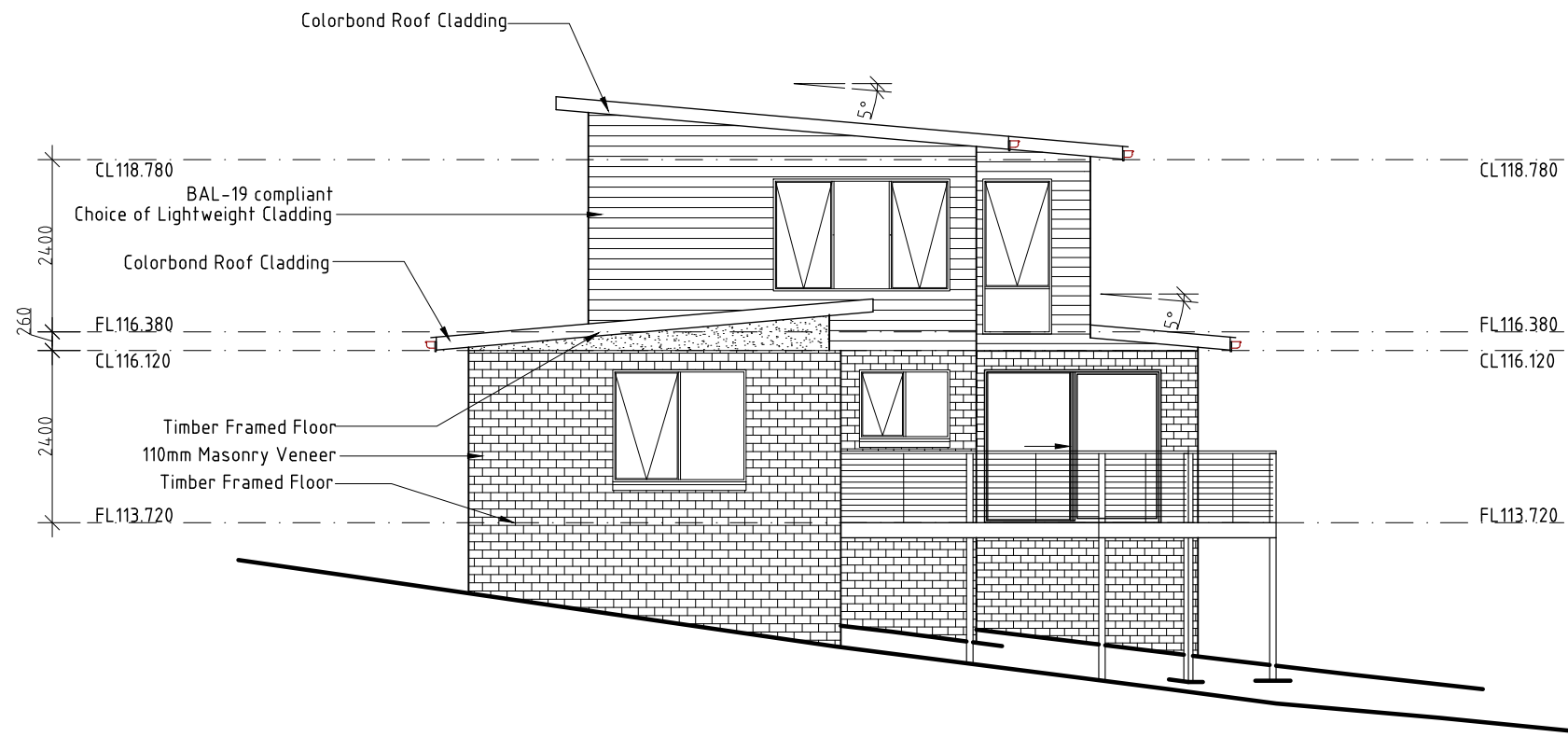
DRAWING NO.
10 OF 16

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NORTH WEST ELEVATION



SOUTH EAST ELEVATION

EXISTING UNIT 1

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PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR
TAYLOR AND BEESON BUILDING PTY LTD AT
LOT 2 19 ROYBRIDGE WAY HOWRAH

UNIT 1 EXISTING ELEVATIONS

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AMENDED

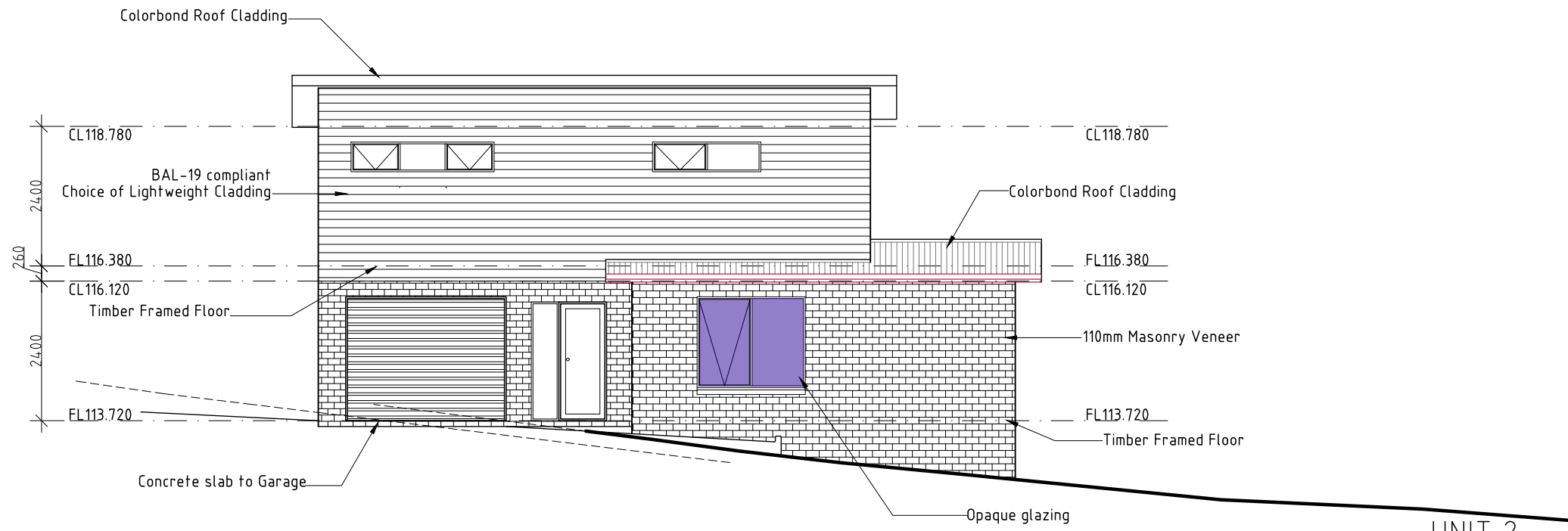
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15/07/25

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11 OF 16

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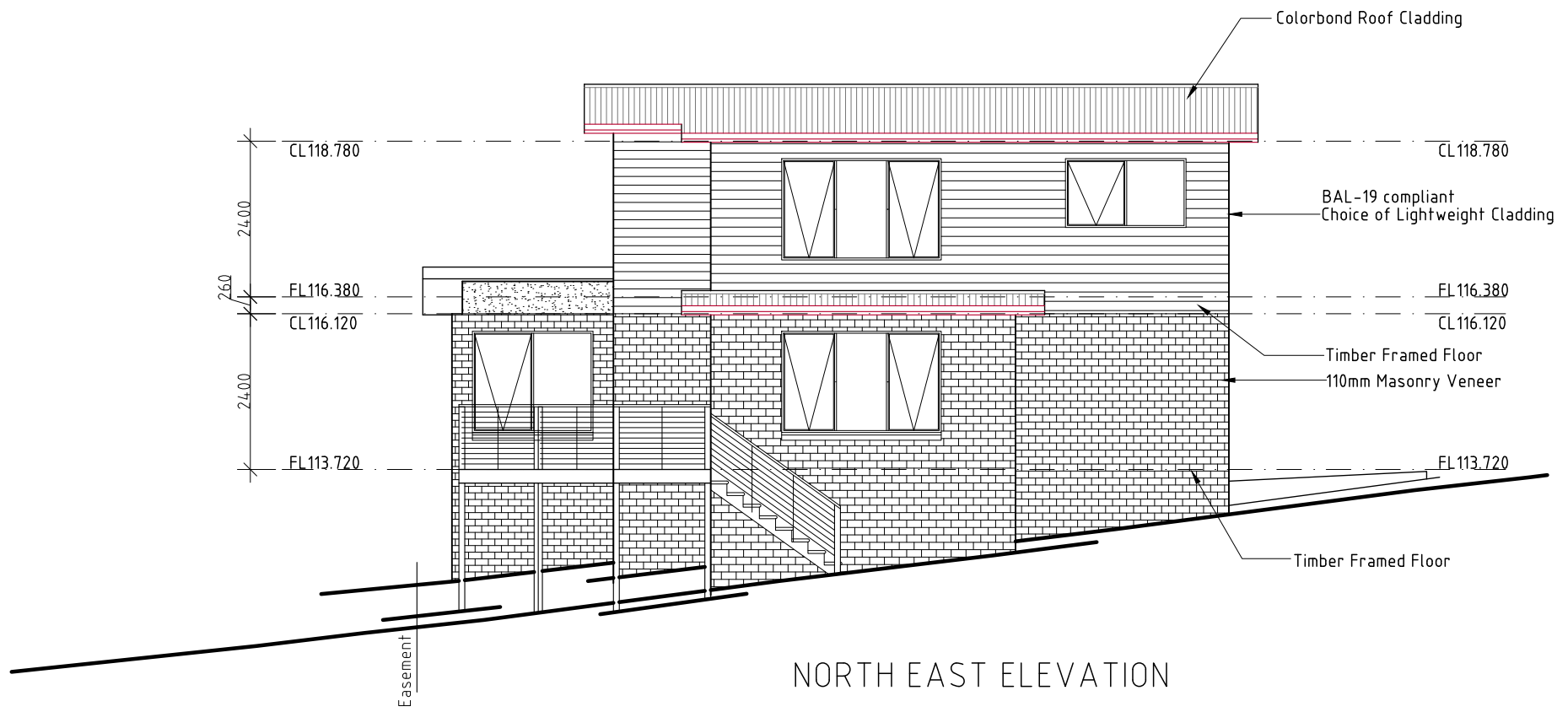
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SOUTH WEST ELEVATION

UNIT 2



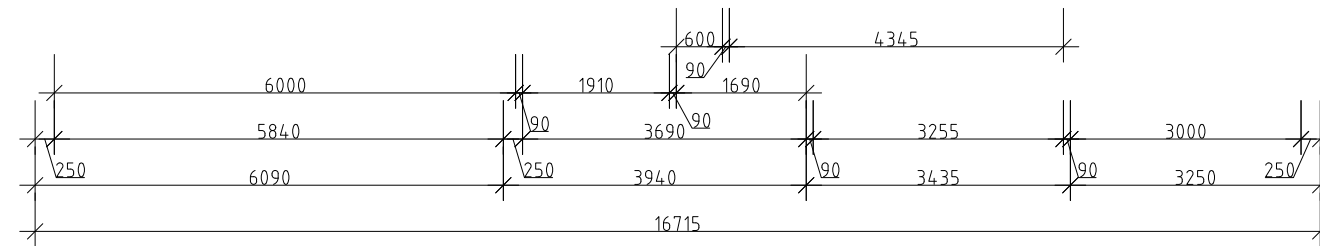
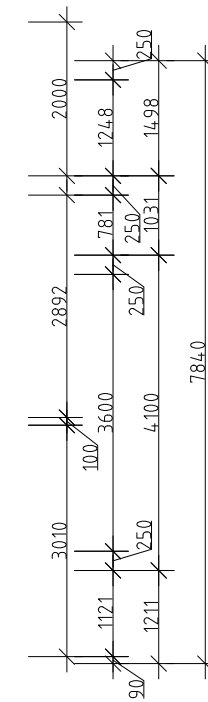
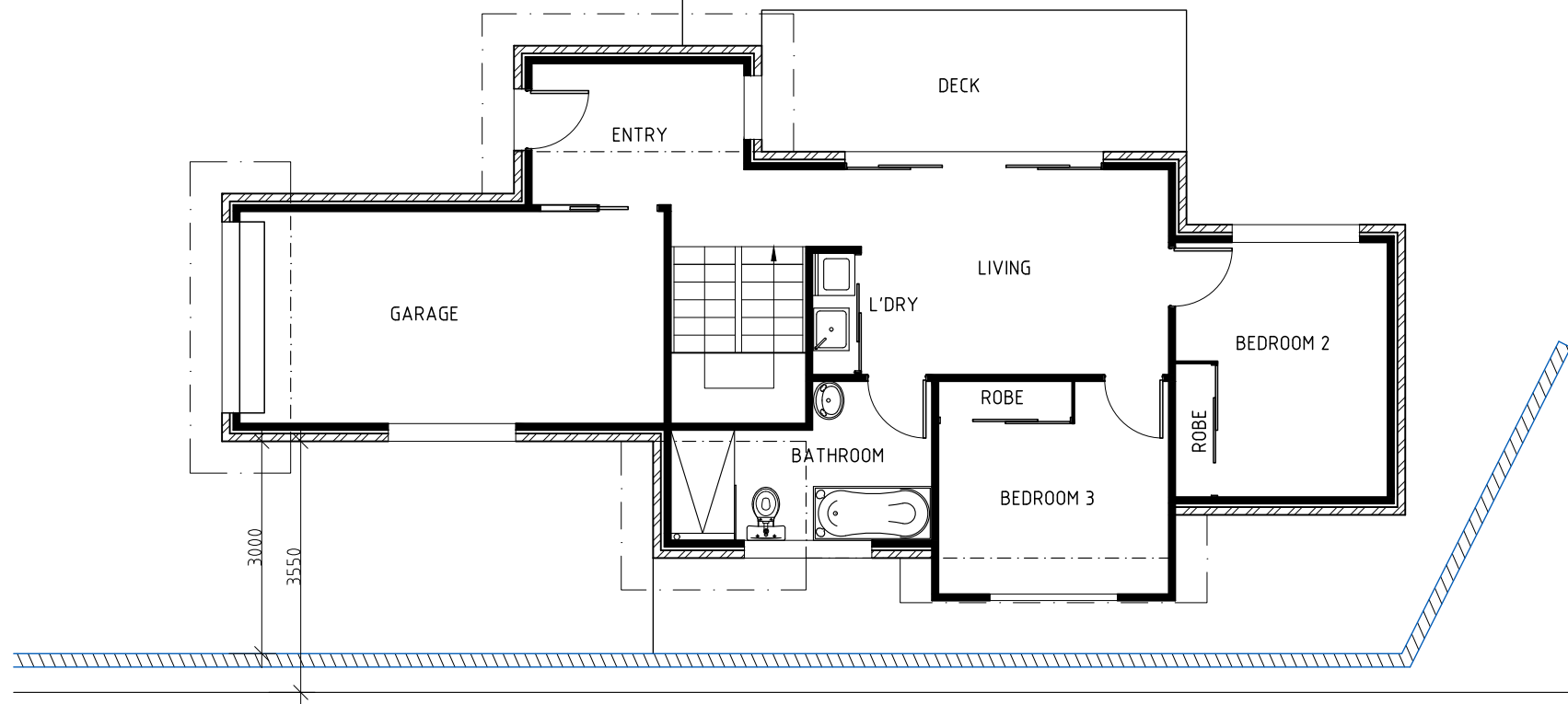
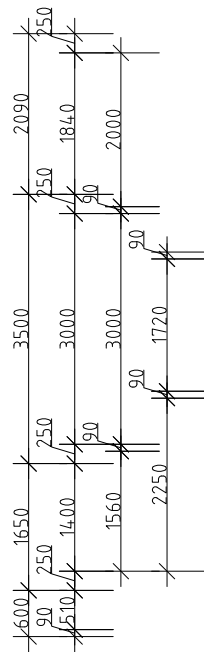
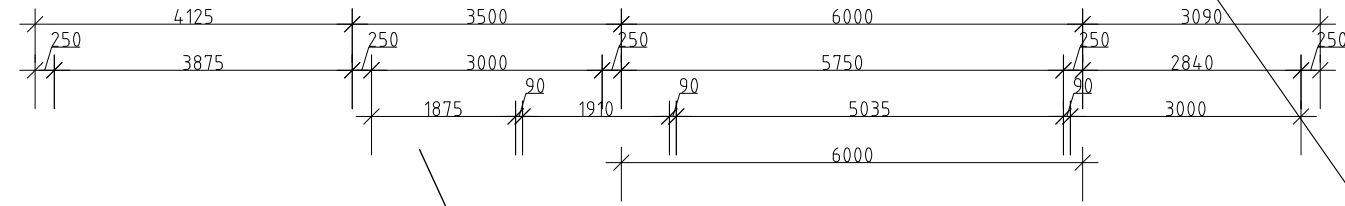
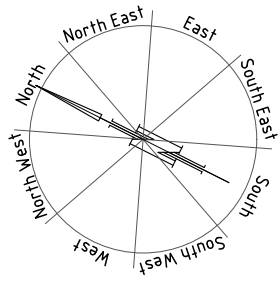
NORTH EAST ELEVATION

EXISTING UNIT 1

**DEVELOPMENT DRAWINGS ONLY
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PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR
TAYLOR AND BEESON BUILDING PTY LTD AT
LOT 2 19 ROYBRIDGE WAY HOWRAH

UNIT 1 EXISTING ELEVATIONS		DATE 15/07/25	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
SCALE 1:100 0 1000 2000	AMENDED	DRAWING NO. 12 OF 16	Certified: G. Tilley Accreditation No. CC620H © copyright 2025 2025



AREAS	PROPOSED UNIT 2
Lower Level	85.61m ²
Upper Level	71.35m ²
Total	156.96m ²
Deck	12.00m ²

**DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION**

PROPOSED UNIT 2 LOWER LEVEL

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR
TAYLOR AND BEESON BUILDING PTY LTD AT
LOT 2 19 ROYBRIDGE WAY HOWRAH

PROPOSED UNIT 2 LOWER LEVEL PLAN

DATE
15/07/25

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email: gtilley7@biapond.com
phone ph 0400 671 582

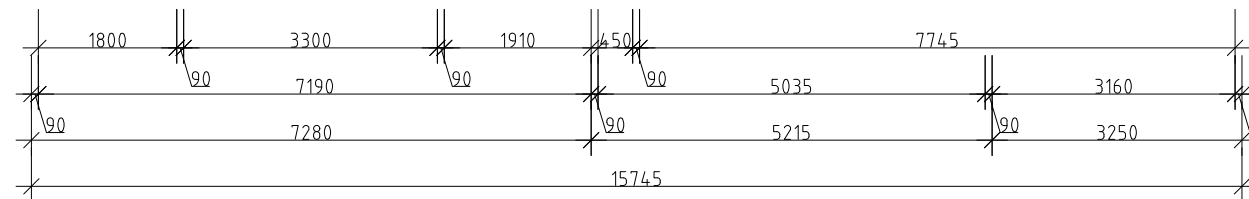
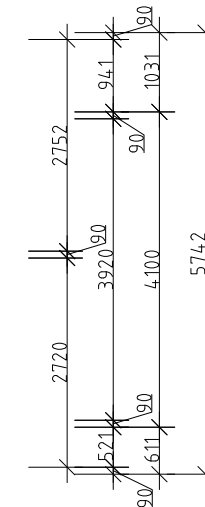
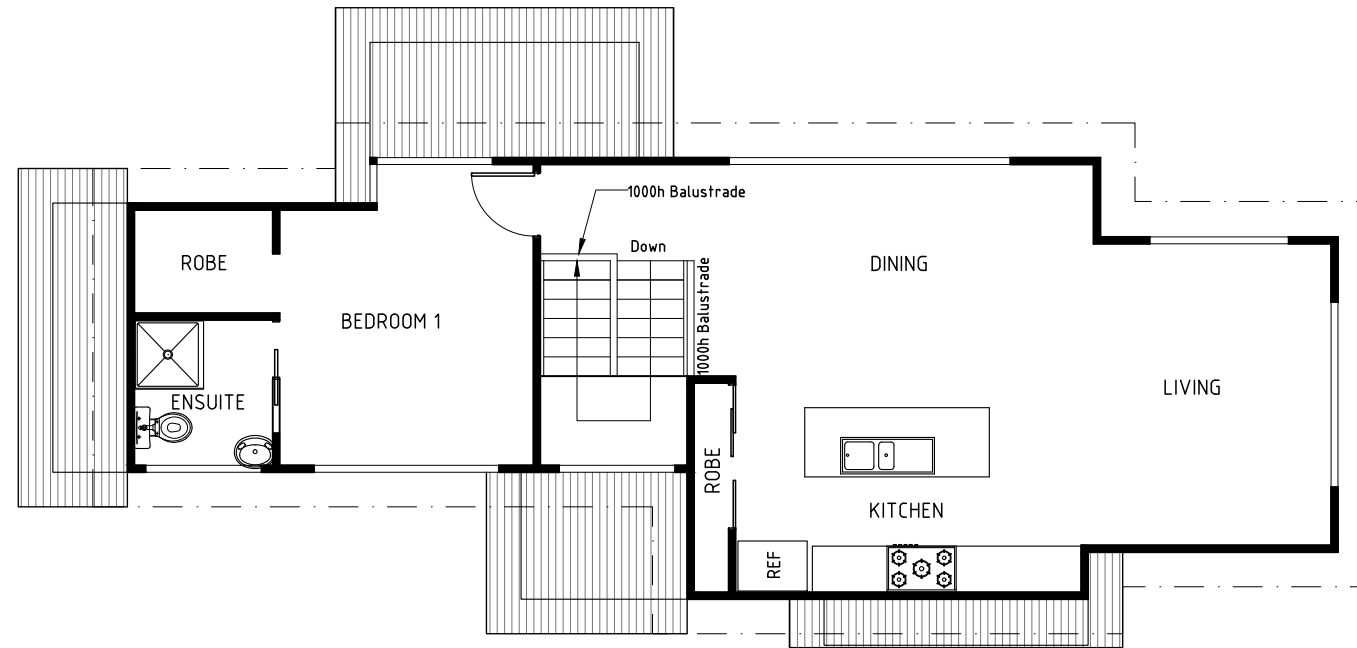
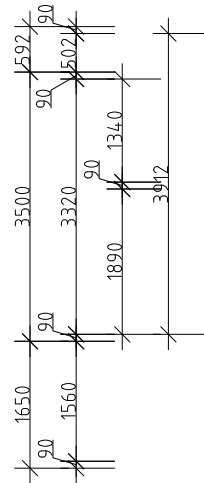
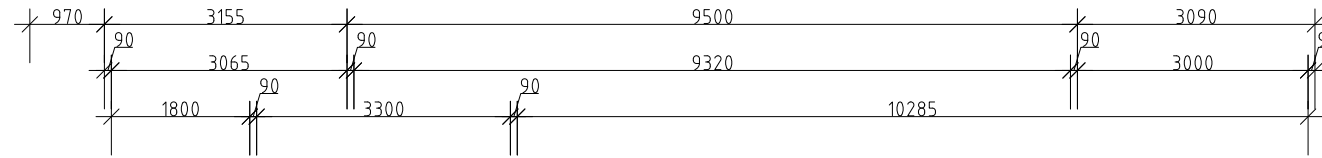
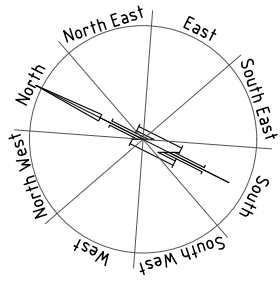
SCALE 1:100
0 1000 2000

AMENDED

DRAWING NO.
13 OF 16

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Unit 2 to be construction to BAL29 requirements as per AS3959-2018
See report by Gary Williams

AREAS	PROPOSED UNIT 2
Lower Level	85.61m ²
Upper Level	71.35m ²
Total	156.96m ²
Deck	12.00m ²

**DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION**

PROPOSED UNIT 2 UPPER LEVEL

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH

PROPOSED UNIT 2 UPPER LEVEL PLAN

DATE
15/07/25

DRAWN BY G Tilley
email: gtilley7@biapond.com
phone ph 0400 671 582

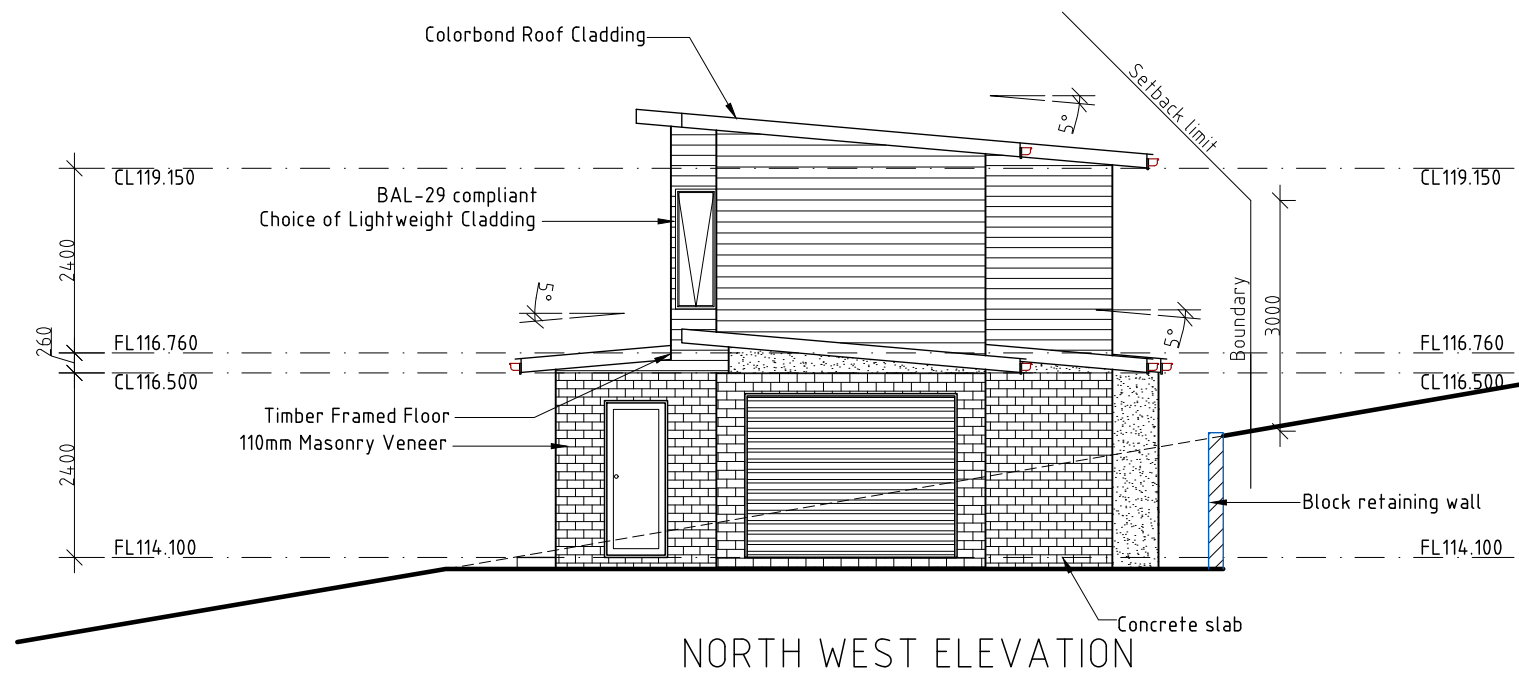
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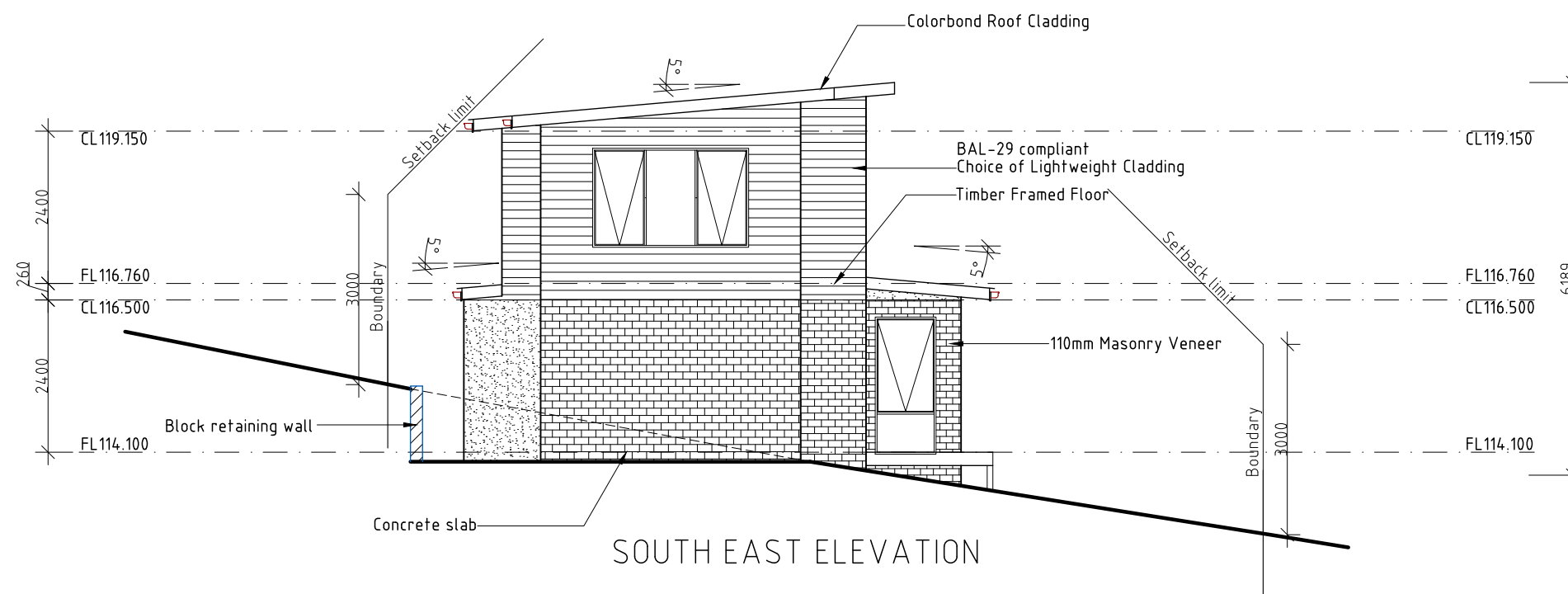
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14 OF 16

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NORTH WEST ELEVATION



SOUTH EAST ELEVATION

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PROPOSED UNIT 2

PROPOSED 2 UNIT DEVELOPMENT (1 EX) FOR TAYLOR AND BEESON BUILDING PTY LTD AT LOT 2 19 ROYBRIDGE WAY HOWRAH	PROPOSED UNIT 2 ELEVATIONS		DATE 15/07/25	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
	SCALE 1:100 0 1000 2000 	AMENDED	DRAWING NO. 16 OF 16	Certified: G. Tilley Accreditation No. CC620H © copyright 2025 2025



19 Roybridge Way Howrah, Tas, 7018

SunTracker - Shadow Diagrams

Private Open Space (POS)

Pg 2 - 8

Private Open Space (POS) For Proposed UNITS
and Existing House

Date: 21st June 2025 -

Time Period: 9am to 3pm (0900 to 1500)

Increments: Hourly

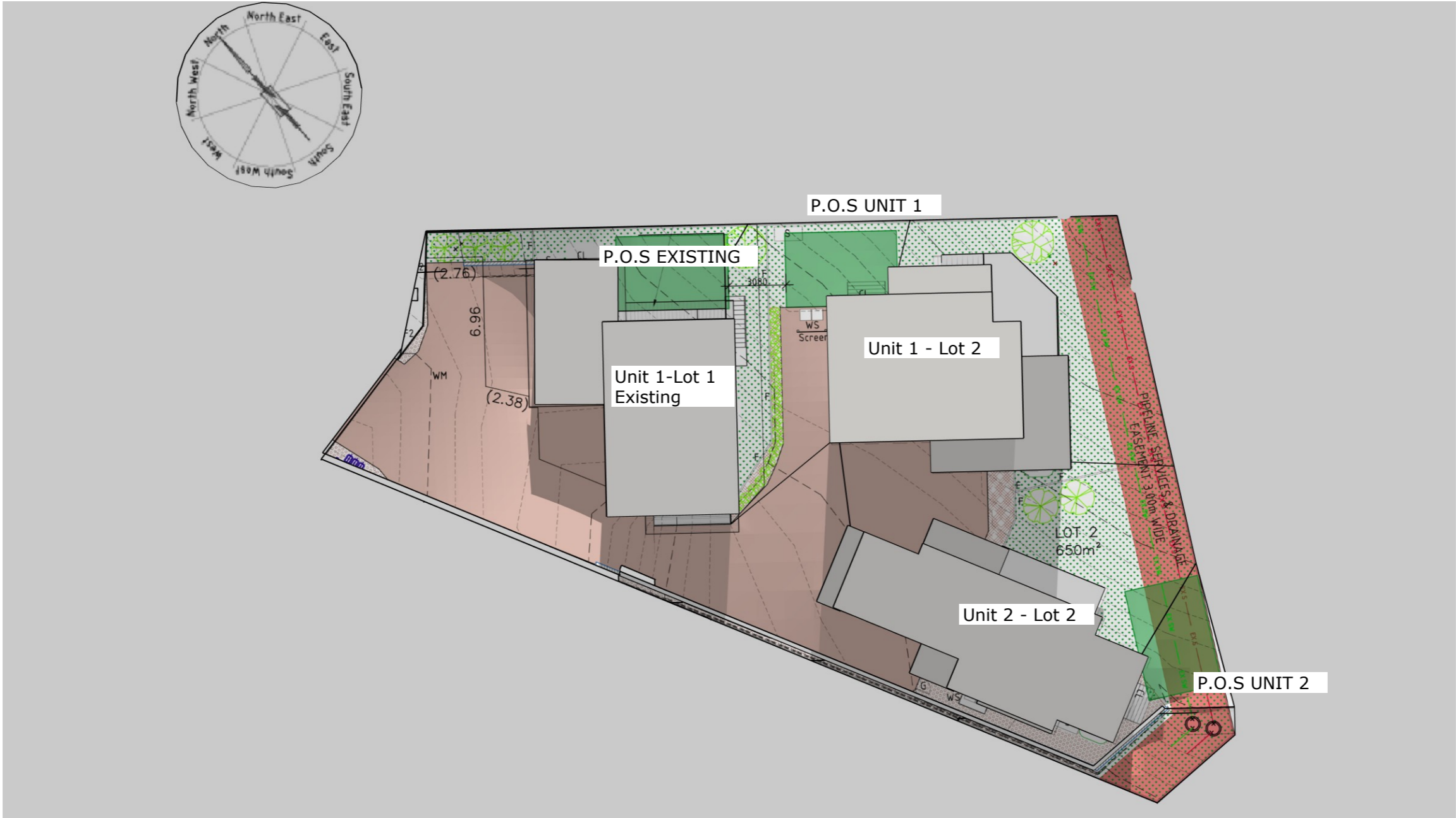
Overshadowing - Neighbouring Properties

Pg 9 - 11

Overshadowing onto neighbouring Properties

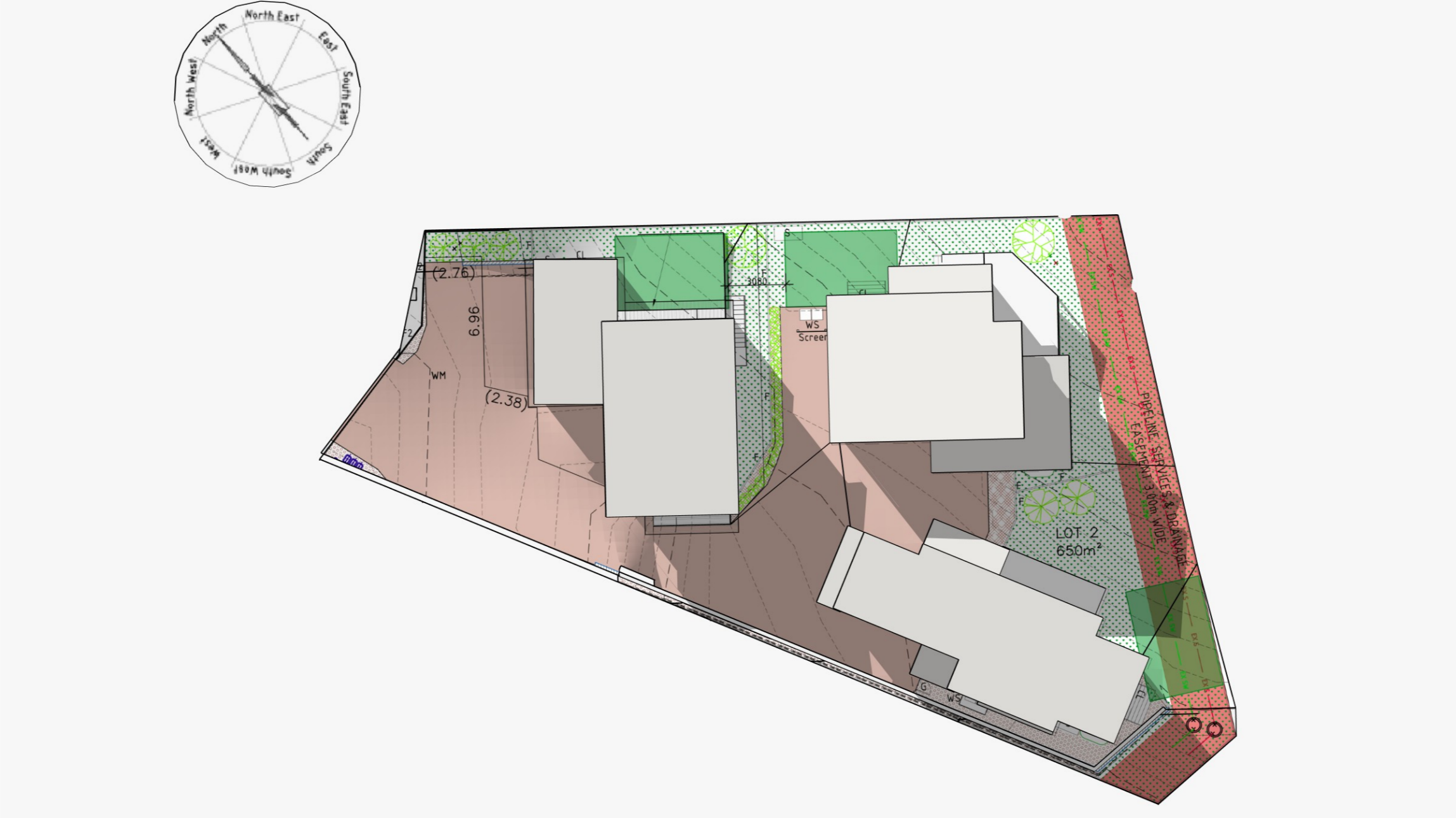
Date: 21st June 2025

Time Period: 9am, 12pm & 3pm
(0900 1200 1500)

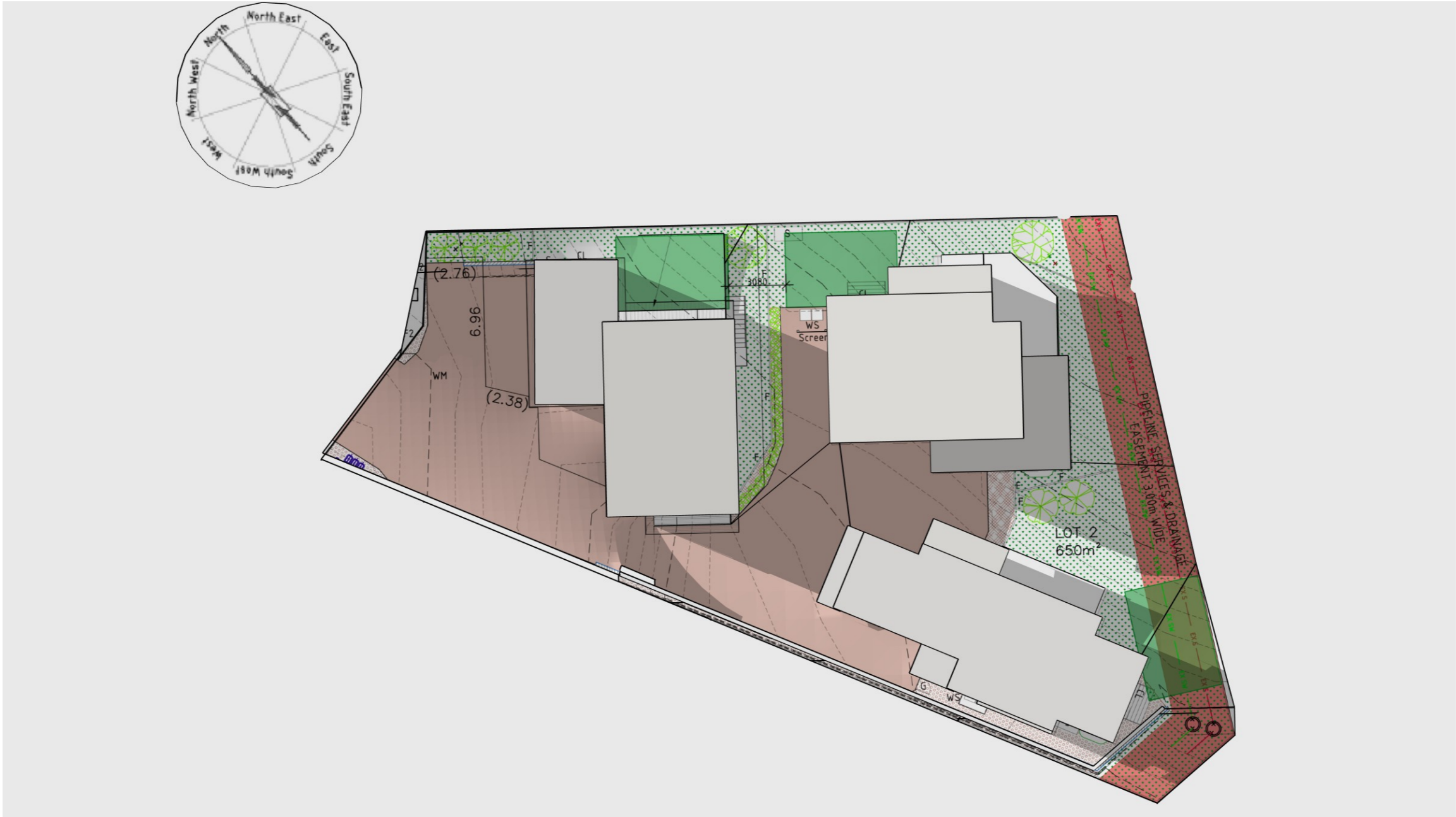




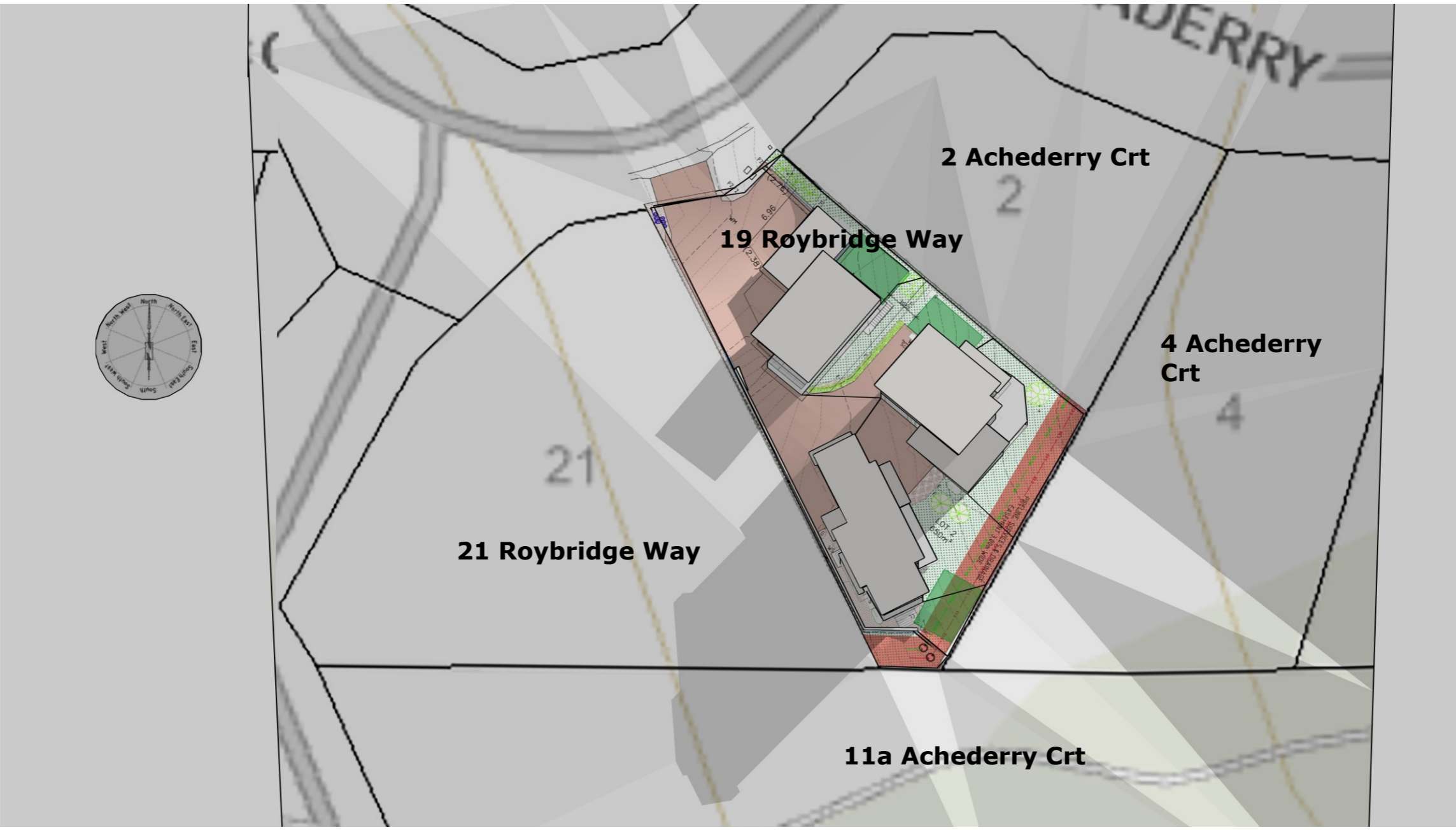
















BUSHFIRE ASSESSMENT REPORT

For S. Maran & L. Madhu
Proposed Dwelling Units
19 Roybridge Way
Howrah, 7018



Prepared by Gary Williams
Accreditation No BFP-109 (Category 2)
Scope of Work 1, 2 & 3A
9th November 2022

G J WILLIAMS DRAFTING SERVICE

ABN 87 756 789 831

ARCHITECTURAL - HOME DESIGN. PLANS. APPROVALS.

SURVEY & GENERAL DRAFTING,

BUSHFIRE RISK ASSESSMENTS

Job Ref No. 637T&B-1

Homes, Units, Extensions
Sale Plans
Development Applications
Council Approvals
Title Searches

995 Pelverata Rd
Pelverata Tas 7150

Mobile: 0428 396 159

Email: gjwdrafting@outlook.com.au

Table of Content

- 1. Executive Summary**
- 2. Introduction**
- 3. Proposal**
- 4. Site Description**
- 5. Bushfire Attack Level Assessment**
- 6. Construction Requirements**
- 7. Recommendations**
- 8. Disclaimer**

- Appendix A. Building Drawings**
- Appendix B. Aerial Photograph**
- Appendix C. Bushfire Hazard Management Plan**
- Appendix D. Certificate of Title**
- Appendix E. Photos**

1.Executive Summary

This report has been prepared to assess any Bushfire risks associated with a proposed unit development at 19 Roybridge Way, Howrah and to provide measures to achieve an acceptable residual risk for the buildings. (Refer Appendix A)

The proposed building work is in a Bushfire-prone Area as defined by the Director's Determination – Bushfire Hazard Areas (Director's Determination) and the Building Regulations. The site is covered by the Bushfire Prone Area overlay of the Clarence Local Provisions Schedule.

The development is on a 971m² residential block in a new staged subdivision. (Refer Appendix B & D)

A Bushfire Attack Level Assessment Report and Bushfire Hazard Management Plan was prepared for this subdivision by Onto It Solutions dated 12 April 2022 Version 4 (their Ref 21144) (available from Tasmania Fire service). That Report delineated the BAL-19 setback from the bushfire-prone vegetation to the south at 10m north of the southern boundary of this Lot 21.

This assessed BAL-19 10m southern setback is reliant on Council's apparent commitment to maintain a 15m wide Hazard Management Area (HMA) on the Council owned Public Open Space immediately adjoining to the south.

As Council have now approved this subdivision on that basis, there is no reason to believe that Council would renege on that commitment. Hence this BAL Assessment is also reliant on that 15m wide HMA on the P.O.S. adjoining to the south.

Provided a **HMA is also maintained over the entire Lot 21** the assessed BALs are:

Unit 1 = BAL-12.5

Unit 2 = BAL-19

Unit 3 = BAL-29

(Refer Appendix C)

The building works are to be compliant with the construction requirements of AS 3959 for these BALs, Building Regulations and the Director's Determination, or higher.

A water supply for firefighting purposes is provided by a Water Hydrant within the prescribed distance as per the Director's Determination. (Refer Appendix B).

Vehicular Access to a water supply for firefighting is compliant with the Director's Determination including a compliant hardstand and vehicle turning. (Refer Appendix B)

2.Introduction

Owners: S. Maran & L. Madhu (as per Certificate of Title)

This report has been prepared to provide an assessment of any bushfire risk issues associated with a proposed unit development at No. 19 Roybridge Way, Howrah. Review of LIST shows the proposal as being within a Bushfire-prone Area on the Clarence Local Provisions Schedule overlay. Therefore, as defined by Code C13.0 of the Tasmanian Planning Scheme, the Building Regulations, and the Director's Determination, the proposed building works are within a Bushfire-prone Area. A site inspection was conducted on the 18th of October 2022.

3. Proposal

The proposal is for the construction of three two storey, 3 bedroom dwellings. The buildings are to be of 110mm masonry veneer construction for the lower level, a light weight cladding for the upper level with a Colorbond steel sheet roof. They are to have enclosed raised timber floors. (Refer Appendix A)

4. Site Description

The property is the land contained within **Certificate of Title Volume 183097 Folio 21 (PID-9217556)** which describes the land as being **Lot 21 (971m²) on Sealed Plan 183097** in the **City of Clarence** and is zoned **General Residential** under the **Clarence Local Provisions Schedule** (Refer to Appendix D)

The Lot has general slope of around 10 degrees down to the east. It fronts onto the southern side of Roybridge Way which is a fully constructed sealed road with kerb & gutter and concrete footpaths.

It is part of a large recent staged subdivision with all the lots within the subdivision in this vicinity being vacant and cleared of all vegetation.

There is an existing water hydrant within the prescribed distance as per the Director's Determination opposite the frontage of the subject title on the far side of Roybridge Way. (Refer Appendix B)

The vehicular access to the water supply is compliant.

5. Bushfire Attack Level Assessment. (Refer to Appendix B & Appendix E for Photographs)

The BAL has been determined by using the simplified procedure described in Clause 2.2 (Method 1) of AS 3959:2018.

As per Table 2.1 AS3959:2018 the relevant Fire Danger Index (FDI) for Tasmania is noted as 50 & thus Table 2.6 AS 3959:2018 applies for determining the Bushfire Attack Levels (BALs).

The vegetation has been classified as per AS 3959:2018 Table 2.3 and Figures 2.4 (A)-(H)

To the North, East and West, are vacant cleared lots for 100m. These lots are less than 5,000m² and zoned General Residential. As per Tasmania Fire Service Bushfire

Prone Areas Advisory Note No.01-2014 version 3.0, this is regarded as low threat vegetation.

Thus, it is assessed as **BAL-Low from the North, East & West**.

To the South is cleared land on level ground to around 15m from the southern boundary of the subject title to the bushfire-prone vegetation on an up slope. This vegetation is classified as Woodlands but gradually transitions into Forest. For best practice this is regarded as Forest vegetation for the BAL assessment.

TASVEG 4.0 describes this vegetation as Dry eucalypt forest and woodland (Eucalyptus amygdalina forest on mudstone).

It consists of Wattles (*Acacia spp.*), to around 12m tall, eucalypts to around 10m in the near vicinity, Broadleaf hopbush (*Dodonaea viscosa*) and the occasional Native cherry (*Exocarpos compressiformis*)

UNIT 1

TABLE OF ASSESSMENT					
		NORTHEAST	SOUTHWEST	SOUTHEAST	NORTHWEST
SLOPE UNDER CLASSIFIED VEG'n		DN 2°	UP	UP	LEVEL
VEGETATION CLASSIFICATION		EXCLUSION 2.2.3.2(f) #	EXCLUSION 2.2.3.2(f) #	FOREST (SOUTH)	EXCLUSION 2.2.3.2(e)(f) #
DEFENDABLE SPACE REQUIRED (m)	BAL 12.5	N/A	N/A	32-<100	N/A
	BAL 19	N/A	N/A	23-<32	N/A
DEFENDABLE SPACE ACHIEVED (m)		N/A	N/A	39	N/A

UNIT 2

TABLE OF ASSESSMENT					
		NORTHEAST	SOUTHWEST	SOUTHEAST	NORTHWEST
SLOPE UNDER CLASSIFIED VEG'n		DN 2°	UP	UP	LEVEL
VEGETATION CLASSIFICATION		EXCLUSION 2.2.3.2(f) #	EXCLUSION 2.2.3.2(f) #	FOREST (SOUTH)	EXCLUSION 2.2.3.2(e)(f) #
DEFENDABLE SPACE REQUIRED (m)	BAL 12.5	N/A	N/A	32-<100	N/A
	BAL 19	N/A	N/A	23-<32	N/A
DEFENDABLE SPACE ACHIEVED (m)		N/A	N/A	30	N/A

UNIT 3

TABLE OF ASSESSMENT					
		NORTH	SDUTH	EAST	WEST
SLOPE UNDER CLASSIFIED VEG'n		UP/LEVEL	LEVEL/UP	DN 9°	UP
VEGETATION CLASSIFICATION		EXCLUSION 2.2.3.2(e)(f) #	FOREST	EXCLUSION 2.2.3.2(f) #	EXCLUSION 2.2.3.2(f) #
DEFENDABLE SPACE REQUIRED (m)	BAL 19	N/A	23-<32	N/A	N/A
	BAL 29	N/A	16-<23	N/A	N/A
DEFENDABLE SPACE ACHIEVED (m)		N/A	18	N/A	N/A

EXCLUSIONS PER cl. 2.2.3.2 AS 3959:2018 (a) to (f) & PER BUSHFIRE PRONE AREAS ADVISORY NOTE No. 01-2014 Version 3.0.

Measurements shown are the shortest distances from the building to the classified bushfire-prone vegetation.

From Table 2.6 AS 3959-2018 & the BAL for the building works is:

Unit 1 = BAL-12.5

Unit 2 = BAL-19

Unit 3 = BAL-29

This assessment is based on creating & maintaining a Hazard Management Area over the entire lot. (Refer Appendix C)

6. Construction Requirements

AS 3959 Construction of buildings in bushfire-prone areas provides for construction requirements for buildings.

Sections 3 & 5 provide for BAL-12.5

Sections 3 & 6 provide for BAL-19

Sections 3 & 7 provide for BAL-29

Also refer to the Director's Determination.

7. Recommendations

A Hazard Management Area (HMA) is to be created & maintained all year round, for the life of the buildings over the entire lot.

Also refer to Guide to Hazard Management Areas attached. (Refer Appendix C)

Some common maintenance includes:

- remove selected small trees to create clumps separated by open areas, rather than continuous strips of vegetation,
- prune shrubs & lower branches of trees to a height of at least 2m to separate the ground from any tree canopy
- minimize fine fuels at ground level (mow, slash & rake)
- remove any trees likely to fall or drop debris on the building (NB permits may be required)
- regular cleaning of roof gutters.

The creation of the HMA and maintenance is the responsibility of the developer and the owner at the time.

It is important that a bushfire survival plan be developed in accordance with Tasmania Fire Service "Bushfire Survival Plan" guidelines available at www.fire.tas.gov.au or ph 1800 000 699.

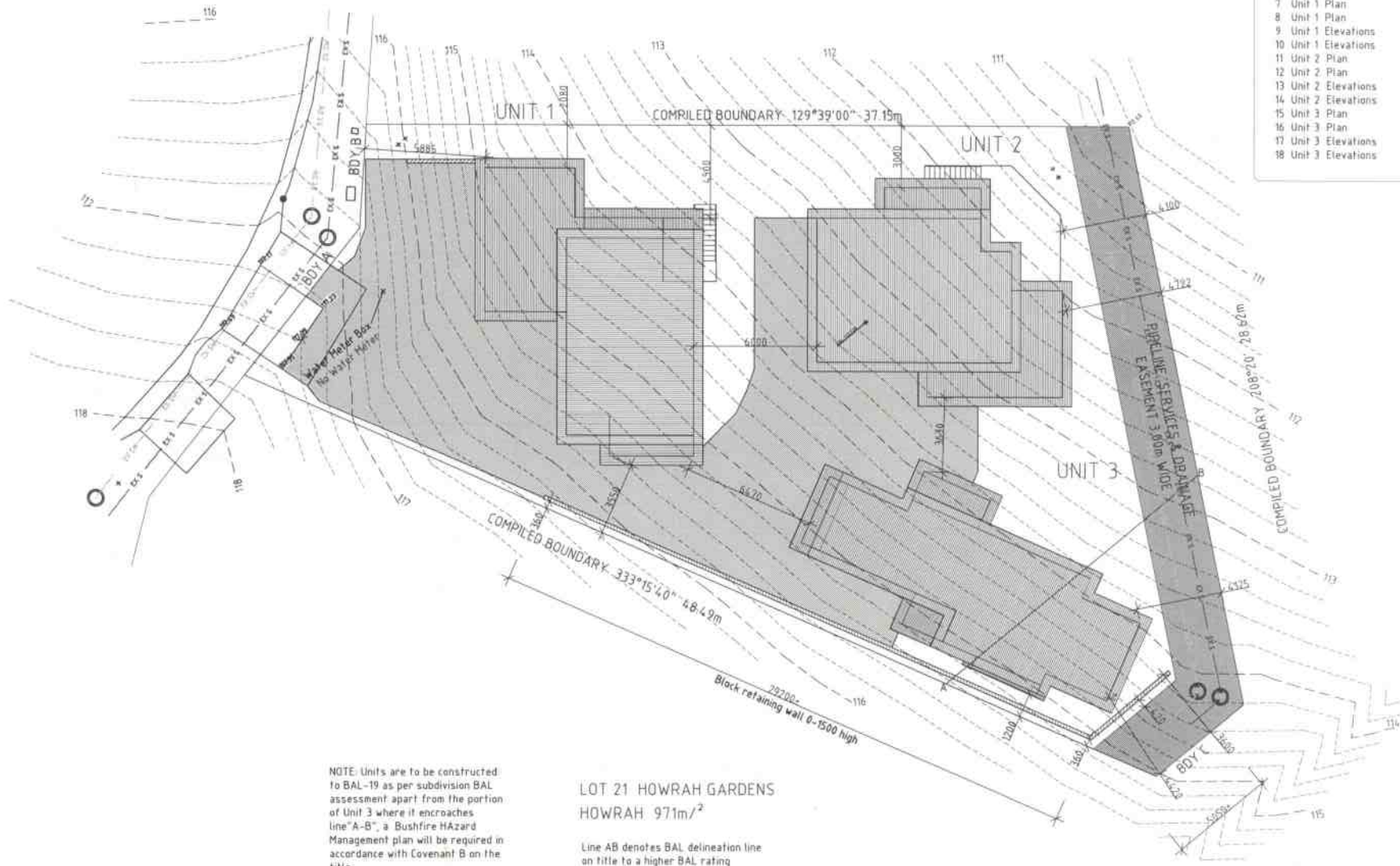
8. Disclaimer

This report deals solely with the potential bushfire risk. All other assessments, statutory or otherwise, are outside the scope of this report. All commentary within this report is to be interpreted in relation to the bushfire risk/mitigation only.

This report is based on the status of the vegetation and other criteria at the time the site inspection was undertaken and cannot be relied upon for any future or altered development. The impact of future development and vegetation growth has not been considered.

This report and recommendations are an attempt to reduce the potential damage or loss caused by a bushfire as per legislation and regulations current at this time. No responsibility can be accepted for any such damage or loss.

As per AS 3959, it should be noted that the acceptable standards against which this has been assessed cannot guarantee to prevent damage or loss from a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature & behavior of fire & extreme weather conditions.



CONTENTS	
1	Site Plan
2	Landscape Plan
3	Driveway Plan
4	Vehicle Maneuvering Plan
5	Stormwater Plan
6	Plumbing Notes
7	Unit 1 Plan
8	Unit 1 Plan
9	Unit 1 Elevations
10	Unit 1 Elevations
11	Unit 2 Plan
12	Unit 2 Plan
13	Unit 2 Elevations
14	Unit 2 Elevations
15	Unit 3 Plan
16	Unit 3 Plan
17	Unit 3 Elevations
18	Unit 3 Elevations

NOTE: Units are to be constructed to BAL-19 as per subdivision BAL assessment apart from the portion of Unit 3 where it encroaches line "A-B", a Bushfire Hazard Management plan will be required in accordance with Covenant B on the title

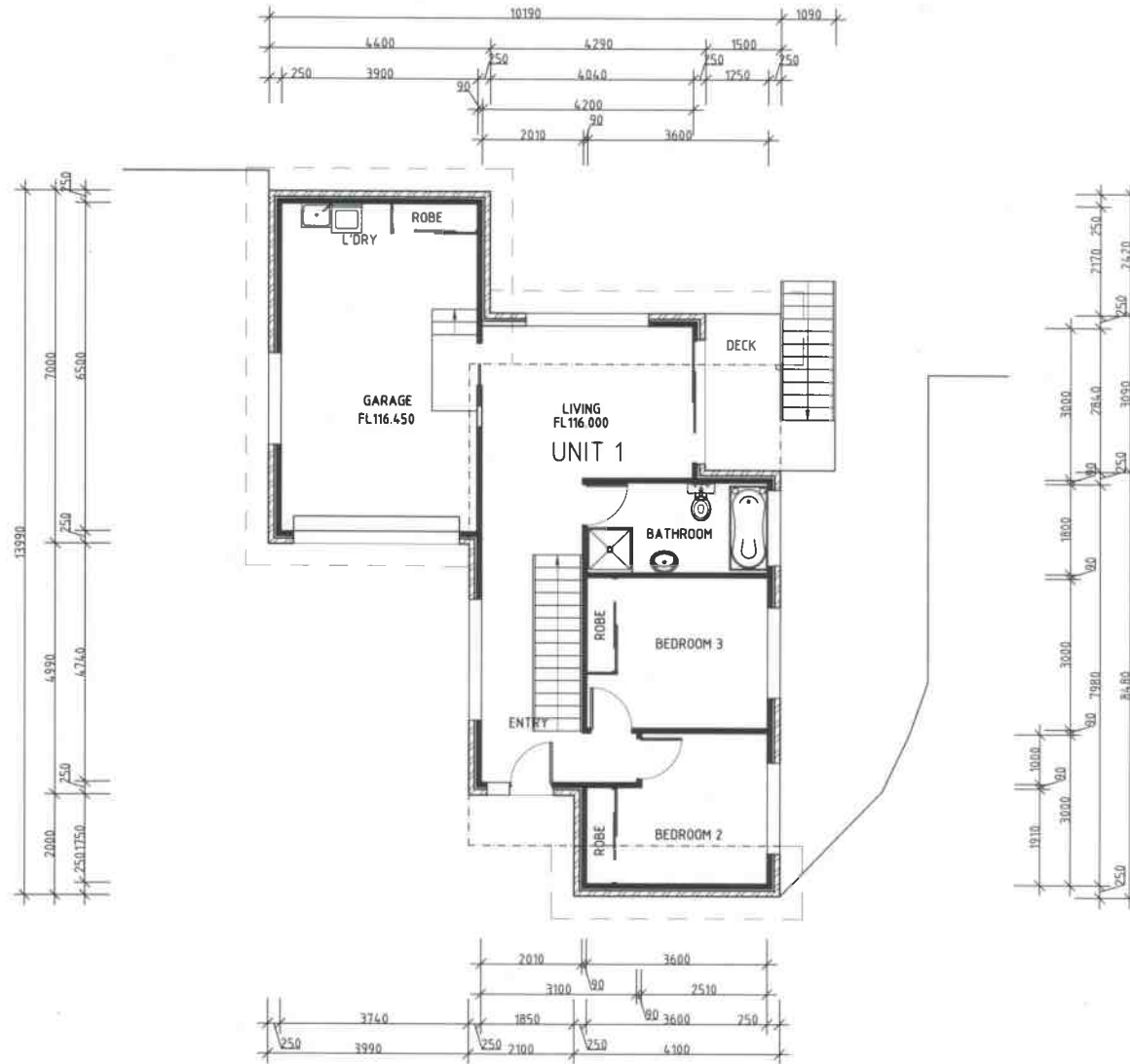
LOT 21 HOWRAH GARDENS
HOWRAH 971m²

Line AB denotes BAL delineation line on title to a higher BAL rating

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PROPOSED UNIT DEVELOPMENT FOR MR S MARAN AND MS L MACHU LOT 21 HOWRAH GARDENS	SITE PLAN		DATE	DRAWN BY
	SCALE 1:200	AMENDED	15/09/2022	G. Tilley email: gtilley@bda.com.au phone: 08 000 671 582
			DRAWING NO.	CONSULTATION NUMBER
			CI OF 1B	CL copyright 2021 4921





AREAS - UNIT 1	
Lower Level	91.81m ²
Upper Level	59.33m ²
Total	151.14m ²
Deck	4.63m ²

UNIT 1 LOWER LEVEL

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PROPOSED UNIT DEVELOPMENT FOR
MR S MARAN AND MS L MADHU
LOT 21 HOWRAH GARDENS

UNIT 1 LOWER LEVEL PLAN

SCALE 1:100

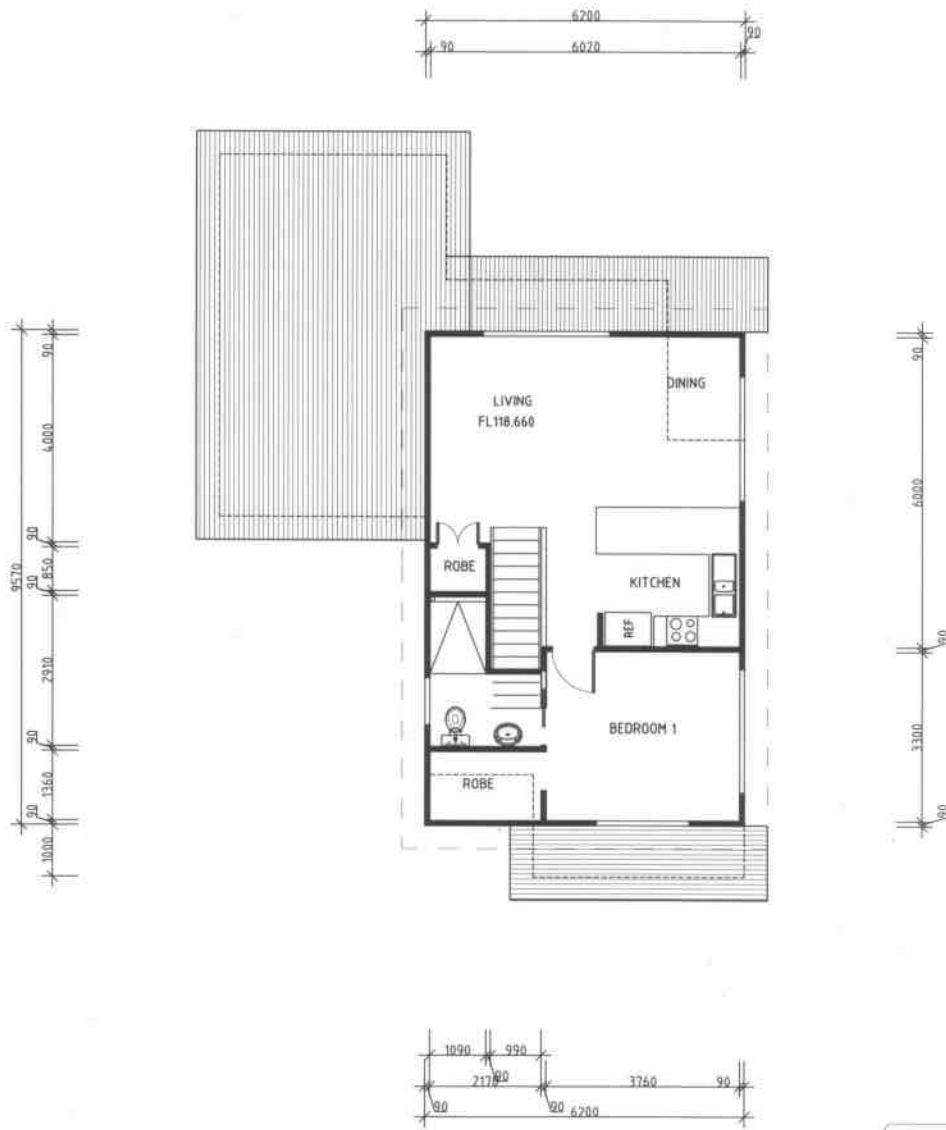
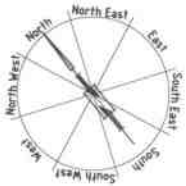
AMENDED

DATE
15/09/2022

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07 OF 18

DRAWN BY G Tilley
email: gtilley@bupard.com
phone: ph 0400 671 582

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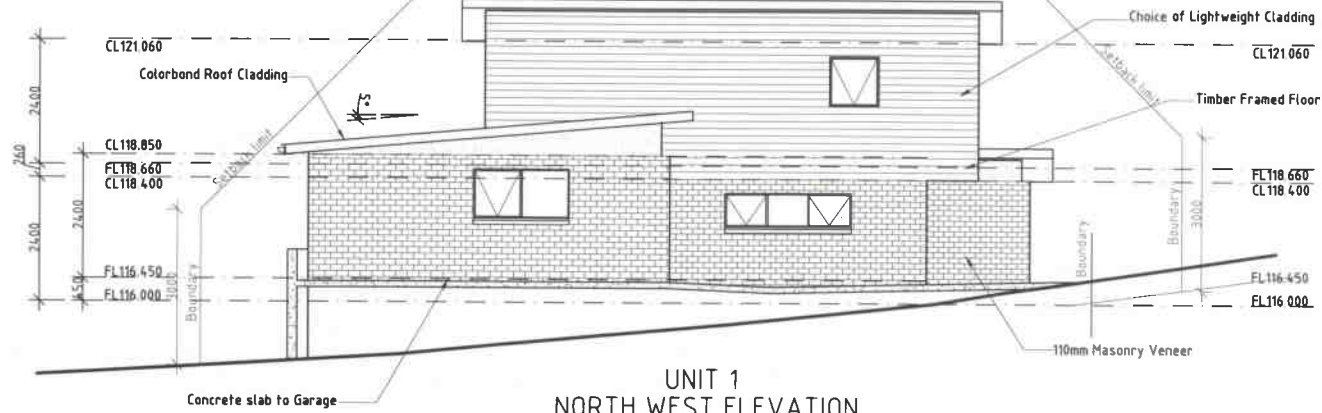
AREAS UNIT 1	
Lower Level	91.81m ²
Upper Level	59.33m ²
Total	151.14m ²
Deck	4.63m ²

UNIT 1 UPPER LEVEL

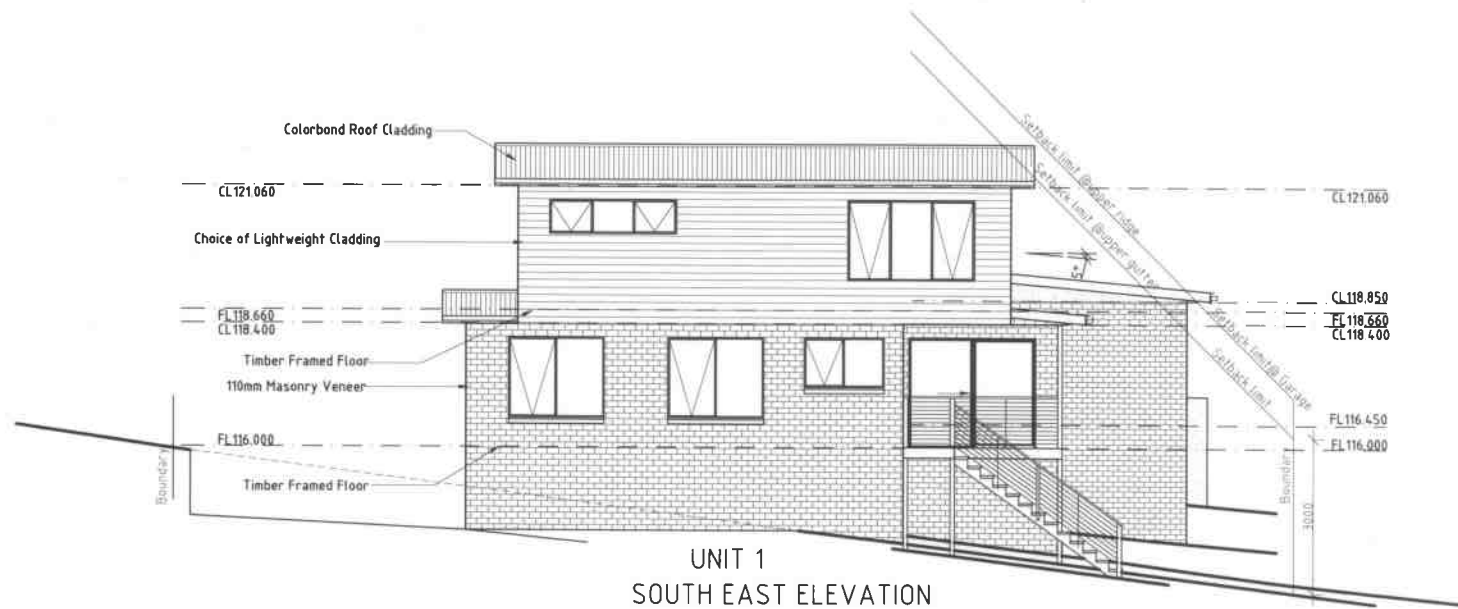
DEVELOPMENT DRAWINGS ONLY
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PROPOSED UNIT DEVELOPMENT FOR MRS MARAN AND MS L MADHU LOT 21 HOWRAH GARDENS	UNIT 1 UPPER LEVEL PLAN		DATE: 15/09/2022	DRAWN BY: G Tillet email: gtillet@bdsupad.com phone: ph 0400 671 982
	SCALE 1:100	AMENDED	DRAWING NO: 08 OF 15	Accreditation No. LC6204 © copyright 2021 4921





UNIT 1
NORTH WEST ELEVATION



UNIT 1
SOUTH EAST ELEVATION

DEVELOPMENT DRAWINGS ONLY
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UNIT 1

PROPOSED UNIT DEVELOPMENT FOR
MR S MARAN AND MS L MADHU
LOT 21 HOWRAH GARDENS

UNIT ELEVATIONS

SCALE 1:100

AMENDED

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15/09/2022

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09 OF 18

DRAWN BY G Tilley
email: dtillay@bispand.com
phone: ph 0400 671 587

Accreditation No. LC6204

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UNIT 1
 SOUTH WEST ELEVATION



UNIT 1
 NORTH EAST ELEVATION

DEVELOPMENT DRAWINGS ONLY
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UNIT 1

PROPOSED UNIT DEVELOPMENT FOR
 MR S MARAN AND MS L MADHU
 LOT 21 HOWRAH GARDENS

UNIT 1 ELEVATIONS

SCALE 1:100

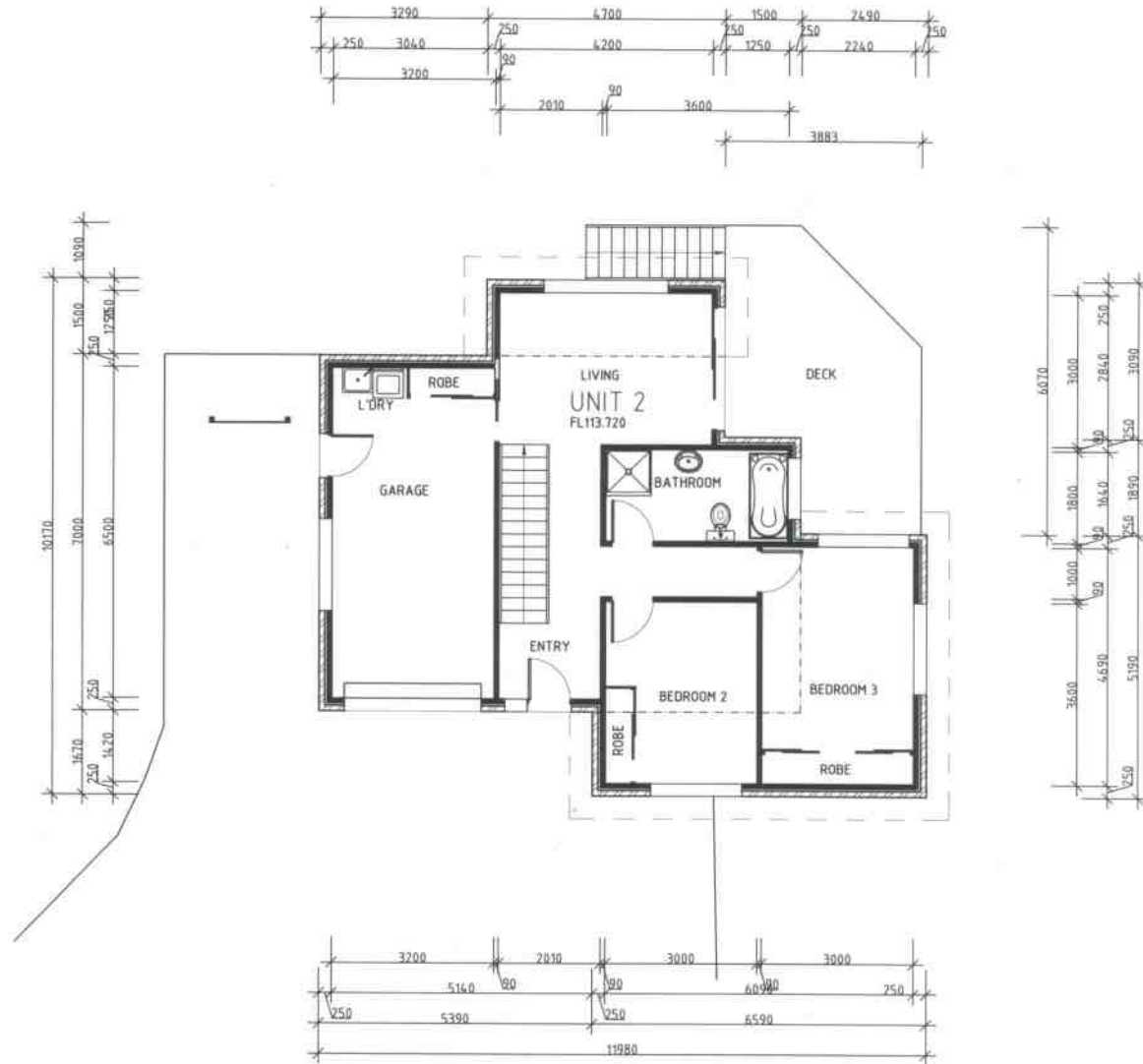
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 phone: ph 0400 671 587

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AREAS, UNIT 2	
Lower Level:	90.86m ²
Upper Level:	64.04m ²
Total:	154.90m ²
Deck:	17.89m ²

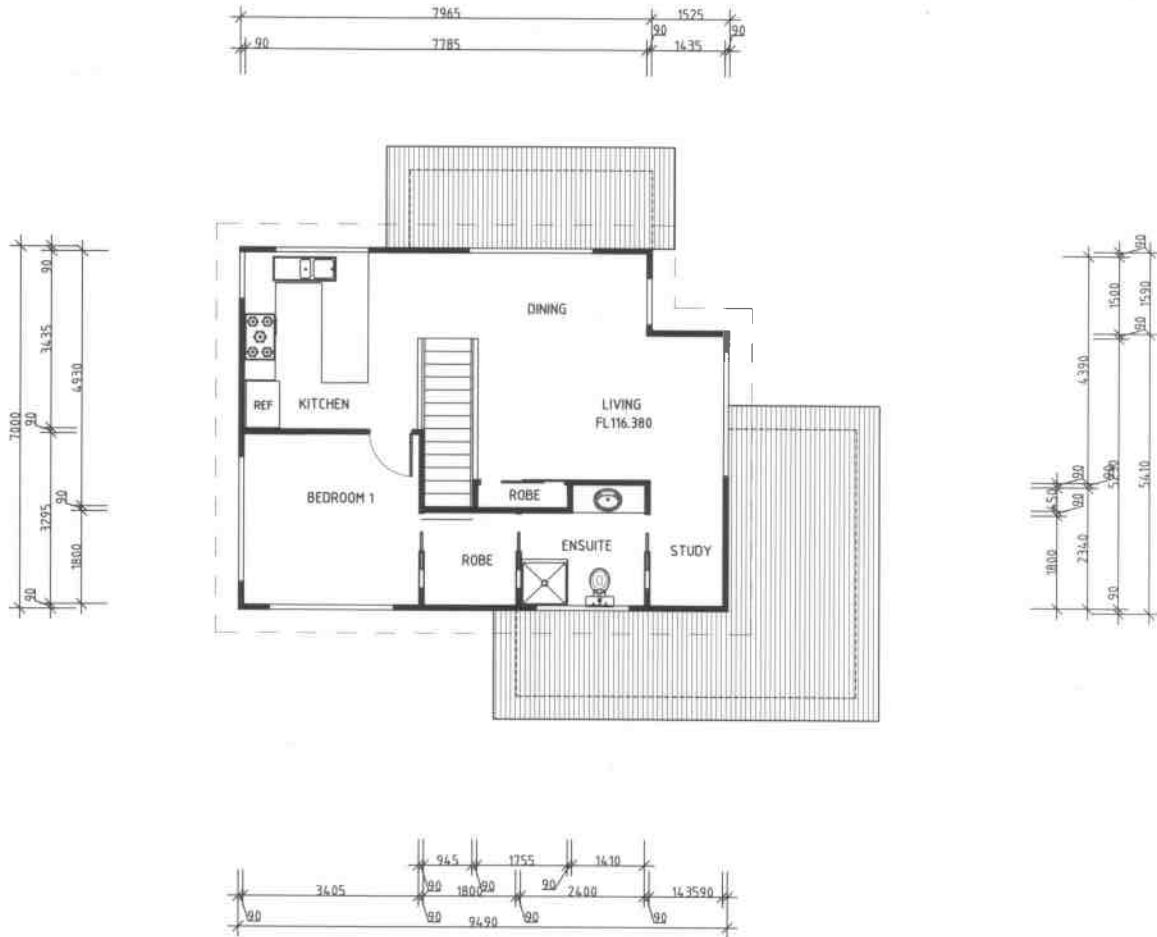
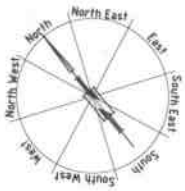
DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

UNIT 2 LOWER LEVEL

PROPOSED UNIT DEVELOPMENT FOR MRS S. MARAN AND MS L. MADHU LOT 21 HOWRAH GARDENS	UNIT 2 LOWER LEVEL PLAN		DATE 18/09/2022	DRAWN BY G. Tilley email: gtilley@bdau.com.au phone: ph 0400 671 982
	SCALE 1:100	AMENDED	DRAWING NO. 11 OF 15	Formulation No. 06201 Copyright 2023 © 49/31



Appendix 'A' (6 of 13)



AREAS UNIT 2	
Lower Level	90.86m ²
Upper Level	64.04m ²
Total	154.90m ²
Deck	17.89m ²

DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

UNIT 2

PROPOSED UNIT DEVELOPMENT FOR
MR S MARAN AND MS L MADHU
LOT 21 HOWRAH GARDENS

UNIT 2 UPPER LEVEL PLAN

SCALE 1:100

WENCHED

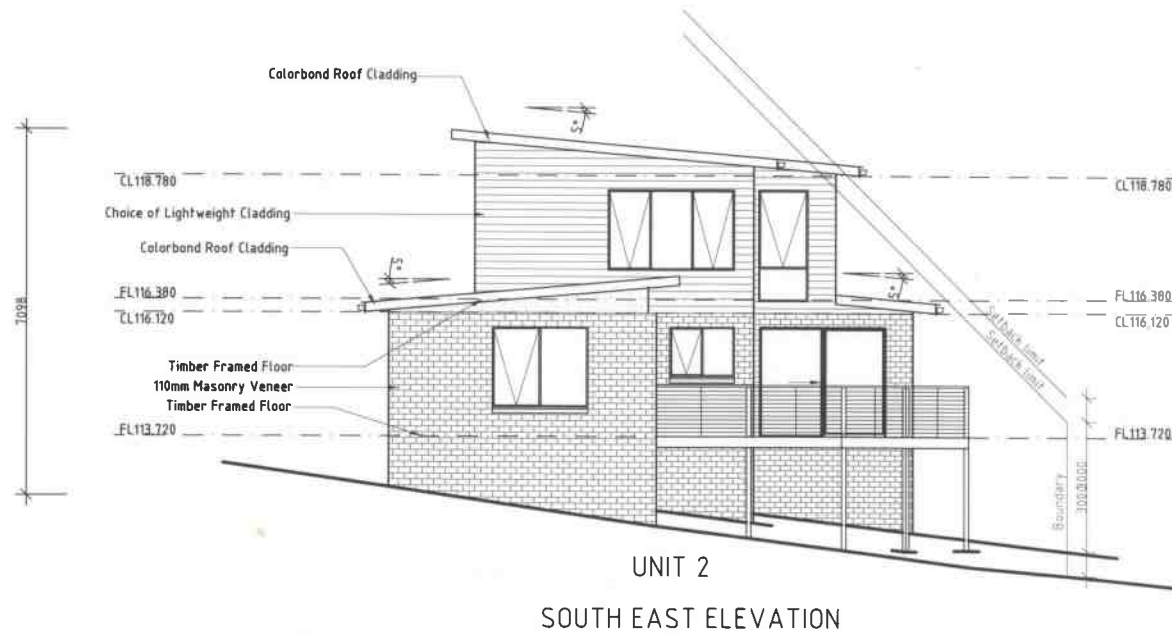
DATE
15 / 09 / 2022

DRAWING NO.
12 OF 18

DRAWN BY G Tillet
email: gtillet@bda.com.au
phone: ph 0430 671 582

Accreditation No. LIC6204
© copyright 2021 4021





UNIT 2

DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION

PROPOSED UNIT DEVELOPMENT FOR
 MR S MARAN AND MS L MACHU
 LOT 21 HOWRAH GARDENS

UNIT 2 ELEVATIONS

SCALE 1:100

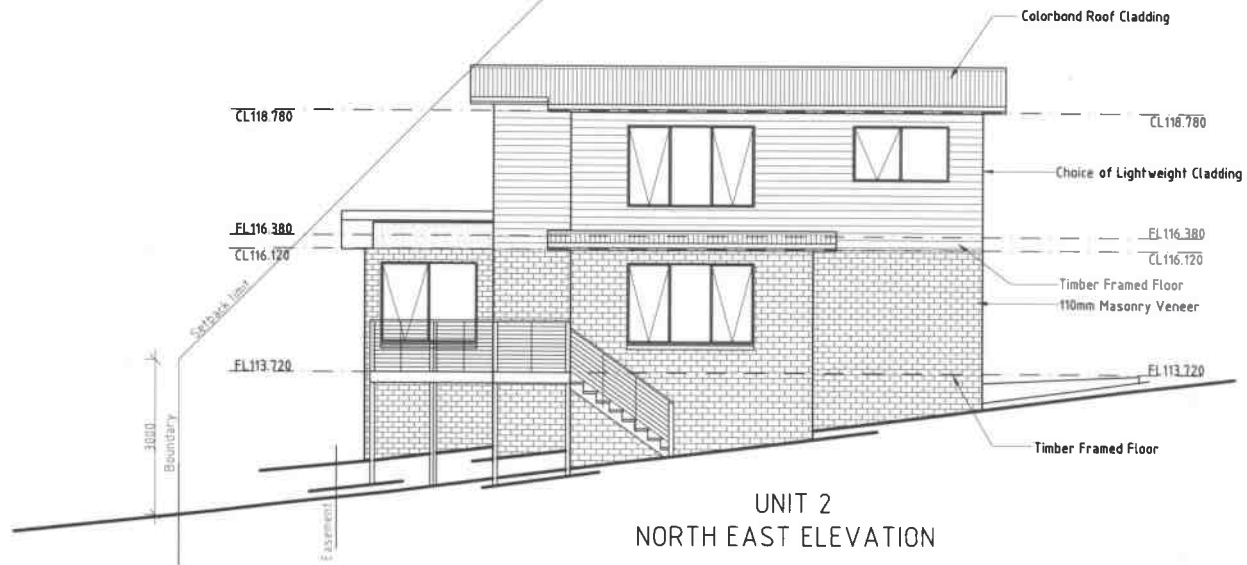
AMENDED

DATE
 15/09/2022

DRAWING NO.
 15 OF 18

DRAWN BY G Tilley
 email: gtilley@bdsupad.com
 phone: ph 0400 671 582

Accreditation No. CC6201
 C approved 2021 4921



DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION

UNIT 2

PROPOSED UNIT DEVELOPMENT FOR
 MR S MARAN AND MS L MADHU
 LOT 21 HOWRAH GARDENS

UNIT 2 ELEVATIONS

SCALE 1:100

AMENDED

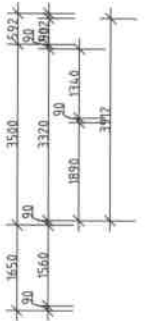
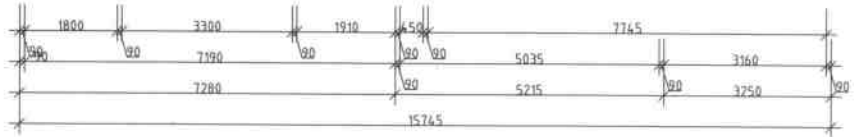
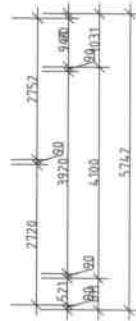
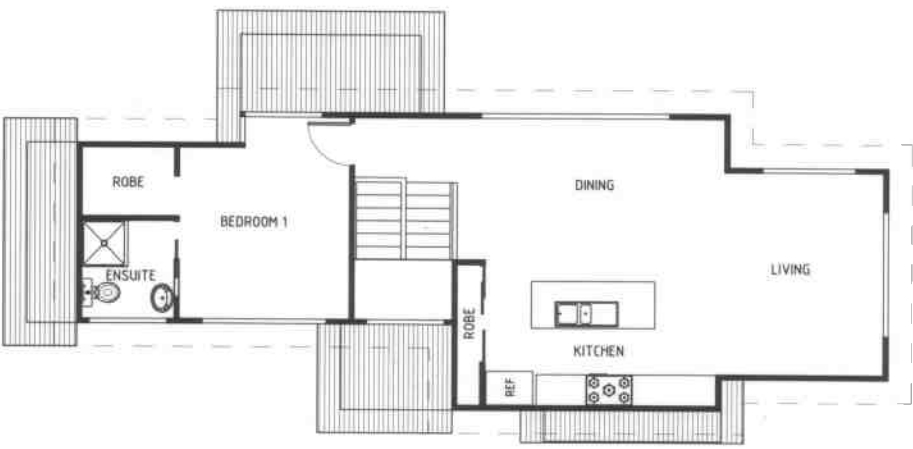
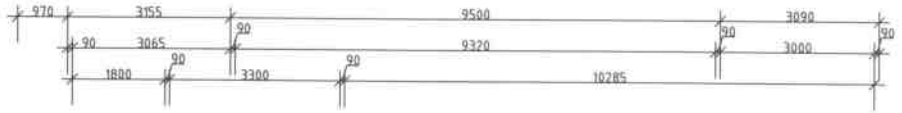
DATE
 15/09/2022

DRAWING NO.
 1A OF 15

DRAWN BY G Tilley
 email: gtilley@bupard.com
 phone: ph 0400 671 582

Accreditation No. 06903H
 (C) copyright 2022 (4/22)

AREAS - UNIT 3	
Lower Level	85.61m ²
Upper Level	71.35m ²
Total	156.96m ²
Deck	12.00m ²



DEVELOPMENT DRAWINGS ONLY
NOT FOR CONSTRUCTION

UNIT 3

PROPOSED UNIT DEVELOPMENT FOR
MR S. MARAN AND MS L. MADHU
LOT 21 HOWRAH GARDENS

UNIT 3 UPPER LEVEL PLAN

SCALE: 1:100

AMENDED

DATE
15/09/2022

DRAWING NO.
16 OF 18

DRAWN BY: G. Tilley
email: gtilley@bhupond.com
phone: 0400 671 582

Consultation No: CGR2021
E: 25/21 49/21





NORTH ELEVATION



SOUTH ELEVATION

DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION

UNIT 3

PROPOSED UNIT DEVELOPMENT FOR
 MR S MARAN AND MS L MADHU
 LOT 21 HOWRAH GARDENS

UNIT 3 ELEVATIONS

SCALE 1:100

AMENDED

DATE
 15/09/2022

DRAWING NO.
 17 OF 18

DRAWN BY G Tilley
 email: gtilley@bupapad.com
 phone: ph 0400 671 582

Consultation No: CC6923H
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WEST ELEVATION



EAST ELEVATION

UNIT 3

DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION

PROPOSED UNIT DEVELOPMENT FOR
 MR S MARAN AND MS L MADHU
 LOT 21 HOWRAH GARDENS

UNIT 3 ELEVATIONS

SCALE 1:100

REVISED

DATE
 15/09/2022

DRAWING NO.
 13 OF 13

DRAWN BY G Tilley
 email: gtilley@bhupad.com
 phone: ph 0400 671 582

Accreditation No. CC6204
 (C) copyright 2021 19/21



Appendix 'B' (1 of 2)





Appendix 'B' (2 of 2)



BUILDING TO BE CONSTRUCTED TO REQUIREMENTS OF AS 3959-2018 BALs AS SHOWN BELOW (OR HIGHER FOR POTENTIAL BETTER PROTECTION)

- UNIT 1 BAL-12.5
- UNIT 2 BAL-19
- UNIT 3 BAL-29

CONSTRUCTION

TO COMPLY WITH THE PROVISIONS OF NCC P2.7.5 & Part 3.10.5, AS 3959, BUILDING REGULATIONS & DIRECTOR OF BUILDING CONTROL'S DETERMINATION-"Bushfire Hazard Areas"



HAZARD MANAGEMENT AREA (OVER THE ENTIRE LOT)
(REFER TO GUIDE TO HAZARD MANAGEMENT AREA WITHIN REPORT)

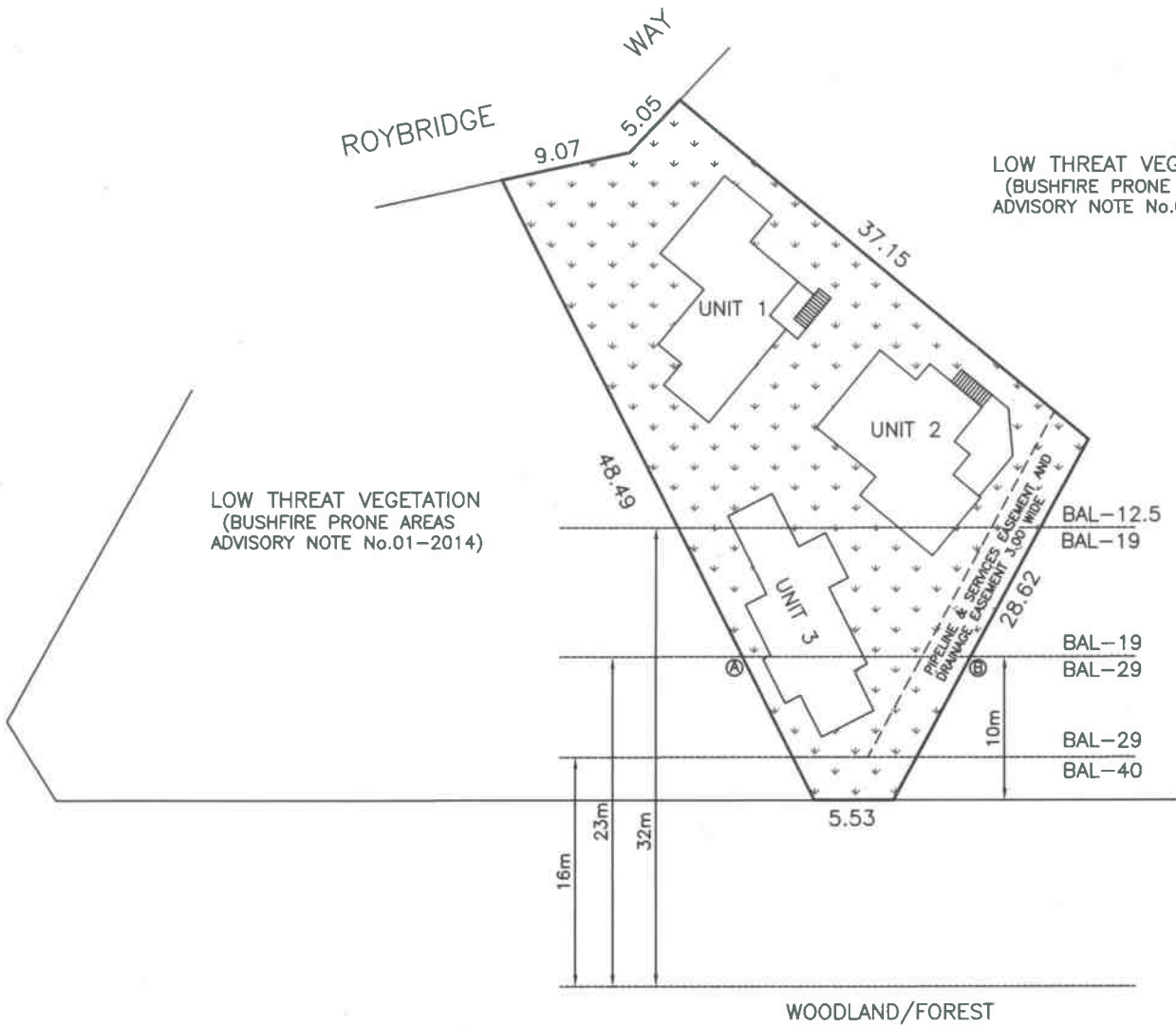
THIS AREA TO BE CREATED & MAINTAINED OVER THE ENTIRE LOT SO THAT IT IS KEPT IN A MINIMAL FUEL CONDITION TO TASMANIA FIRE SERVICE (TFS) REQUIREMENTS AS DESCRIBED IN TFS "Building for Bushfire" (AVAILABLE AT www.fire.tas.gov.au) AND DIRECTOR OF BUILDING CONTROL DETERMINATION "Bushfire Hazard Areas" (AVAILABLE AT www.justice.tas.gov.au)

Appendix 'C' (1 of 3)

LOW THREAT VEGETATION (BUSHFIRE PRONE AREAS ADVISORY NOTE No.01-2014)

LOW THREAT VEGETATION (BUSHFIRE PRONE AREAS ADVISORY NOTE No.01-2014)

LOW THREAT VEGETATION (BUSHFIRE PRONE AREAS ADVISORY NOTE No.01-2014)



BUSHFIRE HAZARD MANAGEMENT PLAN

THIS FORMS AN INTEGRAL PART OF THE BUILDING PERMIT DOCUMENTATION TO BE READ IN CONJUNCTION WITH BUSHFIRE ASSESSMENT REPORT BY G J WILLIAMS DRAFTING SERVICE DATED 9th NOVEMBER 2022 REF. No 686M

<p>G. J. WILLIAMS DRAFTING SERVICE ARCHITECTURAL, SURVEY & GENERAL DRAFTING BUILDING DESIGNER & BUSHFIRE HAZARD PRACTITIONER Gary Williams - Accreditation No.1110E & BFP-109 CATEGORY 2/SCOPE OF WORK: 1, 2 & 3A 995 PELVERATA RD. PELVERATA. 7150 MOBILE 0428 396 159</p>		<p>gjdrafting@outlook.com.au ABN: 87 756 789 831</p>
<p>PROPOSED DWELLING UNITS L.B. MADHU & S. MARAN 19 ROYBRIDGE WAY ROKEBY</p>		<p>DRAWING No: 686M-BHMP1 DATE: 9 NOVEMBER 2022 SCALE: A4 1:500</p>

GUIDE TO HAZARD MANAGEMENT AREA (HMA)

(THIS IS AN INTEGRAL PART OF THE BUILDING PERMIT DOCUMENTATION)

As per the Directors Determination – “Bushfire Hazard Areas”, the HMA *“means the area, between a habitable building or building area and bushfire-prone vegetation, which provides access to a fire front for firefighting, which is maintained in a minimal fuel condition and in which there are no other hazards present which will significantly contribute to the spread of a bushfire.”*

It is to provide a defensible space for the building from bushfires.

The potential outcome is to reduce the amount of sparks and embers reaching the building, reduce radiant heat and protect from direct flame attack.

The creation and maintenance of a HMA does not necessarily require the total removal of or lack of vegetation.

The HMA may be considered as two zones, being a Building Protection Zone (BPZ) and a Fuel Modified Buffer Zone (FMBZ).

The BPZ is that adjacent to the building that has little or no material available to burn. This can be achieved by non-flammable areas such as paths, driveways and low cropped lawns. It may include dams, vegetable gardens, wastewater treatment system (eg septic tank) effluent disposal areas plus radiant heat shields, ember traps and windbreaks such as masonry/stone walls or non-combustible fences.

Fire hazards such as wood/rubbish heaps and stored fuel should be removed from this area. Regular cleaning of roof gutters is required (installation of no-combustible leaf gutter guards should be considered).

A non-combustible perimeter path around the building should be considered. Avoid planting shrubs against the building walls and decks or near windows and glass doors. Avoid high flammability plants and consider low-flammability plants (refer Tasmania Fire Service www.fire.tas.gov.au or phone 1800 000 699).

The FMBZ, still being part of the HMA, is an area further out from the building than the BPZ and is such that fine fuels are removed and larger fuels are strategically modified to reduce the intensity of an approaching bushfire.

This can potentially be achieved by separation of vegetation, both vertically and horizontally. Clumps of vegetation should be separated by open areas with minimal ground litter and fine fuels, rather than a continuous wall.

Appendix 'C' (3 of 3)

Trees should be such that there are areas of separation between the crowns. Retaining established trees can trap embers and reduce wind speed. Also create vertical separation by removing fine fuels between the ground and the tree canopy to at least 2 metres by pruning lower branches and shrubs and minimise ground litter.

Trees with smooth bark are less likely to catch fire and allow the fire to travel up the trunk to the canopy.

Trees that are likely to fall or drop debris on the building should be removed. Generally, trees should not be closer to the building than 1.5 times their mature height. The FMBZ can include low cropped grass and cultivated areas such as orchard, vineyards etc.

The slope of the land of the HMA (being the BPZ and FMBZ) has a bearing on its design and layout as fire tends to travel faster up slopes.

Consideration should also be given to the location of Class 10 buildings (non-habitable buildings such as sheds, detached garages and carports etc). These need to be positioned at an absolute minimum of 6 m from the habitable building unless built to the same assessed Bushfire Attack Level (BAL) construction requirements as that of the habitable building as prescribed in AS 3959. The HMA/BPZ may need to be extended accordingly.

The HMA should be created and maintained all year round for the life of the development. This is the responsibility of the developer/owner at the time.

Further information may be obtained from Tasmania Fire Service (TFS) at www.fire.tas.gov.au or ph 1800 000 699.

UNREGISTERED DEALINGS REPORT

SEARCH DATE : 14-Oct-2022

SEARCH TIME : 03:41 pm

CT: 183097/21

M990040 PRIORITY NOTICE reserving priority for 90 days
D/MORTGAGE MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED
MORTGAGE DEALINGS B613235, B686336 and

B853252 to

MALWOOD PTY LTD

TRANSFER MALWOOD PTY LTD to LAVANYA BAJANTHRI MADHU
and SURESH MARAN

MORTGAGE LAVANYA BAJANTHRI MADHU and SURESH MARAN to
BANK OF QUEENSLAND LIMITED Lodged by PAGE SEAGER on
02-Sep-2022 BP: M990040

E322987 PARTIAL DISCHARGE of MORTGAGES B613235, B686336 and
B853252 Lodged by WALLACE WILK & WEB on 07-Oct-2022
BP: E322987

E322988 MORTGAGE to Bank of Queensland Limited Lodged by
WALLACE WILK & WEB on 07-Oct-2022 BP: E322987

M987914 TRANSFER to LAVANYA BAJANTHRI MADHU and SURESH MARAN
Lodged by WALLACE WILK & WEB on 07-Oct-2022 BP:
E322987

SEARCH OF TORRENS TITLE

VOLUME 183097	FOLIO 21
EDITION 1	DATE OF ISSUE 11-Aug-2022

SEARCH DATE : 12-Aug-2022
SEARCH TIME : 12.09 PM

DESCRIPTION OF LAND

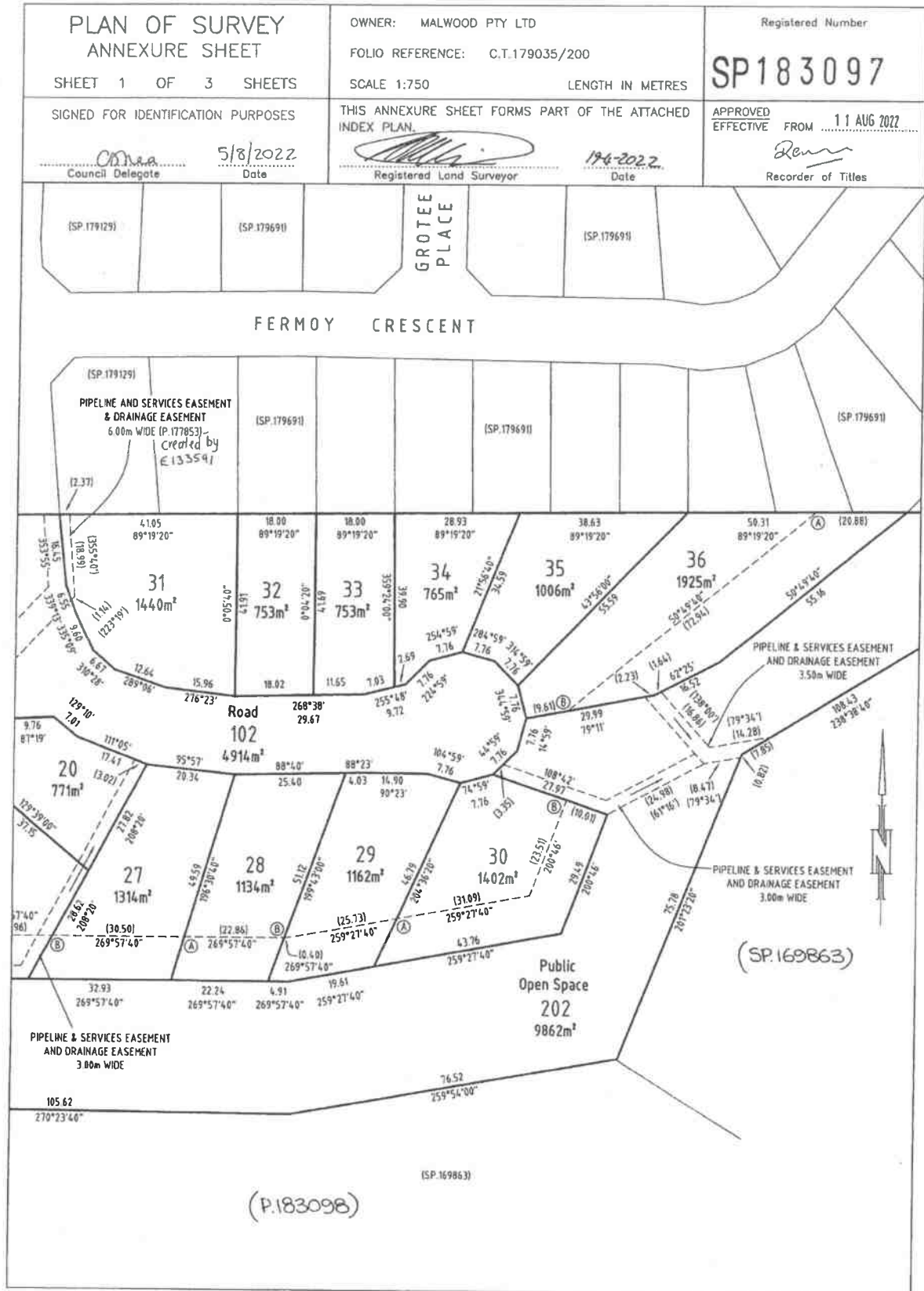
City of CLARENCE
Lot 21 on Sealed Plan 183097
Derivation : Part of 730 Acres Gtd. to Frances Butler & Justin
McCarthy Browne
Prior CT 179035/200

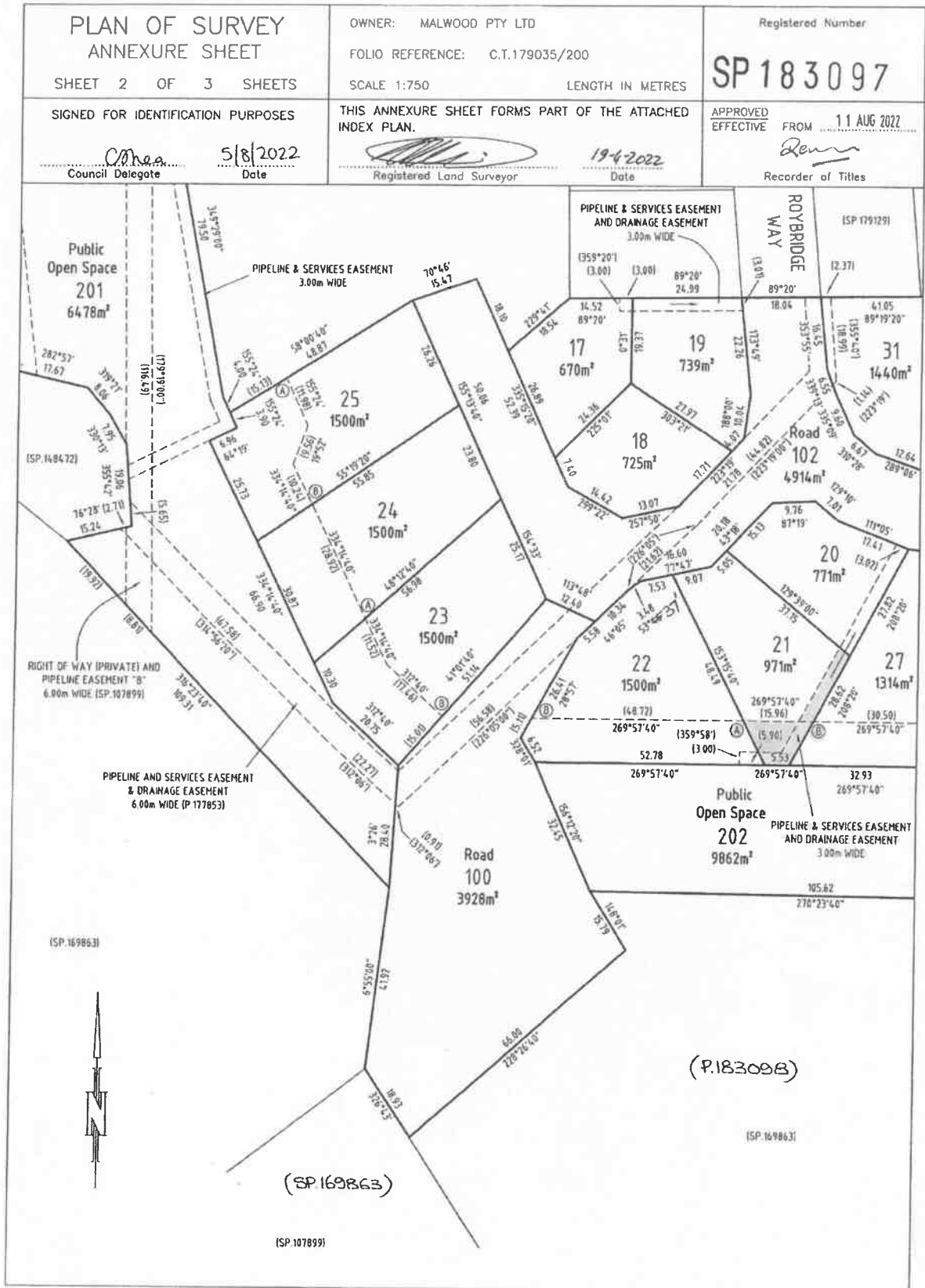
SCHEDULE 1

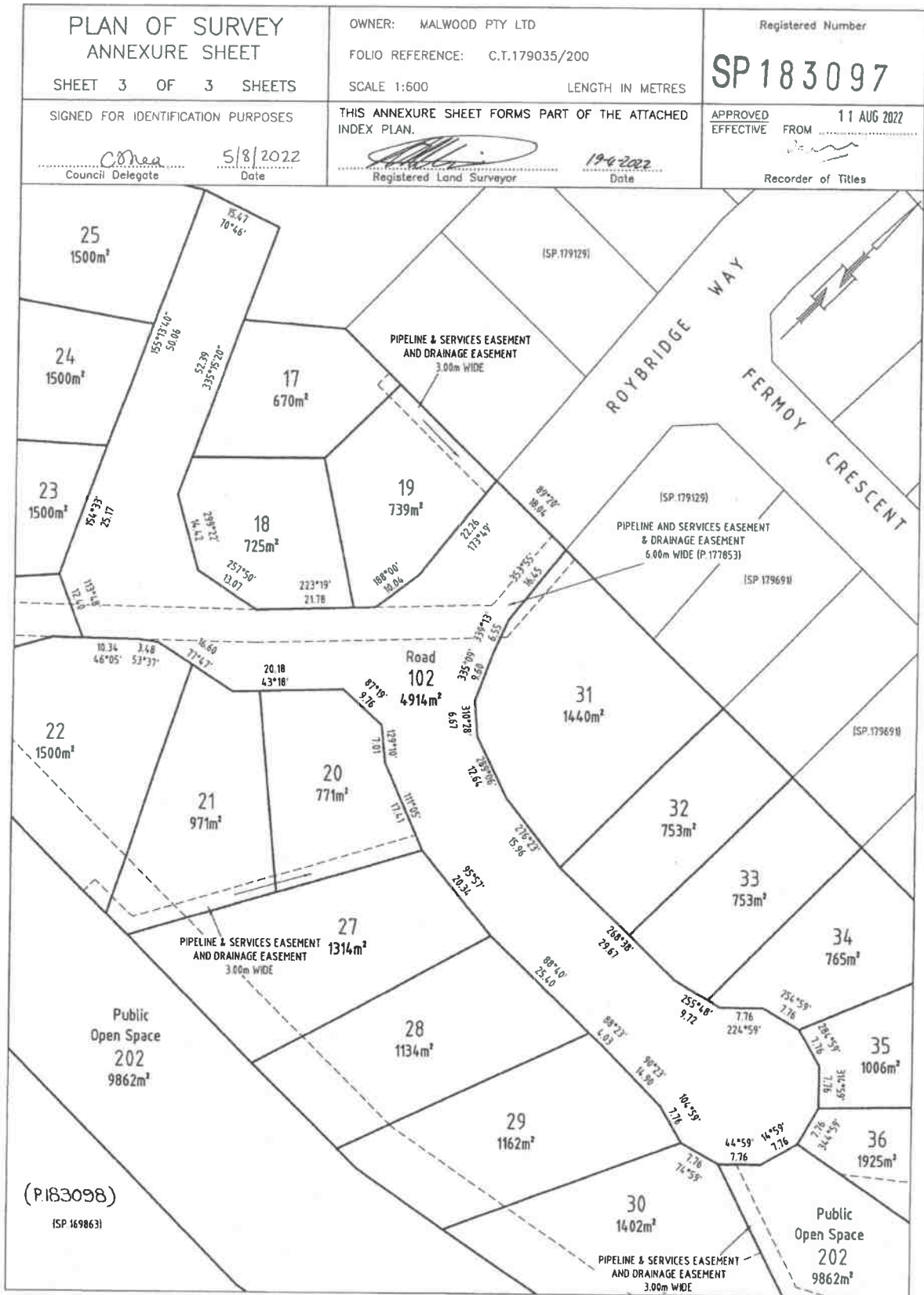
B613234 TRANSFER to MALWOOD PTY LTD

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP183097 EASEMENTS in Schedule of Easements
SP183097 COVENANTS in Schedule of Easements
SP183097 FENCING PROVISION in Schedule of Easements
B613235 MORTGAGE to Murdos Nominees Pty Ltd Registered
16-Jun-1993 at 12.01 PM
B686336 MORTGAGE to Murdos Nominees Pty Ltd Registered
02-Sep-1993 at noon
B853252 MORTGAGE to Murdos Nominees Pty Ltd Registered
06-Apr-1995 at noon
C250319 TRANSFER of MORTGAGES B613235, B686336 and B853252 to
Perpetual Trustees Tasmania Limited Registered
12-Dec-2000 at noon
C796934 TRANSFER of MORTGAGES B613235, B686336 and B853252 to
Murdoch Clarke Mortgage Management Limited
Registered 03-Sep-2007 at noon
E34443 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
23-Feb-2016 at 12.02 PM
E34444 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
23-Feb-2016 at 12.03 PM
E303086 AGREEMENT pursuant to Section 78 of the Land Use
Planning and Approvals Act 1993 Registered
11-Aug-2022 at 12.02 PM







SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP, 183097

PAGE 1 OF 6 PAGES
6

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 17 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lot 17 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 19 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan


Lot 19 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lots 20-22 are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE passing through such lot on the plan

Lots 20-22 are each is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE ("the Easement Land") passing through such lot on the plan

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: MALWOOD PTY LTD FOLIO REF: 179035-200 SOLICITOR: MURDOCH CLARKE (Ben Dance)	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 5 Aug 2022 SD-2011-30 REF NO. SD-2010/44
..... C. Mearns Clare Shee Council Delegate	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES 6	Registered Number SP 183097
SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200	

Lot 31 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE passing through that lot on the plan

Lot 31 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE ("the Easement Land") passing through that lot on the plan

Lots 100 & 102 are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE passing through such lot on the plan

Lots 100 & 102 are each subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE ("the Easement Land") passing through such lot on the plan

Lot 201 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE passing through that lot on the plan

Lot 201 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "B" 6.00 WIDE, PIPELINE & SERVICES EASEMENT 3.00 WIDE and PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 6.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 201 is subject to a right of carriageway (appurtenant to lot 5 on Sealed Plan 107899) over the land marked RIGHT OF WAY (PRIVATE) AND PIPELINE EASEMENT "B" 6.00 WIDE passing through that lot on the plan

Lot 201 is subject to a right of carriageway (appurtenant to lot 1 on Sealed Plan 148472) over the land marked RIGHT OF WAY (PRIVATE) 10.00 WIDE passing through that lot on the plan

Lot 202 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE and PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.50 WIDE passing through that lot on the plan

Director: Director: Director:  Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. CD

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 6 PAGES 6	Registered Number SP183097
SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200	

Lot 202 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00 WIDE and PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.50 WIDE ("the Easement Land") passing through that lot on the plan

Easements continued Page 6

COVENANT A

The owners of lots 23-25 on the plan covenant with Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations-

1. Not to develop any part of a habitable building within the hazard management area delineated on the Bushfire Hazard Management Plan (Onto it Solutions 12 April 2022) unless constructed to a higher BAL, where the hazard management area on each lot is west of the line marked "AB" on the plan
2. Not to develop a habitable building to a higher BAL level within the hazard management area unless accompanied by a Bushfire Hazard Management Plan

COVENANT B

The owners of lots 21, 22, 27-30 & 36 on the plan covenant with Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may devolve with Clarence City Council to observe the following stipulations-

3. Not to develop any part of a habitable building within the hazard management area delineated on the Bushfire Hazard Management Plan (Onto it Solutions 12 April 2022) unless constructed to a higher BAL, where the hazard management area on each lot is south of the line marked "AB" on the plan
4. Not to develop a habitable building to a higher BAL level within the hazard management area unless accompanied by a Bushfire Hazard Management Plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Malwood Pty Ltd) shall not be required to fence

Director: Director: Director: *[Signature]* Director: *[Signature]*

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. 10

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES 6	Registered Number SP 183097
SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200	

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means:-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:



- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
 - (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
 - (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
 - (4) run and pass sewage, water and electricity through and along the Infrastructure;
 - (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
 - (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
 - (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot
- SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);

Director:

Director:

Director:  Director: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES 6	Registered Number SP 183097
SUBDIVIDER: MALWOOD PTY LTD FOLIO REFERENCE: 179035-200	

- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed for and on behalf of MALWOOD PTY LTD (ACN 009 577 931)
 being the registered proprietor of Folio 179035-200 in accordance
 with section 127 Corporations Act 2001 by-

Director: *[Signature]*
 Print Full Name: **TERENCE SCOTT CROMER**
 Director: **DIRECTOR**
 Print Full Name:

[Signature]
FREDERICK JAMES GRANT
DIRECTOR

Signed for and on behalf of MURDOCH CLARKE MORTGAGE MANAGEMENT LIMITED
 (ACN 115 958 560) as mortgagee in Mortgage No B613235, Mortgage No B686336
 and Mortgage No B853252 pursuant to Transfer of Mortgage No C796934
 in accordance with section 127 Corporations Act 2001 by-

Director: *[Signature]*
 Print Full Name: **FREDERICK JAMES GRANT**
 Director: **DIRECTOR**
 Print Full Name:

*AM 26/04/2022
 hence added to govt
 record for mortgages*

EXECUTED by MURDOCH CLARKE MORTGAGE
 MANAGEMENT LIMITED ACN 115 958 560 as
 Responsible Entity of the MURDOCH CLARKE
 MORTGAGE FUND ARSN 093 255 559 by its duly
 authorised Attorney **PAUL KJZIS**
 pursuant to Power of Attorney registered on 15
 January 2018 Registered Number PA 109270 having
 received no notice of the revocation thereof

WITNES: *AM Thomas*
 NAME: Andrea Marie Thomas
 ADDRESS: 10 Victoria Street,
 Hobart Tas 7000
 OCCUPATION: Legal Secretary

[Signature]

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 6 PAGES</p>	<p>SP183097</p>
<p>SUBDIVIDER: - MALWOOD PTY LTD</p> <p>FOLIO REFERENCE: - 179035/200</p>	
<p>EASEMENTS CONTINUED</p> <p>Lots 31, 100, 102 & 201 are each subject to a pipeline and services easement in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Pipeline & Services Easement & Drainage Easement 6.00 wide on the plan and as created by and more fully set forth in E133591.</p> <p>Lot 201 is subject to a pipeline and services easement in favour of Tasmanian Water and Sewerage Corporation Pty Ltd over the land marked Right of Way (private) & Pipeline Easement 'B' 6.00 wide (SP107899) on the plan and as created by and more fully set forth in Sealed Plan 169863.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

COUNCIL APPROVAL

Registered Number

SP 183097

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993) The subdivision shown in this plan is approved

In witness whereof the common seal of

has been affixed, pursuant to a resolution of the Council of the said municipality

passed the 22 day of February 2013, in the presence of us

Member Clare Shea
Corporate Secretary
Clarence City Council
38 Bligh Street
Rosny Park 7018
Member
Council Delegate OShea

Council Reference SD-2010/44
Stage 1+2

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993 the owner has nominated

MURDOCH CLARKE Solicitor to act for the owner
ROGERSON & BIRCH SURVEYORS Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed

Computed DH 9/8/22

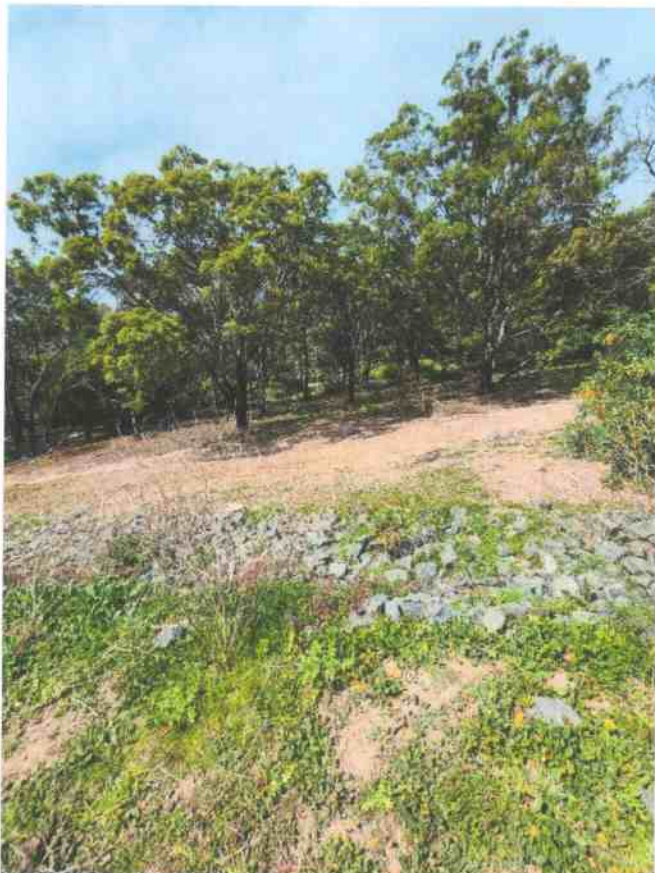
Examined DH 9/8/22 *

Appendix 'E'
(1 of 3)

Looking North

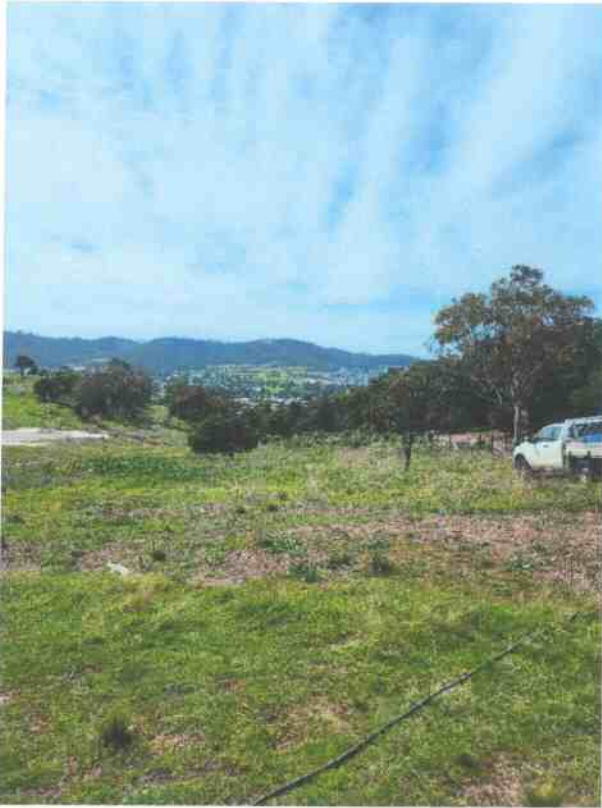


Looking South



Appendix 'E' (2 of 3)

Looking East

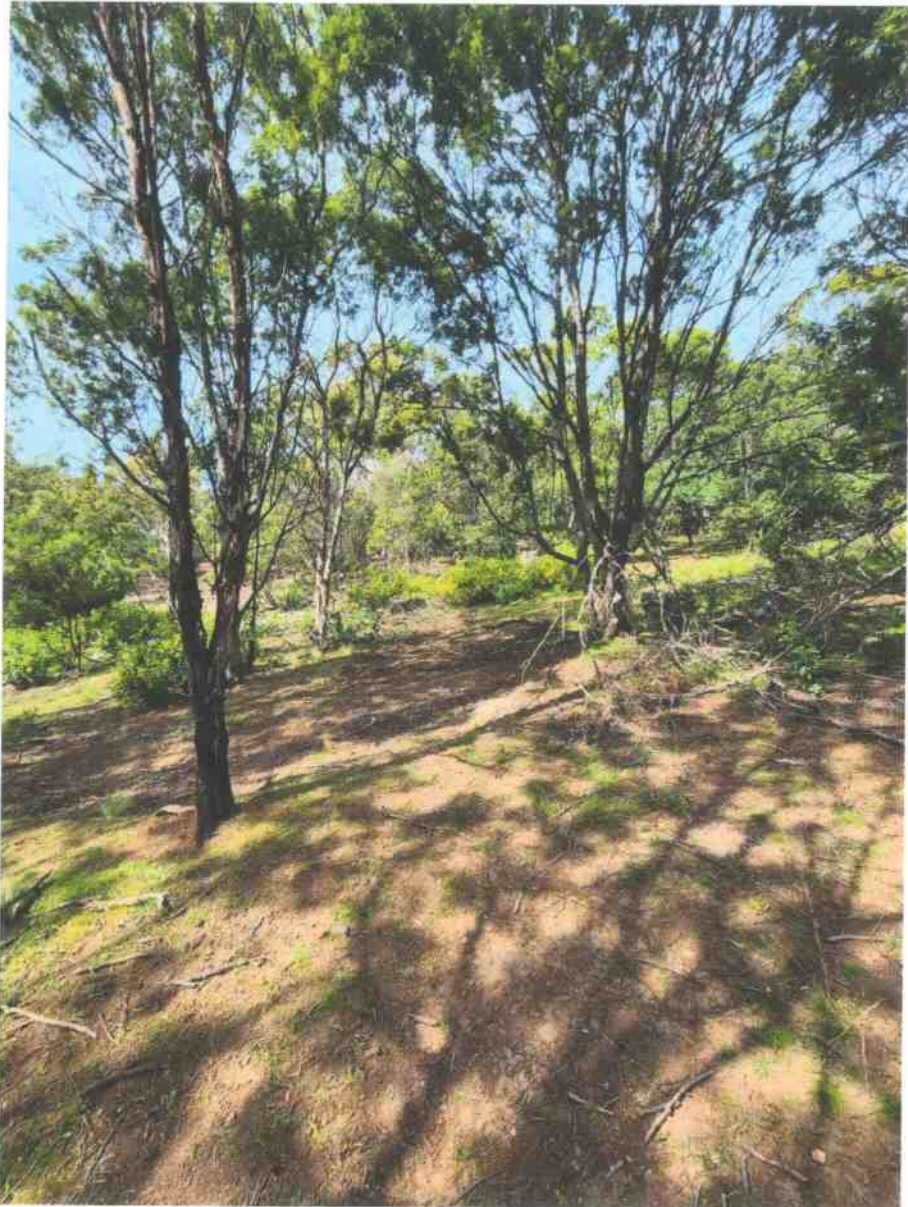


Looking West



Appendix 'E'
(3 of 3)

Bushfire-prone vegetation to the south



CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode:

Form **55**

Qualified person details:

Qualified person:
Address: Phone No
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director of Building Control's Determination)

Speciality area of expertise: (description from Column 4 of the Director of Building Control's Determination)

Details of work:

Address: Lot No:
 Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director of Building Control's Determination)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

Relevant
calculations:

References:

Building Regulations 2016,
AS 3959 Construction of Buildings in Bushfire-prone Areas
Director's Determination – Bushfire Hazard Areas & National
Construction Code P2.7.5 & Part 3.10.5.
Bushfire Prone Areas Advisory Notes No. 01-2014 v3.0

Substance of Certificate: (what it is that is being certified)

Bushfire Attack Level Unit 1 BAL-12.5, Unit 2 BAL-19, Unit 3 BAL-29
Bushfire Hazard Management Plan

Scope and/or Limitations

Scope

This assessment was commissioned to identify the Bushfire Attack Level for the existing site. All comments, advice & fire suppression measures are in relation to compliance with the Building Regulations 2016, the National Construction Code P2.7.5 & Part 3.10.5., AS 3959-2018, Construction of Buildings in bushfire-prone areas, Director's Determination – Bushfire Hazard Areas.

Limitations

The assessment only deals with the potential bushfire risk. All other assessments, statutory or otherwise are outside the scope of this evaluation.

The assessment is relevant at the time it was undertaken and cannot be relied upon for future development.

Impacts of land rezoning, future development & vegetation growth have not been considered.

[Empty rectangular box for content]

I certify the matters described in this certificate.

Qualified person: Signed: Certificate No: Date:
 686M-BHMP 9/11/2022