



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056495

PROPOSAL: Two Multiple Dwelling (One New & One Existing)

LOCATION: 107 Bligh Street, Warrane

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 21 January 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 21 January 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 21 January 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



City of Clarence

City of Clarence
38 Bligh St Rosny Park
PO Box 96
Rosny Park TAS, 7018

03 6217 9500
clarence@ccc.tas.gov.au
ccc.tas.gov.au

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: 2 UNITS - 1 EXISTING / 1 NEW .

Location:

107 BLYTH STREET - WARRENHE

Personal Information Removed





Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site:

1 x Dwelling.

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.

- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.

8 October 2025

Letter of Authority

Project : 107 Bligh Street – Warrane - additional Dwelling

This is to confirm we give Dennis Hall from Bryden Homes permission to act on our behalf in any matter relating to the planning, building and plumbing for the project listed above

Personal Information Removed



SEARCH OF TORRENS TITLE

VOLUME 62967	FOLIO 4
EDITION 5	DATE OF ISSUE 15-Sep-2017

SEARCH DATE : 08-Oct-2025

SEARCH TIME : 03.37 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Plan 62967 (formerly being P1652)

Derivation : Part of 3A-1R-29.3/10Ps. Sec. L. Gtd. to Director
of Housing

Prior CT 62653/4

SCHEDULE 1

E106291 ASSENT to PETER FRANCIS ANGEL Registered 15-Sep-2017
at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

79910
 Program No. 34
62967
 REGISTERED NUMBER

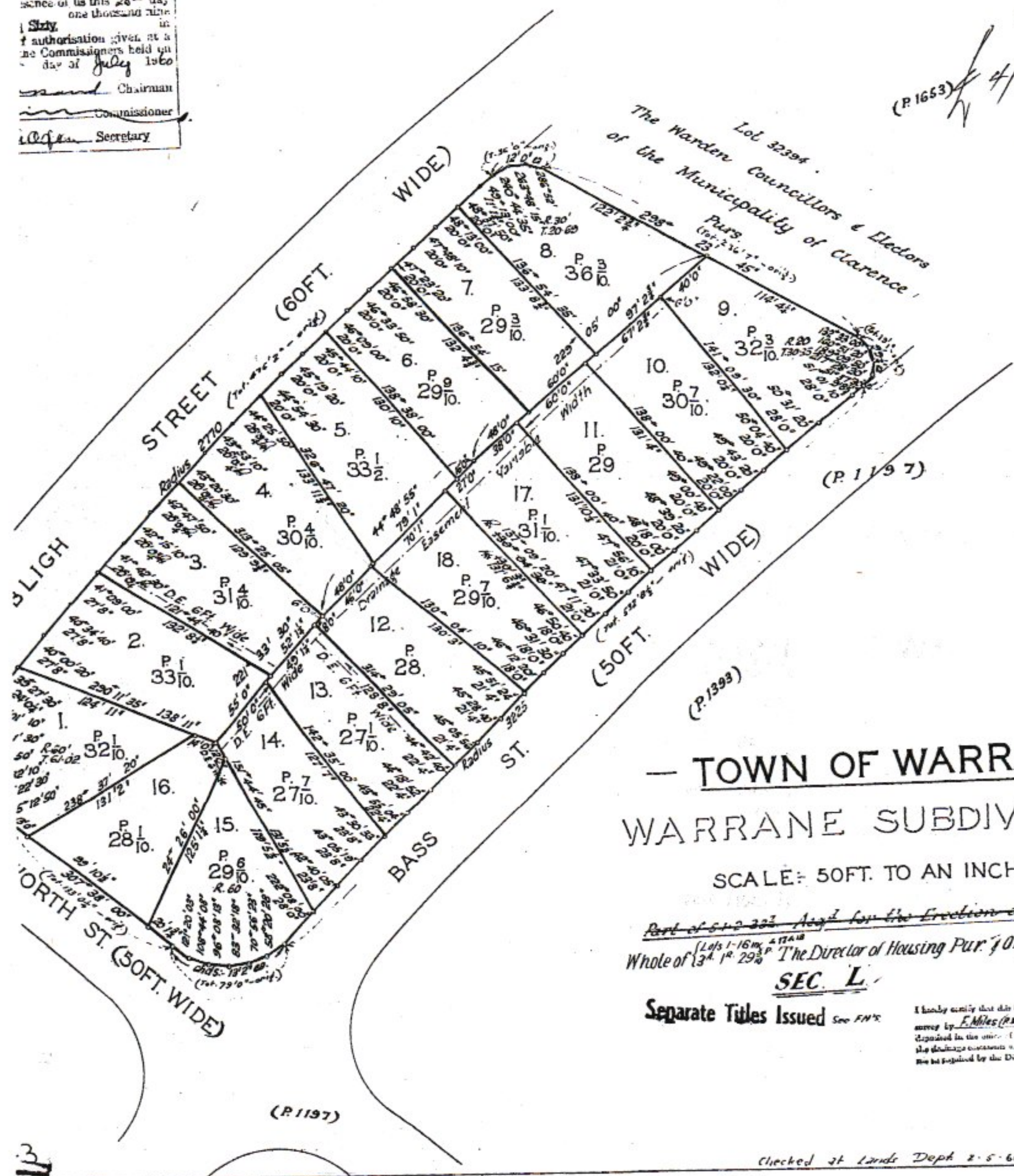
P1

b. Smith

54/76
 2-20

(P1653) 4/1/

Seal of the Municipality has been heretofore, existence of us this 26th day of July 1960
 in Sixty
 of authorisation given at a meeting of the Commissioners held on the day of July 1960
 Chairman
 Commissioner
 Secretary



TOWN OF WARRANE - WARRANE SUBDIVISION

SCALE: 50FT. TO AN INCH

Part of s.12 203 Act for the Erection of Homes
 Whole of 13⁴ 1⁴ 29³ The Director of Housing Pur. Ord. 247-43

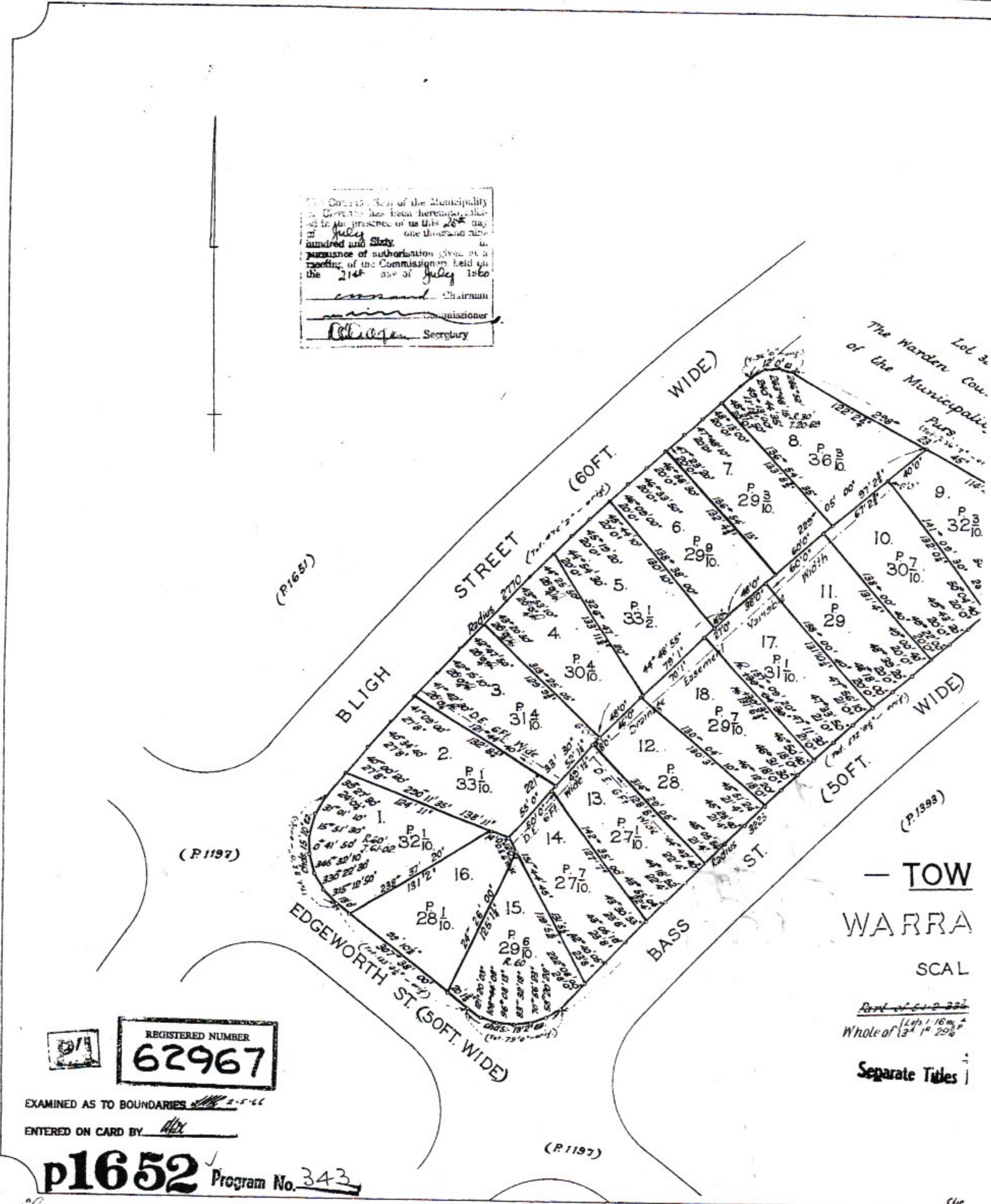
SEC. L

Separate Titles Issued See F.M.S.

I hereby certify that this is a correct copy of diagram of survey by F. Miles (P. 206) J.H.E. Homell (P. 207) deposited in the office of the Surveyor-General, to which the drainage easements as delineated have been added by me as required by the Director of Housing.
 J.H.E. Homell
 Surveyor-General
 5-7-60

Checked at Lands Dept 2-5-66

The Council of the Municipality of Warra has been heretofore called in the presence of us this 28th day of July one thousand nine hundred and Sixty, in pursuance of authorisation given at a meeting of the Commission held on the 21st day of July 1960
 _____ Chairman
 _____ Commissioner
 _____ Secretary



REGISTERED NUMBER
62967

EXAMINED AS TO BOUNDARIES *2-5-66*
 ENTERED ON CARD BY *WEX*

p1652 Program No. **343**

— TOW
 WARRA
 SCAL
 Part of 612-337
 Whole of 134-16m
 Separate Titles

B152 - PROPOSED UNIT DEVELOPMENT AT 107 BLIGH STREET, WARRANE

Architectural Drawing No.	Description	Architectural Drawing No.	Description
01	A SITE PLAN	08	FLOORING LAYOUT PLAN
01a	A EXISTING U1 FLOOR PLAN	09	LIGHTING CALCULATIONS, INSULATION & WINDOW SCHEDULE
03	FLOOR PLAN	10	COMPLIANCE NOTES
04	ELEVATIONS	10a	LIVABLE HOUSING NOTES 1 of 3
04a	PERSPECTIVES	10b	LIVABLE HOUSING NOTES 2 of 3
05	SECTION	10c	LIVABLE HOUSING NOTES 3 of 3
06	ROOF PLAN	11	WET AREAS SPECIFICATIONS
07	ELECTRICAL PLAN	11a	STAIR NOTES
		11b	BALUSTRADE NOTES



PROTECTIVE COATINGS FOR STEELWORK

ENVIRONMENT	LOCATION	MINIMUM PROTECTION COATING	
		General structural steel members	Lintels in masonry
LOW mild steel corrosion rate 1.3 to 25 µm/year Typically remote inland areas or more than 1 km from sheltered bays	INTERNAL	No protection required	
	EXTERNAL	Option 1 Hot dip galvanising - HDG75	Option 2 Duplex system. See N.C.C. Table 6.3.9c
		Option 3 Paint. See N.C.C. Table 6.3.9b - ALC2, ACC2, IZS1, PUR2A	

NOTES:

- Heavy industrial areas means industrial environments around major industrial complexes. There are only a few such regions in Australia, examples of which occur around Port Pirie and Newcastle.
- The outer leaf and cavity of an external masonry wall of a building, including walls under open carports are considered to be external environments. A part of an internal leaf of an external masonry wall which is located in the roof space is considered to be in an internal environment.
- Where a paint finish is applied the surface of the steel work must be hand or power tool cleaned to remove any rust immediately prior to painting.
- All zinc coatings (including inorganic zinc) require a barrier coat to stop conventional domestic enamels from peeling.
- Refer to the paint manufacturer where decorative finishes are required on top of the minimum coating specified in the table for protection of the steel against corrosion.
- Internal locations subject to moisture, such as in close proximity to kitchen or bathroom exhaust fans are not considered to be in a permanently dry location and protection as specified for external locations is required.
- For applications outside the scope of this table, seek specialist advice.

REVISION	DATE	SHEETS	DESCRIPTION
A	14 November 2025	01, 01a	Council RFI (10 November 2025): Add dimensions to car parks, Show indicative driveway and parking area gradients on Site Plan, Add floor plan for U1 (existing), Specify front fence and screen details.

Climate Zone - 7
C.T. No. C.T.62967/4
Wind Speed - TBC
Soil Classification - TBC
Corrosion Environment - LOW

Floor Area = 98.0m²
10.5 sq

BAL - Not Bushfire Prone
As shown in the Tasmanian
Planning Scheme Overlay

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Drafted by Cem Kali, Licence Number: 627300775

DRAWING: COVER SHEET

DATE: 19/10/25
FILE NAME: B152 DA Plans 171025
DRAWN BY: PC
DWG No: COVER SHEET

19 OCTOBER 2025 ● Preliminary drawings

19 OCTOBER 2025 ● Development application drawings (DA)

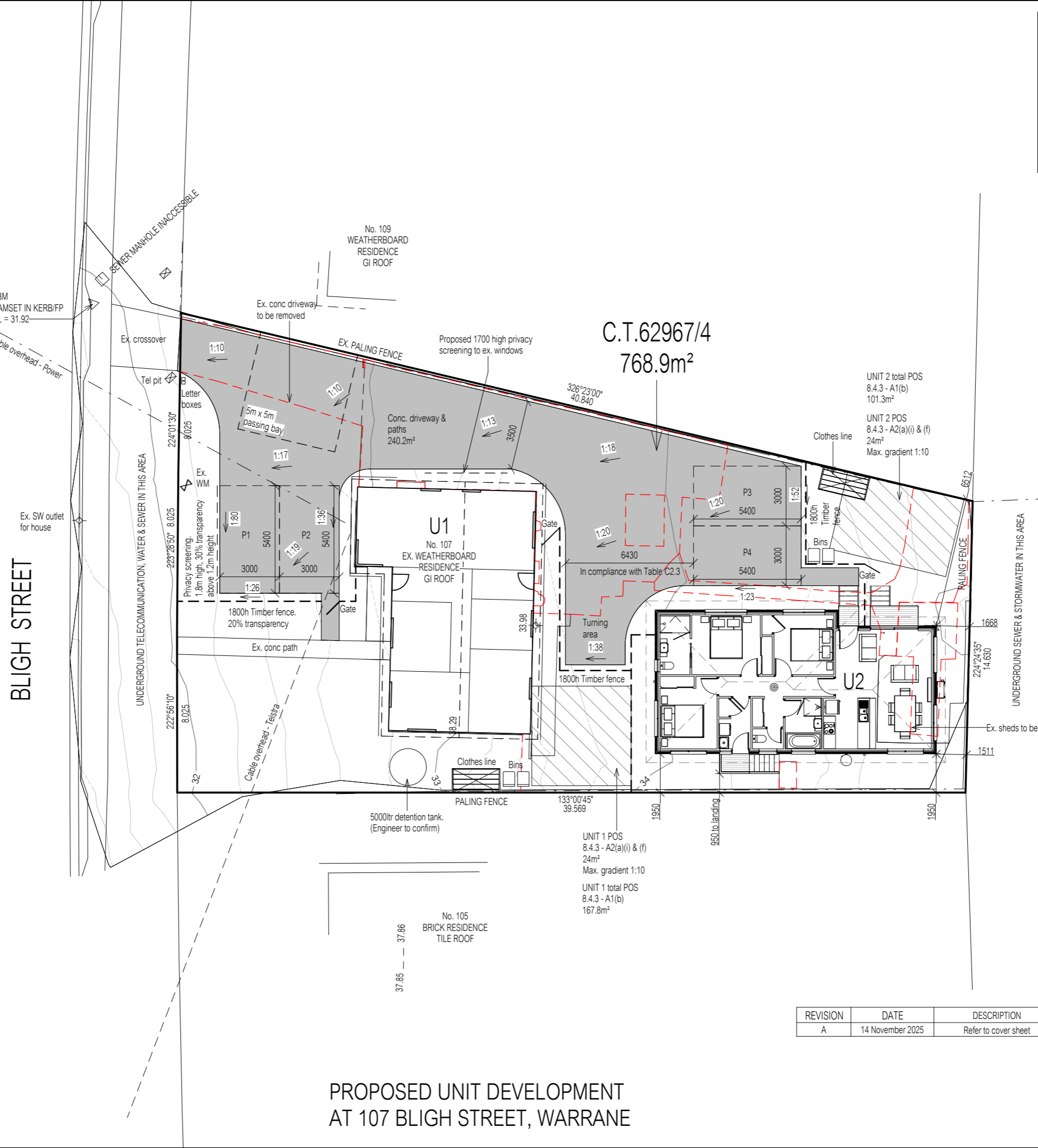
○ Preliminary construction drawings
○ Engineer not to sign this copy, only provide notes, additions & amendments

○ Final construction drawings (BA)

○ Approved by Engineer

○ Approved by Building Surveyor

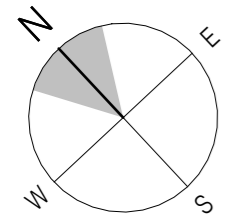
PARKING SPACE NOTE:
 It is acknowledged that 1 visitor parking space has not been provided for the site, however in alignment with C2.5 (P1.2):
 (a)(b) The nature and intensity of the use will be residential. Compliant parking spaces have been provided to cater for the bedroom amounts of both units. The exception is the visitor parking.
 Due to the infrequent use of a visitor parking space the ample kerb-side parking directly in front of the property along Bligh Street should be deemed sufficient to cater for the needs of a visitor parking space.
 (c) Developments at 103 & 111 Bligh street also appear to cater for only 4 parking spaces on site. Therefore this development will be in keeping with the parking pattern in the surrounding area.



EXPLANATORY NOTES:
 TASMANIAN PLANNING SCHEME GENERAL RESIDENTIAL

8.4.1 - Residential density for multiple dwellings:	
A1	(a) SITE DENSITY: Min. 325m ² per unit 768.9m ² / 2 (units) = 384.5m ² provided
8.4.3 - Site coverage and private open space for dwellings:	
A1	(a) SITE COVERAGE: Max. 50% of site = 384.5m ² Proposed site coverage: 193.7m ² (25.2%)

STORMWATER MANAGEMENT: Clarence Council
 Existing impervious area = 306.6m²
 Additional impervious area (excl. existing) = 218.3m²
 = 4000ltr on site detention tank required.



FFL 35.45
 Ex. FFL 34.32

Scale 1 : 200

PROPOSED UNIT DEVELOPMENT AT 107 BLIGH STREET, WARRANE

REVISION	DATE	DESCRIPTION
A	14 November 2025	Refer to cover sheet

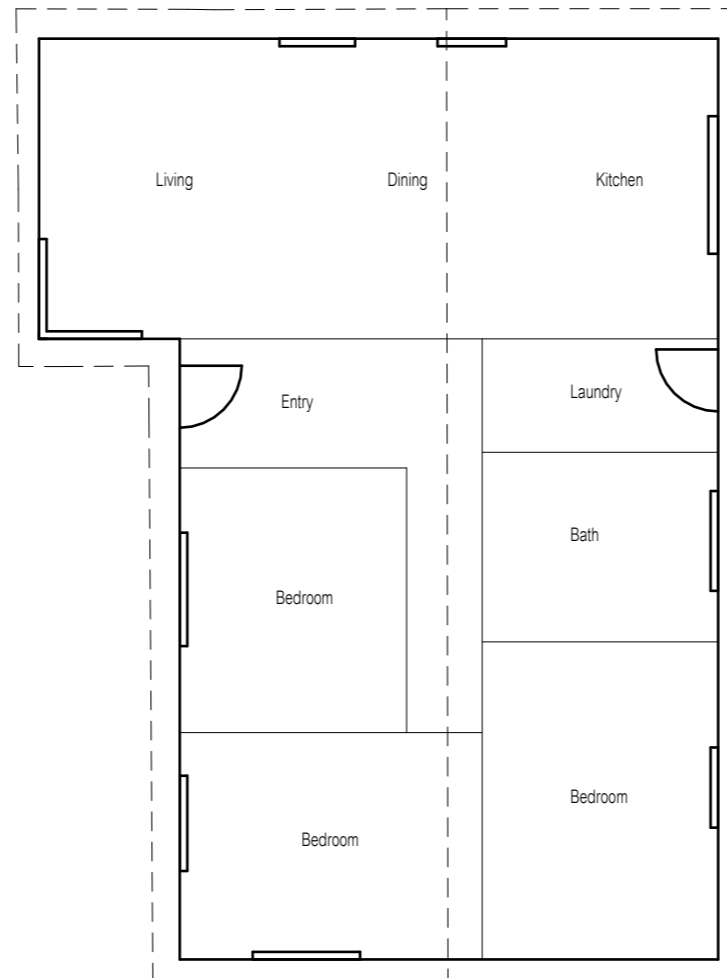
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 As shown in the Tasmanian
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DRAWING: SITE PLAN

DATE: 19/10/25
 FILE NAME: B152 DA Plans 171025
 DRAWN BY: CK
 DWG No:

Floor Area = 94.1m²



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REVISION	DATE	DESCRIPTION
A	14 November 2025	Refer to cover sheet

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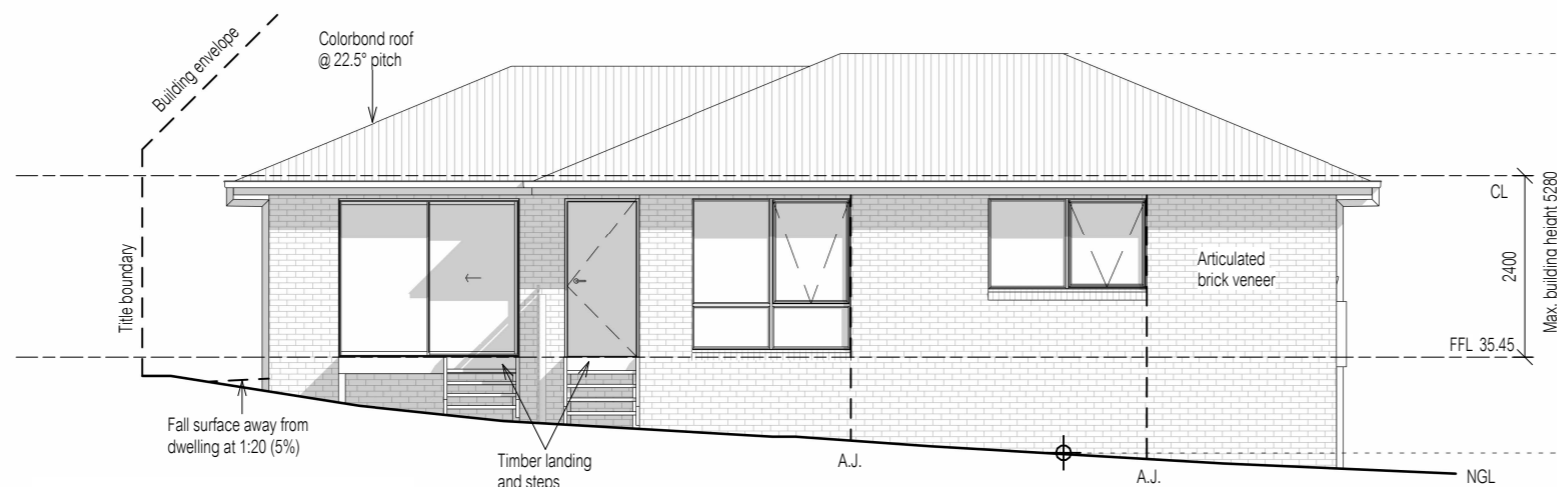
DRAWING: EXISTING U1 FLOOR PLAN

DATE: 14/11/25
 FILE NAME: B152 DA Plans 171025
 DRAWN BY: CK
 DWG No:

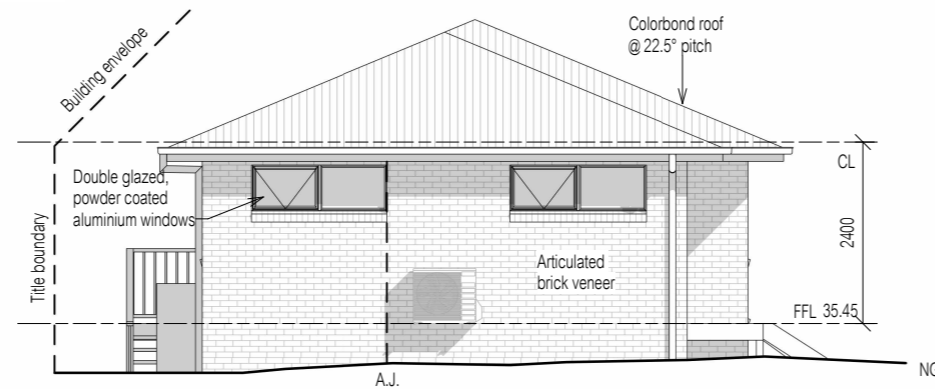
Scale 1 : 100

PROPOSED UNIT DEVELOPMENT
 AT 107 BLIGH STREET, WARRANE

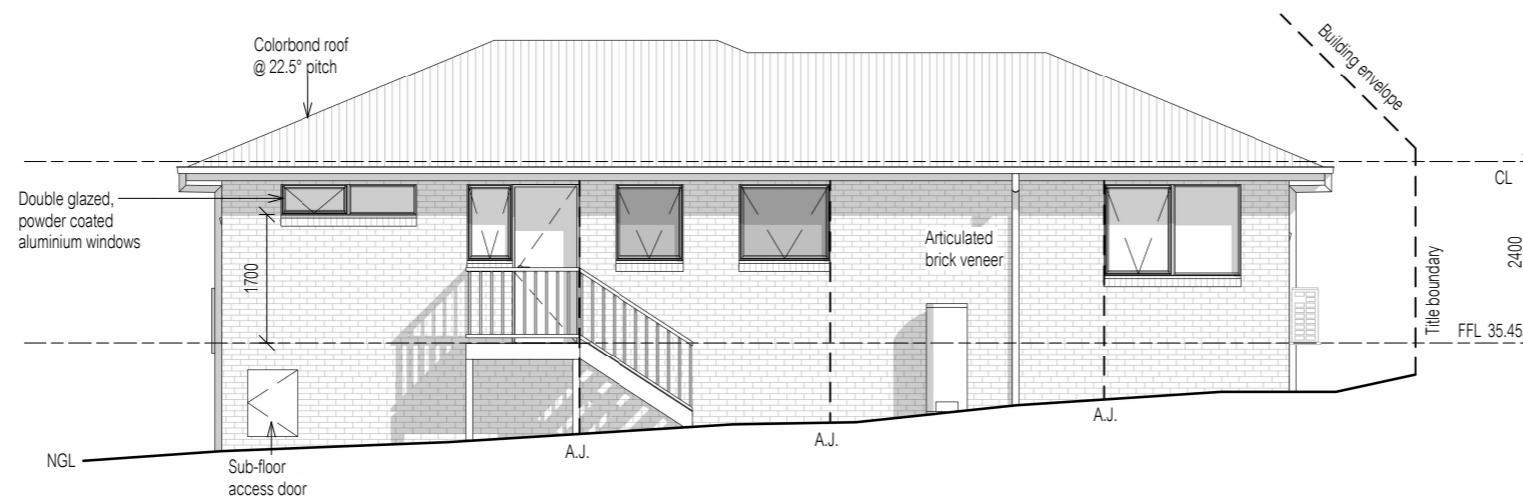
01a



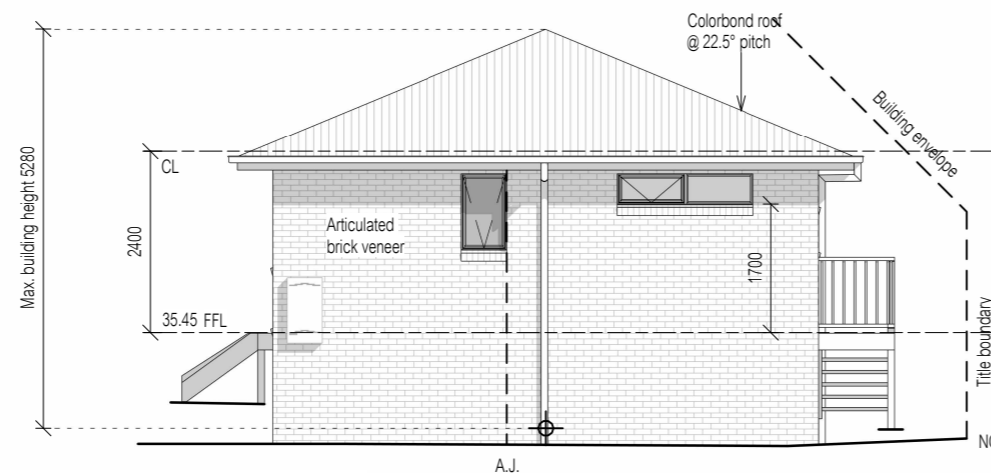
North East Elevation



South East Elevation



South West Elevation



North West Elevation

PROPOSED UNIT DEVELOPMENT
 AT 107 BLIGH STREET, WARRANE

Scale 1 : 100

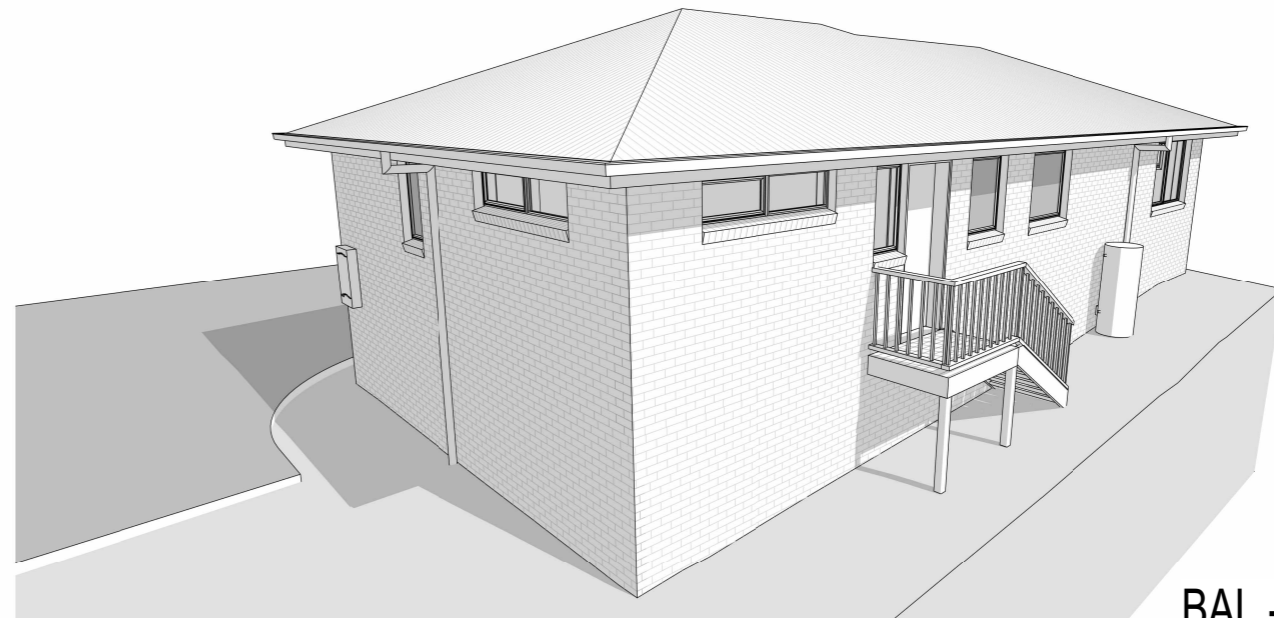
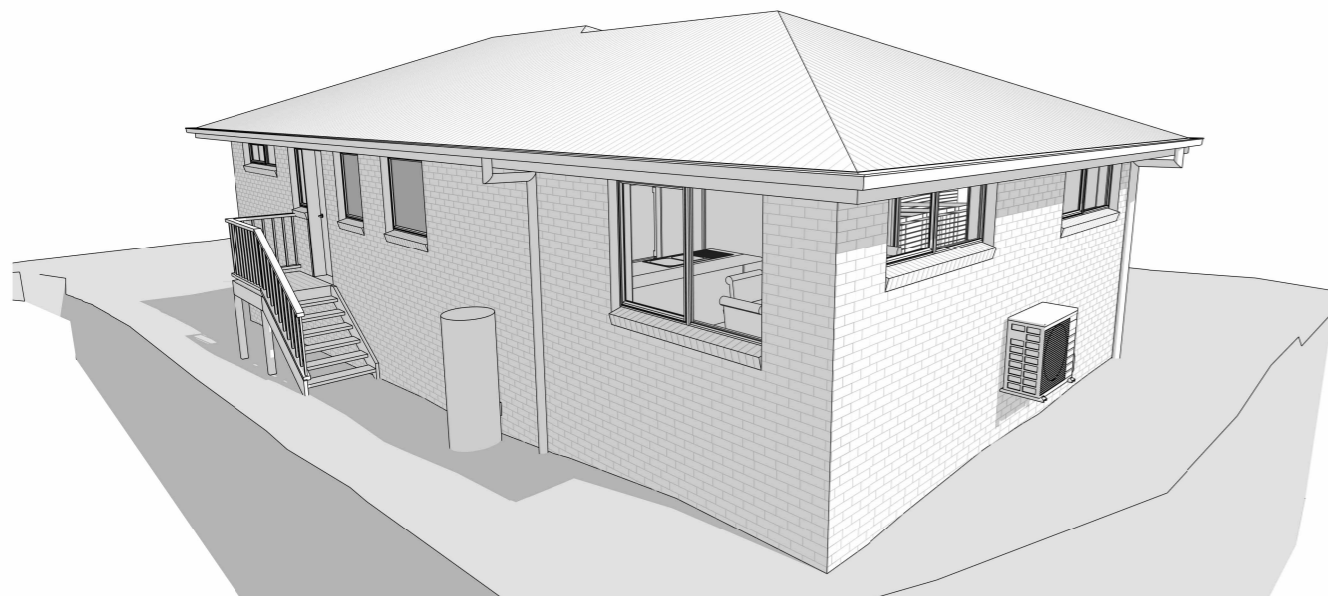
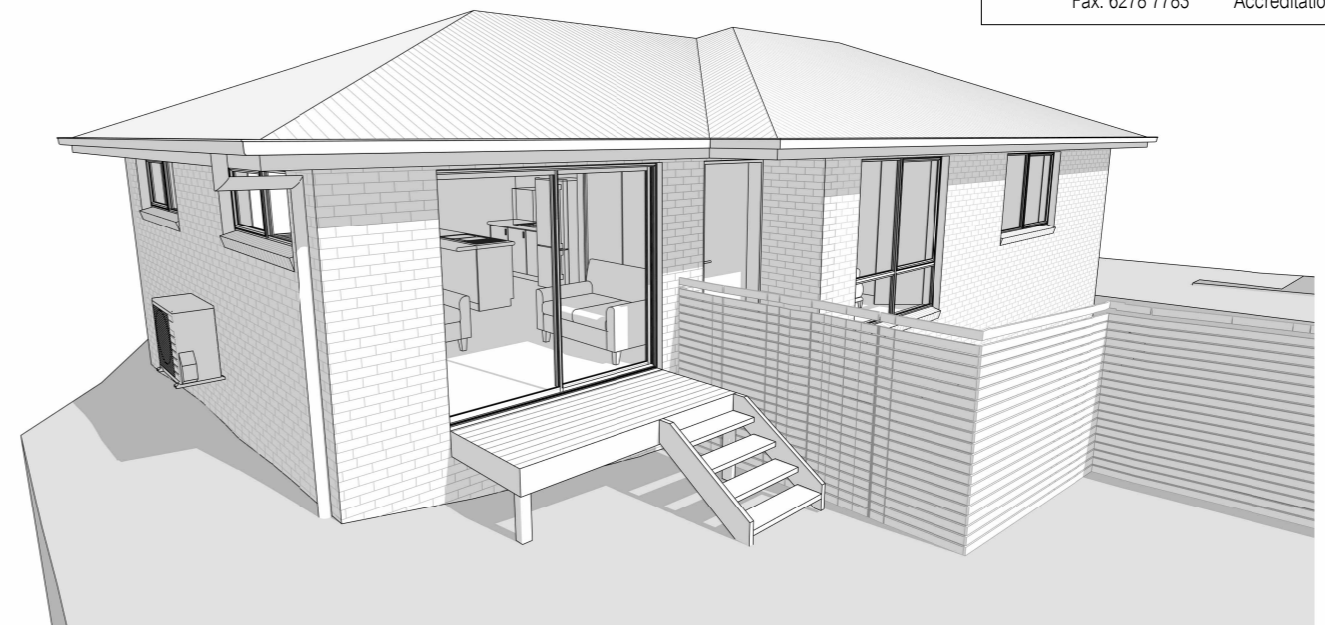
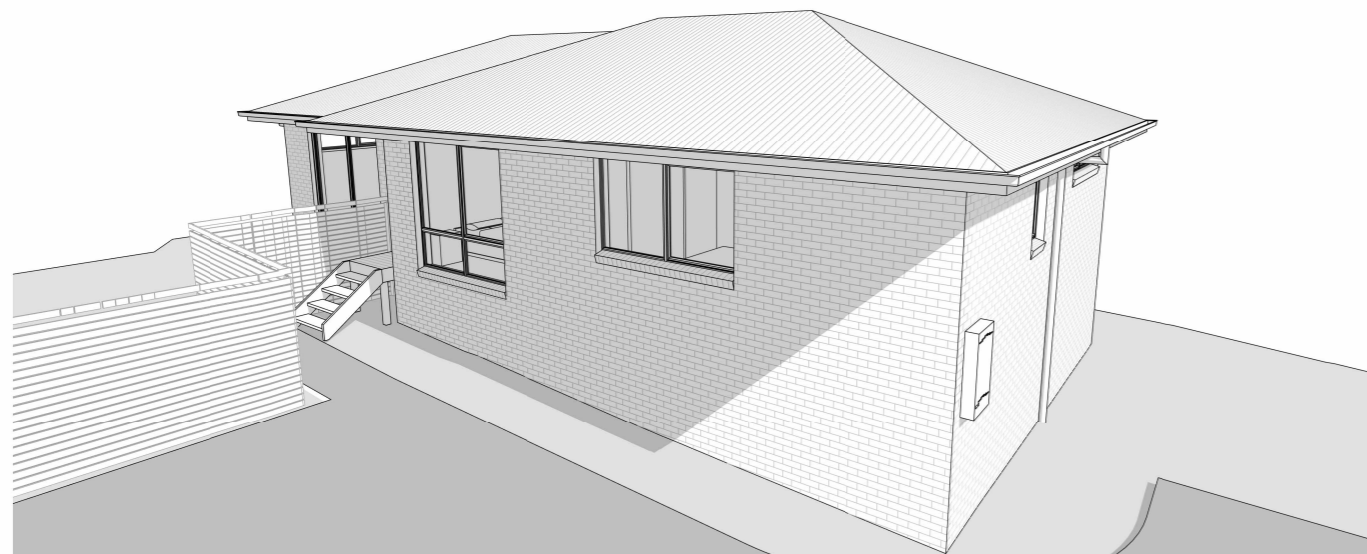
REVISION	DATE	DESCRIPTION

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 As shown in the Tasmanian
 Planning Scheme Overlay

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DRAWING: ELEVATIONS

DATE: 19/10/25
 FILE NAME: B152 DA Plans 171025
 DRAWN BY: CK
 DWG No:



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REVISION	DATE	DESCRIPTION
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DRAWING: PERSPECTIVES

DATE: 19/10/25
 FILE NAME: B152 DA Plans 171025
 DRAWN BY: CK
 DWG No:

Scale

PROPOSED UNIT DEVELOPMENT
 AT 107 BLIGH STREET, WARRANE

04a