



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/053295

PROPOSAL: Additions & Alterations, & Outbuilding (Single Dwelling)

LOCATION: 11 Alliance Drive, Cambridge (with access over 9, 13 & 15 Alliance Drive, Cambridge)

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

2x Multiple dwelling

Location:

Address: 9 Dominique Way,

Suburb/Town Rokeby Postcode 7018.....

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Personal Information Removed

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 182163	FOLIO 131
EDITION 3	DATE OF ISSUE 06-Aug-2025

SEARCH DATE : 23-Sep-2025

SEARCH TIME : 09.39 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 131 on Sealed Plan [182163](#)

Derivation : Part of 410 Acres Gtd. to Robert White & John Robertson.

Prior CT [181272/501](#)

SCHEDULE 1

[N270942](#) TRANSFER to MARK GEOFFREY WEBB and WENDY JOY WEBB
Registered 06-Aug-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP182163](#) FENCING PROVISION in Schedule of Easements

[SP180218](#) FENCING PROVISION in Schedule of Easements

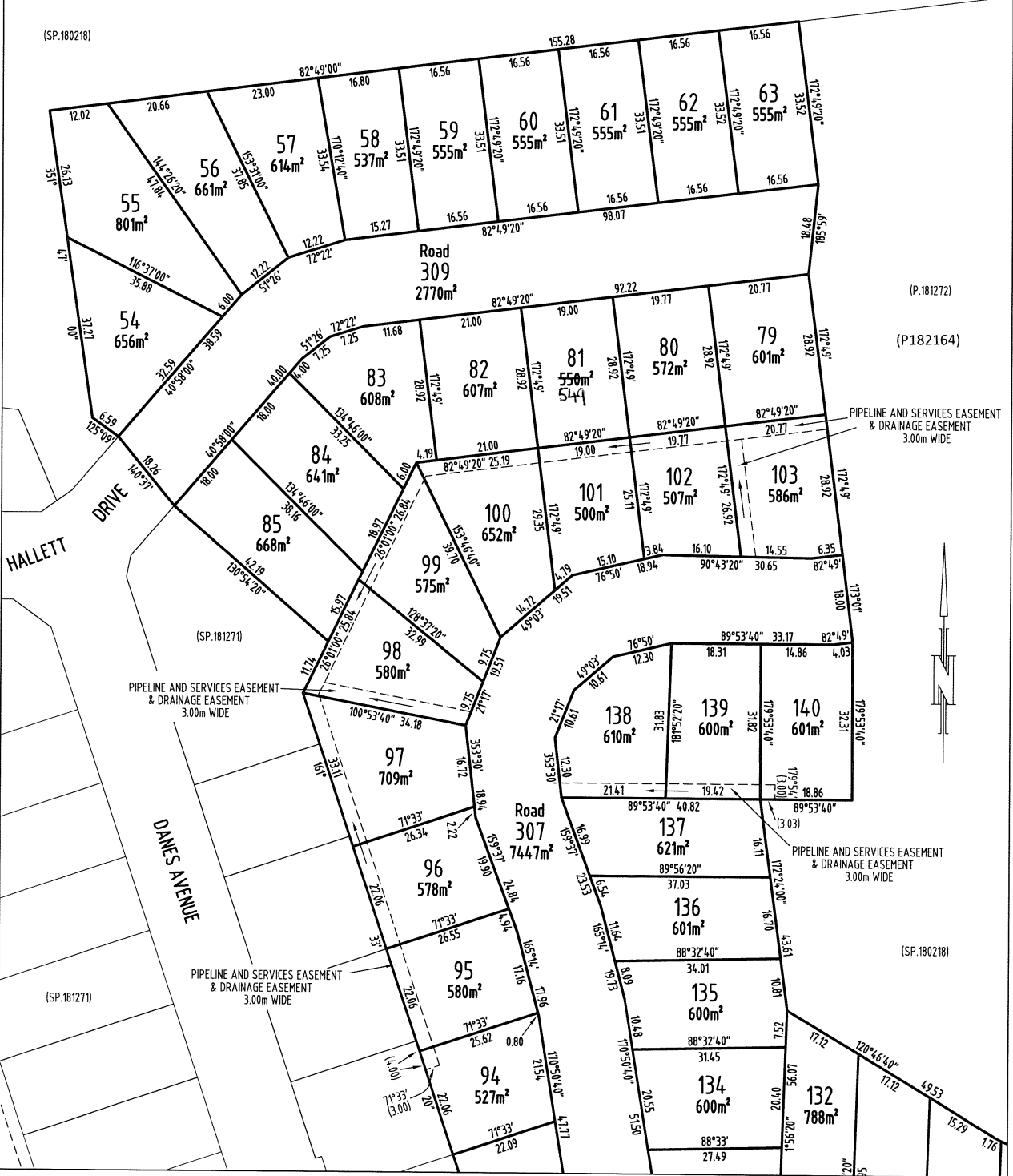
[SP156979](#) FENCING COVENANT in Schedule of Easements

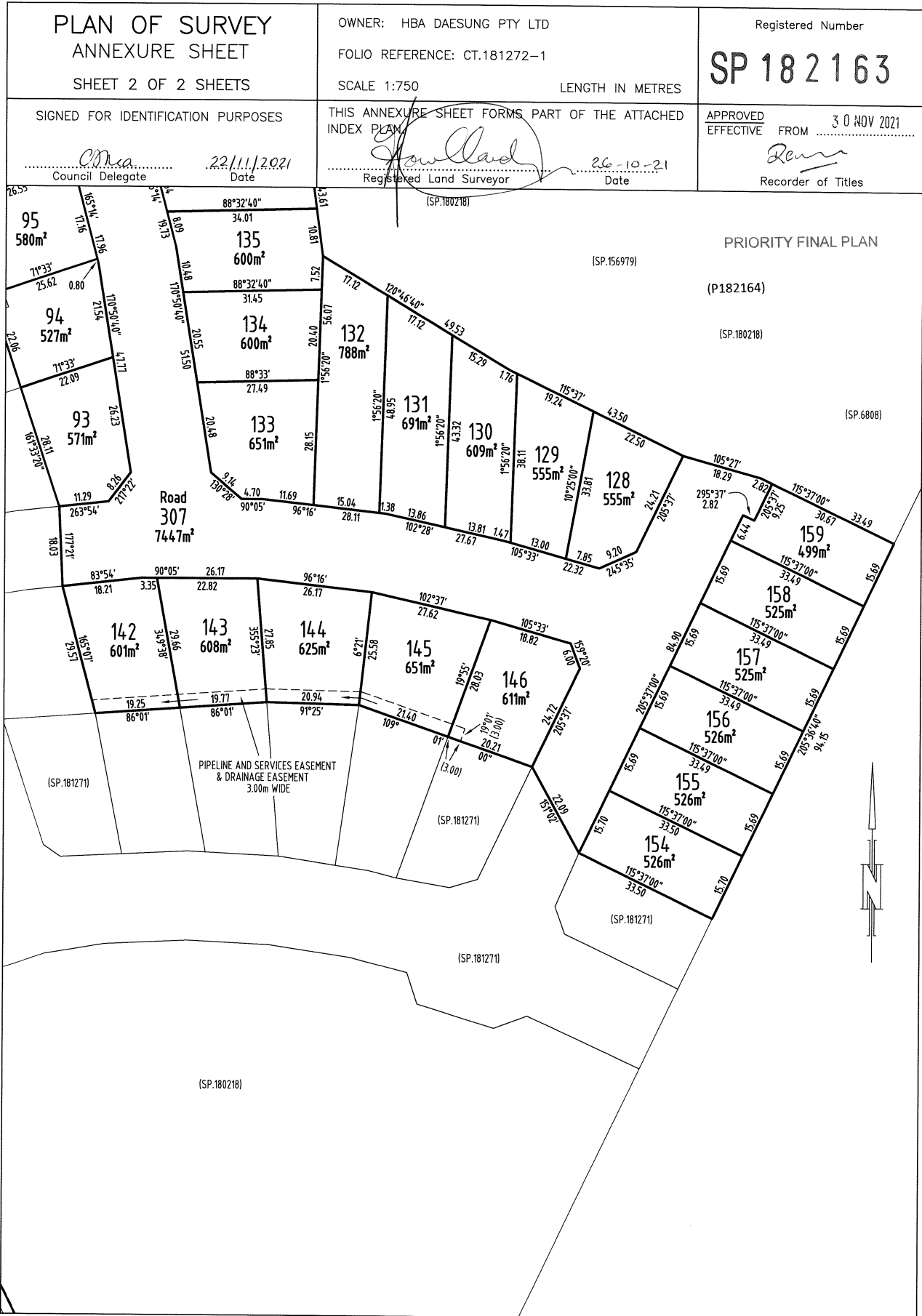
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 2 SHEETS</p>	<p>OWNER: HBA DAESUNG PTY LTD FOLIO REFERENCE: C.T.181272-501 SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number SP 182163</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>Mea</i> 22/11/2021 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN <i>Spavell</i> 26-10-21 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 30 NOV 2021 <i>Reyn</i> Recorder of Titles</p>

(SP.180218) PRIORITY FINAL PLAN





SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP. 182163

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 94 to 103 (inclusive), 138 to 140 (inclusive) and 142 to 146 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan (“the Easement Land”).

Lots 94 to 103 (inclusive), 138 to 140 (inclusive) and 142 to 146 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT & DRAINAGE EASEMENT 3.00m WIDE** on the Plan.


FENCING PROVISION

In respect of the Lots shown on the Plan, the Vendor (HBA Daesung Pty Ltd) shall not be required to fence.

DEFINITIONS

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: HBA DAESUNG PTY LTD FOLIO REF: 181272/501 SOLICITOR & REFERENCE: Page Seager (DAS 182259 – Stages 6 - 9)	PLAN SEALED BY: Clarence City Council DATE: 22 nd November 2021  REF NO. SD-2018-3 Council Delegate <i>Clare Sheehan</i>
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NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 182163</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 181272/501</p>	

enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“**Pipeline and Services Easement**” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects,

Director

Director

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 182163</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 181272/501</p>	

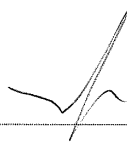
vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.


Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

Director 

Director 

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP. 182163</p>
<p>SUBDIVIDER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: 181272/501</p>	

EXECUTED by **HBA DAESUNG PTY LTD (ACN 133 810 714)**, as registered proprietor of the land comprised in Folio of the Register Volume 181272 Folio 501 pursuant to section 127 of the *Corporations Act 2001* by:


.....
Director Signature

Dong Keun Yoon
.....
Director Full Name (print)


.....
*Director/*Secretary Signature

Junho Lee
.....
*Director/*Secretary Full Name (print)

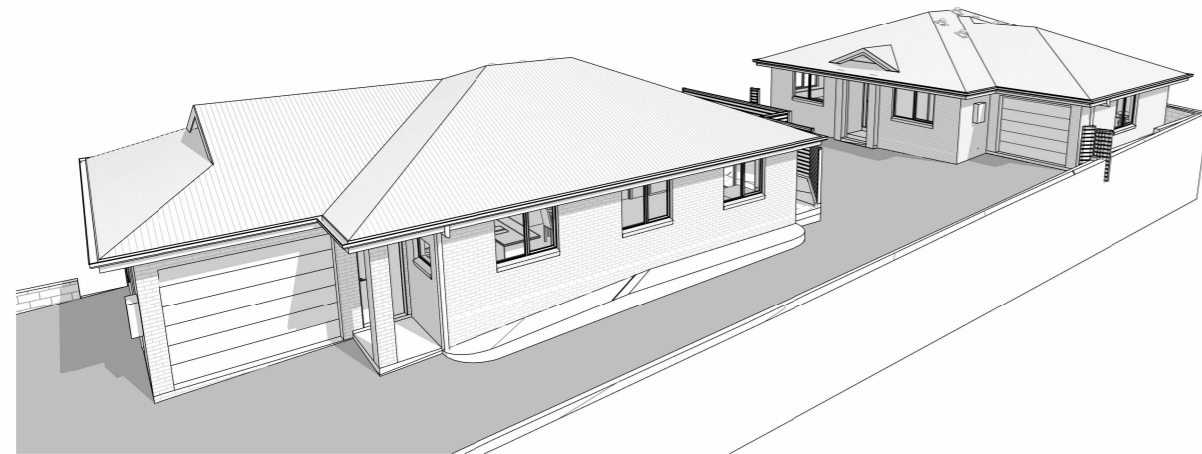
(*please strike out inapplicable *if Sole Director/Secretary write 'Sole')

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CS



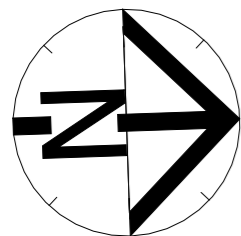
WH714454 - PROPOSED UNIT DEVELOPMENT (WEBB)
 9 Dominique Way,
 ROKEBY



SHEET		DRAWING TITLE
01	B	SITE PLAN
01a		DRAINAGE PLAN
01b		MANOEUVRING PLAN 1
01c		MANOEUVRING PLAN 2
01d		MANOEUVRING PLAN 3
01e		MANOEUVRING PLAN 4
01f		SOIL & WATER MANAGMENT PLAN
01g		PERSPECTIVE VIEWS
02	A	UNIT 1 FLOOR PLAN
03	B	UNIT 1 ELEVATIONS
03a		UNIT 1 INTERNAL ELEVATIONS - KITCHEN
03b		UNIT 1 INTERNAL ELEVATIONS - BATH
03c		UNIT 1 INTERNAL ELEVATIONS - ENSUITE
03d		UNIT 1 INTERNAL ELEVATIONS - LAUNDRY
04	A	UNIT 2 FLOOR PLAN
05	B	UNIT 2 ELEVATIONS
05a		UNIT 2 INTERNAL ELEVATIONS - KITCHEN
05b		UNIT 2 INTERNAL ELEVATIONS - BATH
05c		UNIT 2 INTERNAL ELEVATIONS - ENSUITE
05d		UNIT 2 INTERNAL ELEVATIONS - WIR
05e		UNIT 2 INTERNAL ELEVATIONS - LAUNDRY

No.	Amendment	Date	Drawn	Checked	Sheet
B	COUNCIL RFI - Note retaining walls to finish below NGL with batter above and provide typical detail, demonstrate compliance with 8.4.4 A1(a), provide line of sight for west facing windows of U1, provide privacy screens to east facing windows of U1, note opaque window treatment to U1 W01 & W02, and note low reflectance glazing to be used. Update all relevant plans	27 Oct. 2025	ST	PJ	01, 03, 05
	DA PLAN SET	19 Sep. 2025	CK	ST	01 - 05
A	Client changes: Show paths around U1 & U2, Show power box and letter box, Detail U1 of 7 Dominique, Add extra 190 Block walls, Show additional taps. U1: 06-10FW (DG) W09, Move vanities, Exposed aggregate conc deck, Amend niches. Increase size of gable end & show 300 eave, Show full height brick pier to porch. U2: Move windows, Move outdoor heat pump unit, increase size of island bench, Exposed aggregate conc deck, swap Ref and Pantry, Add skylights, Remove SS opening, Move vanities, Swinging door to Bed 3, Amend niches. 300 Eave overhand to gable	19 Sep. 2025	CK	ST	01, 02, 03, 04, 05

Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY	Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)	M CT182163/131 SEE FLOOR PLANS SEE FLOOR PLANS N2 7 N/A LOW LOW LOW	COVER SHEET WH714454 Date 19 September 2025 Sheet 00/05
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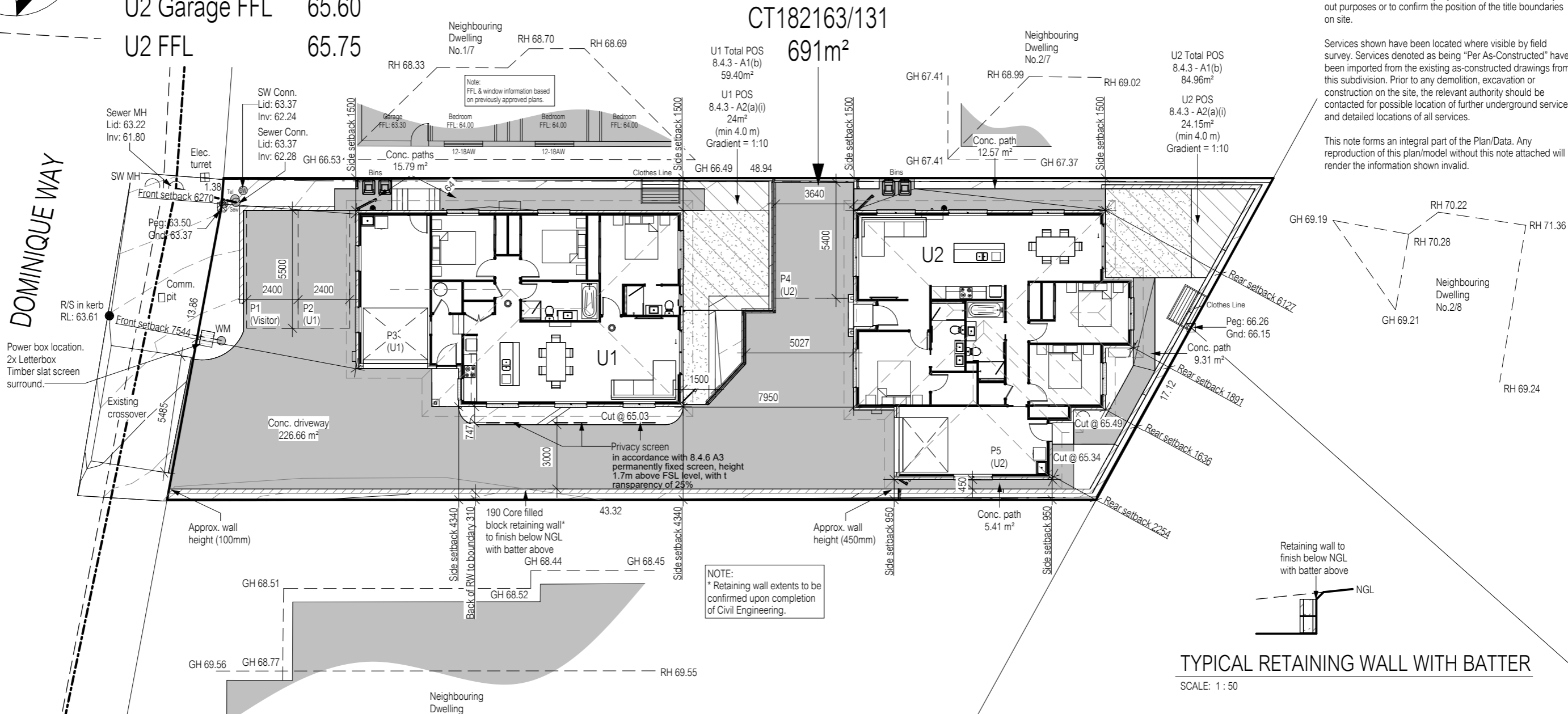
U1 Garage FFL	64.64
U1 Entry FFL	64.79
U1 Main FFL	65.29
U2 Garage FFL	65.60
U2 FFL	65.75

NOTES:
This plan and associated digital model is prepared for Wilson Homes from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "Per As-Constructed" have been imported from the existing as-constructed drawings from this subdivision. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.



SITE PLAN
SCALE: 1 : 200

TYPICAL RETAINING WALL WITH BATTER
SCALE: 1 : 50

EXPLANATORY NOTES:	
TASMANIAN PLANNING SCHEME - CLARENCE CITY COUNCIL	
8.4.1 - Residential density for multiple dwellings	
A1	Site Density: Min. 325m ² per unit 691m ² / 2 (units) = 345.50m ² provided
8.4.3 - Site coverage and private open space for all dwellings	
A1 (a)	Site Coverage: Max. 50% of site = 345.50m ² Proposed site coverage (excl. eaves up to 0.6m): 274.69m ² (39.75%)



B	27 Oct. 2025	ST
A	19 Sep. 2025	CK
No.	Date	Int.

Amendment changes as per cover sheet

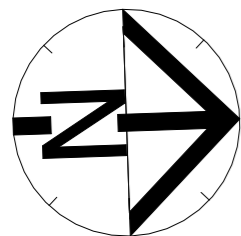
Notes
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 • All materials to be installed according to manufacturers specifications.
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Designer:
 ANOTHER PERSPECTIVE PTY LTD
 PO BOX 171
 NORTH HOBART
 LIC. NO. 685230609 (S. Turvey)
 Ph: (03) 6231 4122
 Fx: (03) 6231 4166
 Email:
 info@anotherperspective.com.au

Client / Project info
 PROPOSED UNIT DEVELOPMENT (WEBB)
 9 Dominique Way,
 ROKEBY



SITE PLAN	
Drawn	CK WH714454
Date	29 August 2025 Sheet
Scale	As indicated
01/05	



DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)

- - - - - Sewer Line (1000 UPVC) (unless noted otherwise)
 - - - - - Stormwater Line (1000 UPVC) (unless noted otherwise)
 - - - - - Stormwater Line (1500 UPVC) (unless noted otherwise)

NOTES:
 1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
 2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
 3. 500 required for multiple shower heads.
 4. Showers to comply with N.C.C. 10.2.14.
 5. Falls to floor waste to be minimum 1:80 & maximum 1:50

NOTES:
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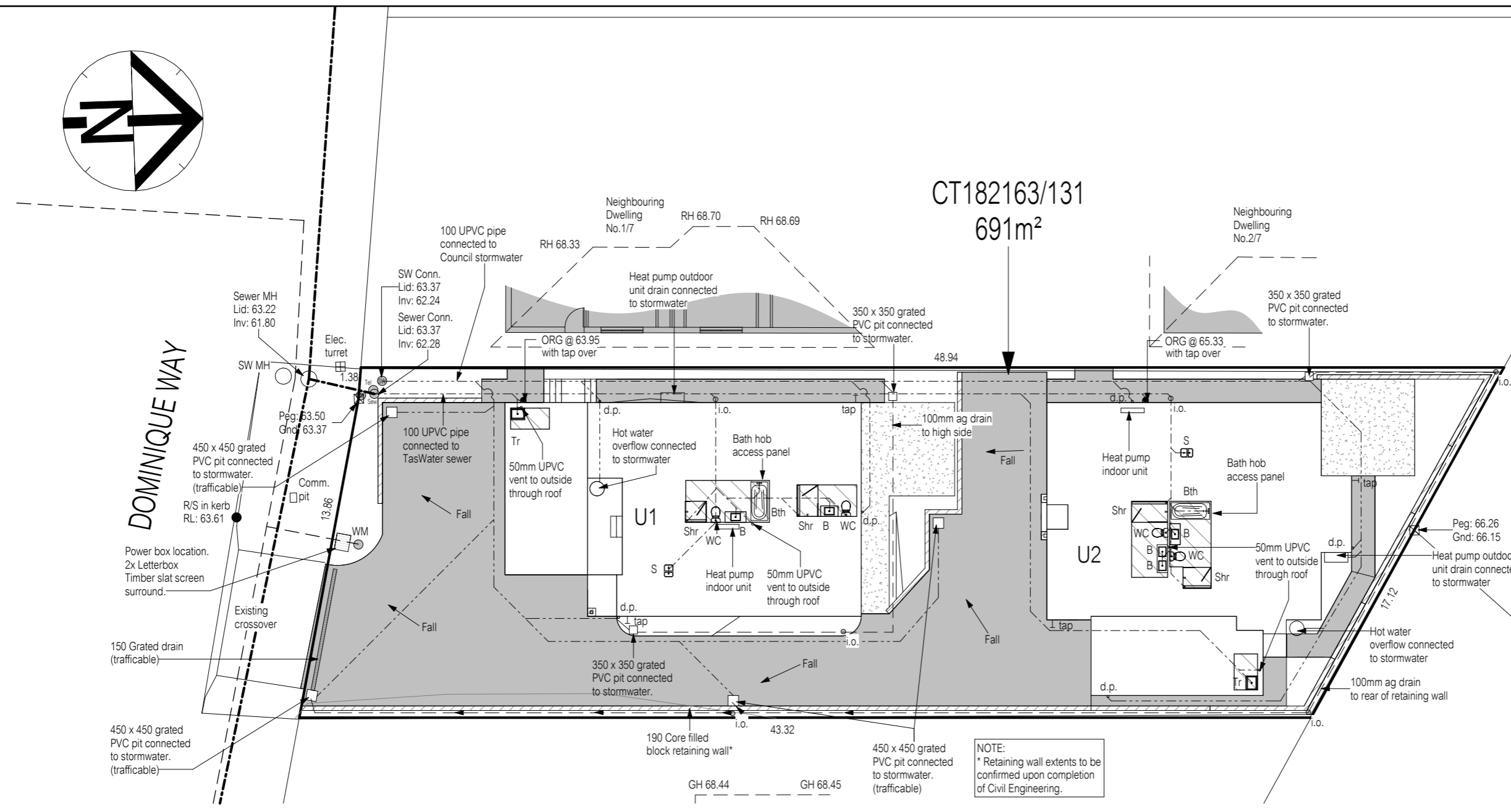
 The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

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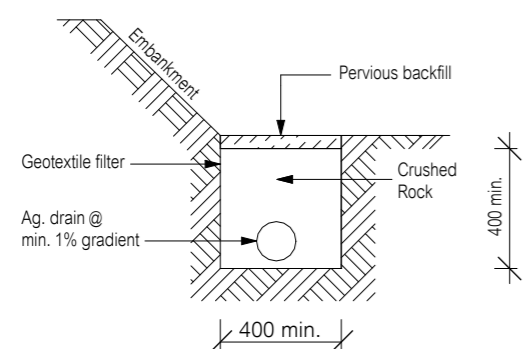
This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

Refer to Roof Plan for downpipe calculations

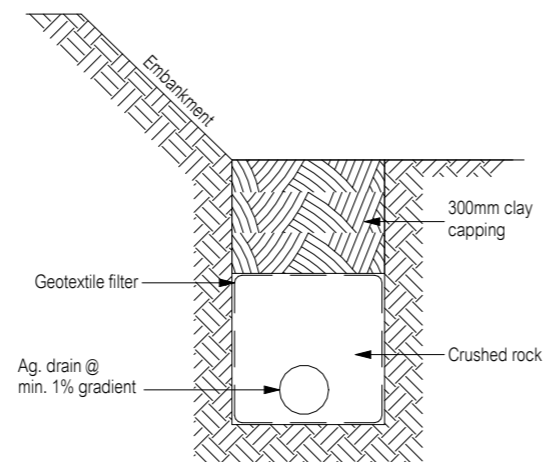
All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.



NOTE:
 * Retaining wall extends to be confirmed upon completion of Civil Engineering.



TYPICAL AG. DRAIN DETAIL
 (≥1800 FROM HOUSE)
 Not to scale

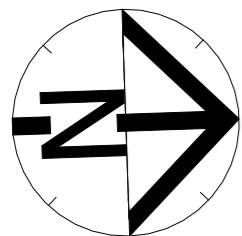


TYPICAL AG. DRAIN DETAIL
 (<1800 FROM HOUSE)
 Not to scale

Where ag drain is < 1.5m from footing, the following engineering principles are required:

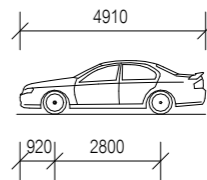
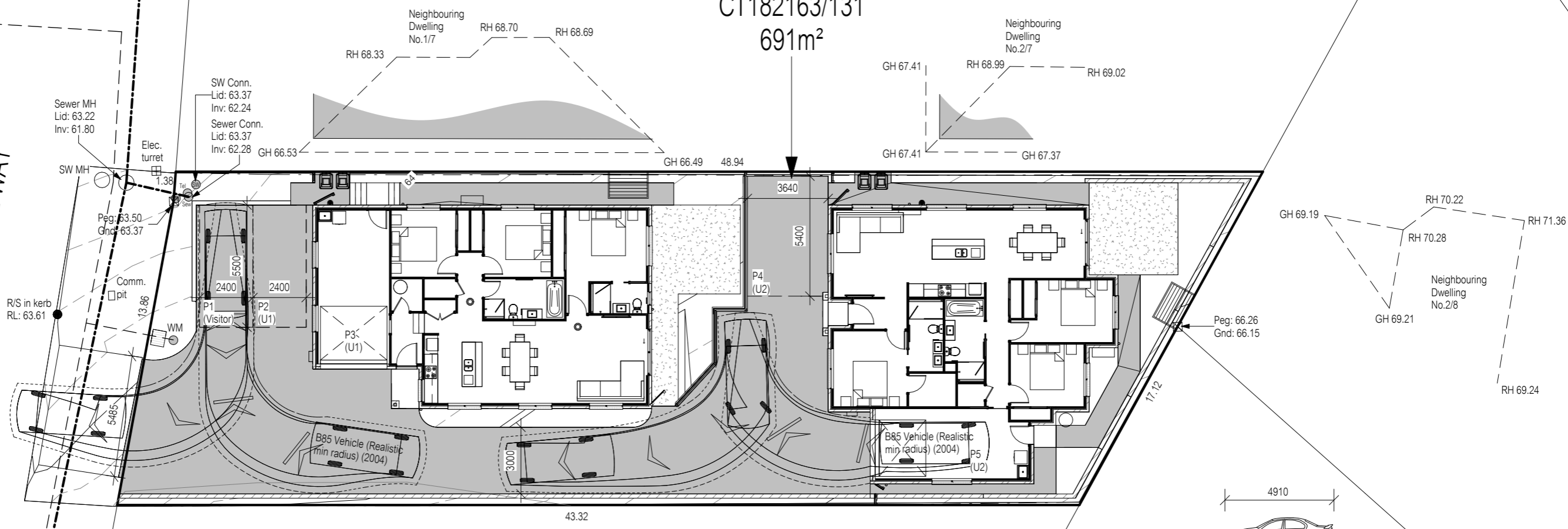
1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.

No. Date Int. Amendment changes as per cover sheet	Soil classification: M Refer to Soil Report for nominated founding depth and description of founding material. All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3	- Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY		DRAINAGE PLAN	
	Drawn CK WH714454 Date 19 September 2025 Sheet Scale 1:200 01a/05							



CT182163/131
691m²

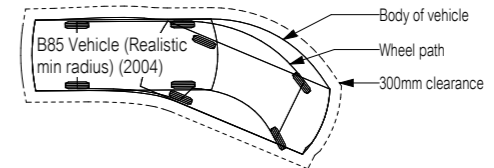
DOMINIQUE WAY



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



No.	Date	Int.
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Amendment changes as per cover sheet

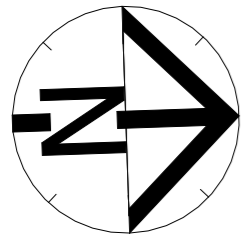
- Notes
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info@anotherperspective.com.au

Client / Project info
PROPOSED UNIT DEVELOPMENT (WEBB)
9 Dominique Way,
ROKEBY

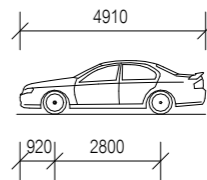
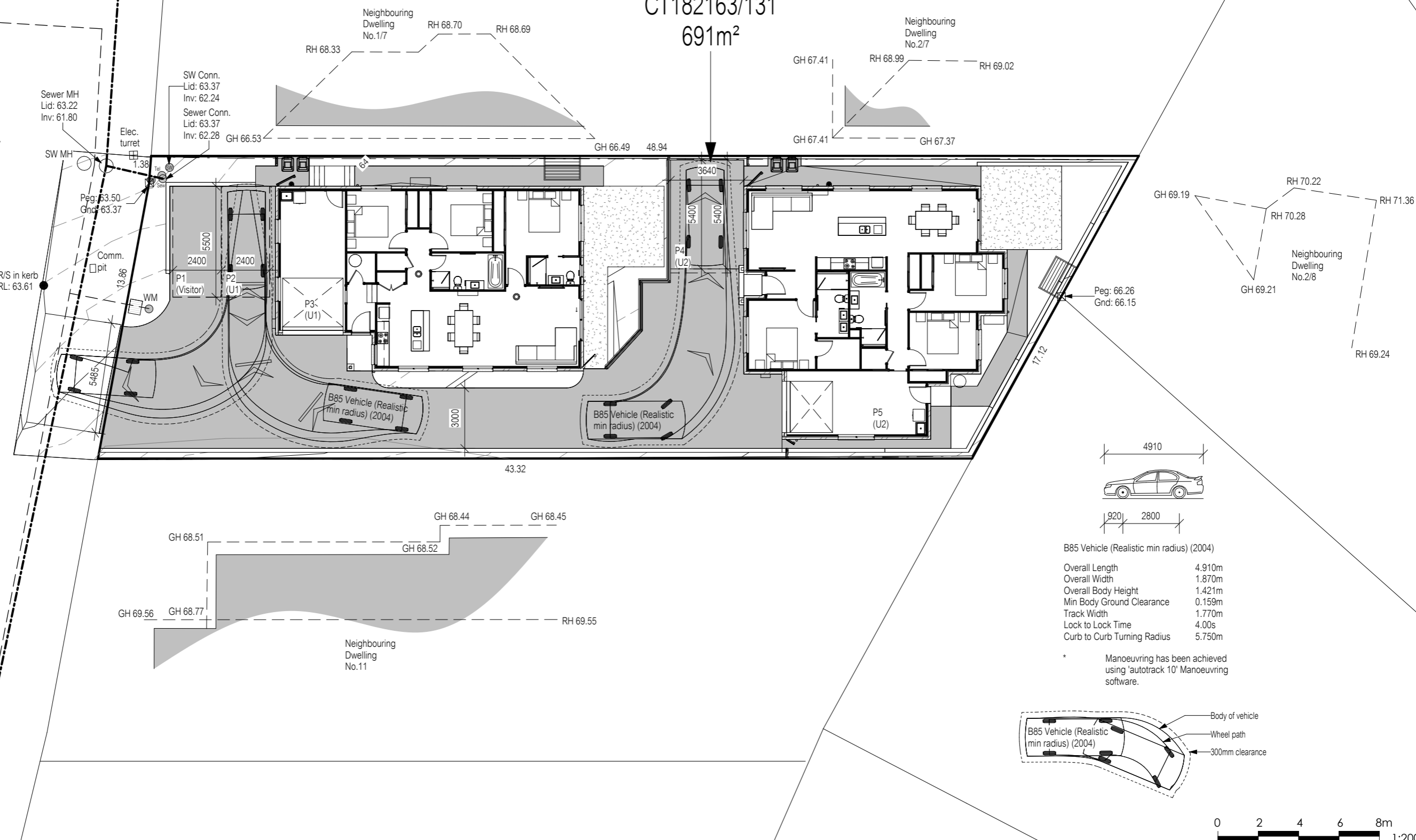


MANOEUVRING PLAN 1		
Drawn	CK	WH714454
Date	29 August 2025	Sheet
Scale	1:200	01b/05



CT182163/131
691m²

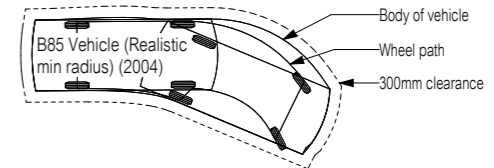
DOMINIQUE WAY



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



No.	Date	Int.
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Amendment changes as per cover sheet

Notes

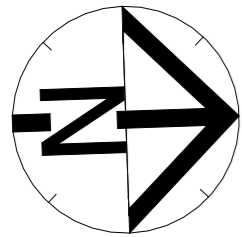
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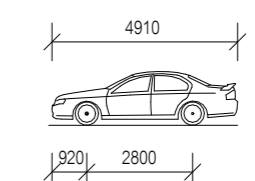
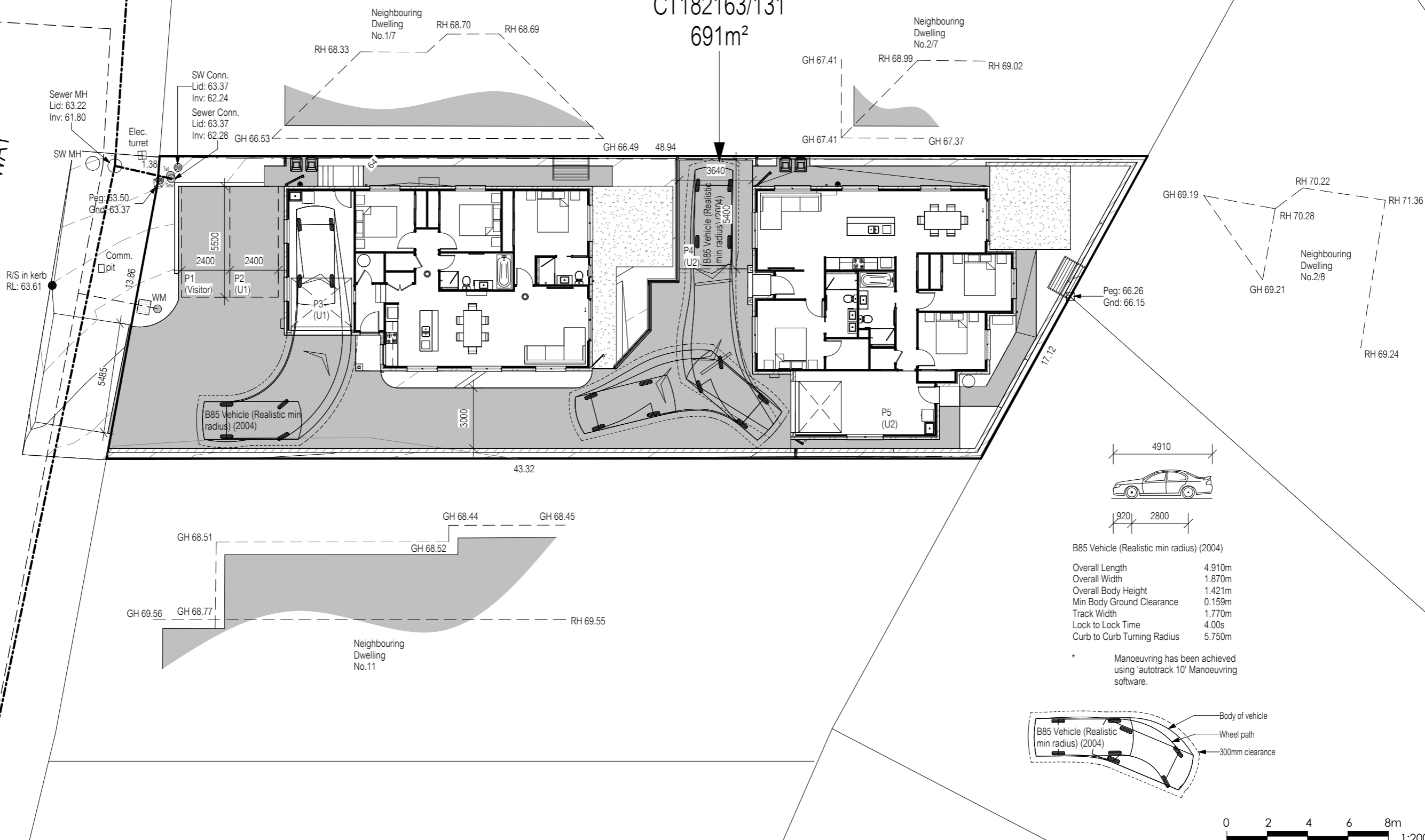


MANOEUVRING PLAN 2		
Drawn	CK	WH714454
Date	29 August 2025	Sheet
Scale	1:200	01c/05



CT182163/131
691m²

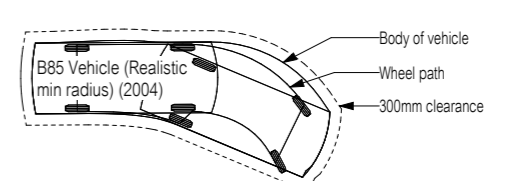
DOMINIQUE WAY



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



No.	Date	Int.	Amendment changes as per cover sheet
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Notes

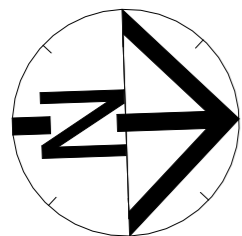
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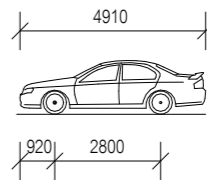
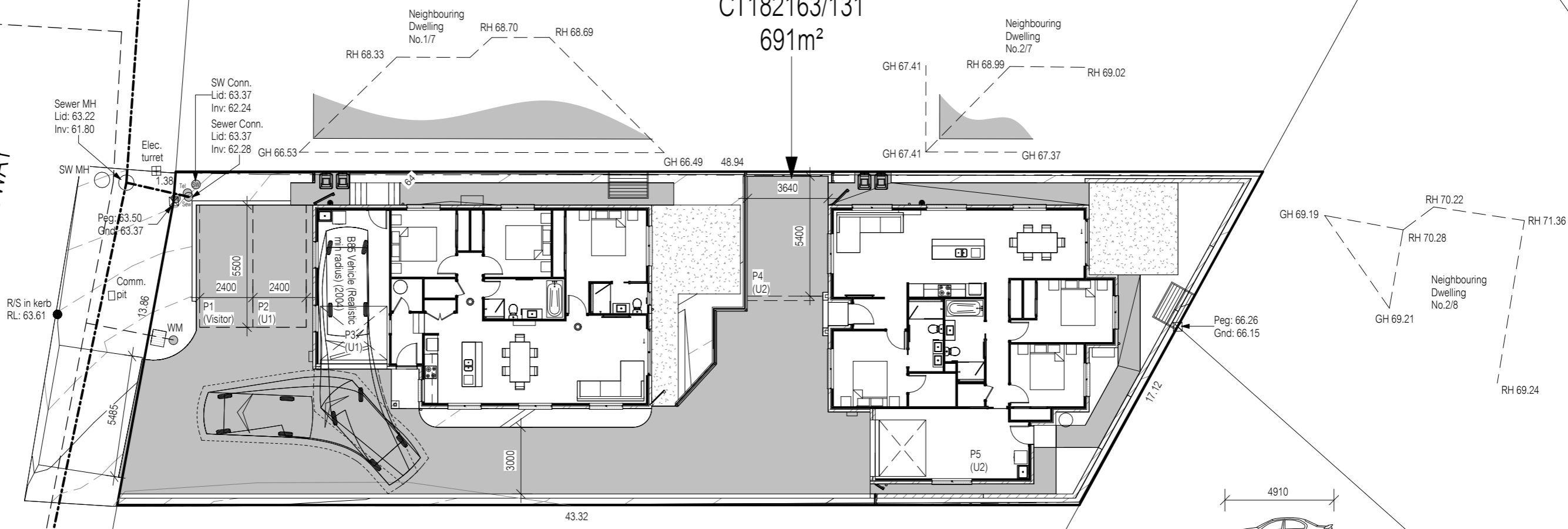


MANOEUVRING PLAN 3		
Drawn	CK	WH714454
Date	29 August 2025	Sheet
Scale	1:200	01d/05



DOMINIQUE WAY

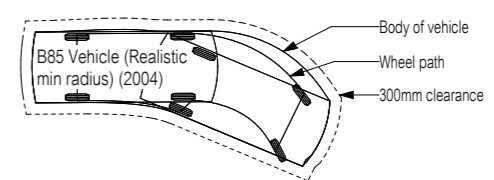
CT182163/131
691m²



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Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



No.	Date	Int.
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Amendment changes as per cover sheet

Notes

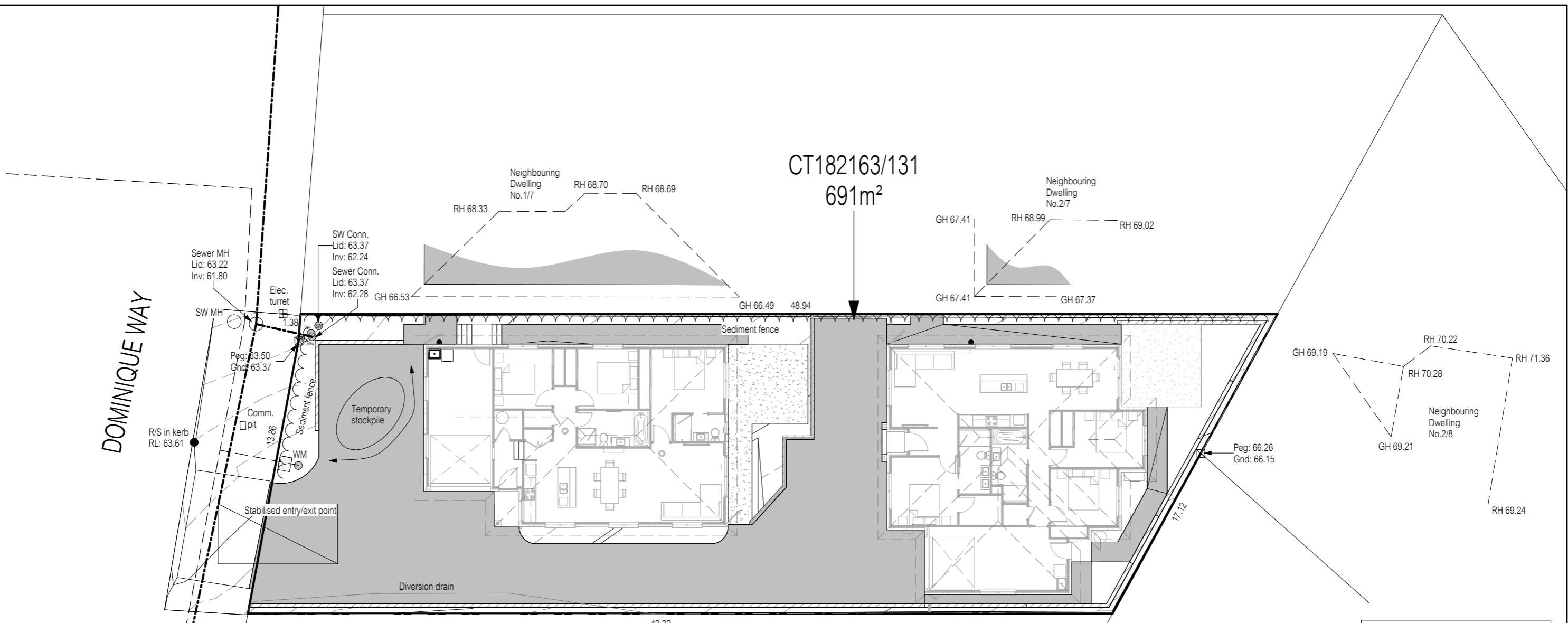
- Builder to verify all dimensions and levels on site prior to commencement of work
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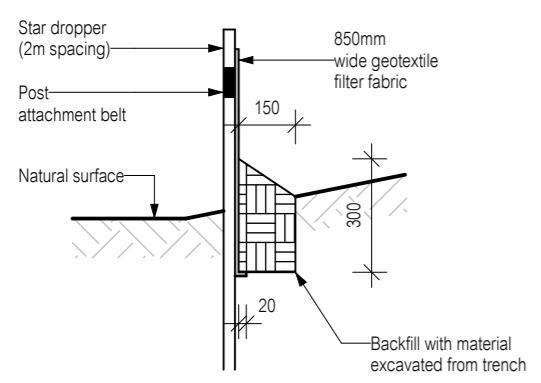


MANOEUVRING PLAN 4		
Drawn	CK	WH714454
Date	29 August 2025	Sheet
Scale	1:200	01e/05



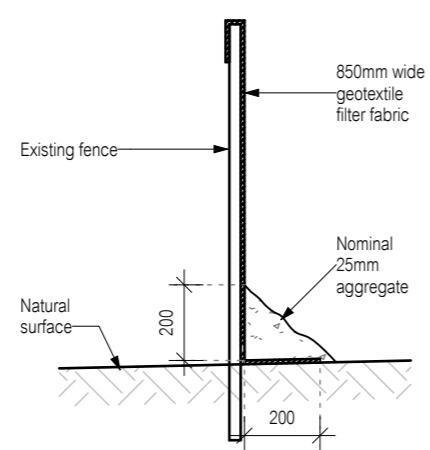
SOIL & WATER MANAGEMENT PLAN

SCALE: 1 : 200



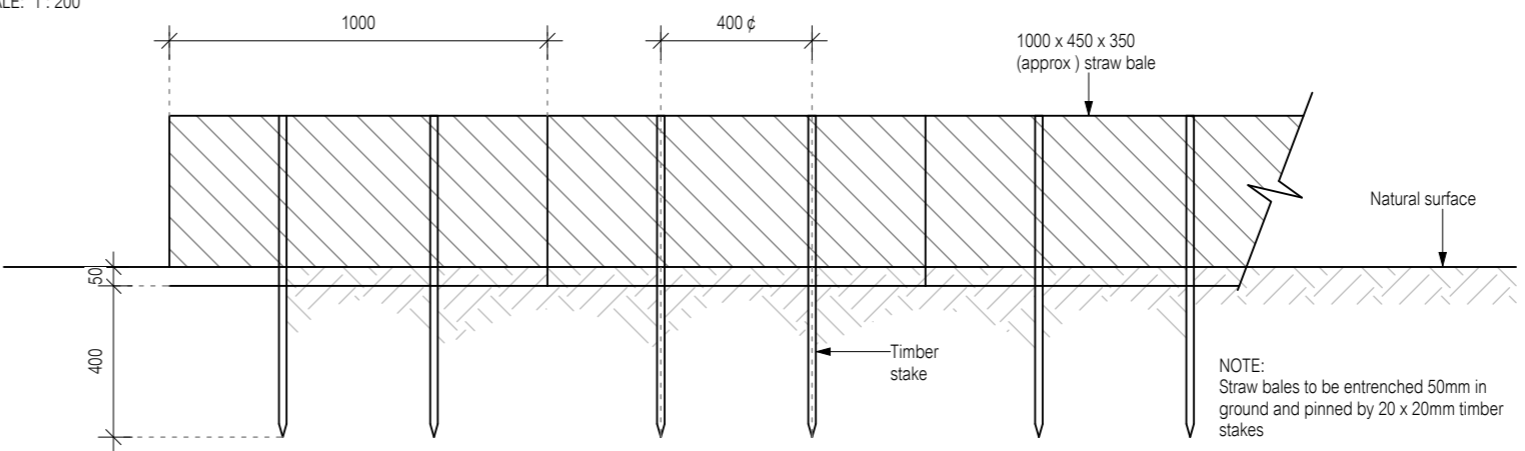
SILT STOP TYPE 1

TEMPORARY FENCE 1:20



SILT STOP TYPE 2

EXISTING FENCE 1:20



STRAW BALE SEDIMENT TRAP SECTION DETAIL

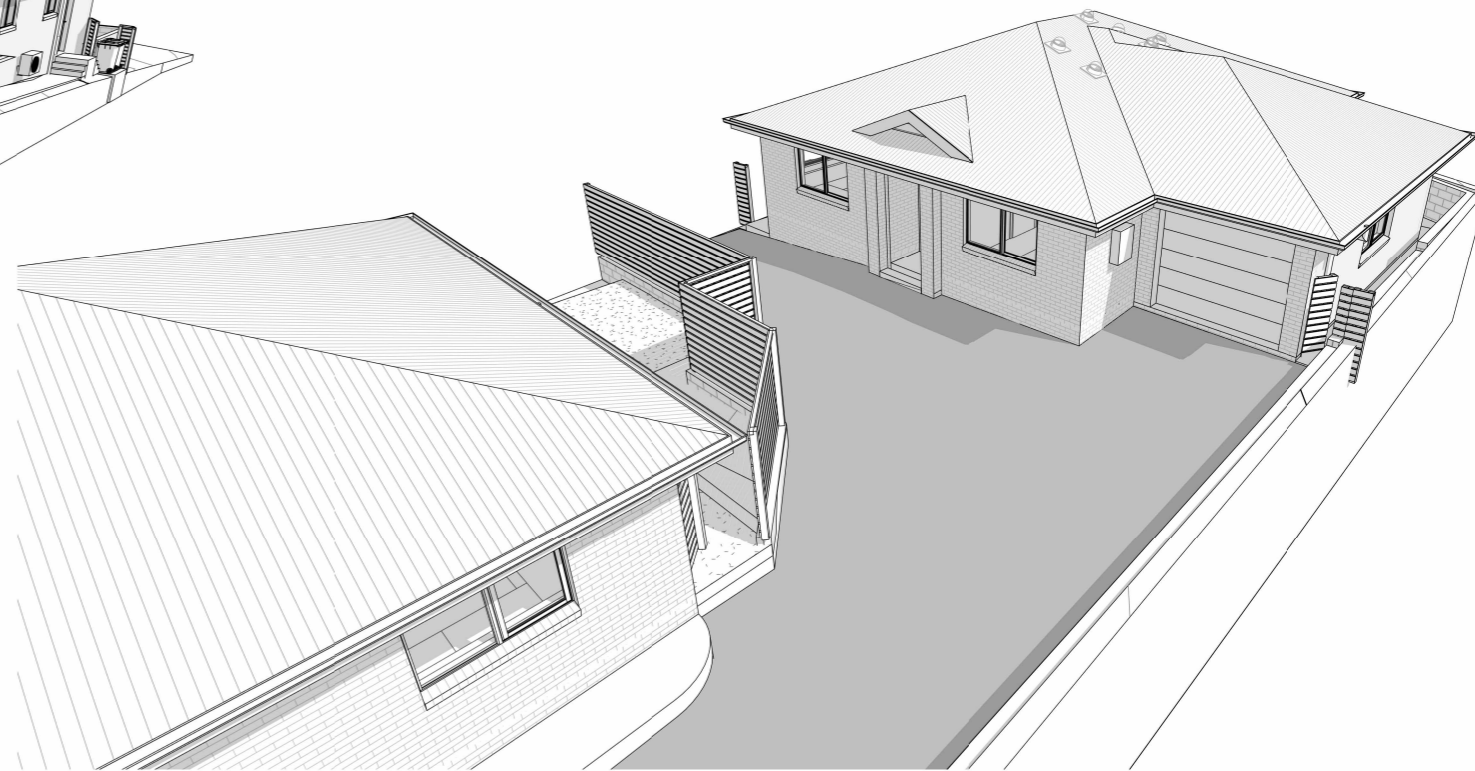
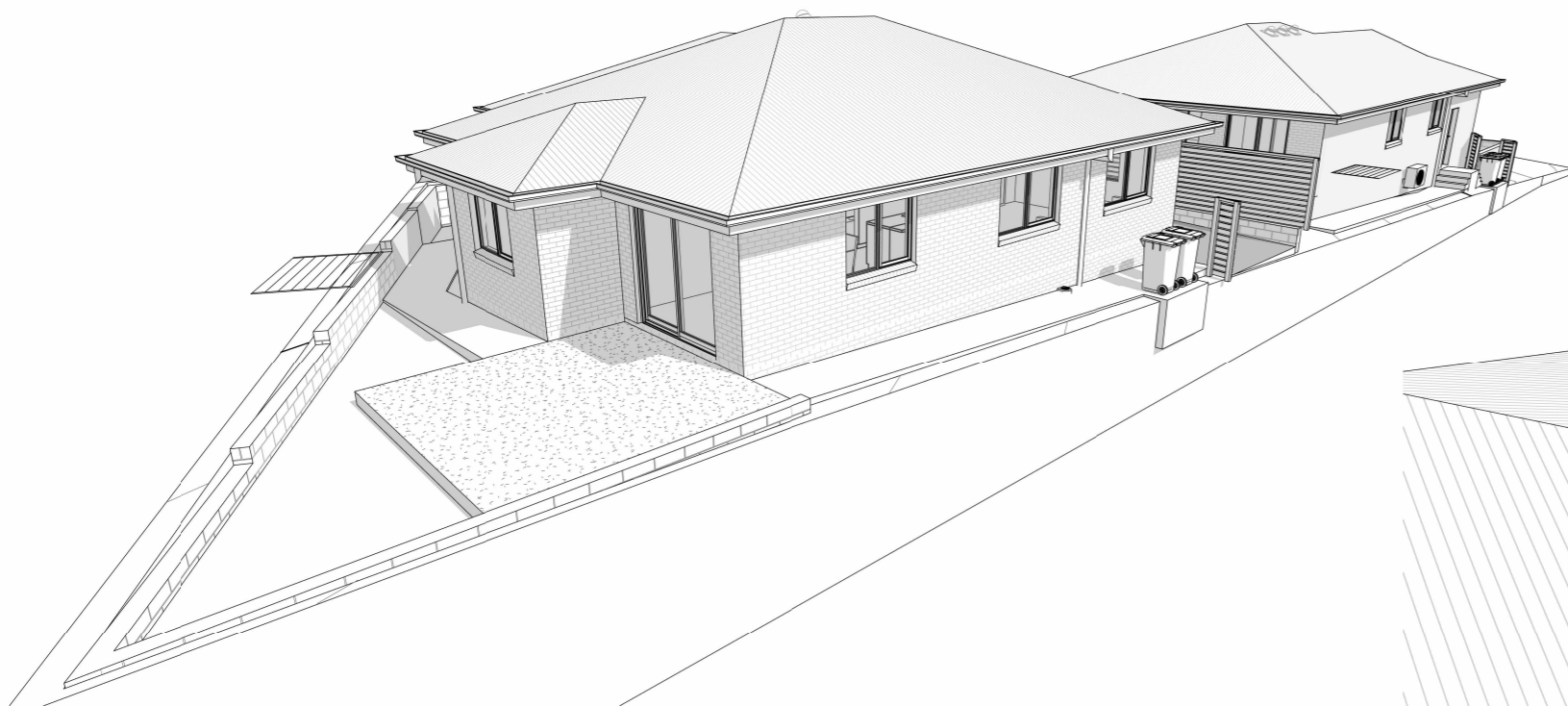
SCALE 1:20

NOTES:
Sediment and erosion control measures sufficient to prevent sediment from leaving the site must be installed prior to any disturbance of the site

- NOTES:**
1. Erosion and sediment control structures to be inspected each working day and maintained in good working order.
 2. All ground cover vegetation outside the immediate building area to be preserved during the building phase
 3. All erosion and sediment control measures to be installed prior to commencement of major earthworks.
 4. Stockpiles of clayey material to be covered with an impervious sheet.
 5. Roof water downpipes to be connected to the permanent underground Stormwater drainage system as soon as practical after the roof is laid

- NOTES:**
1. Diversion drains are to be connected to a legal discharge point. (council Stormwater system, watercourse or road drain).
 2. Sediment retention traps installed around the inlets to the Stormwater system to prevent sediment & other debris blocking the drains.

No.	Date	Int.	Amendment changes as per cover sheet	<p>Notes</p> <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. 	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY</p>		<p>SOIL & WATER MANAGMENT PLAN</p>	
					<p>Drawn</p> <p>Date</p> <p>Scale</p>	<p>CK</p> <p>19 September 2025</p> <p>As indicated</p>		<p>WH714454</p> <p>Sheet</p> <p>01f/05</p>	



No.	Date	Int.
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Amendment changes as per cover sheet

Shadows shown for stylisations purpose only

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 ROKEBY



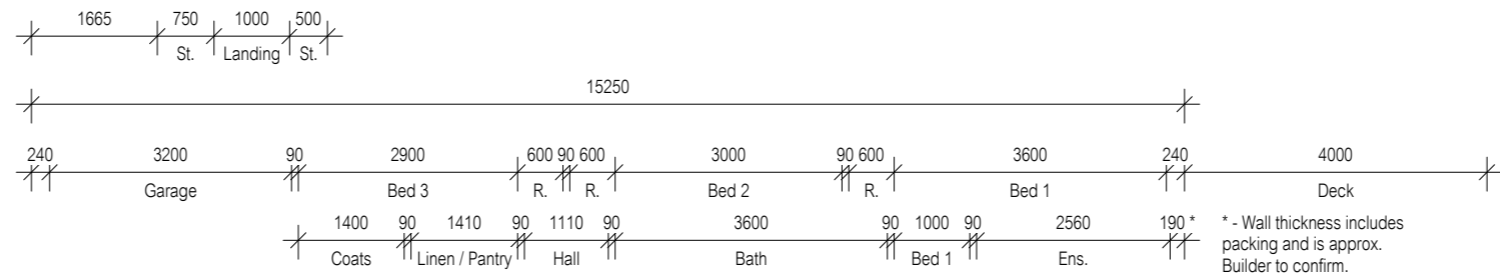
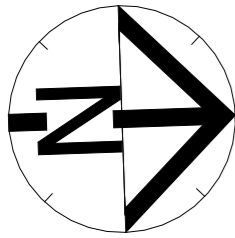
PERSPECTIVE VIEWS

Drawn CK WH714454

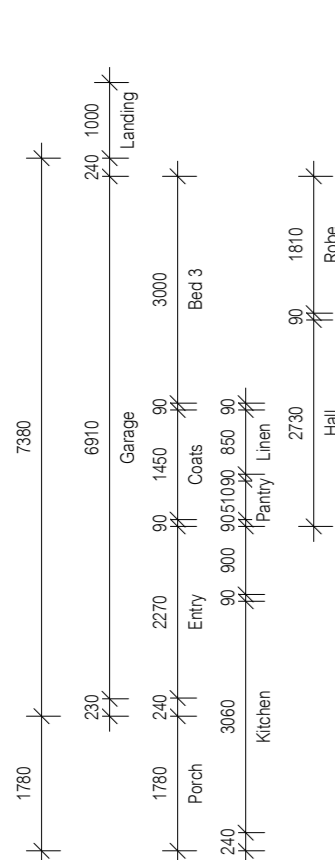
Date 29 August 2025 Sheet

Scale 01g/05

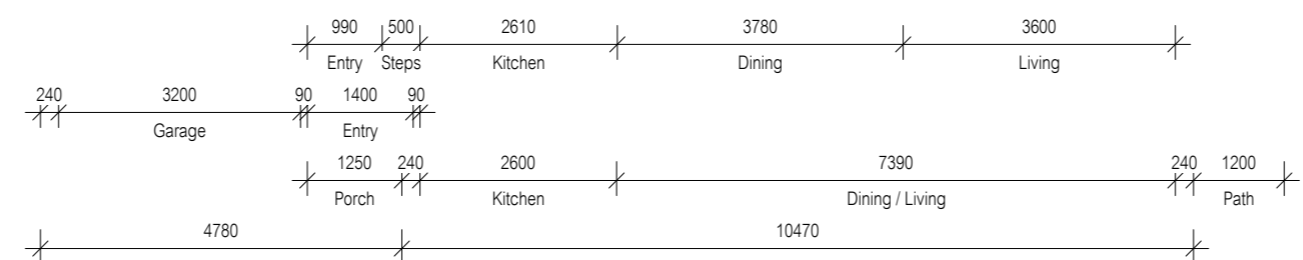
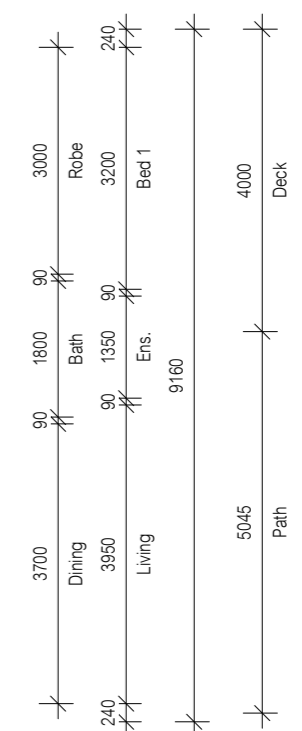
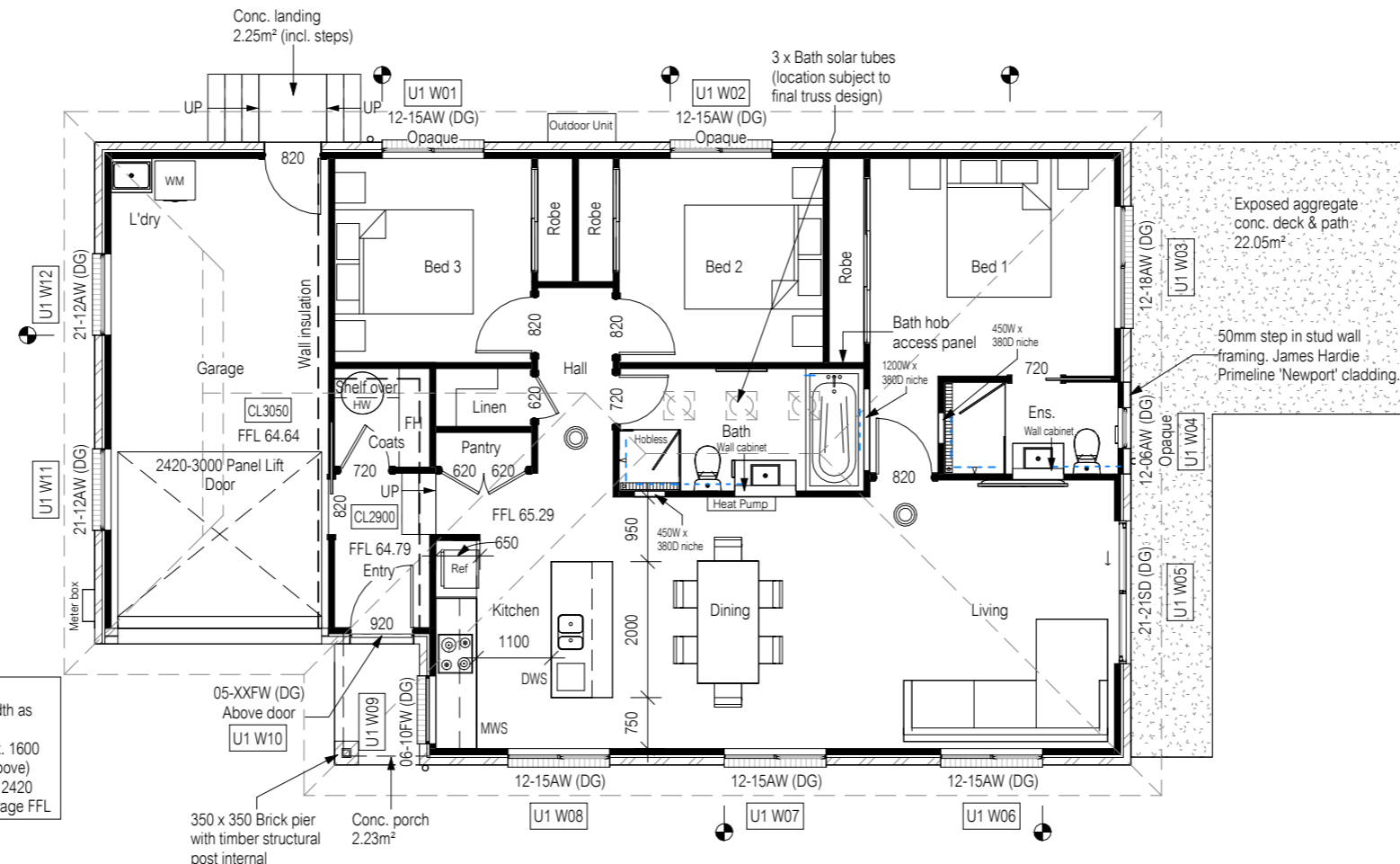
Copyright ©



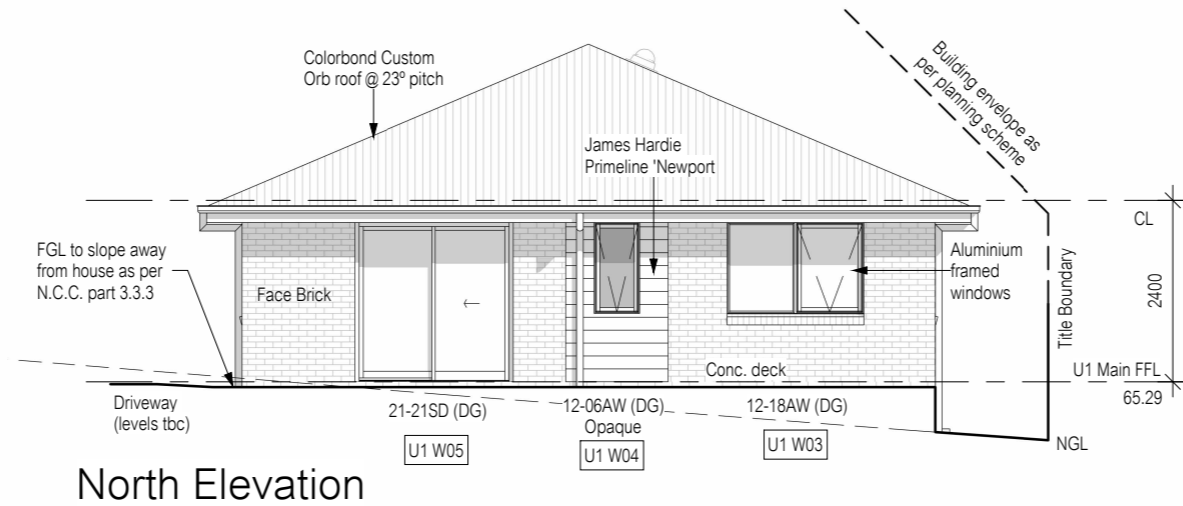
* - Wall thickness includes packing and is approx. Builder to confirm.



Window Notes:
 - W10 to be same width as entry door.
 - W09 to have approx. 1600 head height (cpbd above)
 - W11 & W12 to have 2420 head height from Garage FFL



Floor Area = 131.18m ² Articulation joints Smoke Alarm (interconnected where more than 1)		All window sizes to be checked and/or confirmed on site prior to ordering glazing units		Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.		Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		Client / Project info PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY				UNIT 1 FLOOR PLAN	
A 19 Sep. 2025 CK No. Date Int. Amendment changes as per cover sheet								Drawn CK WH714454 Date 29 August 2025 Sheet Scale 1:100 Copyright © 02/05					

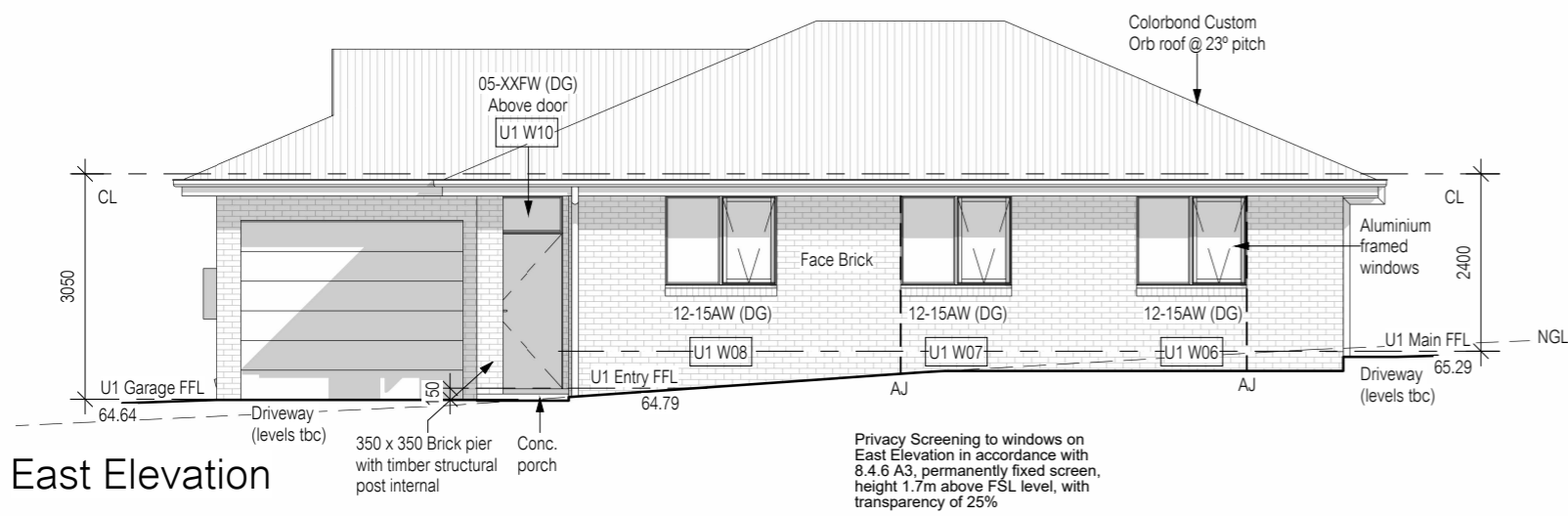


North Elevation

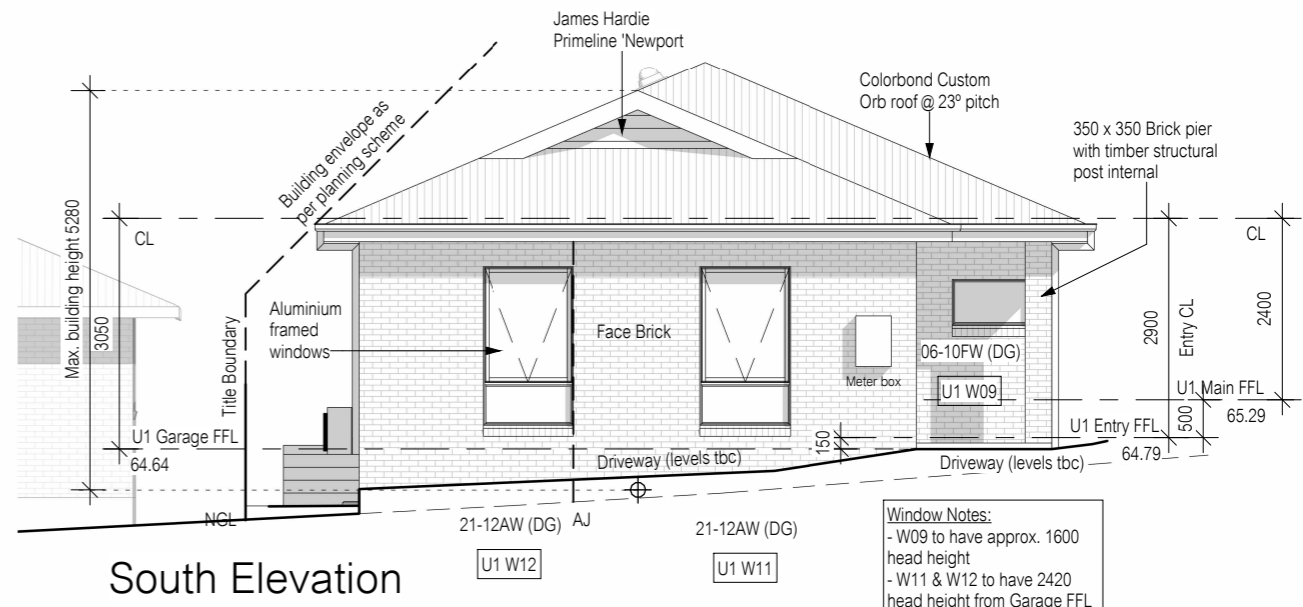
Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

Low reflectance glazing to be used on windows and glazed doors as required by CLA-S4.7.1

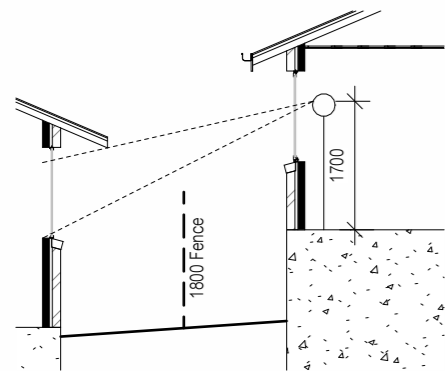


East Elevation

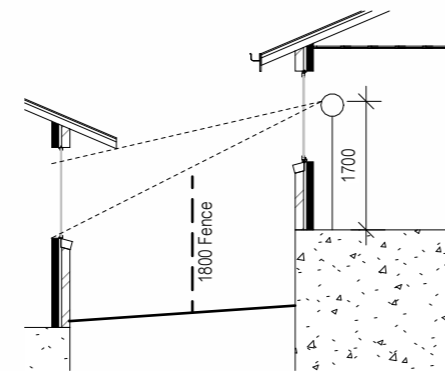


South Elevation

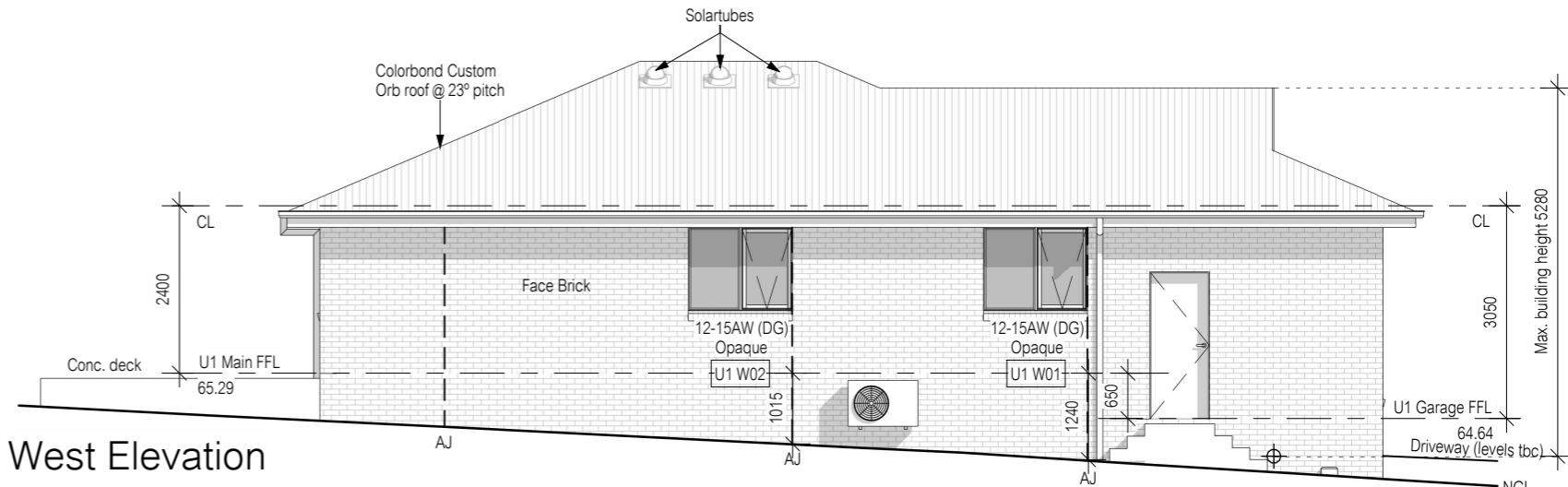
Window Notes:
 - W09 to have approx. 1600 head height
 - W11 & W12 to have 2420 head height from Garage FFL



W01 Line of Site
SCALE: 1: 100



W02 Line of Site
SCALE: 1: 100



West Elevation

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
 AJ - Articulation Joint
 BV - Brick Vent
 Shadows shown for stylisation purposes only

- Notes
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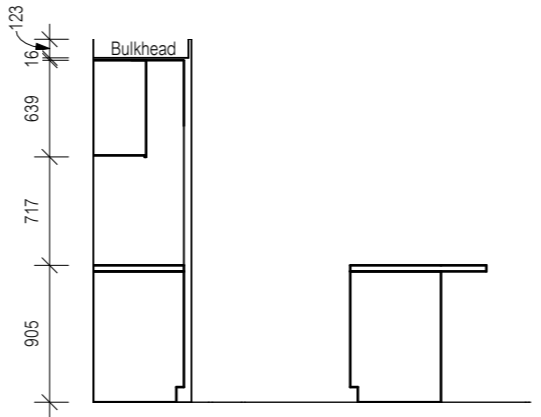
UNIT 1 ELEVATIONS		
Drawn	CK	WH714454
Date	29 August 2025	Sheet
Scale	1: 100	03/05
Copyright ©		

No.	Date	Int.
B	27 Oct. 2025	ST
A	19 Sep. 2025	CK

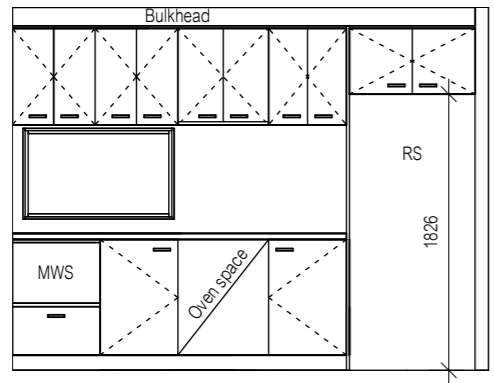
Amendment changes as per cover sheet

LEGEND:
MWS - MICROWAVE SPACE
DWS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE

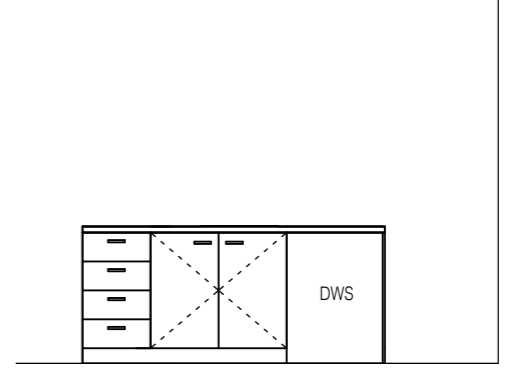
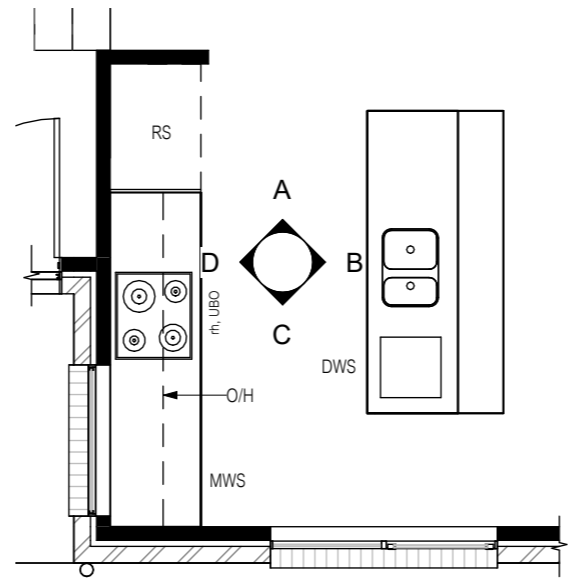
NOTE:
- DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES



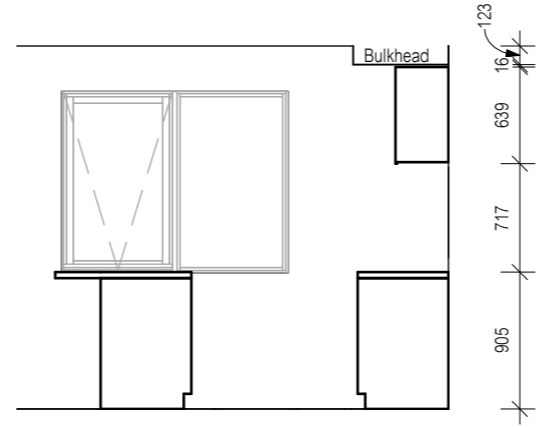
KITCHEN ELEVATION A



KITCHEN ELEVATION D



KITCHEN ELEVATION B



KITCHEN ELEVATION C

No.	Date	Int.	Amendment changes as per cover sheet
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Notes

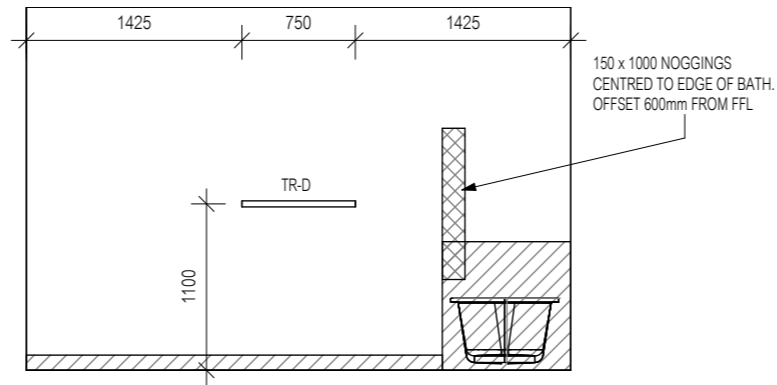
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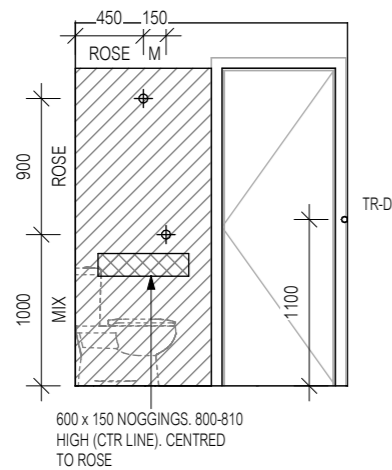
Client / Project info
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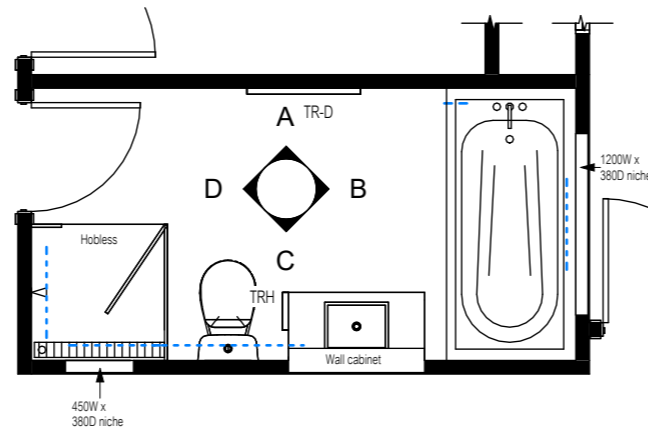
UNIT 1 INTERNAL ELEVATIONS - KITCHEN	
Drawn	CK WH714454
Date	19 September 2025 Sheet
Scale	1:50
Copyright © 03a/05	



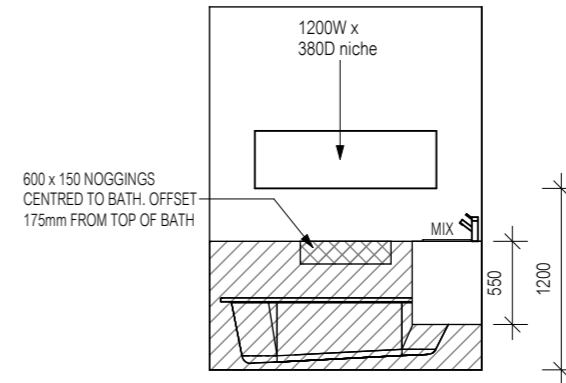
BATH ELEVATION A



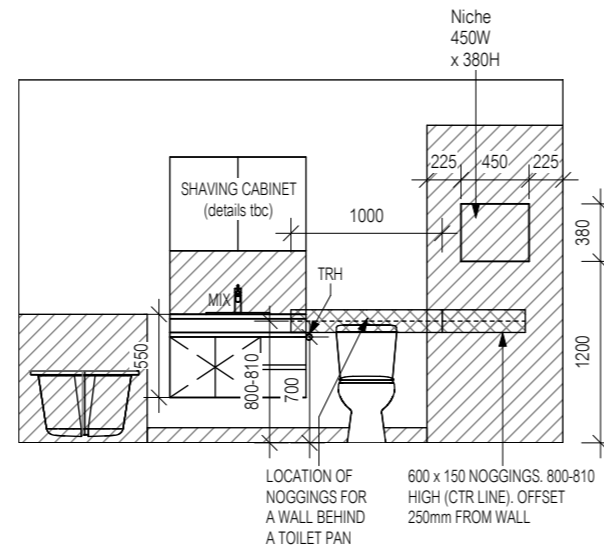
BATH ELEVATION D



BATH ELEVATION C



BATH ELEVATION B



LEGEND

- RSHR - RAIL SHOWER
- ROSE - SHOWER ROSE
- ELBW - SHOWER ELBOW CONNECTION
- MIX - MIXER TAP
- HT - HOT TAP
- CT - COLD TAP
- HS - HOB SPOUT
- WS - WALL SPOUT
- SC - STOP COCK
- TRH - TOILET ROLL HOLDER
- TR-S - TOWEL RAIL-SINGLE
- TR-D - TOWEL RAIL-DOUBLE
- TL - TOWEL LADDER
- TR - TOWEL RACK
- TMB - TUMBLER HOLDER
- RNG - TOWEL RING
- RH - ROBE HOOK
- SHLF - SHELF

NOTE:
DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm / 446mm
"MEDIUM"	800 x 380mm	878mm / 446mm
"LARGE"	1500 x 380mm	1578mm / 446mm

NICHES - SHAMPOO RECESS IS TO BE 1200mm FROM FFL TO ALIGN TO THE SHOWER SHELF.
NOTE: NICHES - SHAMPOO RECESS ON EXTERNAL WALLS REQUIRE CHIPBOARD FLOORING TO THE REAR OF THE WALL PRIOR TO SISALATION INSTALLATION

No.	Date	Int.	Amendment changes as per cover sheet
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9 Dominique Way,
ROKEBY

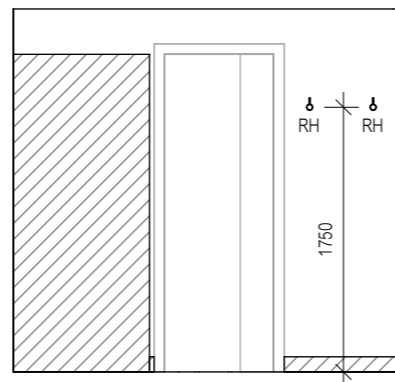


UNIT 1 INTERNAL ELEVATIONS - BATH		
Drawn	CK	WH714454
Date	19 September 2025	Sheet
Scale	1:50	03b/05
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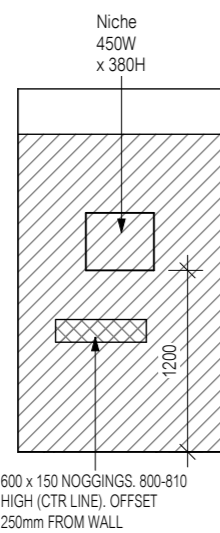
LEGEND

- RSHR - RAIL SHOWER
- ROSE - SHOWER ROSE
- ELBW - SHOWER ELBOW CONNECTION
- MIX - MIXER TAP
- HT - HOT TAP
- CT - COLD TAP
- HS - HOB SPOUT
- WS - WALL SPOUT
- SC - STOP COCK
- TRH - TOILET ROLL HOLDER
- TR-S - TOWEL RAIL-SINGLE
- TR-D - TOWEL RAIL-DOUBLE
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- TR - TOWEL RACK
- TMB - TUMBLER HOLDER
- RNG - TOWEL RING
- RH - ROBE HOOK
- SHLF - SHELF

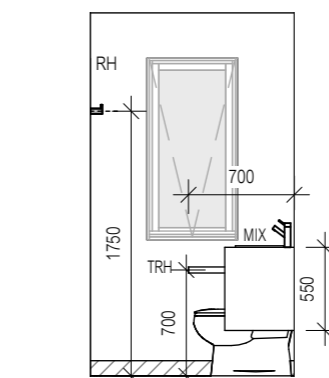
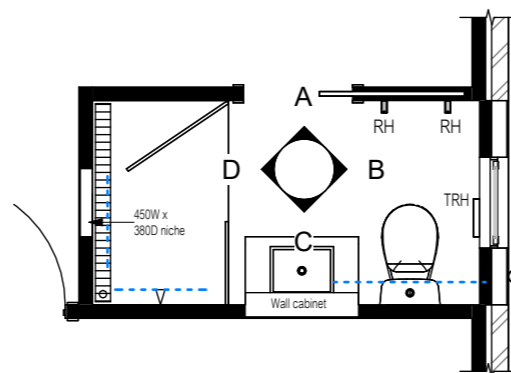
NOTE:
DIMENSIONS ARE FROM STUD WALL - NOT FINISHED SURFACES



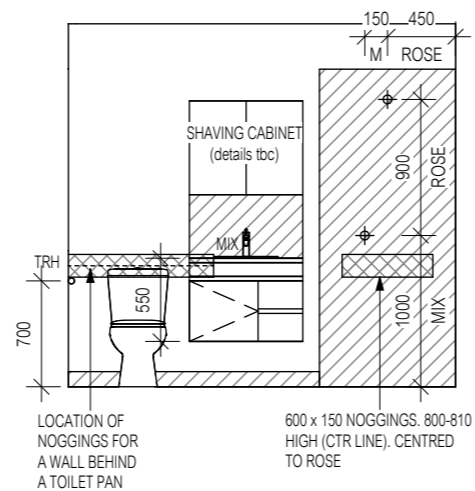
ENS ELEVATION A



ENS ELEVATION D



ENS ELEVATION B



ENS ELEVATION C

SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
		WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm	446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

NICHES - SHAMPOO RECESS IS TO BE 1200mm FROM FFL TO ALIGN TO THE SHOWER SHELF.
NOTE: NICHES - SHAMPOO RECESS ON EXTERNAL WALLS REQUIRE CHIPBOARD FLOORING TO THE REAR OF THE WALL PRIOR TO SISALATION INSTALLATION

No.	Date	Int.	Amendment changes as per cover sheet

Notes

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Designer:

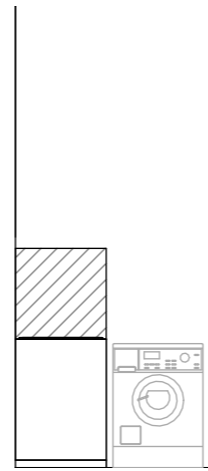
ANOTHER PERSPECTIVE PTY LTD
PO BOX 171
NORTH HOBART
LIC. NO. 685230609 (S. Turvey)
Ph: (03) 6231 4122
Fx: (03) 6231 4166
Email:
info@anotherperspective.com.au

Client / Project info

PROPOSED UNIT DEVELOPMENT (WEBB)
9 Dominique Way,
ROKEBY



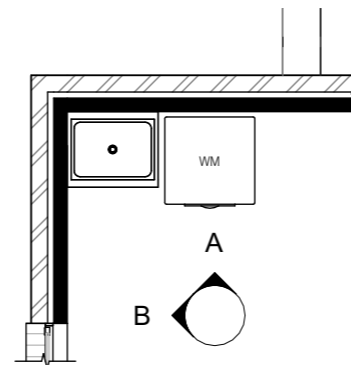
UNIT 1 INTERNAL ELEVATIONS - ENSUITE		
Drawn	CK	WH714454
Date	19 September 2025	Sheet
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LAUNDRY ELEVATION A



LAUNDRY ELEVATION B



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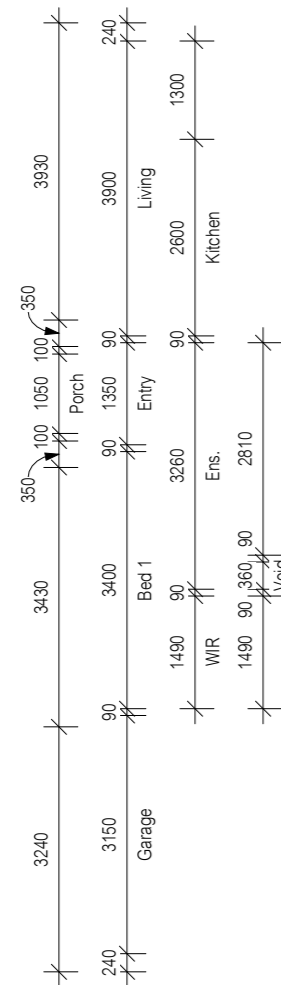
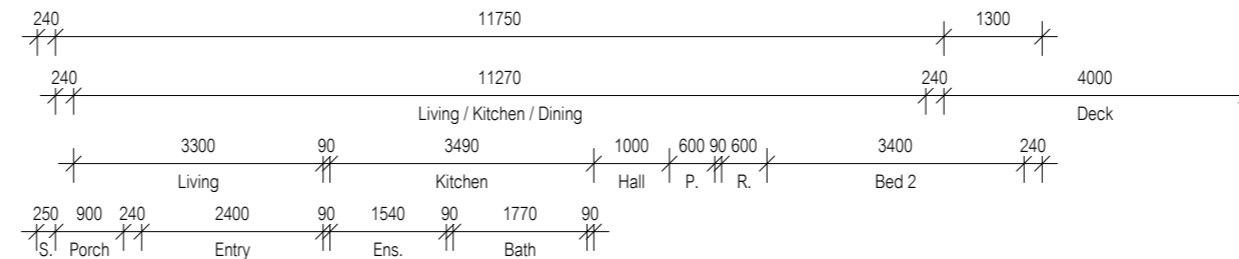
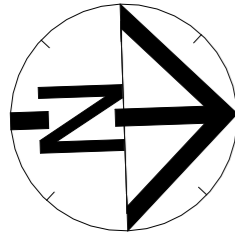
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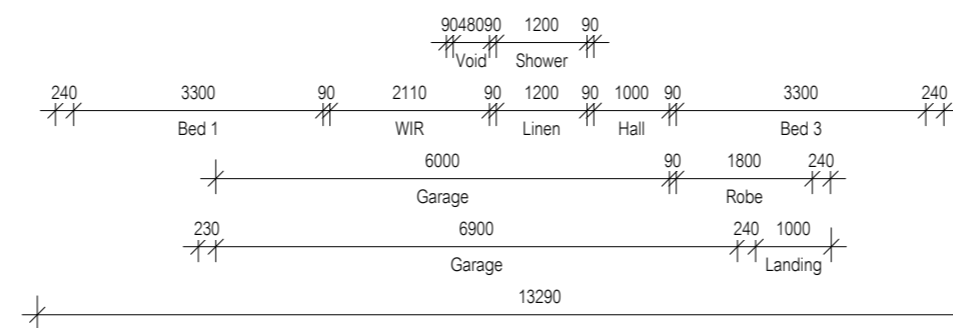
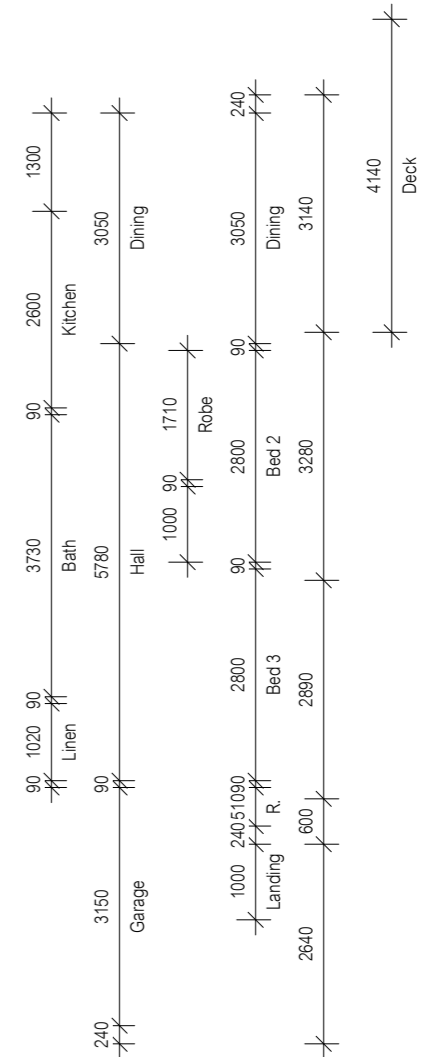
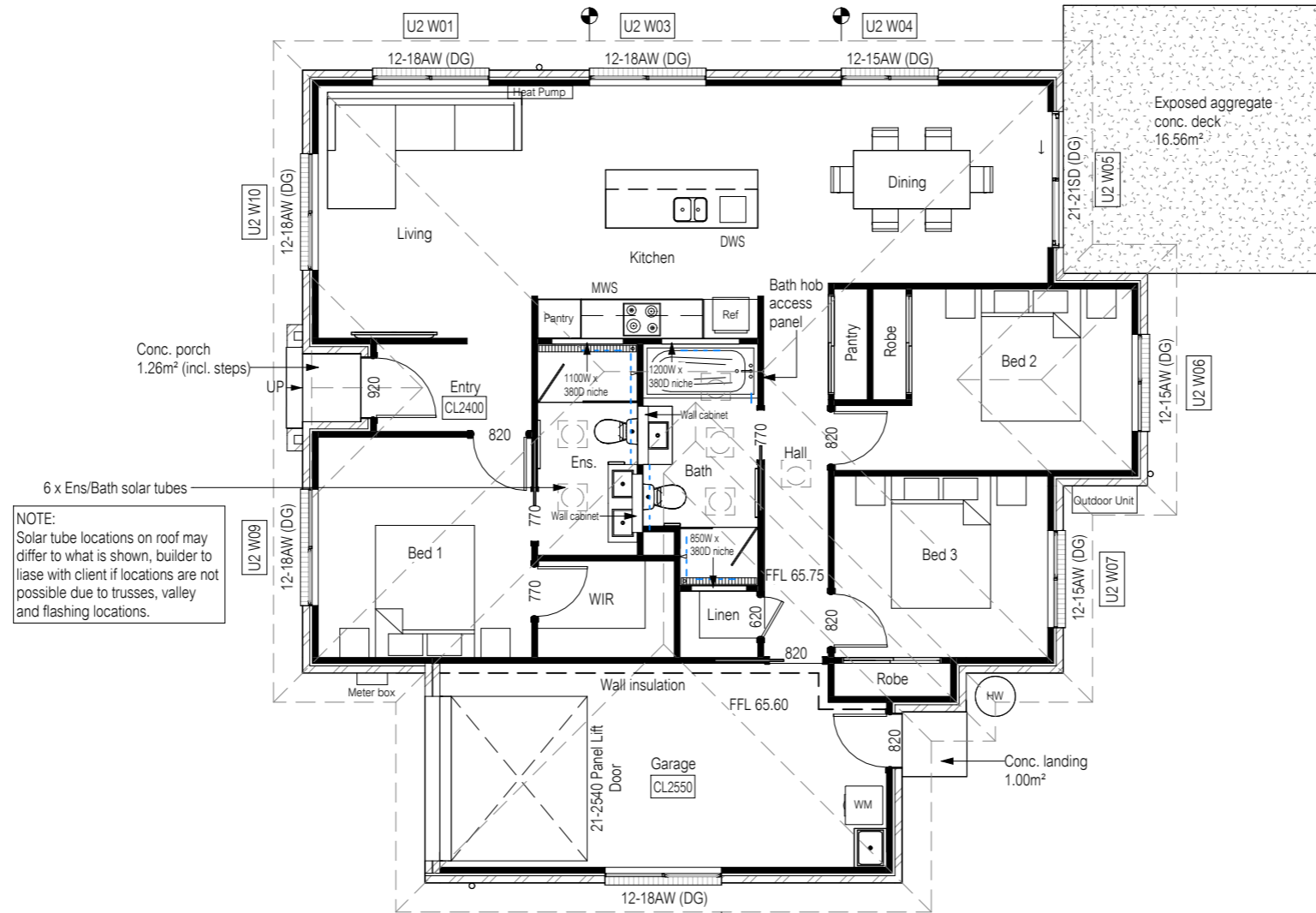


UNIT 1 INTERNAL ELEVATIONS - LAUNDRY		
Drawn	CK	WH714454
Date	19 September 2025	Sheet
Scale	1:50	03d/05
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No.	Date	Int.	Amendment changes as per cover sheet
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NOTE:
Solar tube locations on roof may differ to what is shown, builder to liaise with client if locations are not possible due to trusses, valley and flashing locations.



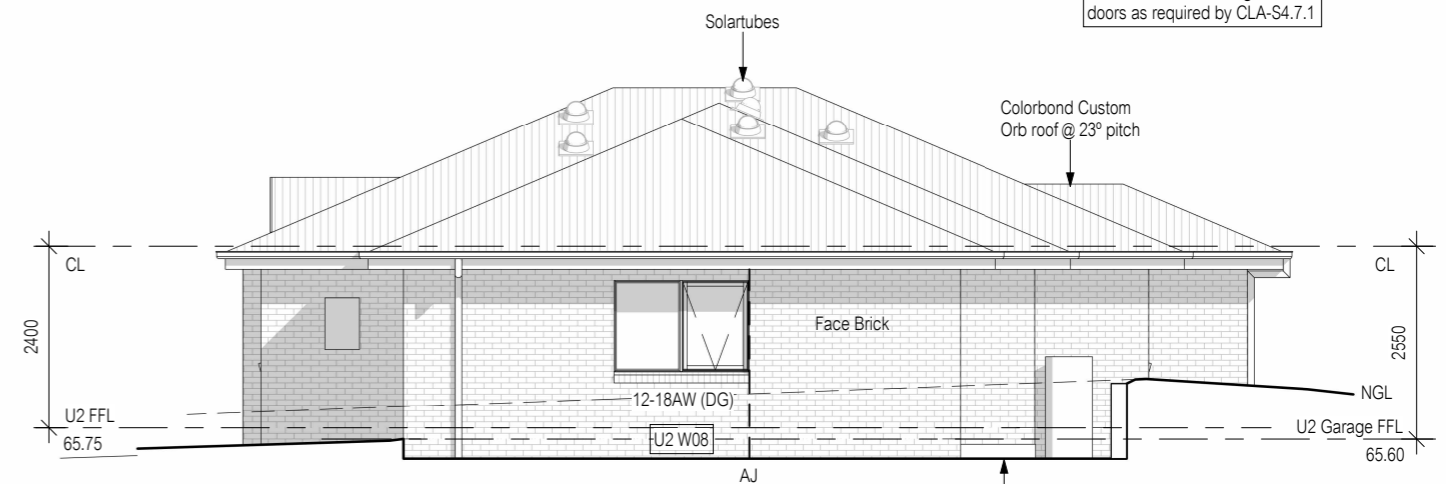
Floor Area = 137.35m ² Articulation joints Smoke Alarm (interconnected where more than 1) All window sizes to be checked and/or confirmed on site prior to ordering glazing units			Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.			Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au			Client / Project info PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY						UNIT 2 FLOOR PLAN Drawn CK WH714454 Date 29 August 2025 Sheet Scale 1:100 Copyright © 04/05		
A	19 Sep. 2025	CK	Amendment changes as per cover sheet														
No.	Date	Int.															



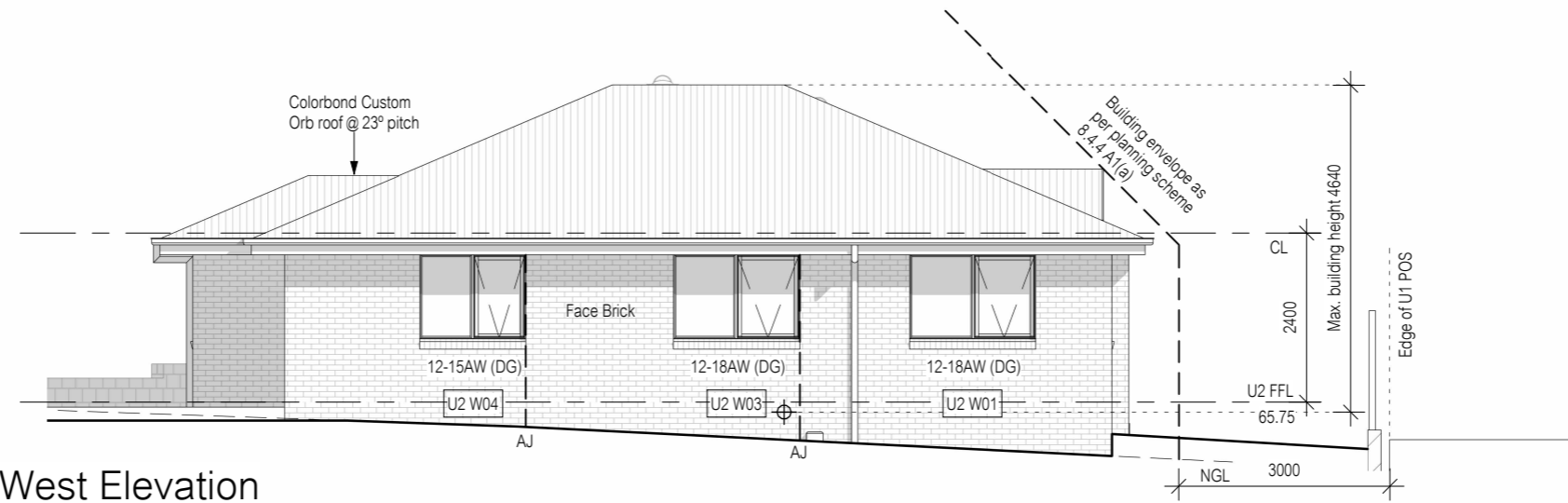
North Elevation



South Elevation



East Elevation



West Elevation

Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.

Low reflectance glazing to be used on windows and glazed doors as required by CLA-S4.7.1

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
 AJ - Articulation Joint
 BV - Brick Vent
 Shadows shown for stylisation purposes only

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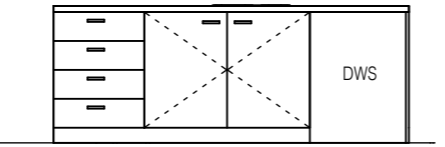
UNIT 2 ELEVATIONS	
Drawn	CK WH714454
Date	29 August 2025 Sheet
Scale	1:100
Copyright ©	05/05

No.	Date	Int.
B	27 Oct. 2025	ST
A	19 Sep. 2025	CK

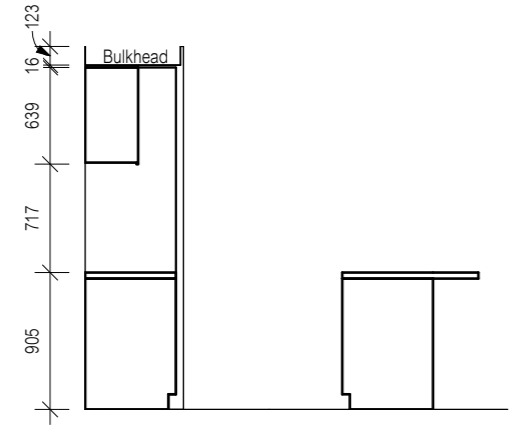
Amendment changes as per cover sheet

LEGEND:
MWS - MICROWAVE SPACE
DWS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE

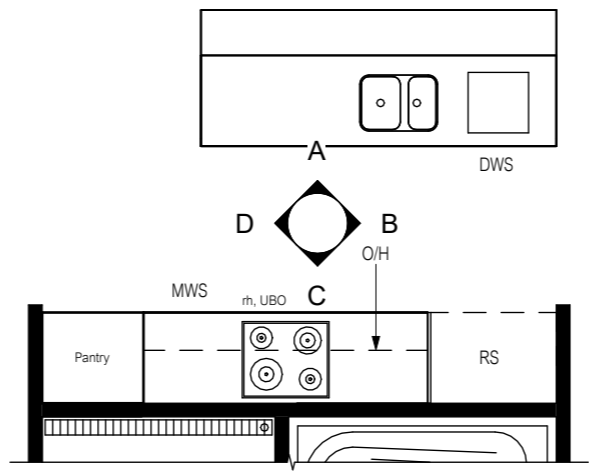
NOTE:
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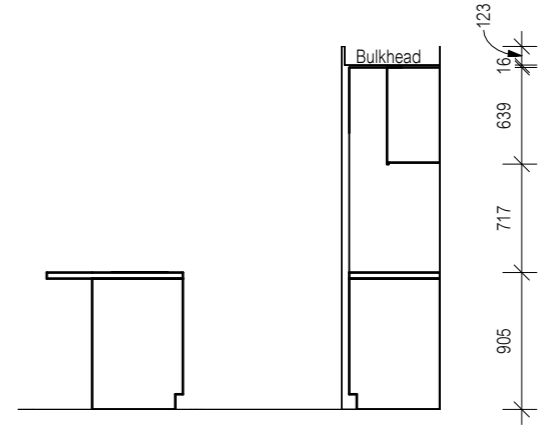
KITCHEN ELEVATION A



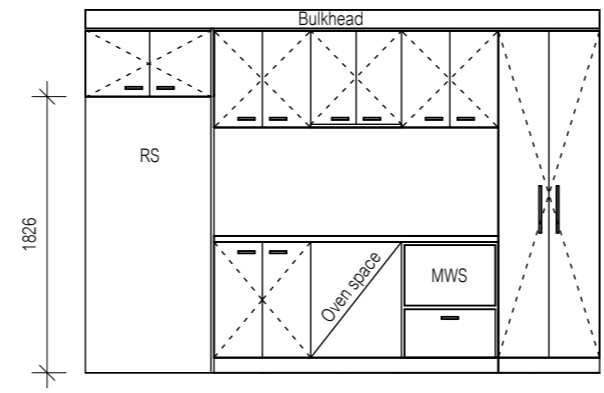
KITCHEN ELEVATION D



KITCHEN ELEVATION C



KITCHEN ELEVATION B



No.	Date	Int.	Amendment changes as per cover sheet
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Notes

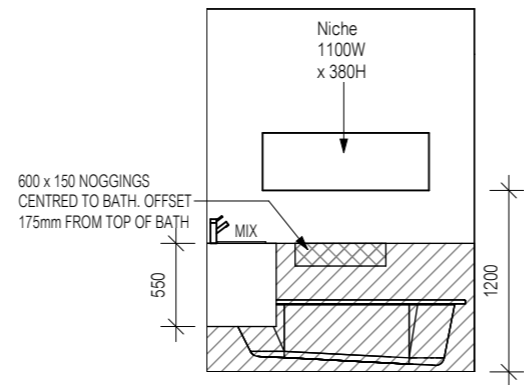
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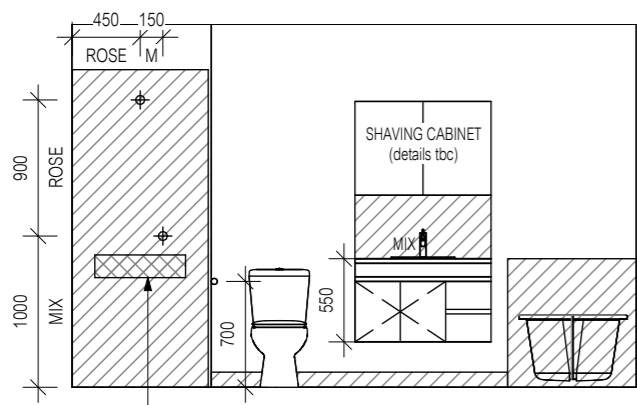
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PROPOSED UNIT DEVELOPMENT (WEBB)
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ROKEBY



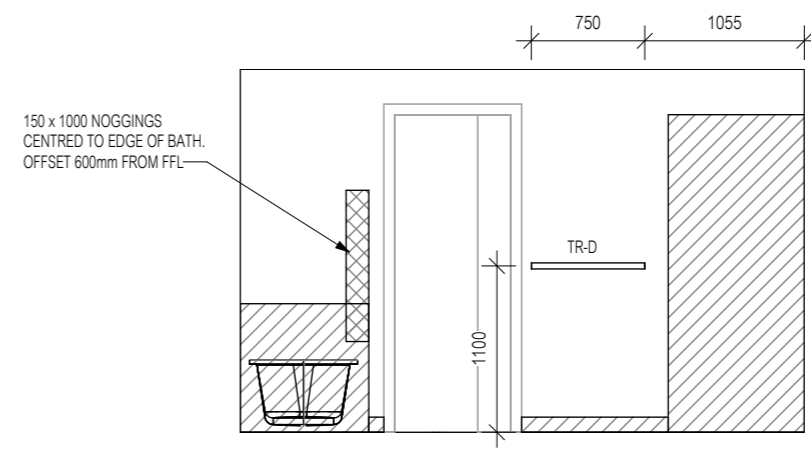
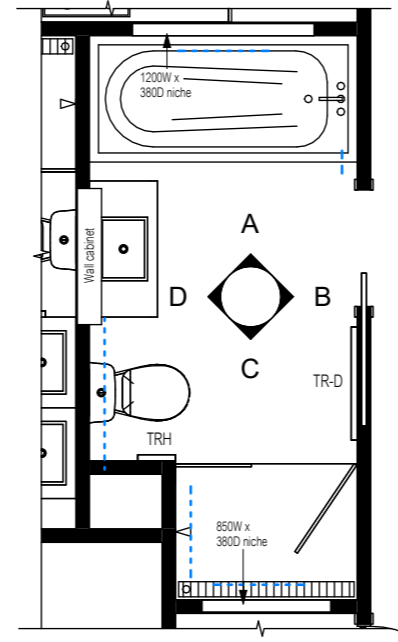
UNIT 2 INTERNAL ELEVATIONS - KITCHEN		
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Date	19 September 2025	Sheet
Scale	1:50	05a/05
Copyright ©		



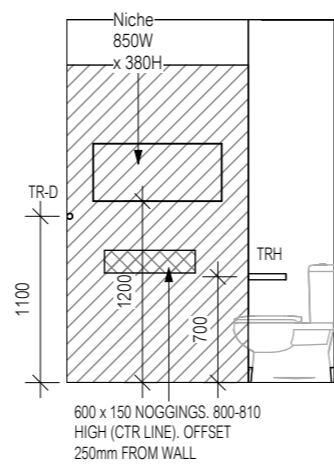
BATH ELEVATION A



BATH ELEVATION D



BATH ELEVATION B



BATH ELEVATION C

LEGEND

- RSHR - RAIL SHOWER
- ROSE - SHOWER ROSE
- ELBW - SHOWER ELBOW CONNECTION
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- HT - HOT TAP
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Amendment changes as per cover sheet

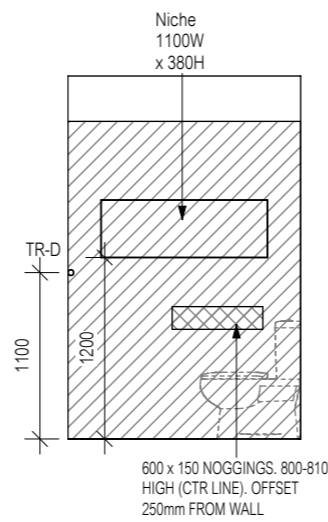
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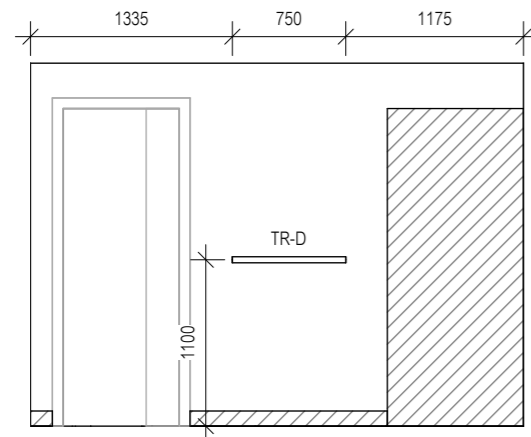
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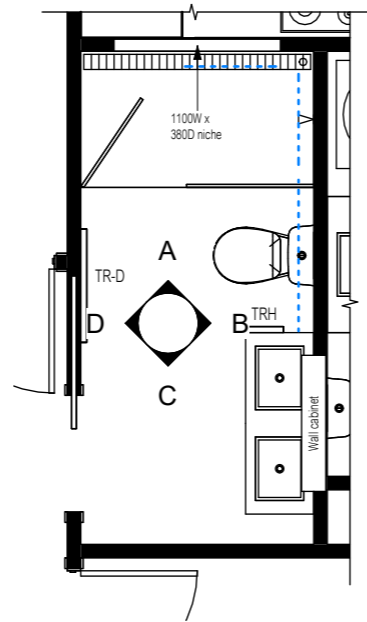
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Drawn	CK	WH714454
Date	19 September 2025	Sheet
Scale	1:50	05b/05
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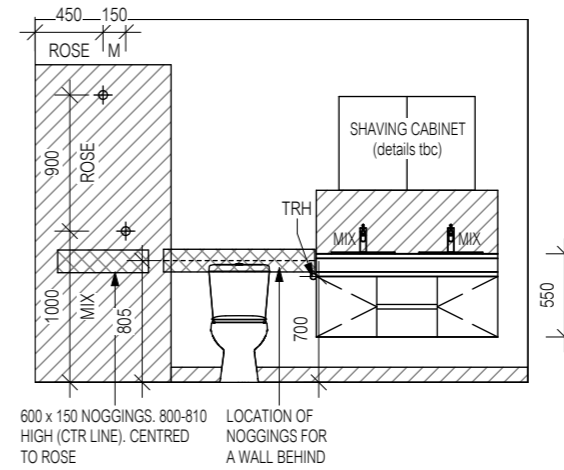
ENSUITE ELEVATION A



ENSUITE ELEVATION D



ENSUITE ELEVATION C



ENSUITE ELEVATION B

LEGEND

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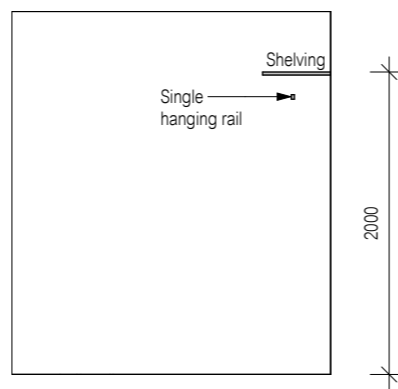
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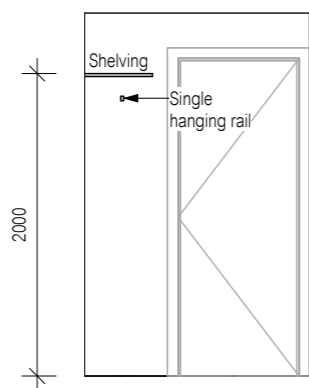
Client / Project info
PROPOSED UNIT DEVELOPMENT (WEBB)
9 Dominique Way,
ROKEBY



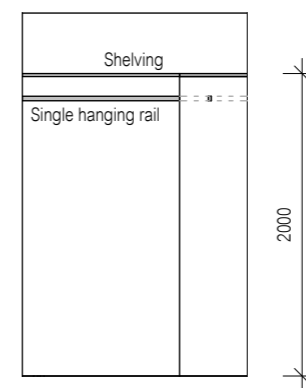
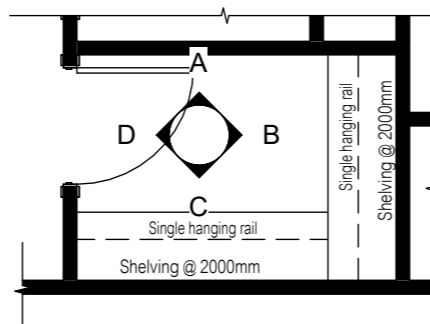
UNIT 2 INTERNAL ELEVATIONS - ENSUITE		
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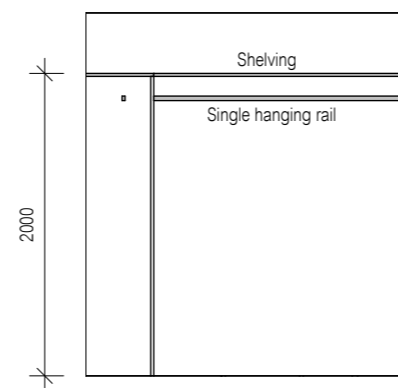
WIR ELEVATION A



WIR ELEVATION D



WIR ELEVATION B



WIR ELEVATION C

No.	Date	Int.	Amendment changes as per cover sheet
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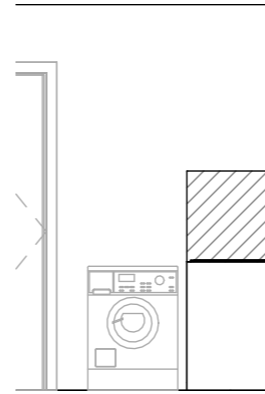
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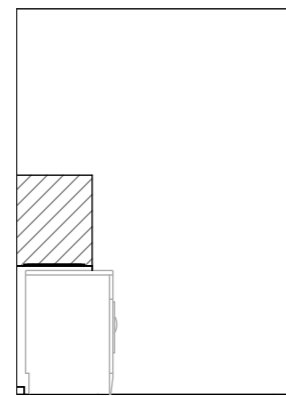
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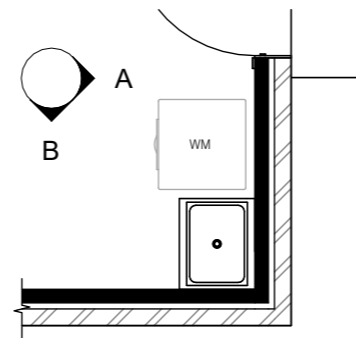
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Drawn	CK	WH714454
Date	19 September 2025	
Scale	1:50	
Copyright ©		05d/05



LAUNDRY ELEVATION A



LAUNDRY ELEVATION B



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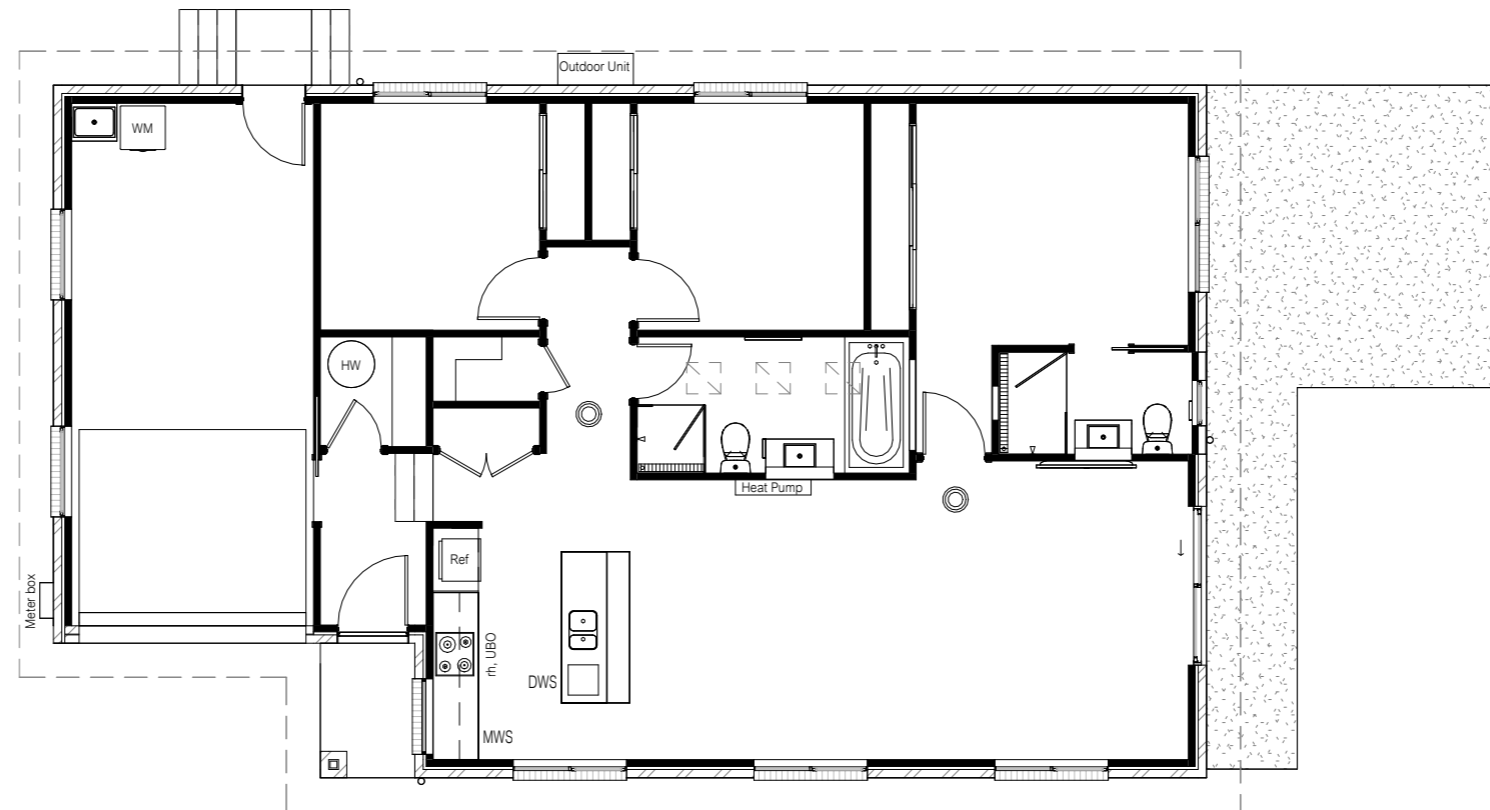


UNIT 2 INTERNAL ELEVATIONS - LAUNDRY		
Drawn	CK	WH714454
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Scale	1:50	05e/05
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No.	Date	Int.	Amendment changes as per cover sheet
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LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ✱ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- △ SINGLE POWER POINT
- ◐ DOUBLE POWER POINT
- ◑ DOUBLE POWER POINT WITH USB
- ◒ WATER PROOF POWER POINT
- ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊚ TV CONNECTION POINT
- ▽ NBN/TELEPHONE CONNECTION POINT
- ⊚ SENSOR LIGHT
- ⊚ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊚ FLOOD LIGHT
- ⊚ CAT 6 CONNECTION POINT
- ▶ TREAD LIGHTS (2W)
- ◑ DUCTED VACUUM POINT
- ⊞ SECURITY SYSTEM KEYPAD
- ⊚ SECURITY SYSTEM SENSOR



ALL EXHAUST FANS:
 25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

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UNIT 1 ELECTRICAL PLAN

Drawn	CK	WH714454
Date	19 September 2025	Sheet
Scale	1:100	

09/05

No.	Date	Int.	Amendment changes as per cover sheet
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GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:
 Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.
 The acceptable overflow capacity must be 0.5 L/s/m.

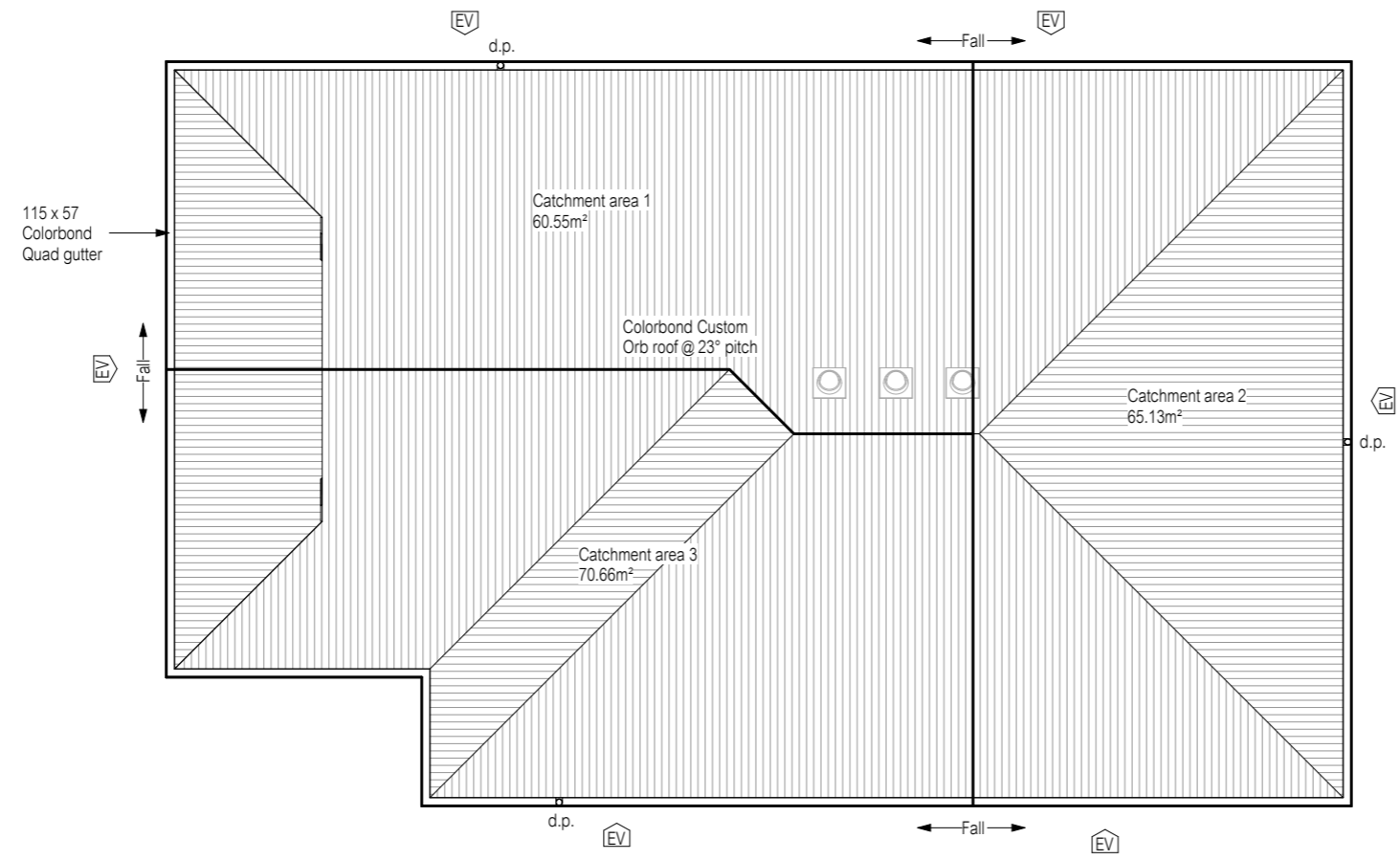
Batten fixings:
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
 75 x 38 F8 @ 900 Centre

Colorbond fixings:
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Roof Sheet Area (Approx)	Fascia Length (Approx)
155.56 m ²	56.98 m
15.09 m ²	

NOTE: 2 areas due to roof design



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

Ah ¹	156.19	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	162.27	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	196.35	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.58	Ac ÷ Acdp
Downpipes Provided	3	

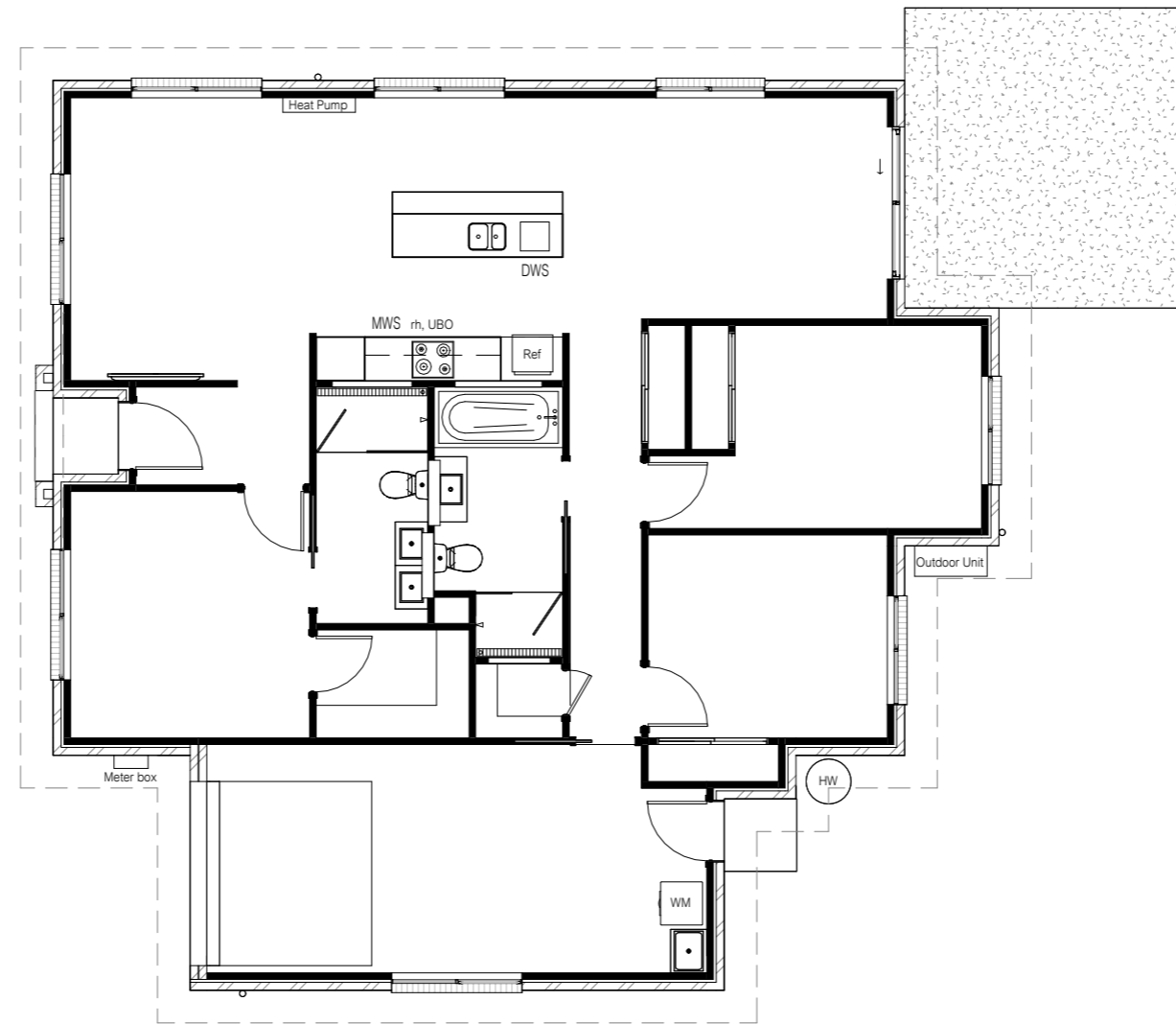
Sarking to be cut / discontinuous along ridge line. Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:
 SEV2040W EAVE VENT (21,000mm²).
 6 VENTS EVENLY SPACED

No.	Date	Int.	Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY		UNIT 1 ROOF PLAN	
					Drawn CK Date 19 September 2025 Scale 1:100	WH714454 Sheet 11/05			

LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ★ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- △ SINGLE POWER POINT
- ◐ DOUBLE POWER POINT
- ◑ DOUBLE POWER POINT WITH USB
- ◒ WATER PROOF POWER POINT
- ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊚ TV CONNECTION POINT
- ▽ NBN/TELEPHONE CONNECTION POINT
- ⊙ SENSOR LIGHT
- ⊙ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊙ FLOOD LIGHT
- ⊙ CAT 6 CONNECTION POINT
- ▶ TREAD LIGHTS (2W)
- ◑ DUCTED VACUUM POINT
- ⊞ SECURITY SYSTEM KEYPAD
- ⊙ SECURITY SYSTEM SENSOR



ALL EXHAUST FANS:
 25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.

Where no external ventilation / windows provided, exhaust fans to wet areas/ laundry to be fitted with a run on timer. 20mm gap base of door to comply with N.C.C. 10.8.2 (5)(a).

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
- Do not scale from these drawings.
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Designer:
 ANOTHER PERSPECTIVE PTY LTD
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Client / Project info
 PROPOSED UNIT DEVELOPMENT (WEBB)
 9 Dominique Way,
 ROKEBY



UNIT 2 ELECTRICAL PLAN

Drawn	CK	WH714454
Date	19 September 2025	Sheet
Scale	1:100	

12/05

No.	Date	Int.	Amendment changes as per cover sheet
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GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:
 Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.
 The acceptable overflow capacity must be 0.5 L/s/m.

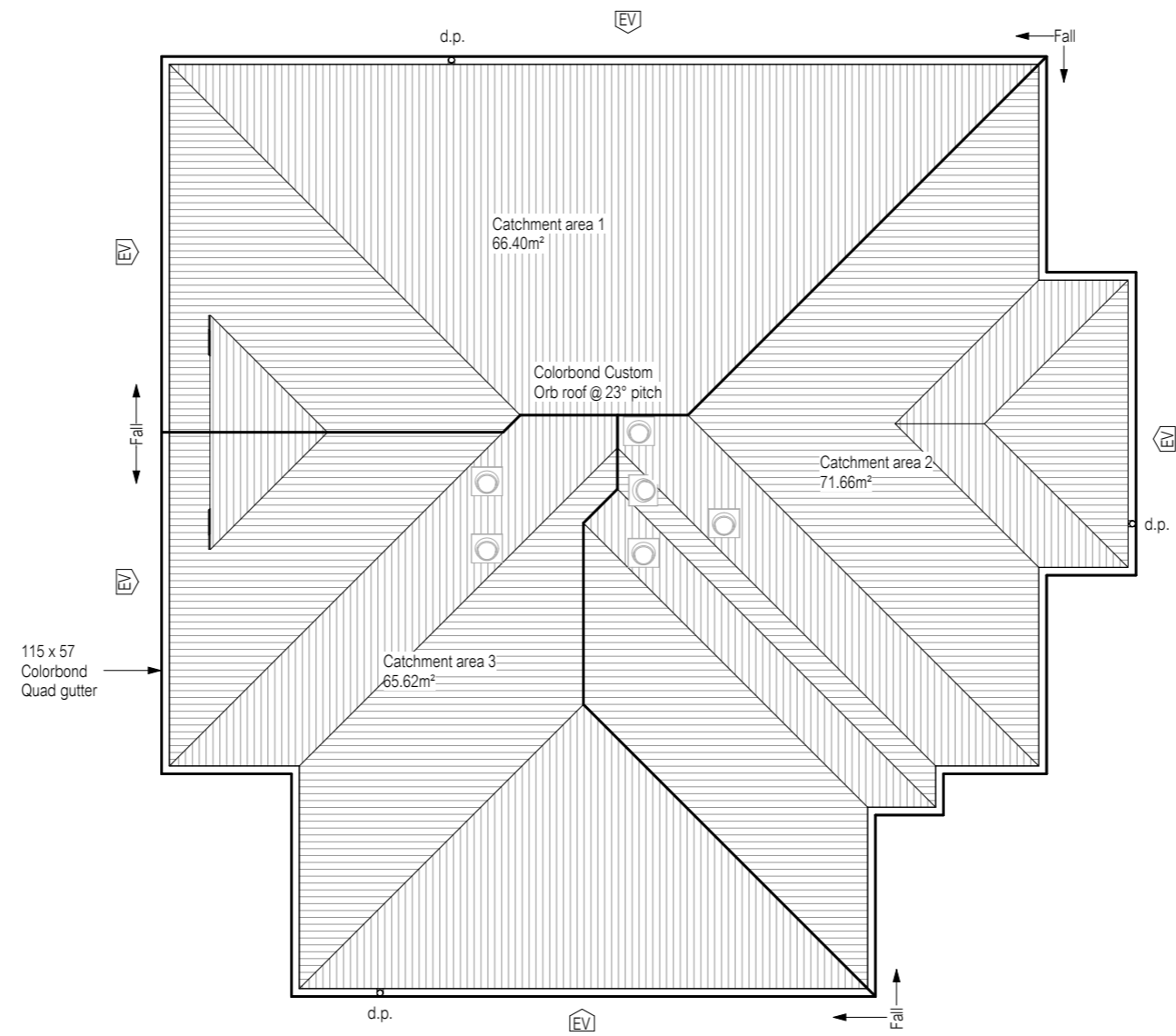
Batten fixings:
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
 75 x 38 F8 @ 900 Centre

Colorbond fixings:
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

Roof Sheet Area (Approx)	Fascia Length (Approx)
175.38 m ²	58.49 m
3.18 m ²	

NOTE: 2 areas due to roof design



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

Ah ¹	162.00	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	168.33	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	203.68	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	76	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.68	Ac ÷ Acdp
Downpipes Provided	3	

Sarking to be cut / discontinuous along ridge line. Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

EAVES VENT NOTE:
 SEV2040W EAVE VENT (21,000mm²).
 5 VENTS EVENLY SPACED

No.	Date	Int.	Amendment changes as per cover sheet	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED UNIT DEVELOPMENT (WEBB) 9 Dominique Way, ROKEBY		UNIT 2 ROOF PLAN	
					Drawn CK Date 19 September 2025 Scale 1:100	WH714454 Sheet 14/05			