



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056421

PROPOSAL: Additions & Alterations (Single Dwelling)
(Retrospective)

LOCATION: 46 Spinnaker Crescent, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Retrospective Planning Approval of deck (constructed by previous owners)

Location:

46 Spinnaker Cres Tranmere

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Ryan Peterson

Current use of site:

Residential dwelling

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application

Personal Information Removed

Please refer to the development use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 139060	FOLIO 101
EDITION 6	DATE OF ISSUE 21-Jun-2024

SEARCH DATE : 15-Apr-2025

SEARCH TIME : 11.45 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 101 on Sealed Plan 139060

Derivation : Part of 60 Acres & Gtd to M Lackey

Prior CT 139059/200

SCHEDULE 1

N186191 TRANSFER to DAVID WAYNE BENES and MARIA FEHER
Registered 21-Jun-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 139060 COVENANTS in Schedule of Easements

SP 139060 FENCING PROVISION in Schedule of Easements

SP 138800 FENCING PROVISION in Schedule of Easements

C469834 AGREEMENT pursuant to Section 71 of the Land Use

Planning and Approvals Act 1993 Registered

17-Jul-2003 at 12.06 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP139060</p>
<p>SUBDIVIDER: GREGORY JAMES CARR FOLIO REFERENCE: 139059/200</p>	

Lot 150 on the plan is:-

Subject to a right of drainage for the CLARENCE CITY COUNCIL over the drainage easements "E" and "F" shown on the plan within such lot.

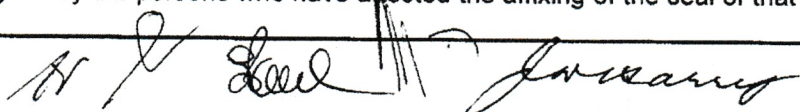
Lot 404 on the plan is:

Together with a right of drainage over drainage easement "H" shown on the plan.

COVENANTS:-

The owner of each lot shown on the plan covenants with the Vendor (GREGORY JAMES CARR) and with the owner for the time being of every other lot shown on the plan to the intent that the burden of these covenants may run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:-

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 3 OF 5 PAGES	Registered Number SP 139060
SUBDIVIDER: GREGORY JAMES CARR FOLIO REFERENCE: 139059/200	

1. Not to erect more than one dwelling on such lot. Such dwelling to be for the occupation of one family.
2. Not to permit any dwelling on such lot to be divided into units for separate occupations.
3. *Not to erect* Any dwelling ~~erected~~ on such lot *other than a dwelling to* shall be used for residential purposes only and no business or trade shall be permitted on such lot PROVIDED THAT the letting of the whole of any dwelling erected on such lot shall not be in contravention of this stipulation.
4. Not to erect or permit to be erected on such lot any advertising signs of any type whatsoever PROVIDED THAT a sign indicating that such lot is for sale shall be permitted for a limited period.
5. Not to use reflective materials in the construction of any dwelling on such lot nor to erect any shed or outbuilding of anything but non-reflective materials.
6. *Not to erect* Any residential building ~~erected~~ on such lot *other than a residential building* shall be of a general brick or masonry construction but the use of timber or non-masonry materials used as in-fill panels shall be permitted PROVIDED THAT these latter materials shall not exceed thirty percent (30%) of the total external wall area.
7. No galvanised iron or other reflective material shall be used for the construction of the roof of any dwelling or other structure on such lot.

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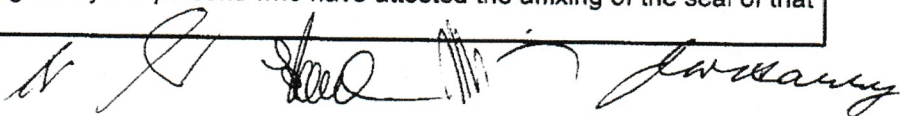
<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP 139060</p>
<p>SUBDIVIDER: GREGORY JAMES CARR FOLIO REFERENCE: 139059/200</p>	

8. Not without the prior approval of the CLARENCE CITY COUNCIL to chop, lop, damage or remove any tree or trees from such lot.
9. Not to further subdivide such lot (provided that this stipulation shall not apply to a boundary adjustment).
10. ^{Not to erect} Any dwelling ~~erected~~ ^{not having a} on such lot ~~shall have a~~ minimum floor area of not less than 160 square metres which area shall not include patios, garages or car ports.
11. Not as relates to lots 102 to 109 inclusive to construct or place on such lot within the area marked ABC on the plan any structure or other object to a height greater than 1.00 metre above natural ground level of such area nor to plant within such area any tree or shrub which would normally grow to a height of 1.00 metre or more.

FENCING PROVISION:-

In respect of the lots shown on the plan the Vendor (GREGORY JAMES CARR) shall not be required to fence.


NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 5 PAGES	Registered Number SP139060
SUBDIVIDER: GREGORY JAMES CARR FOLIO REFERENCE: 139059/200	

Signed by GREGORY JAMES CARR by his Attorney John William Harry under Power of Attorney registered no PA2512, who certifies that he has not received any notice of revocation thereof in the presence of:-

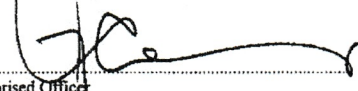
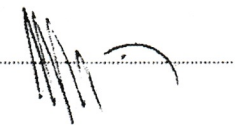


Witness Signature 
 Full Name: Emma Jane Paul
 Occupation: Law Clerk
 Address: 162 Macquarie Street, Hobart

We, TASMANIAN PERPETUAL TRUSTEES LIMITED (ACN 009 475 629), as mortgagee, hereby consent to the within dealing.

THE COMMON SEAL of)
TASMANIAN PERPETUAL)
TRUSTEES LIMITED (ACN 009 475)
629) was hereunto affixed in the presence)
 of:)

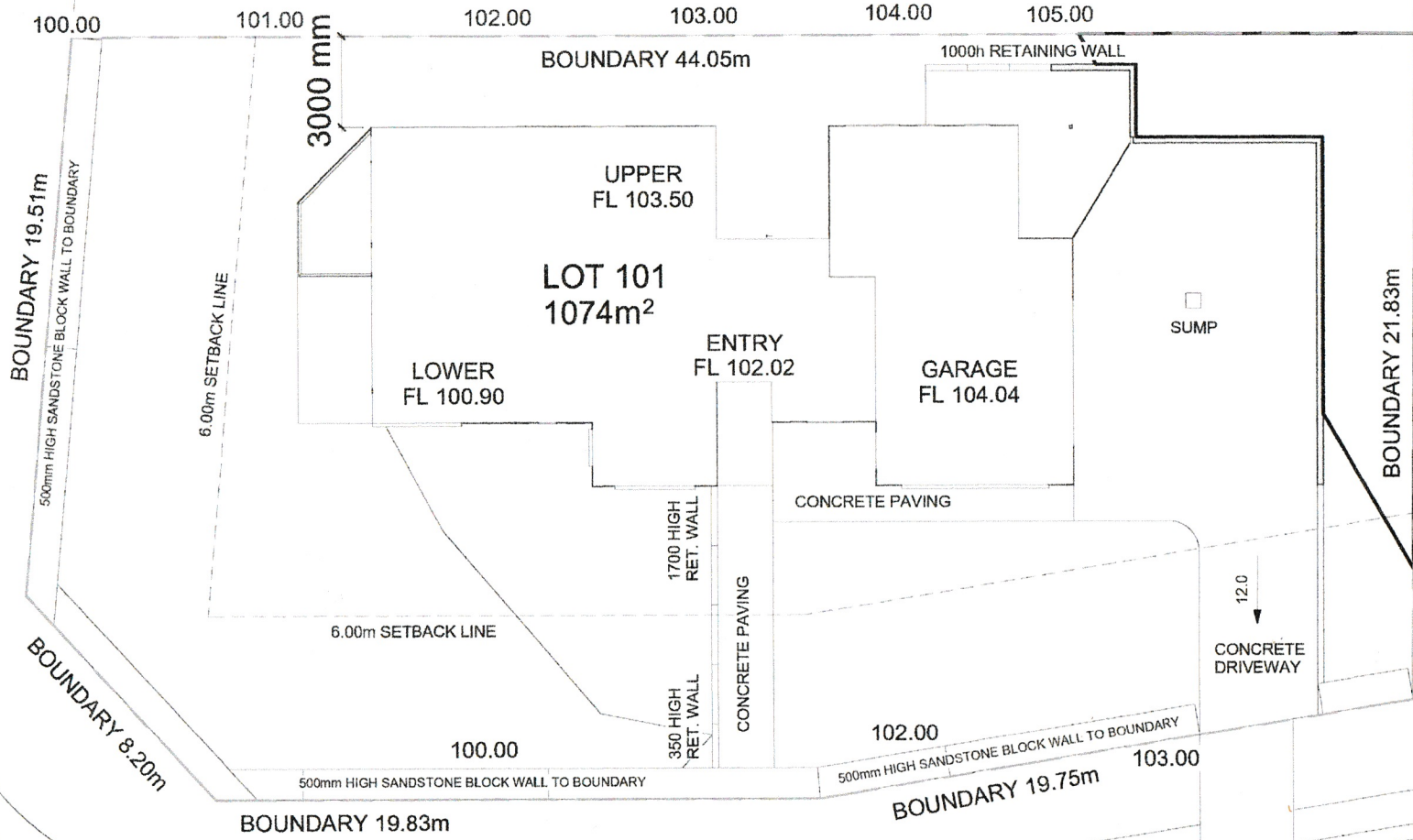


✓ 
 Authorised Officer
 X 
 Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

VACANT LOT

OCEANA DRIVE



SPINNAKER CRESCENT

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PDS
POOLEY'S DRAFTING SERVICES

PH: 0417958637
E: crisp@pooleysd@gmail.com
BUILDING DESIGNER
ACCREDITATION: 8966/88009

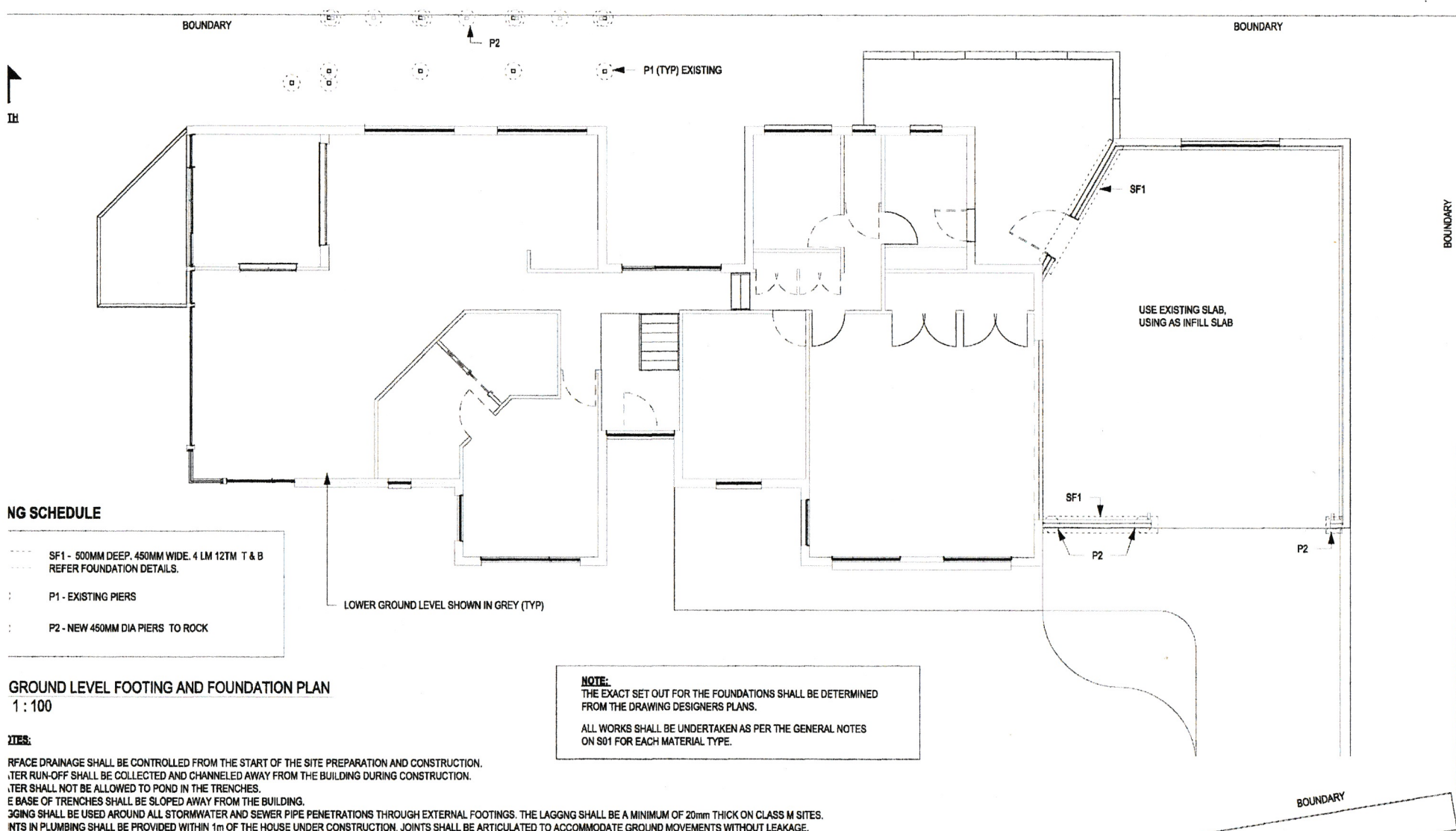
DMELLING BEING CONSTRUCTED IN A BAL TBA AREA
(RESTRICTIONS TO OR ADDITIONAL CONSTRUCTION
METHODS/MATERIALS MAY APPLY - REFER NOTES)

SITE PLAN - EXISTING
ALTERATIONS & ADDITIONS
DEVELOPMENT APPLICATION

DAVID & MARIA
46 SPINNAKER CRES TRANMERE

JOB NO: 103
SHEET NO: A100
SCALE @ A3: 1:150
DATE: 10.06.25
REV NO: B

DESCRIPTION	REV NO.	DATE	DRAWN
UPDATED RETAINING WALL AND FENCE	B	10.06.25	YS
DA PLANS	A	13.05.25	YS



LEGEND

- SF1 - 500MM DEEP, 450MM WIDE, 4 LM 12TM T & B REFER FOUNDATION DETAILS.
- P1 - EXISTING PIERS
- P2 - NEW 450MM DIA PIERS TO ROCK

LOWER GROUND LEVEL SHOWN IN GREY (TYP)

GROUND LEVEL FOOTING AND FOUNDATION PLAN
1 : 100

NOTES:

- 1. SURFACE DRAINAGE SHALL BE CONTROLLED FROM THE START OF THE SITE PREPARATION AND CONSTRUCTION.
- 2. WATER RUN-OFF SHALL BE COLLECTED AND CHanneled AWAY FROM THE BUILDING DURING CONSTRUCTION.
- 3. WATER SHALL NOT BE ALLOWED TO POND IN THE TRENCHES.
- 4. THE BASE OF TRENCHES SHALL BE SLOPED AWAY FROM THE BUILDING.
- 5. LAGGING SHALL BE USED AROUND ALL STORMWATER AND SEWER PIPE PENETRATIONS THROUGH EXTERNAL FOOTINGS. THE LAGGING SHALL BE A MINIMUM OF 20mm THICK ON CLASS M SITES.
- 6. JOINTS IN PLUMBING SHALL BE PROVIDED WITHIN 1m OF THE HOUSE UNDER CONSTRUCTION. JOINTS SHALL BE ARTICULATED TO ACCOMMODATE GROUND MOVEMENTS WITHOUT LEAKAGE.
- 7. EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT TO THE FOOTING WITH MOIST CLAY COMPACTED BY HAND-RODDING OR TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
- 8. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED FULL DEPTH WITH CLAY TO ACT AS A BARRIER TO THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- 9. CONCRETE IN BEAMS SHALL BE MECHANICALLY VIBRATED.
- 10. FINISH FLOOR LEVELS AROUND THE PERIMETER OF THE BUILDING SHALL FALL AWAY AT 5% FROM THE BUILDING.
- 11. FINISH FLOOR SHALL PROVIDE FILL AROUND BUILDING AS REQUIRED TO MAINTAIN FALLS AND REQUIRED LEVELS. ALL CONCRETE TO BE CAST IN ACCORDANCE WITH THE REQUIREMENTS OF AS3600 AND AS2870.
- 12. PROVIDE FILL AROUND BUILDING AS REQUIRED TO MAINTAIN FALLS AND REQUIRED LEVELS. ALL CONCRETE TO BE CAST IN ACCORDANCE WITH THE REQUIREMENTS OF AS3600 AND AS2870.
- 13. PROVIDE FILL AROUND BUILDING AS REQUIRED TO MAINTAIN FALLS AND REQUIRED LEVELS. ALL CONCRETE TO BE CAST IN ACCORDANCE WITH THE REQUIREMENTS OF AS3600 AND AS2870.

NOTE:
THE EXACT SET OUT FOR THE FOUNDATIONS SHALL BE DETERMINED FROM THE DRAWING DESIGNERS PLANS.
ALL WORKS SHALL BE UNDERTAKEN AS PER THE GENERAL NOTES ON S01 FOR EACH MATERIAL TYPE.

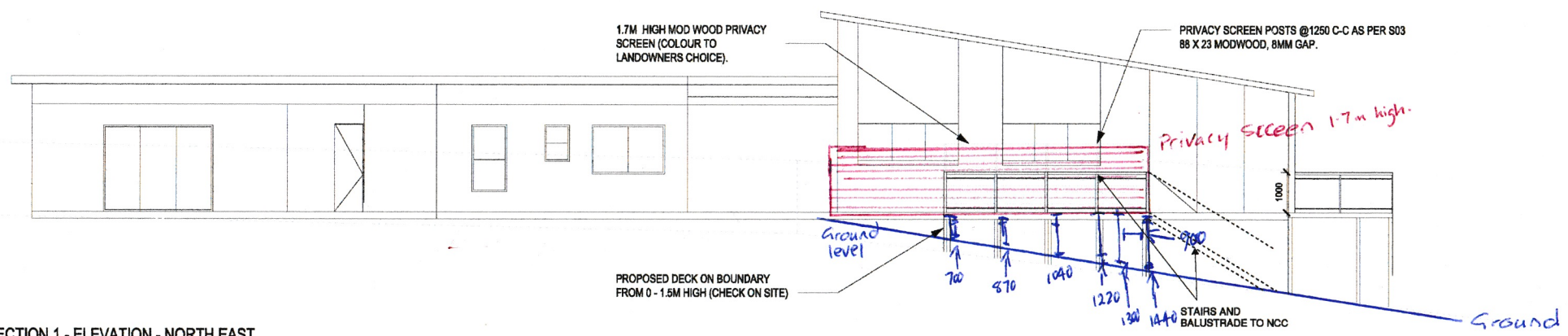
CONSTRUCTION ISSUE	ISSUE DESCRIPTION	DRAWN BY	CHECKED	DATE
		A.R	A.GE	16.10.2025

CE CONSULTING ENGINEERS
DESIGN - CIVIL - STRUCTURAL - LANDSCAPE

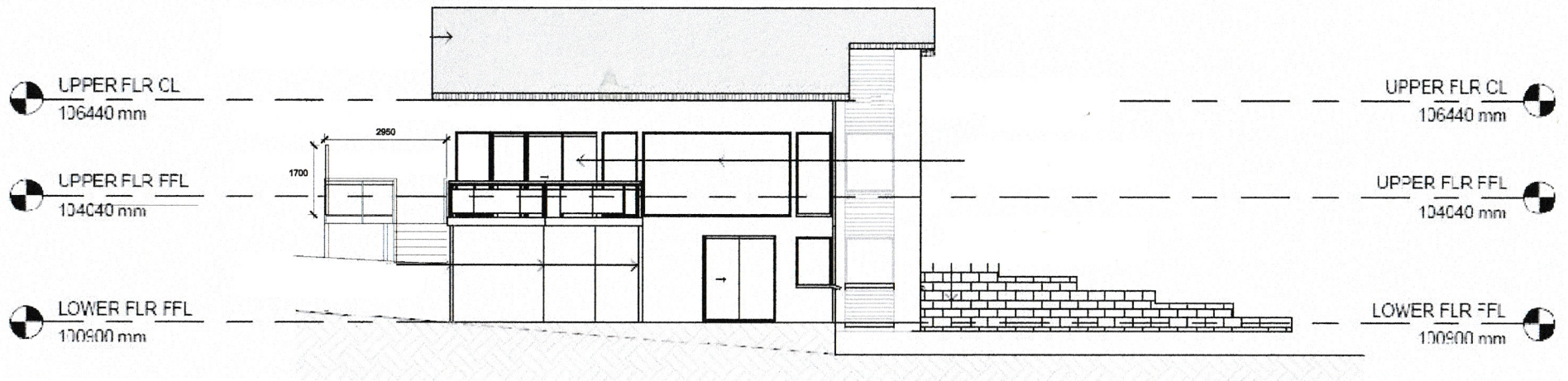
10/104 624 573 897
42 SANDY BAY ROAD
BATTERY POINT, TAS 7005
ADELPHIDE@CE.COM.AU
0414 705 476

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DIMENSIONS TO BE CHECKED ON SITE.
DO NOT SCALE OFF DRAWINGS.
DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO CE CONSULTING ENGINEERS.

ENGINEER: A. G-E	SCALE: 1 : 100	PROJECT: 46 SPINNAKER CRES, TRANMERE, TASMANIA	DRAWING TITLE: GROUND LEVEL FOOTING AND FOUNDATION PLAN	
DRAFTER: A. R	SIZE: A3	<p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p>	PROJECT No. G28066	DWG No. 902
STATUS: CONSTRUCTION ISSUE			REVISION: 00	

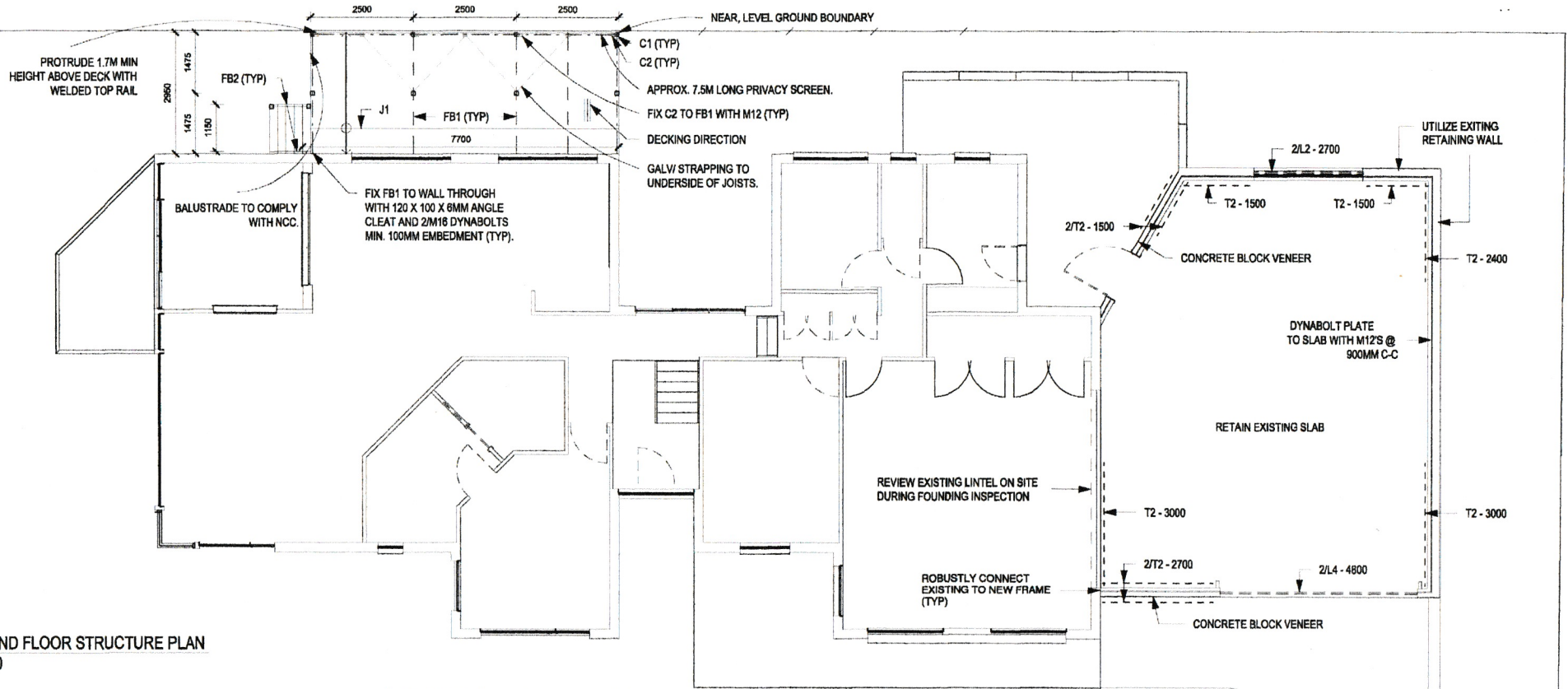


1 SECTION 1 - ELEVATION - NORTH EAST
1:100



2 SECTION 2 - WEST
1:100
REFERENCE CREDIT - UNDERLAY PDS DRAWINGS

					<p>DESIGN - CIVIL - STRUCTURAL - GEOTECH gec.com.au</p>	<p>© copyright GE CONSULTING ENGINEERS</p> <p>GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS, LOGOS AND CONTENT. THESE DRAWINGS CAN NOT BE RESOLD, REPRODUCED, COPIED OR ADAPTED IN ANYWAY WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS.</p> <p>DIMENSIONS TO BE CHECKED ON SITE.</p> <p>DO NOT SCALE OFF DRAWINGS.</p> <p>DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.</p>	<p>ENGINEER: A. G-E</p>	<p>SCALE: NIL</p>	<p>PROJECT: 46 SPINNAKER CRES, TRANMERE, TASMANIA</p>	<p>DRAWING TITLE: SECTION</p>	
							<p>DRAFTER: A. R</p>	<p>SIZE: A3</p>		<p>PROJECT No. G28065</p>	<p>DWG No. S05</p>
						<p>STATUS: CONSTRUCTION ISSUE</p>	<p>NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.</p>		<p>REVISION: 00</p>		
00	CONSTRUCTION ISSUE	A.R	A.GE	18.10.2025	<p>AMMA 629 573 897 ACH 628 573 897 42 SANDY BEACH ROAD BATTERY POINT, TAS 7005 ADMIN@GECOM.AU 0112 700 240</p>						
REV	ISSUE DESCRIPTION	DRAWN BY	CHECKED	DATE							



1 GROUND FLOOR STRUCTURE PLAN
1 : 100

BRACING TYPE

TYPE	DESCRIPTION
TYPE 1	3. KN / M - 30 X 0.8 GALV METAL STRAP (T8.18 (d)) - MIN 1.8M LENGTH
TYPE 2	5.2 KN / M - PLYWOOD (T8.18 (h)) - METHOD B - MIN LENGTH - 900MM
TYPE 3	5.0 KN / M - HARDBOARD (TYPE E T8.18 (n)) - MIN LENGTH - 460MM
TYPE 4	7.6 KN / M - PLYWOOD (T8.18 (l)) - MIN LENGTH - 900MM
TYPE 5	40 SHS 2.0 CROSS BRACING

LINTEL SCHEDULE - GROUND LEVEL

LINTEL NUMBER	LINTEL MATERIAL
L1	90 X 42 SMART LVL'S 15
L2	120 X 42 SMART LVL'S 15
L3	140 X 42 SMART LVL'S 15
L4	200 X 42 SMART LVL'S 15

ALL WORKS SHALL BE UNDERTAKEN AS PER THE GENERAL NOTES ON S01 FOR EACH MATERIAL TYPE.

MEMBER SCHEDULE - GROUND LEVEL

MEMBER	SIZE + TYPE
C1	EXISTING 75 SHS GALV. POST
C2	NEW 89 SHS 3.5 GALV. POST
FB1	150 C1.2
FB2	150 X 50 SHS
J1	150 C1.2 @ 460 C-C
LB1	150 C1.2 FIX WITH M12'S @ 900MM C-C
STUD (S)	90 X 35 MGP10 AT 460
TOP PLATE (PT)	2/90 X 35 MGP10
BTM PLATE (PB)	90 X 35 MGP10 90 X 45 MGP10 (IF BRACING BOTH SIDES)

NOTE:
ALL DOOR AND WINDOW LINTELS UP TO 1000MM SPAN SHALL BE SUPPORTED BY A 90 X 45 F17 SHW UNLESS OTHERWISE SPECIFIED.

DOUBLE JOISTS / TRUSSES PLACED BENEATH PARALLEL WALLS.

ALL TIMBER FRAMING WORKS INCLUDING BRACING AND TIEDOWN SHALL BE UNDERTAKEN IN ACCORDANCE WITH AS.1684.2 : 2021

WALL FRAMING:

ALL JAMB STUDS TO BE 90 X35 F17 SHW.
ALL SECONDARY STUDS, JAMB STUDS, SHALL BE UNO.
90 X35 F17 SHW LINTEL SPANS UP TO 1200MM,
90 X 45 SHW LINTEL SPANS UP TO 2100MM,
2/90 X 45 LINTEL SPANS UP TO 3600MM.

		 GE CONSULTING ENGINEERS <small>DESIGN - CIVIL - STRUCTURAL - GEOTECH</small> <small>48 SPINNAKER CRESCENT, TRANMERE, TASMANIA 7311</small>		© copyright GE CONSULTING ENGINEERS <small>GE CONSULTING ENGINEERS RETAINS THE INTELLECTUAL PROPERTY RIGHTS OF THESE DRAWINGS, LOGOS AND CONTENT. THESE DRAWINGS CAN NOT BE REPRODUCED, COPIED OR ADAPTED IN ANY MANNER WITHOUT WRITTEN CONSENT OF GE CONSULTING ENGINEERS. DIMENSIONS TO BE CHECKED ON SITE. DO NOT SCALE OFF DRAWINGS. DISCREPANCIES TO BE NOTIFIED VIA EMAIL TO GE CONSULTING ENGINEERS.</small>		ENGINEER: A. G-E SCALE: 1 : 100 DRAFTER: A. R SIZE: A3 STATUS: CONSTRUCTION ISSUE		PROJECT: 48 SPINNAKER CRES, TRANMERE, TASMANIA NOTE: THIS SET OF DRAWINGS SHOULD ALWAYS BE PRINTED IN COLOUR.		DRAWING TITLE: UNIT 1 - GROUND STRUCTURE PLAN PROJECT No. G25085 DWG No. 803 REVISION: 00	
00	CONSTRUCTION ISSUE	A.R	A.G-E	16.10.2025							
REV	ISSUE DESCRIPTION	DRAWN BY	CHECKED	DATE							