



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/057356

PROPOSAL: Two Multiple Dwellings

LOCATION: 15 Tranquil Place, Tranmere

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 January 2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 January 2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 January 2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Two Residential Units

Location: **15 Tranquil Place, Tranmere**

Personal Information Removed

Estimated cost of development: **\$600,000.00**



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant Land**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic f

Applicant's signature:

Personal Information Removed

Date: 11/21/25

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

| | |
|------------------|------------------------------|
| VOLUME 188881 | FOLIO 115 |
| EDITION 1 | DATE OF ISSUE 11-Aug-2025 |

SEARCH DATE : 03-Dec-2025

SEARCH TIME : 08.34 am

DESCRIPTION OF LAND

City of CLARENCE
 Lot 115 on Sealed Plan 188881
 Derivation : Part of 115 Acres Gtd. to James Young
 Prior CT 183275/201

SCHEDULE 1

C949694 & D126626 TRANSFER to CAROLYN MARGARET LUCKMAN, PAUL LAMONT LUCKMAN, JANICE MARY LUCKMAN and GREGORY ALAN LUCKMAN as tenants in common in equal shares

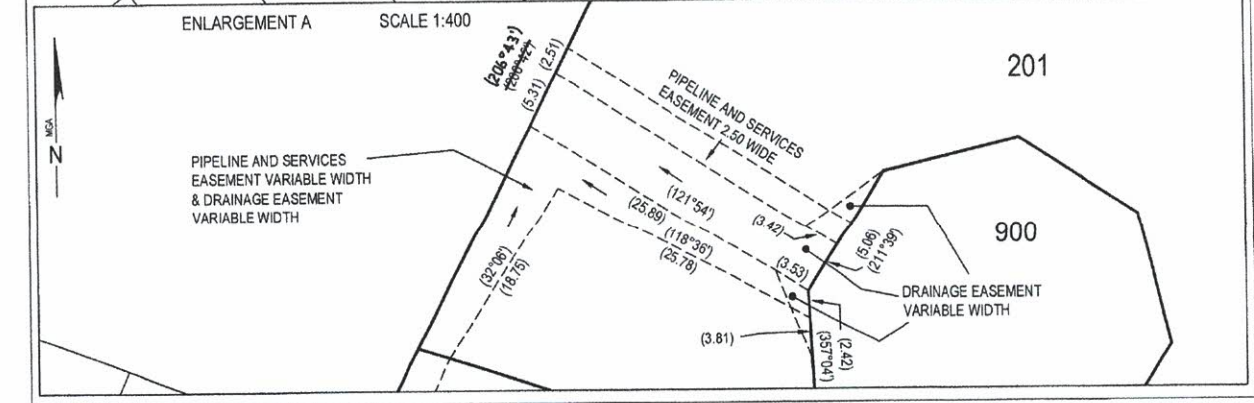
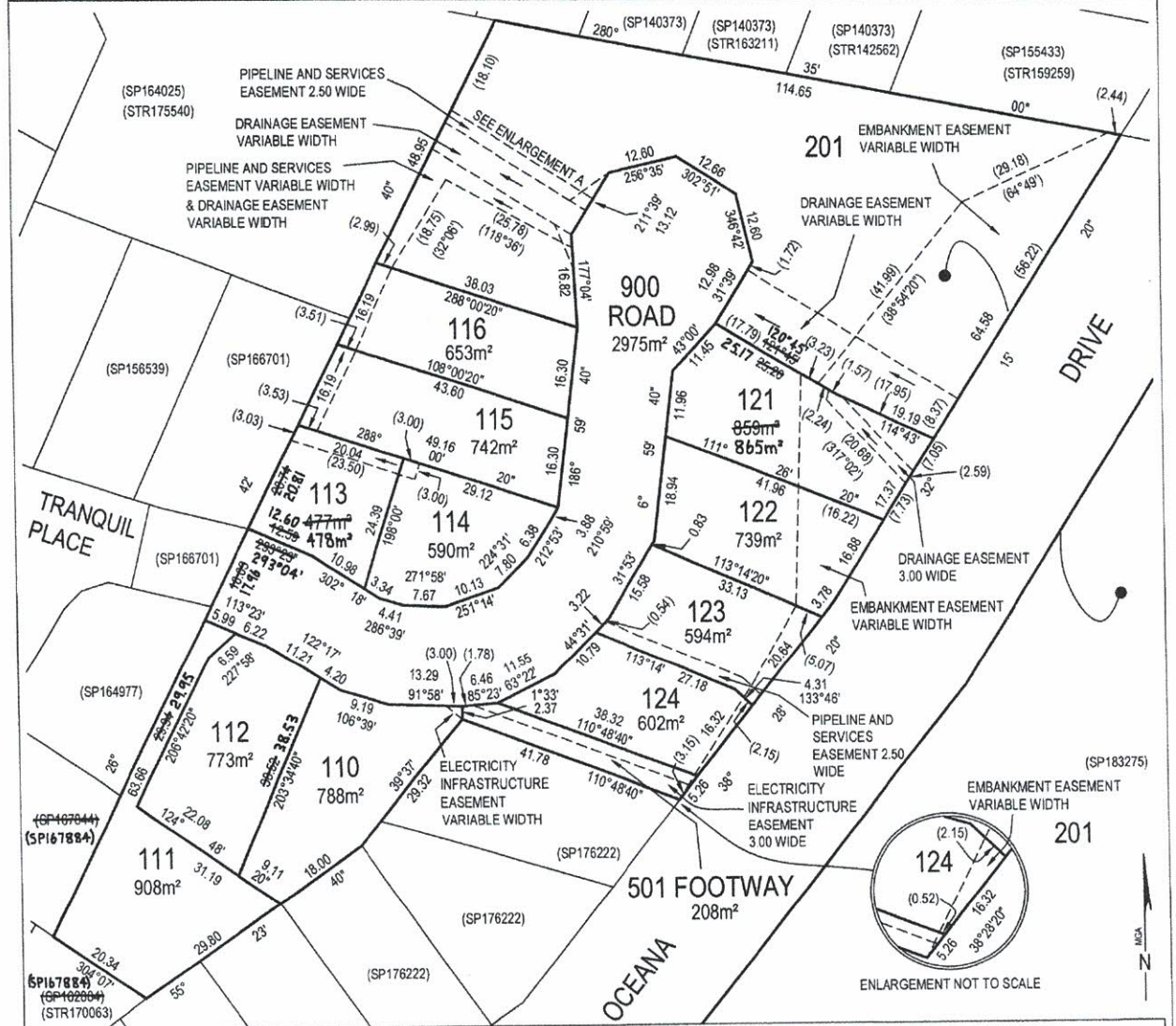
SCHEDULE 2

C30241 Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown
 SP188881 EASEMENTS in Schedule of Easements
 SP188881 COVENANTS in Schedule of Easements
 SP188881 FENCING PROVISION in Schedule of Easements
 SP167884, SP173769, SP174376, SP176222, SP178685, SP179560, SP180503, SP181972 & SP183275 FENCING PROVISION in Schedule of Easements
 C94425 FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

| | | |
|---|--|---|
| <p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 1 SHEETS</p> | <p>OWNER: CAROLYN MARGARET LUCKMAN PAUL LAMONT LUCKMAN JANICE MARY LUCKMAN GREGORY ALAN LUCKMAN</p> <p>FOLIO REFERENCE: CT. 183275/201</p> <p>SCALE 1:750 LENGTH IN METRES</p> | <p>Registered Number</p> <p>SP 188881</p> |
| <p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>[Signature]</i> 11/7/25 Council Delegate Date</p> | <p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 30/4/2025 Registered Land Surveyor Date</p> | <p>APPROVED EFFECTIVE FROM 11 AUG 2025</p> <p><i>[Signature]</i> Recorder of Titles</p> |



| | |
|--|-------------------|
| SCHEDULE OF EASEMENTS | Registered Number |
| NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED. | SP 188881 |

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 110 is subject to an ^{electricity * ~~sewer~~} ^(as defined herein) ~~electrical~~ infrastructure easement with the benefit of a restriction as to user of land in gross (in favour of TasNetworks) over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT VARIABLE WIDTH passing through that lot on the plan.

Lots 113-116 are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked DRAINAGE EASEMENT VARIABLE WIDTH passing through such lot on the plan


Lots 113-116 are each subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH ("the Easement Land") passing through such lot on the plan

Lot 121 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked DRAINAGE EASEMENT 3.00 WIDE passing through that lot on the plan

Lots 121-124 are each subject to an embankment easement in gross as defined herein (in favour of Clarence City Council) over the land marked EMBANKMENT EASEMENT VARIABLE WIDTH within such lot on the plan

Lot 201 is subject to a right of drainage in gross (in favour of Clarence City Council) over the land marked DRAINAGE EASEMENT VARIABLE WIDTH passing through that lot on the plan

Lot 123 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT 2.50 WIDE ("the Easement Land") passing through that lot on the plan. * ~~sewer~~
 (USE ANNEXURE PAGES FOR CONTINUATION)

| | |
|---|--|
| SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REF: 183275-201 SOLICITOR & REFERENCE: TFR LAWYERS (SH 25-04240) | PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: <u>11/7/25</u> SD-2009-29 REF NO.  Council Delegate |
| NOTE: The Council Delegate must sign the Certificate for the purposes of identification. | |

* ~~sewer~~ Sam Platts
 Leary Cox and Cripps Survey
 Surveyor for the owners
 8/8/25

| | |
|---|---|
| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 6 PAGES | Registered Number SP 188881 |
| SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REFERENCE: 183275-201 | |

and lot 213
 Lot 201 is subject to a pipeline and services easement in gross as defined herein (in favour of TasWater) over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH and PIPELINE & SERVICES EASEMENT 2.50 WIDE ("the Easement Land") passing through that lot on the plan

and lot 501 * *Subplot*
 Lot 201 is subject to an embankment easement in gross as defined herein (in favour of Clarence City Council) over the land marked EMBANKMENT EASEMENT VARIABLE WIDTH within that lot on the plan

electricity * *Subplot* (as defined herein)
 Lot 501 is subject to an electrical infrastructure easement with the benefit of a restriction as to user of land in gross (in favour of TasNetworks) over the land marked ELECTRICITY INFRASTRUCTURE EASEMENT 3.00 WIDE passing through that lot on the plan

FENCING PROVISION

In respect to the lots on the plan the vendor (Paul Lamont Luckman, Janice Mary Luckman, Gregory Alan Luckman and Carolyn Margaret Luckman) shall not be required to fence

COVENANTS

The owners of lots 110-116 & 121-124 on the plan covenant with Paul Lamont Luckman, Janice Mary Luckman, Gregory Alan Luckman and Carolyn Margaret Luckman and the owners for the time being of every other lot on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot on the plan to observe the following stipulations-

1. Not to carry on the whole or any part or any process of any business upon such lot subject to the exception that the whole of any dwelling erected on such lot may be let by the owner
2. Not without the consent of Clarence City Council to cut down, lop or destroy on such lot any tree, shrub or growth of a like character providing always that this covenant shall not apply to cutting down, topping, lopping, destruction or renewal of any tree, shrub or growth of a like character for the purpose of obtaining access to such lot for building thereon, installation of services or by reasons of considerable safety
3. Not to further subdivide such lot (provided the stipulation shall not apply to a boundary adjustment)

P L Luckman: *PL* J M Luckman: *JL* G A Luckman: *GA* C M Luckman: *CM*

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

*My Sarah Holloway
 THE Lawyers PL 3/6/25
 Solicitor for the annex* *Sam Platts
 Leary Cox and Cripps Surveyors
 Surveyor for the owners 3/6/25
 8/8/12*

| | |
|--|--|
| <p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p> | <p>Registered Number</p> <p>SP 188881</p> |
| <p>SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REFERENCE: 183275-201</p> | |

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;

P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

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| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 4 OF 6 PAGES | Registered Number SP 188881 |
| SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REFERENCE: 183275-201 | |

- (c) Inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Electricity infrastructure easement with the benefit of a restriction as to user of land" means-

FIRSTLY all the full and free right and liberty for Tasmanian Networks Pty Ltd and its successors and its and their servants agents and contractors (hereinafter called "TasNetworks") at all times hereafter:

- a) to maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including power lines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called "electricity infrastructure") of such materials and type as TasNetworks may determine above, on or under the land respectively marked "Electricity Infrastructure Easement XX Wide" on the plan (hereinafter called the "servient land")
- b) to enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying, adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby
- c) to erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of TasNetworks these are necessary for reasons of safety
- d) to cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure
- e) to enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land in consultation with the registered proprietor/s for the purpose of access and regress to and from the servient land

P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

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| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 5 OF 6 PAGES | Registered Number SP 188881 |
| SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REFERENCE: 183275-201 | |

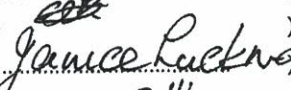
f) nothing herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient land provided that such use does not derogate from this grant or, in the opinion of TasNetworks compromise the safe operation of TasNetworks electricity infrastructure located on, above or under the servient land

SECONDLY the benefit of a covenant for TasNetworks and its successors with the registered proprietors for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of TasNetworks to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described

"Embankment Easement" means the right for Clarence City Council its contractors and agents to enter upon the land shown as "Embankment Easement Variable Width" on the plan to carry out any works from time to time that may be necessary to retain and maintain the earthworks and drainage associated with Oceana Drive but not precluding the servient tenement, subject to approval of the local authority, from constructing or erecting any structure on the land as required to provide access to any part of or to maintain the stability of the servient land

Signed by PAUL LAMONT LUCKMAN)
 In the presence of-)
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Macquarie St
 Hobart TAS 7000




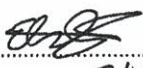
Signed by JANICE MARY LUCKMAN)
 In the presence of-)
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Macquarie St
 Hobart TAS 7000



P L Luckman:  J M Luckman:  G A Luckman:  C M Luckman: 

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|---|---------------------------------------|
| ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 6 OF 6 PAGES | Registered Number SP 188881 |
| SUBDIVIDER: P L LUCKMAN & OTHERS FOLIO REFERENCE: 183275-201 | |


 Signed by GREGORY ALAN LUCKMAN)
 in the presence of-)
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Macquarie St
 Hobart TAS 7000

Signed by CAROLYN MARGARET LUCKMAN)
 in the presence of- )
 Witness signature: )
 Print Full Name: Emma Sullivan
 Postal Address: 119 Macquarie St
 Hobart TAS 7000

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PINNACLE

| Changes List | | | |
|--------------|---|----------|----------|
| Issue | Description of change | Date | Designer |
| Ch - 01 | RFI: PDPLANPMTD-2025/057356 (W04,W07 size and privacy screen) | 03/12/25 | MG |














Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

15 Tranquil Place, Tranmere Rd. TAS 7018

| | | | |
|-----------------------------|---|-----------------------------|---------------------|
| Owner(s) or Clients | David Woodward | Title Reference | 188881/115 |
| Building Classification | 1a, 10a | Zoning | General residential |
| Designer | Jason Nickerson CC6073Y | Land Size | 742m ² |
| Total Floor Area (Combined) | 106.48m ² Deck 2035m ² | Design Wind Speed | TBA |
| Alpine Area | N/A | Soil Classification | TBA |
| Other Hazards | Low landslip hazard band, Airport obstacle limitation area, Waterway and coastal protection area, Priority vegetation area, Flood-prone areas, Bushfire-prone areas | Climate Zone | 7 |
| | | Corrosion Environment | Medium |
| | | Bushfire Attack Level (BAL) | Low |

| ID | Sheet Name | Issue |
|-------|--------------------|-------|
| A0.01 | Location Plan | DA-02 |
| A0.02 | Site Plan | DA-02 |
| A1.01 | U1 - Floor Plan | DA-02 |
| A1.02 | U1 - Elevations | DA-02 |
| A1.03 | U1 - Elevations | DA-02 |
| A1.04 | U1 - Roof Plan | DA-02 |
| A2.01 | U2 - Floor Plan | DA-02 |
| A2.02 | U2 - Elevations | DA-02 |
| A2.03 | U2 - Elevations | DA-02 |
| A2.04 | U2 - Roof Plan | DA-02 |
| C.01 | Civil Plan | DA-02 |
| C.02 | Parking | DA-02 |
| P.01 | Sewer & Water Plan | DA-02 |

Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor



PINNACLE
 PINNACLE DRAFTING & DESIGN
 7/3 Abernant Way, Cambridge 7170
 03 6248 4218
 admin@pinnacledrafting.com.au
 www.pinnacledrafting.com.au
 Licence: CC6073Y

Location Plan
 Revision: DA-02
 Approved by: JRN

Scale: 1:250 @ A3
 Pg. No: A0.01

Proposal: New Units development
 Client: David Woodward
 Address: 15 Tranquil Place, Tranmere Rd. TAS 7018

Date: 03/12/25
 Drawn by: MG
 Job No: 082-2025
 Engineer: TBA
 Building Surveyor: TBA












| Issue | Date | Designer |
|-------|------|----------|
| | | |

NOTE: Refer to cover page for further details on changes.

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Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

Survey Notes from Surveyor

This plan and associated digital model is prepared from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "per as-constructed" have been imported from existing as-constructed drawings from this subdivision. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

If subsequent design is intended for construction setout, future surveying setout costs are increased if the digital data provided is rotated, scaled or moved.

This note forms an integral part of the plan/data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

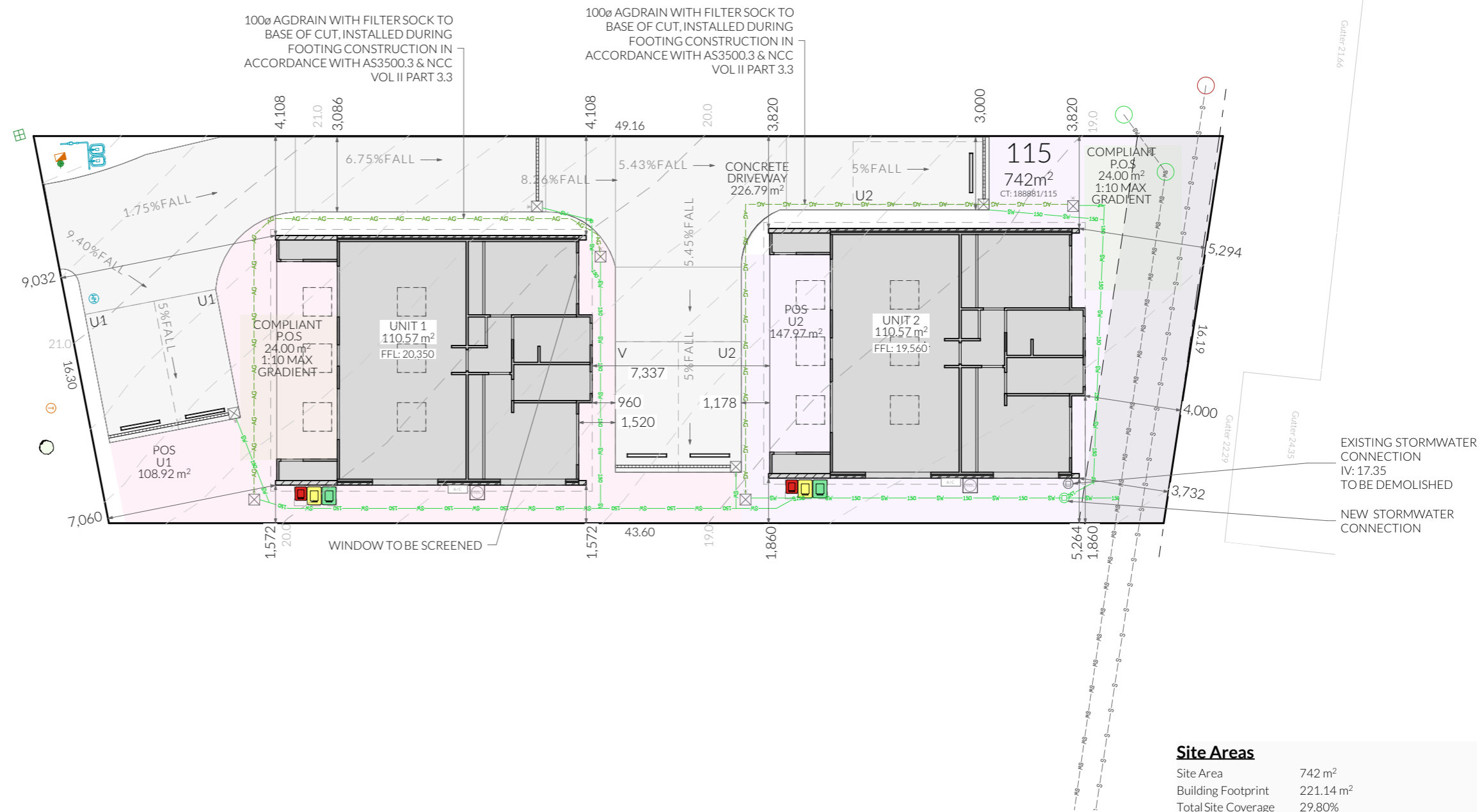
Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.




Note

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.



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| Document Set ID: 5768549 Version: 1, Version Date: 08/12/2025 | | | | | | NOTE: Refer to cover page for further details on changes. | | | | | | | | | |



Access Panel



Articulation Joint



Smoke Alarm

— BATTIS TO WALL

— SOUND INSULATION

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

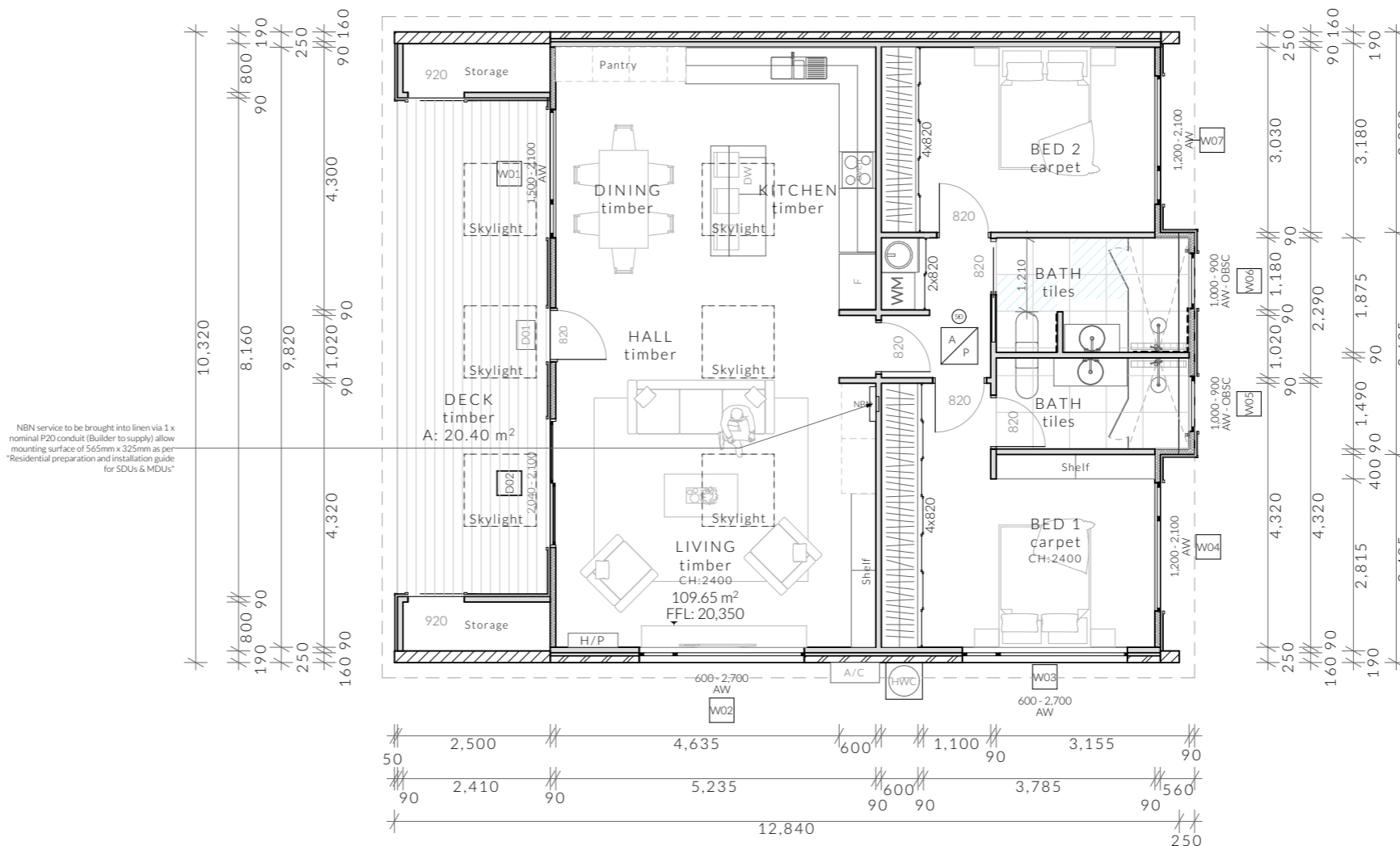
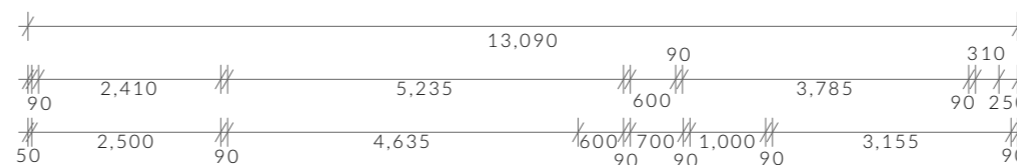
Heights of rooms and other spaces must not be less than;

- (a) in a *habitable room* excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

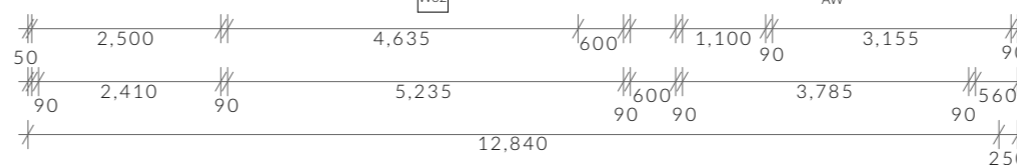
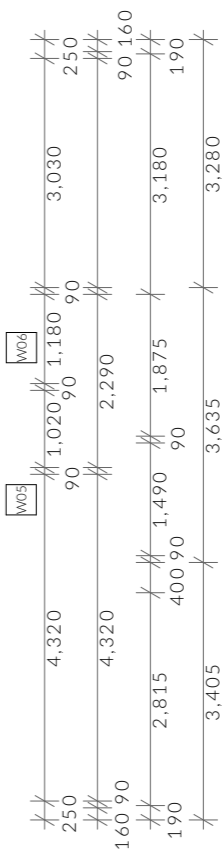
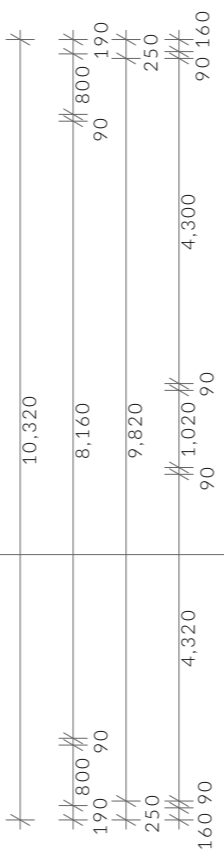
If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

Total Floor Area 109.65m²
 Deck 20.40m²



NBN service to be brought into linen via 1 x nominal P20 conduit (Builder to supply) allow mounting surface of 565mm x 325mm as per Residential preparation and installation guide for SDUs & MDUs*



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U1 - Floor Plan

Revision: DA-02
 Approved by: JRN

Scale: 1:100 @ A3
 Pg. No: A1.01

Proposal: New Units development
 Client: David Woodward
 Address: 15 Tranquil Place, Tranmere Rd. TAS 7018

Date: 03/12/25
 Drawn by: MG
 Job No: 082-2025
 Engineer: TBA
 Building Surveyor: TBA

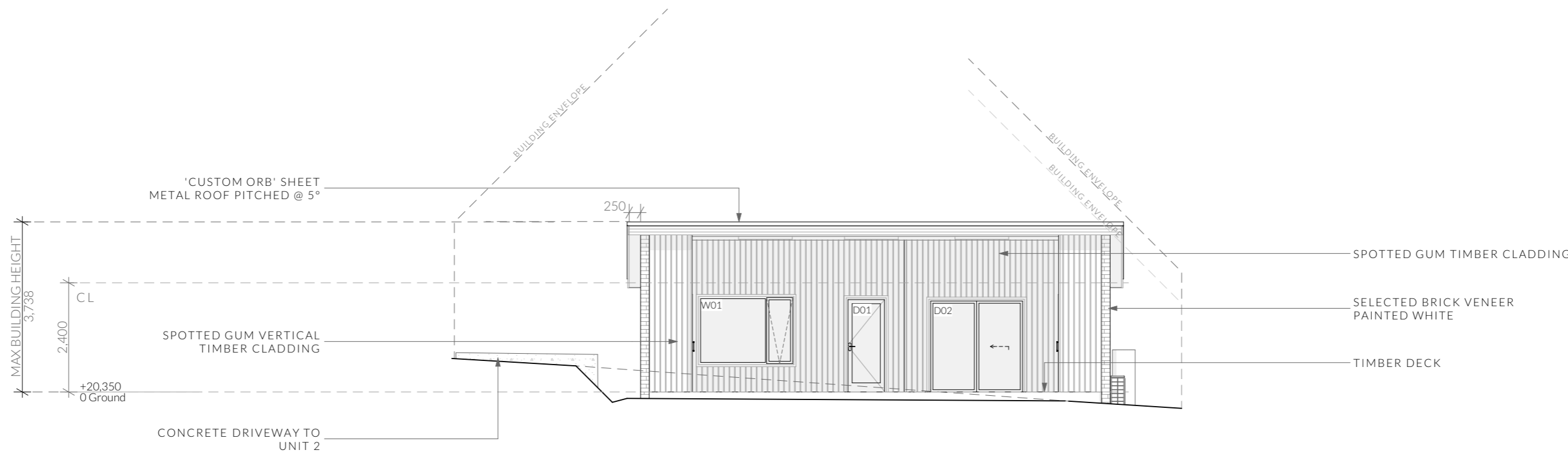
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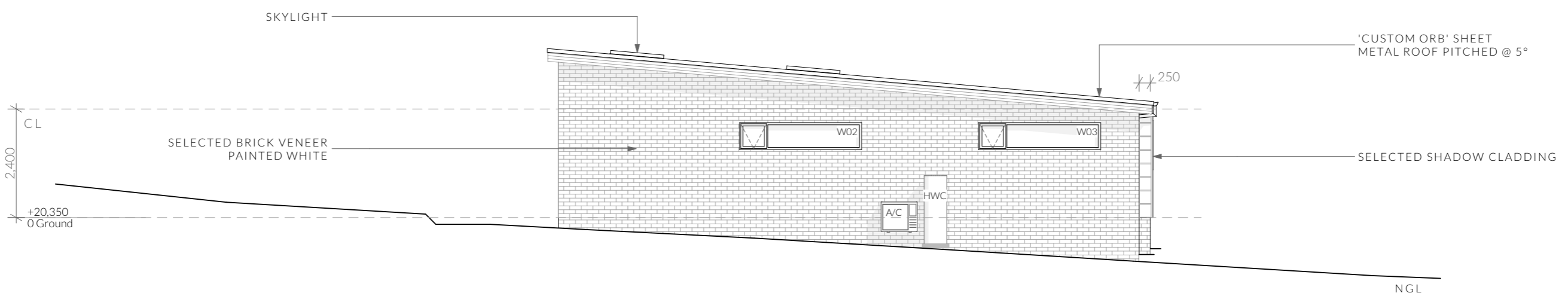


NOTE: Refer to cover page for further details on changes.



Unit 1 - North East Elevation

1:100



Unit 1 - North West Elevation

1:100

NOTE
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

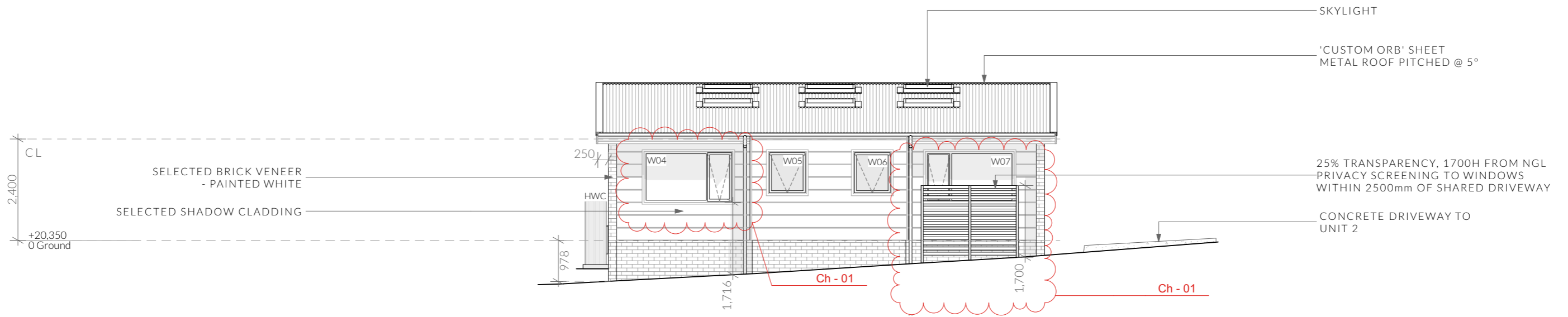
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2
Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

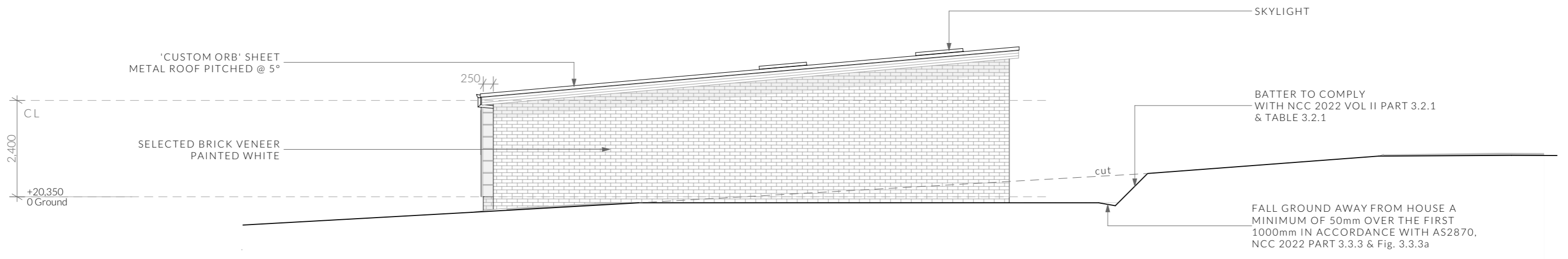
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Unit 1 - South West Elevation

1:100



Unit 1 - South East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

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Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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| Ch - 01 | 03/12/25 | MG | | | | | | | | | | | | |
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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

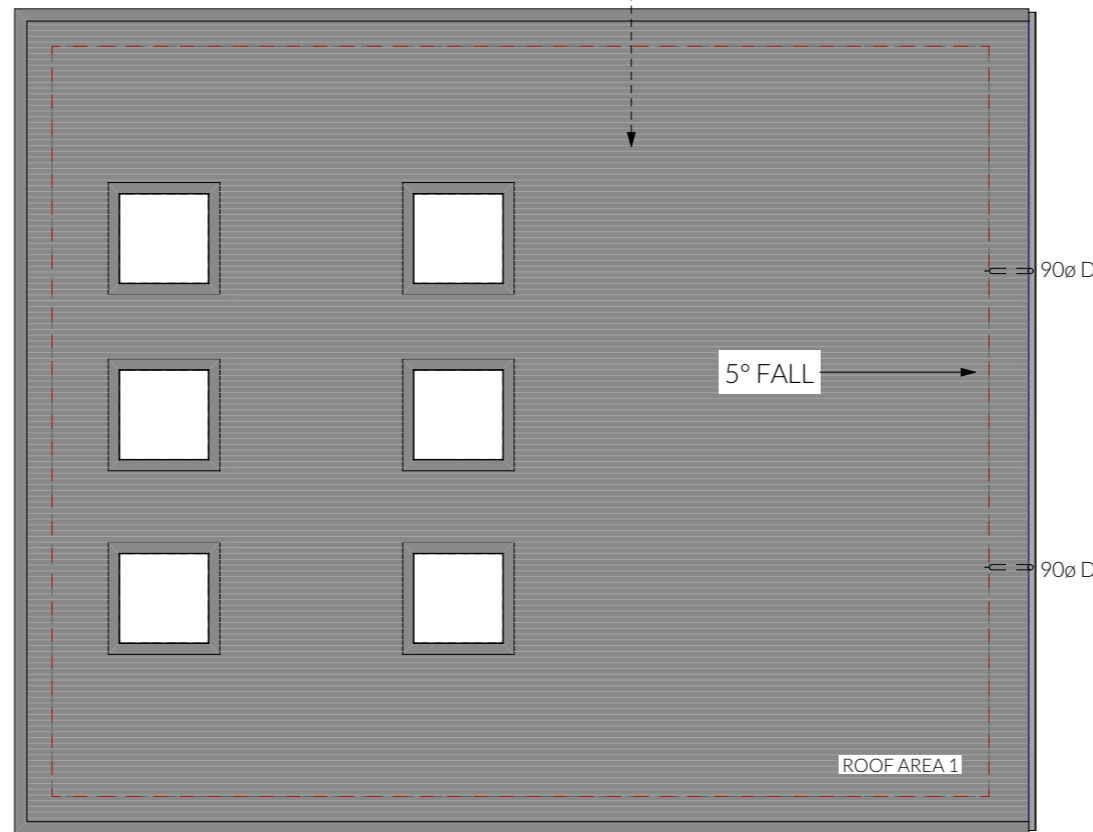
| ROOF PITCH | VENTILATION OF OPENINGS (TABLE 10.8.3) |
|---|---|
| <10° | 25,000 mm ² /m provided at each of two opposing ends |
| (1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically. | |

REQUIRED NUMBER OF ROOF VENTS:

REQUIRED VENT AREA
 Low Vents = 0.25m² (9.92m x 25,000mm²)
 High Vents = 0.25m² (9.92m x 25,000mm²)




EAVE VENTS
 BUILDERS EDGE EAVE VENT (EV4020)
6x 400X200mm(0.042m²) VENTS EVENLY SPACED
 OR
 25mm CONTINUOUS VENT

RIDGE VENT SYSTEM
 BUILDERS EDGE EAVE VENT (EV4020)
6x 400X200mm(0.042m²) VENTS EVENLY SPACED
 OR
 25mm CONTINUOUS VENT



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-  Access Panel
-  Articulation Joint
-  Smoke Alarm

-  - BATTS TO WALL
-  - SOUND INSULATION

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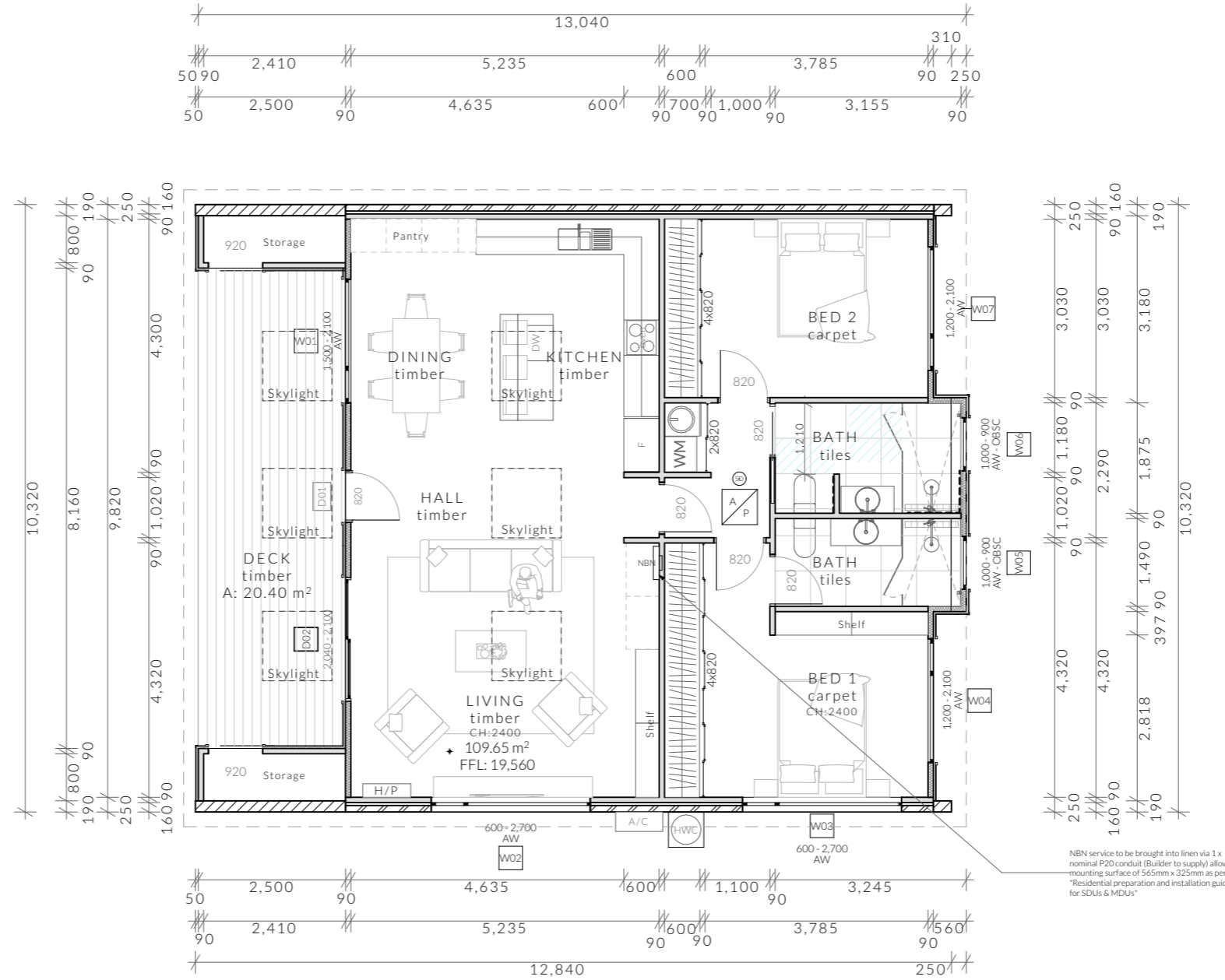
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- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
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- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.




Floor Areas

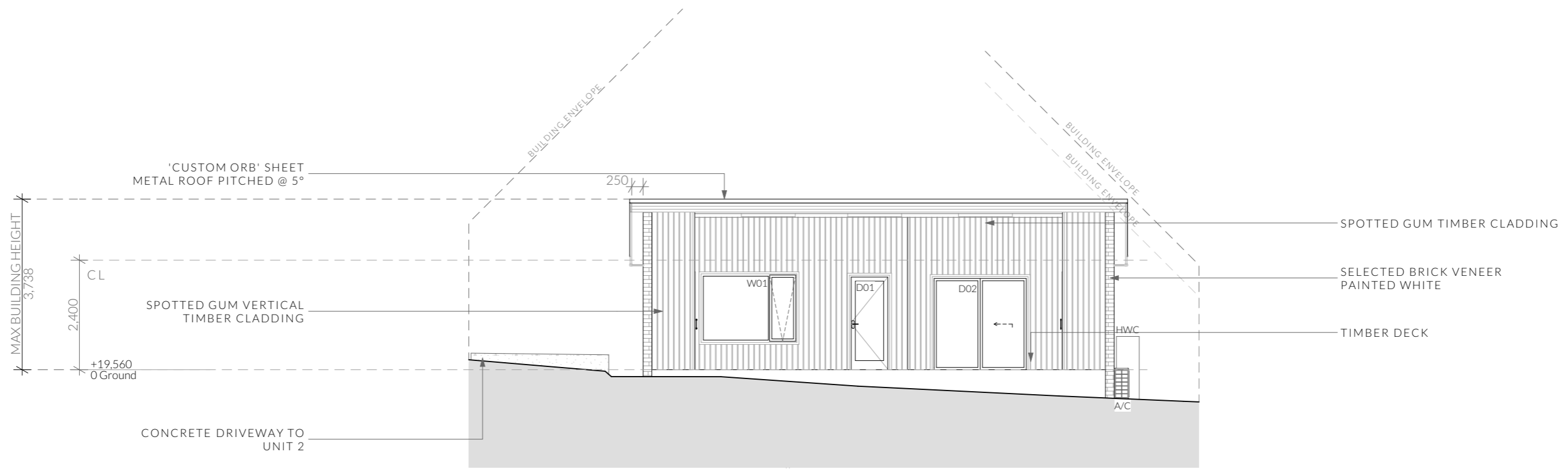
| | |
|-------------------------|----------------------------|
| Lower Floor | 000m ² |
| Upper Floor | 000m ² |
| Total Floor Area | 106.48m² |
| Deck | 2035m ² |



NBN service to be brought into linen via 1 x nominal P20 conduit (Builder to supply) allow mounting surface of 565mm x 325mm as per "Residential preparation and installation guide for SDUs & MDUs"

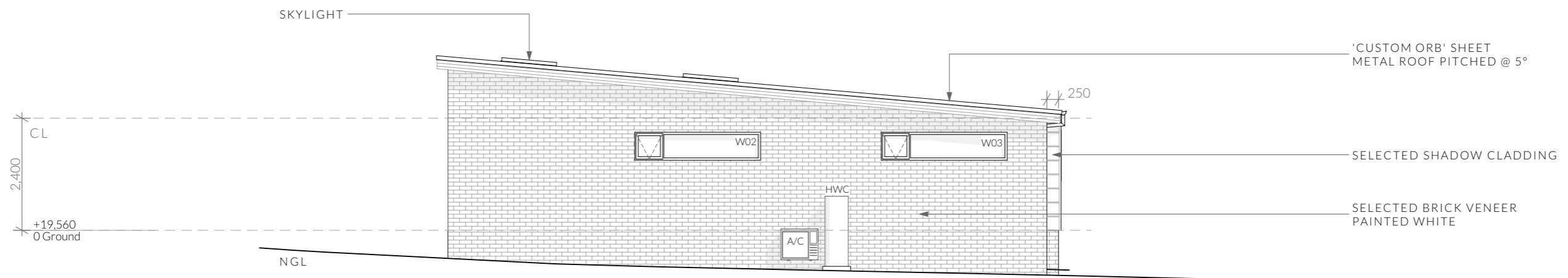
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| Document Set ID: 5768549 Version: 1, Version Date: 08/12/2025 | | | | | | | | | | | | | | | |



Unit 2 - North East Elevation

1:100



Unit 2 - North West Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

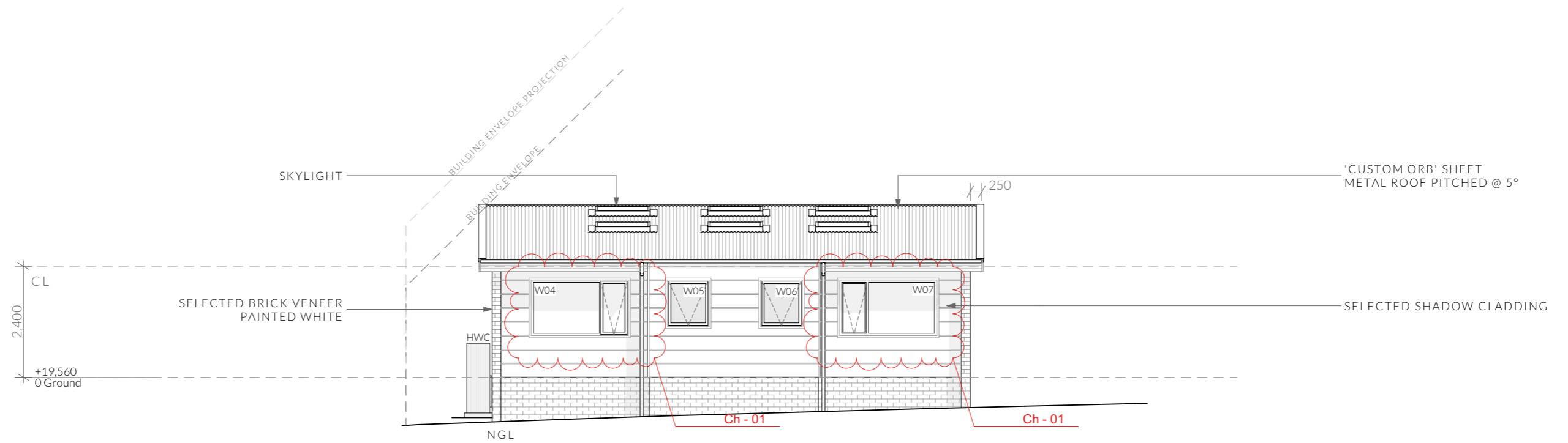
Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

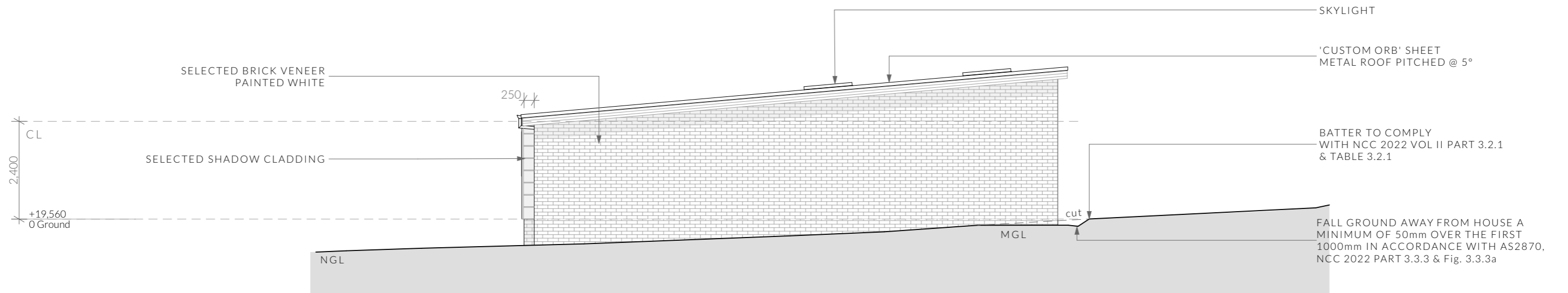
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Unit 2 - South West Elevation

1:100



Unit 2 - South East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

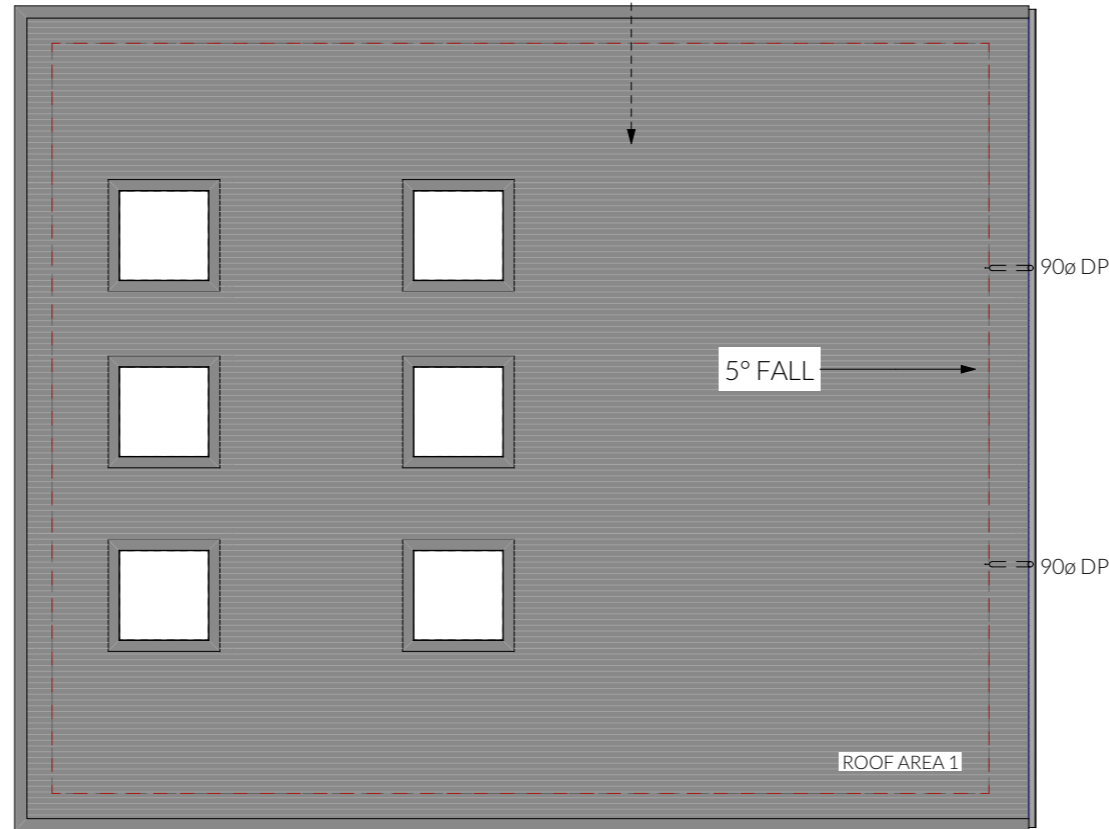
| ROOF PITCH | VENTILATION OF OPENINGS (TABLE 10.8.3) |
|---|---|
| <10° | 25,000 mm ² /m provided at each of two opposing ends |
| (1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof. (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically. | |

REQUIRED NUMBER OF ROOF VENTS:

REQUIRED VENT AREA
 Low Vents = 0.25m² (9.92m x 25,000mm²)
 High Vents = 0.25m² (9.92m x 25,000mm²)

EAVE VENTS
 BUILDERS EDGE EAVE VENT (EV4020)
6x 400X200mm(0.042m²) VENTS EVENLY SPACED
 OR
 25mm CONTINUOUS VENT

RIDGE VENT SYSTEM
 BUILDERS EDGE EAVE VENT (EV4020)
6x 400X200mm(0.042m²) VENTS EVENLY SPACED
 OR
 25mm CONTINUOUS VENT



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Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
- (i) 25mm over the first 1m from the building
 - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
 - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
 - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
- (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
 - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-







- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and
 - (ii) provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be **Class B**.

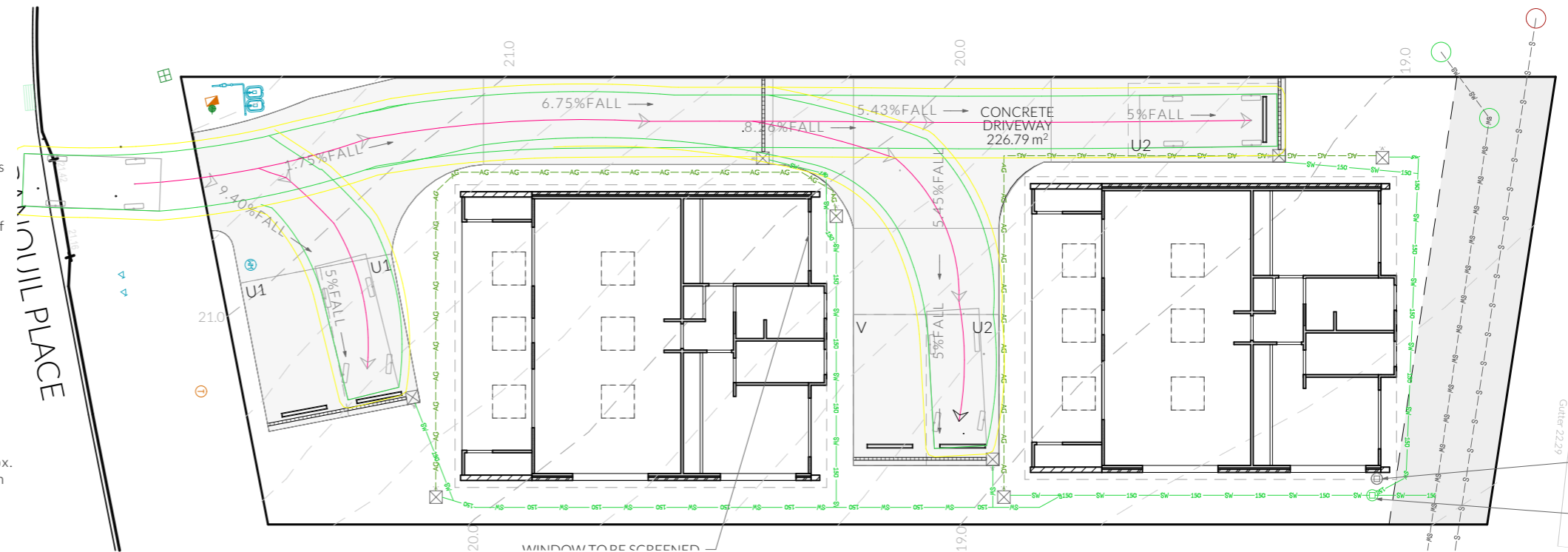
Stormwater pits are indicative. Location may vary depending on site conditions.

Legend

-  SW - Stormwater Line
-  AG - Ag Drain
-  - Stormwater Connection
-  - Class A 300mm Stormwater Pit
-  - Class B 450mm Stormwater Pit
-  - 100mm wide trafficable grate drain

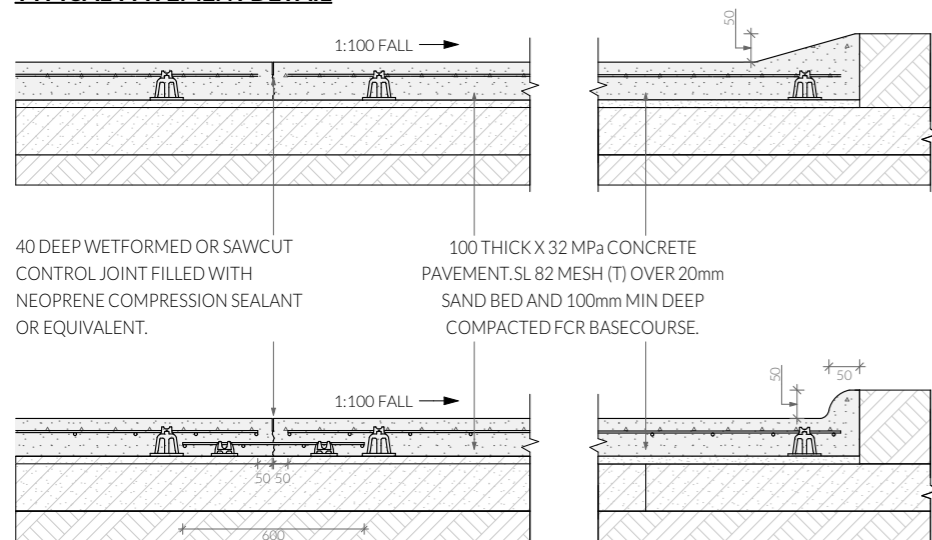
General Notes

- Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100mm deep compacted FCR basecourse layer.
- Concrete strength shall be 32 mpa min.
- Provide control joints at 6.0 m centres - refer detail.
- Compact concrete using mechanical vibrators.
- Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
- Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
- All new and/or altered service connections shall be undertaken by council at the developer's expense.
- Provide 100Ø agricultural drains at base of cut and connect to stormwater at lowest point
- Driveway to be min 100mm thick 32mpa concrete with s182 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
- Driveway to be sloped to integrated kerb and gutter system on low side of driveway
- Rainwater pipes to be PVC or Colorbond finish metal.
- Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.



1:200

TYPICAL PAVEMENT DETAIL



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Civil Plan

Revision:
Approved by:

DA-02
JRN

Scale:
1:200 @ A3
Pg. No:
C.01

Proposal: New Units development
Client: David Woodward
Address: 15 Tranquil Place, Tranmere Rd. TAS
7018

Date: 03/12/25
Drawn by: MG
Job No: 082-2025
Engineer: TBA
Building Surveyor: TBA

| Issue | Date | Designer |
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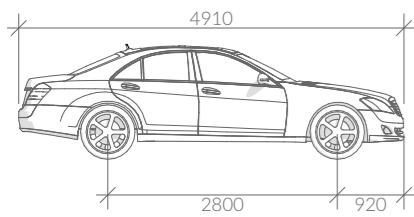
bdoo
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ASSOCIATION OF AUSTRALIA

Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



B85 Vehicle Dimensions

Width: 1870
Track: 1770
L-L Time: 6.0
Turning Radius: 5800

Parking Space requirements

As defined by the Parking and Sustainable Transport Code - Table C2.3

Parking Dimensions - 90°

Width: 2600 2800 3000 3200
Length: 5400 5400 5400 5400
Aisle Width: 6400 5800 5200 4800

Parking Dimensions - 45°

Width: 2600
Length: 5400
Aisle Width: 3500

Parking Dimensions - Parallel

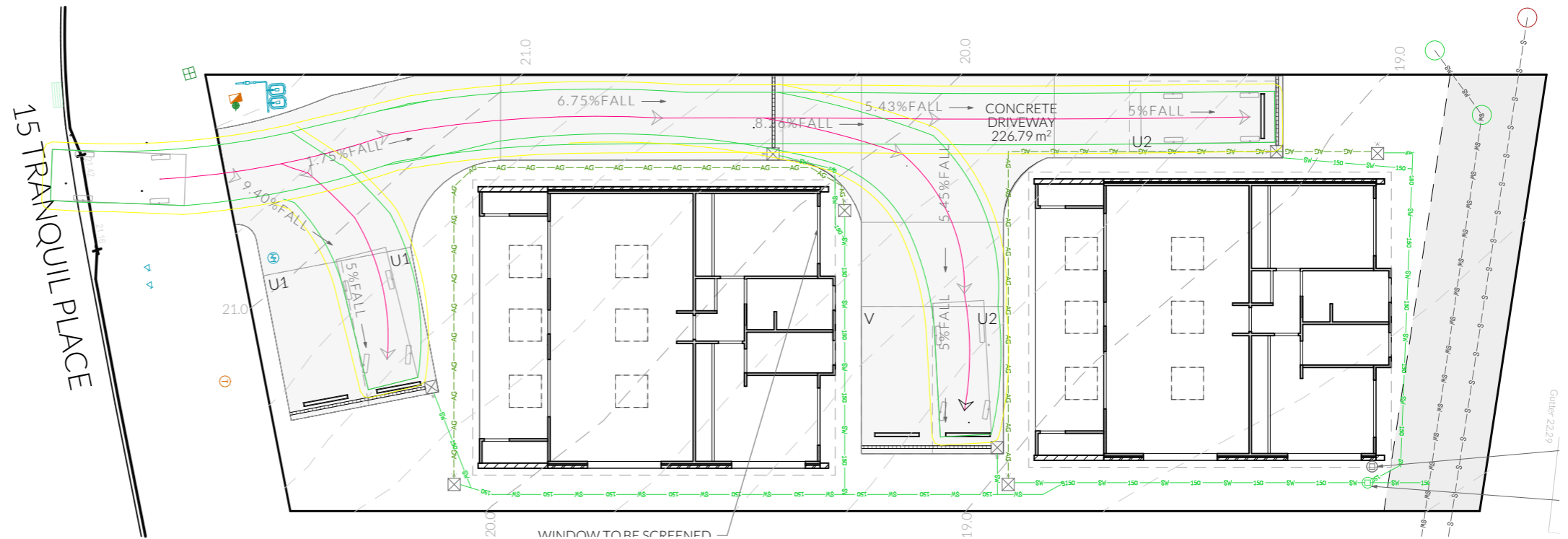
Width: 2300
Length: 6700
Aisle Width: 3600

Legend

- - Solar Bollard Lighting
- ▽ - Spotlight with Sensor

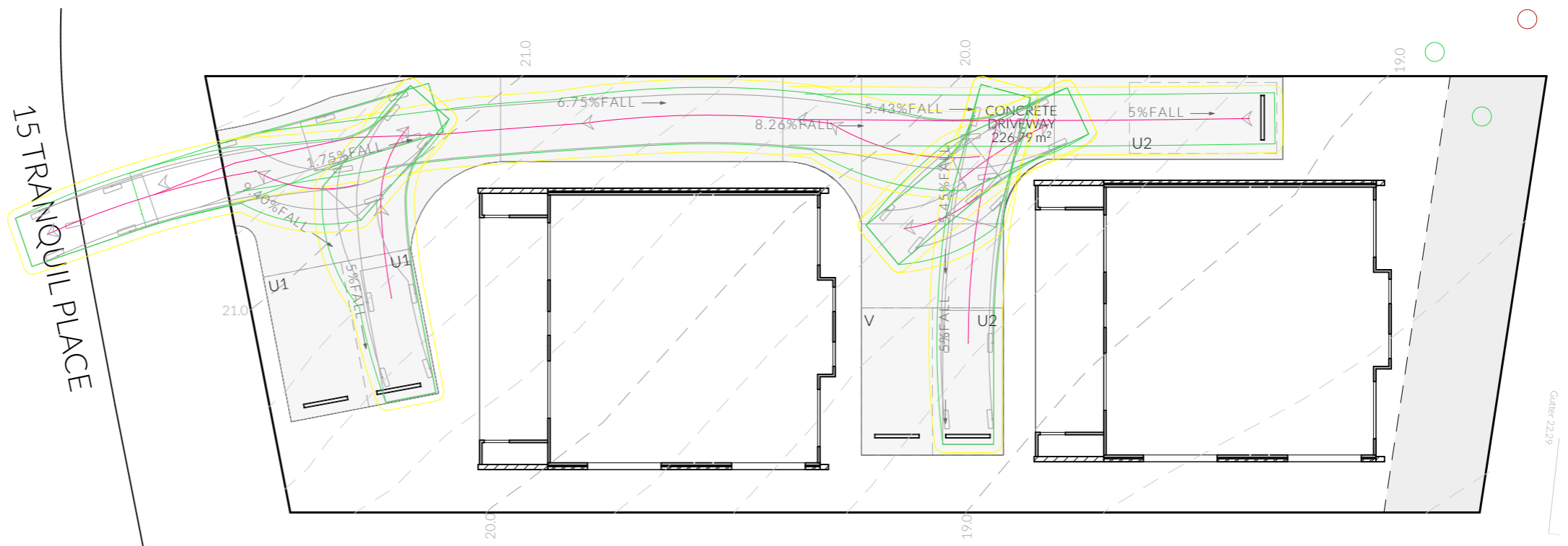
Turning Path Legend

- LINE OF BODY
- 300mm BODY CLEARANCE
- ← DIRECTION OF TRAVEL



Parking IN

1:200



Parking OUT

1:200

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Plumbing Notes

All plumbing to be in accordance with AS3500, NCC Vol III, Tas Plumbing Code and local authority regulations.

Sewer and stormwater to mains connections, plumber to verify location on site. (refer to site plan.)

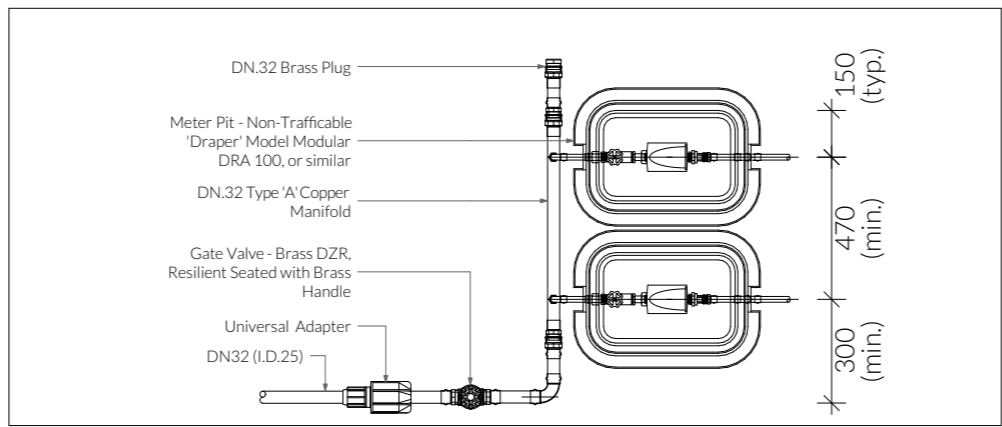
All works are to be in accordance with the water supply code of Australia WSA 03-2011-3.1 version 3.1 MRWA edition v2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA version 2 and TasWater's supplements to these codes.

Minimum gradient on sewer pipes as per AS3500.2.2

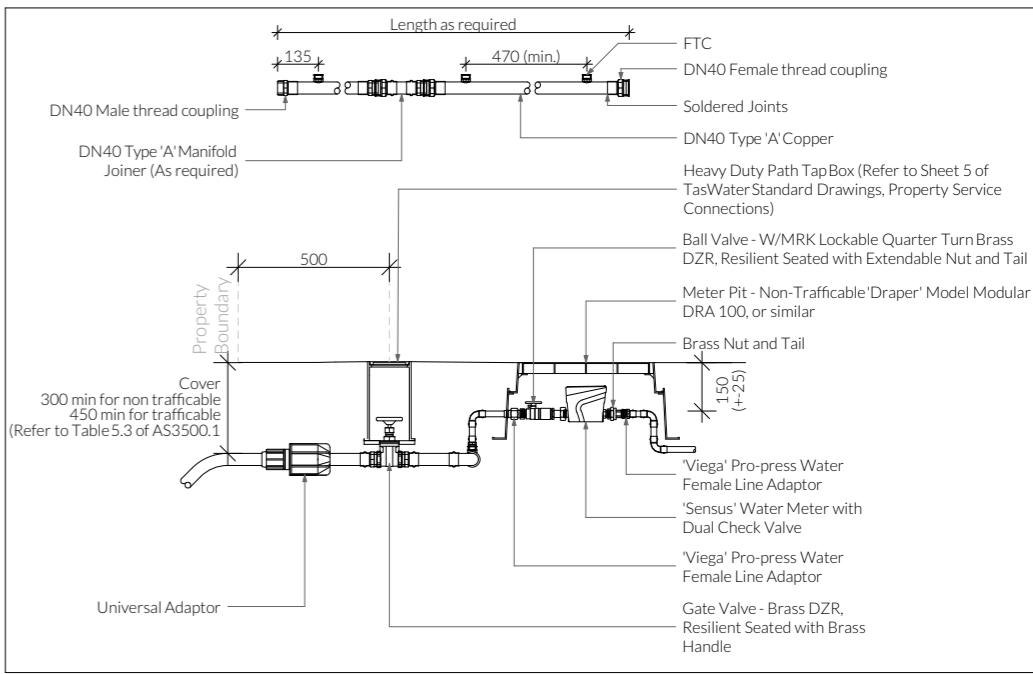
- 65ø = 1:40 (2.5%)
- 80ø, 100ø = 1:60 (1.65%)
- 125ø = 1:80 (1.25%)
- 150ø = 1:100 (1.00%)

Note

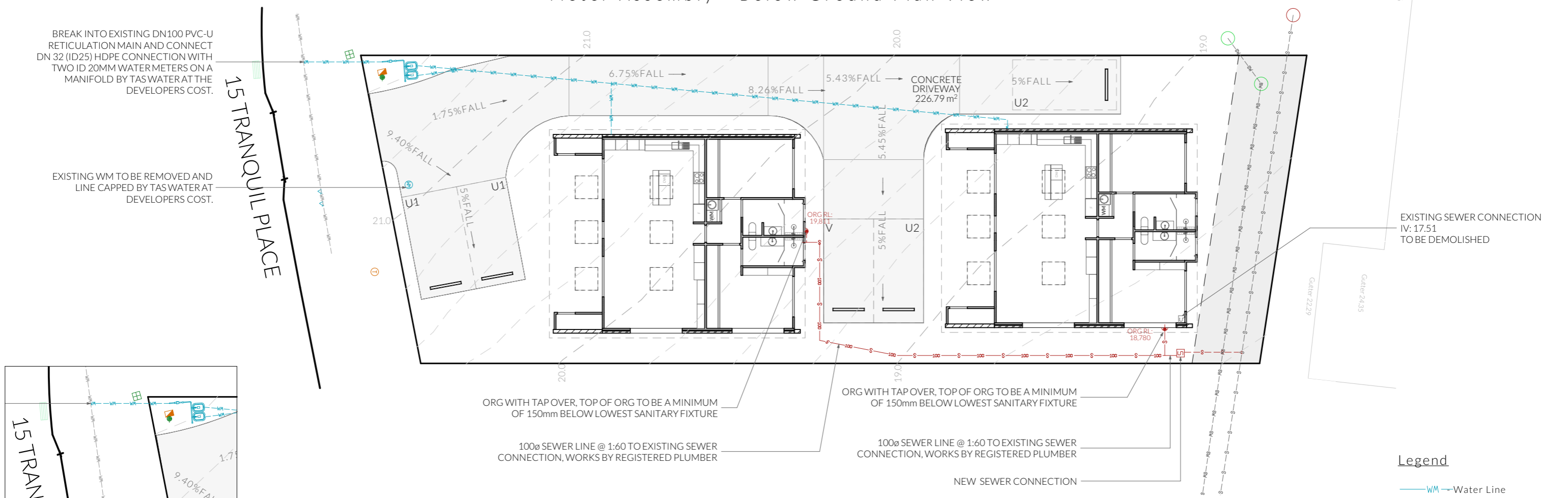
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Meter Assembly - Below Ground Plan View



Meter Assembly - Profile View



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