



DEVELOPMENT APPLICATION

PDPLANPMTD-2026/058607

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 117 Bayview Road, Lauderdale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 16/04/2026

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 16/04/2026. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 16/04/2026.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: Proposed Deck Addition

Location: 117 Bayview Road, Lauderdale TAS 7021

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Residential**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Date: **22/01/2026**

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

| | |
|-----------------|------------------------------|
| VOLUME 17614 | FOLIO 84 |
| EDITION 5 | DATE OF ISSUE 02-May-2014 |

SEARCH DATE : 12-Jan-2026

SEARCH TIME : 09.57 am

DESCRIPTION OF LAND

City of CLARENCE

Lot 84 on Plan [17614](#)

Being the land described in Conveyance 38/7779

Derivation : Part of 225 acres, D. Stanfield

Derived from A13519

SCHEDULE 1

[M460226](#) TRANSFER to GABRIELLE ROBYN ASH and KIM MAREE
FAZACKERLEY Registered 02-May-2014 at 12.01 pm

SCHEDULE 2

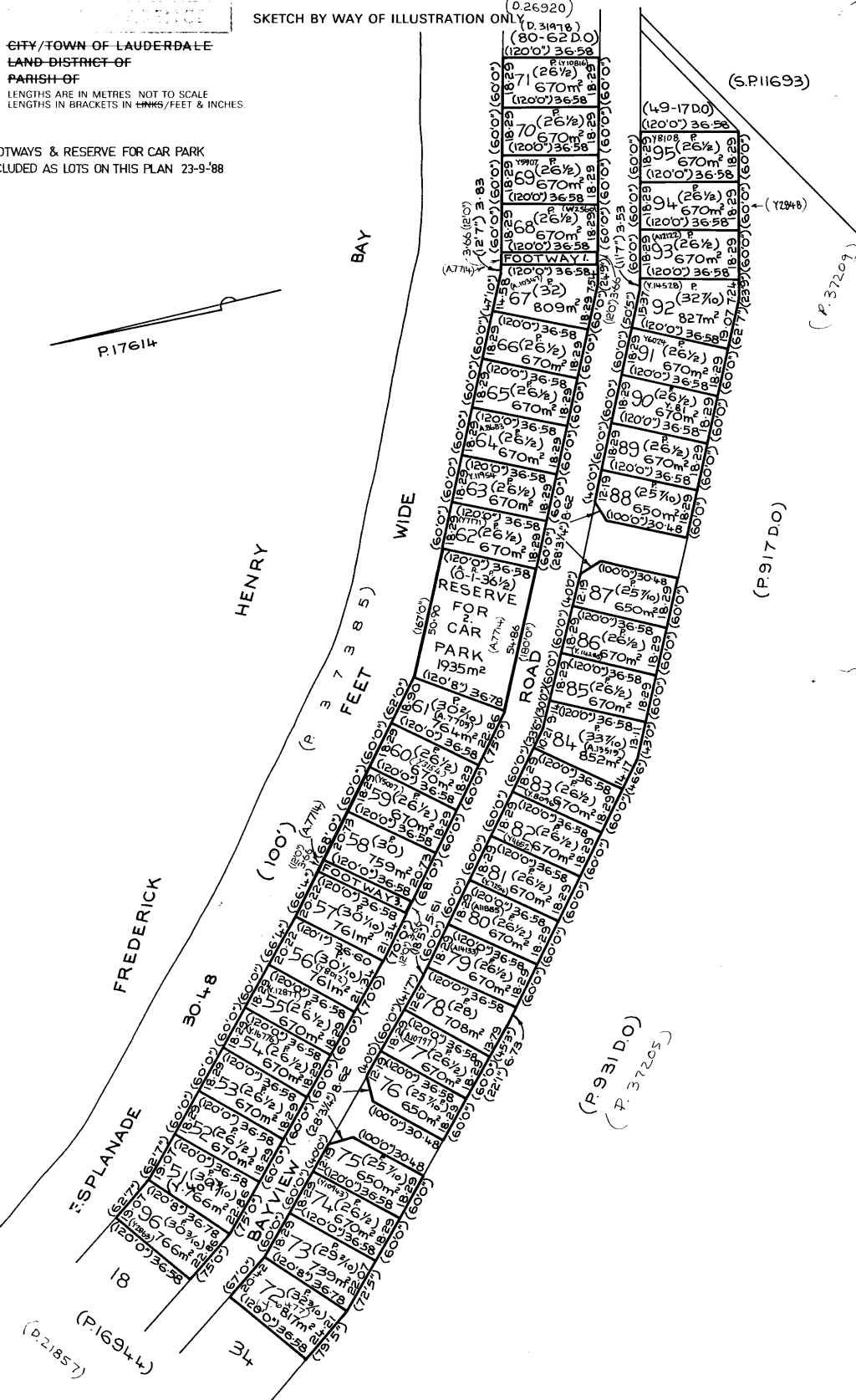
Reservations and conditions in the Crown Grant if any

[D123878](#) MORTGAGE to Australia and New Zealand Banking Group
Limited Registered 02-May-2014 at 12.02 pm

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

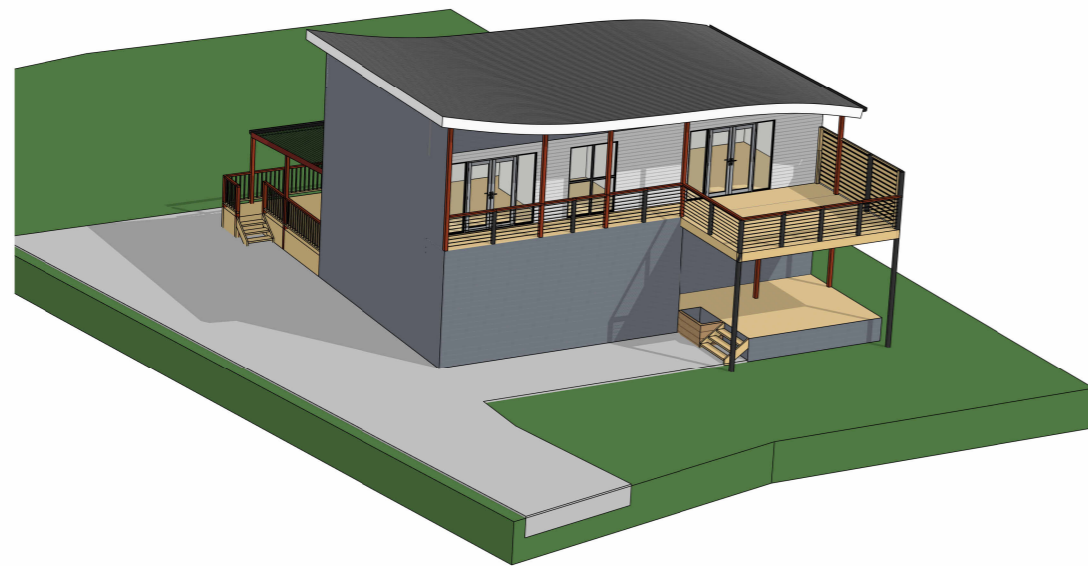
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|---|---|-------------------------------------|
| APPROVED FROM <i>J. Brindley</i> RECORDER OF TITLES | CONVERSION PLAN | REGISTERED NUMBER P.17614 |
| FILE NUMBER Y. 81 | GRANTEE: PART OF 225.0.0 D. STANFIELD. (P.6340.0.) | B. HILL. 5.2.82 |





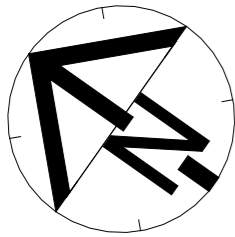
AP2025-2523 - PROPOSED DECK ADDITION
 117 Bayview Road
 LAUDERDALE

| SHEET | | DRAWING TITLE |
|-------|---|--------------------------------------|
| 01 | | SITE PLAN |
| 01a | A | EROSION AND SEDIMENT CONTROL PLAN |
| 02 | | EXISTING GROUND FLOOR PLAN |
| 02a | | EXISTING/DEMOLITION FIRST FLOOR PLAN |
| 03 | | EXISTING/DEMOLITION ELEVATIONS |
| 04 | | PROPOSED GROUND FLOOR PLAN |
| 04a | | PROPOSED FIRST FLOOR PLAN |
| 05 | | PROPOSED ELEVATIONS |
| 05a | | PERSPECTIVE VIEWS |



| | | | | | |
|-----|--|--------------|-------|---------|-------|
| A | Council RFI: Provide Erosion and Sediment Control plan | 25 Mar. 2026 | RJ | SW | 01a |
| | DA PLAN SET | 14 Jan. 2026 | RJ | ST | 01-05 |
| No. | Amendment | Date | Drawn | Checked | Sheet |

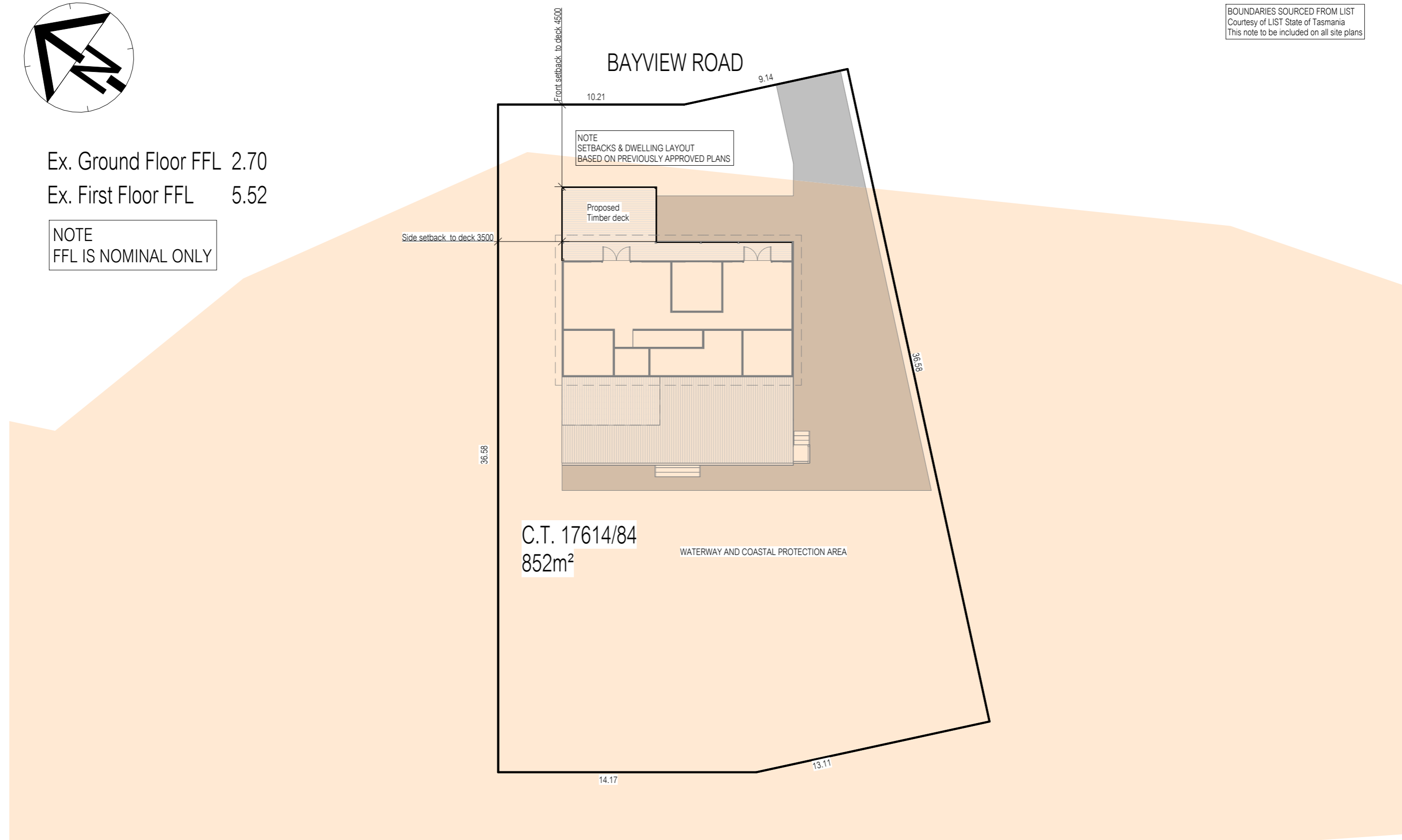
| | | | | | |
|---|---|--|--|--------------------|--|
| Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. | Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 171 NORTH HOBART LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au | Client / Project info PROPOSED DECK ADDITION 117 Bayview Road LAUDERDALE | Soil Classification: TBC Title Reference: CT167144/84 Floor Areas: UNCHANGED Porch / Deck Areas: REFER TO PLANS Wind Speed: TBC Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: VERY HIGH Certified BAL: Not Bushfire Prone Designed BAL: Not Bushfire Prone (Refer to Standard Notes for Explanation) | COVER SHEET | |
| | | | Date 14 January 2026 Sheet 00/05 | | |



BOUNDARIES SOURCED FROM LIST
 Courtesy of LIST State of Tasmania
 This note to be included on all site plans

Ex. Ground Floor FFL 2.70
 Ex. First Floor FFL 5.52

NOTE
 FFL IS NOMINAL ONLY



| No. | Date | Int. | Amendment changes as per cover sheet |
|-----|------|------|--------------------------------------|
| | | | |

Notes

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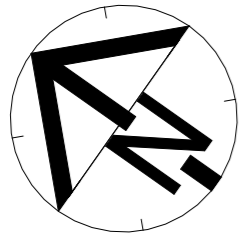
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Client / Project info
 PROPOSED DECK ADDITION
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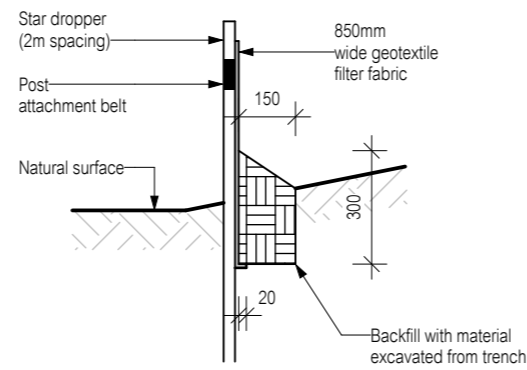


SITE PLAN

| | | |
|-------|-----------------|-------------|
| Drawn | RJ | AP2025-2523 |
| Date | 14 January 2026 | Sheet |
| Scale | 1:200 | 01/05 |

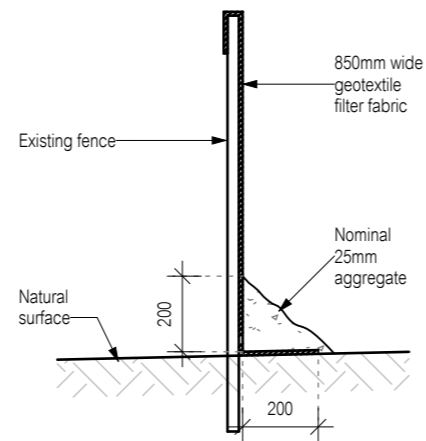


Ex. Ground Floor FFL 2.70
 Ex. First Floor FFL 5.52



SILT STOP TYPE 1

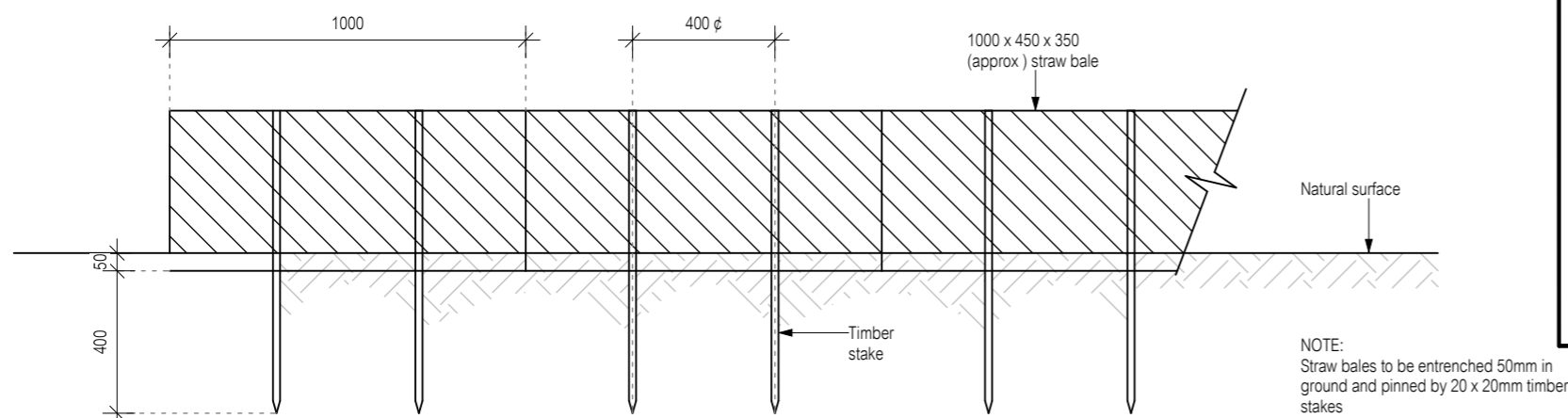
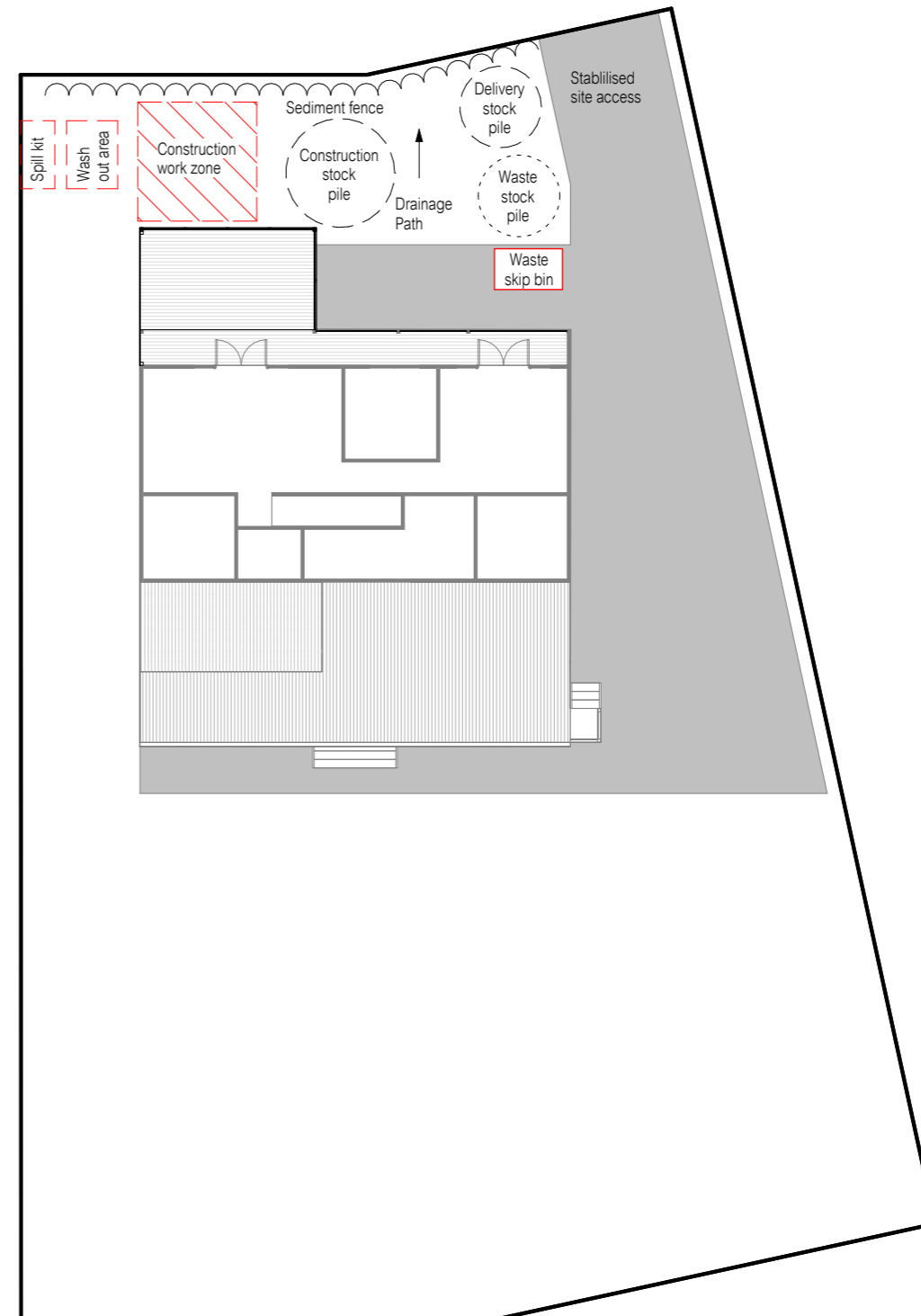
TEMPORARY FENCE 1:20



SILT STOP TYPE 2

EXISTING FENCE 1:20

- NOTES**
- All erosion and sediment controls (E&SC) must be installed prior to commencing work.
 - E&SC must be inspected daily & maintained in good working order at all times. Stockpile protection, including sediment fences above and/or below, must be secured prior to site being left unoccupied (ie. over the weekend).
 - All stockpiles must be securely covered with impervious cover to prevent erosion, dust and litter.
 - Site inductions must include all aspects of the E&SC Plan.
 - All vegetation outside of the zone of disturbance must be protected throughout construction.
 - All temporary controls must be removed and the site stabilised prior to completion.
 - Prevention of sediment loss is the primary pollution control to support the health of Tasmanian waterways.
- PROTECTED WASH OUT AREA:** Chemical, mortar, concrete and paint clean-up area. Dispose of pollutants and used containers immediately to appropriate location.
- SPILL KITS:** Co-locate spill kit near construction work zone.
- WASTE STOCKPILE:** Secure and cover as required to prevent dust & litter. Transfer waste to waste bin at the end of each day.
- WASTE BIN:** Secure and cover as required to prevent dust & litter. Securely cover at all times when site unoccupied.



STRAW BALE SEDIMENT TRAP SECTION DETAIL

SCALE 1:20

NOTE:
 Straw bales to be entrenched 50mm in ground and pinned by 20 x 20mm timber stakes



| | | |
|-----|--------------|------|
| A | 25 Mar. 2026 | RJ |
| No. | Date | Int. |

Amendment changes as per cover sheet

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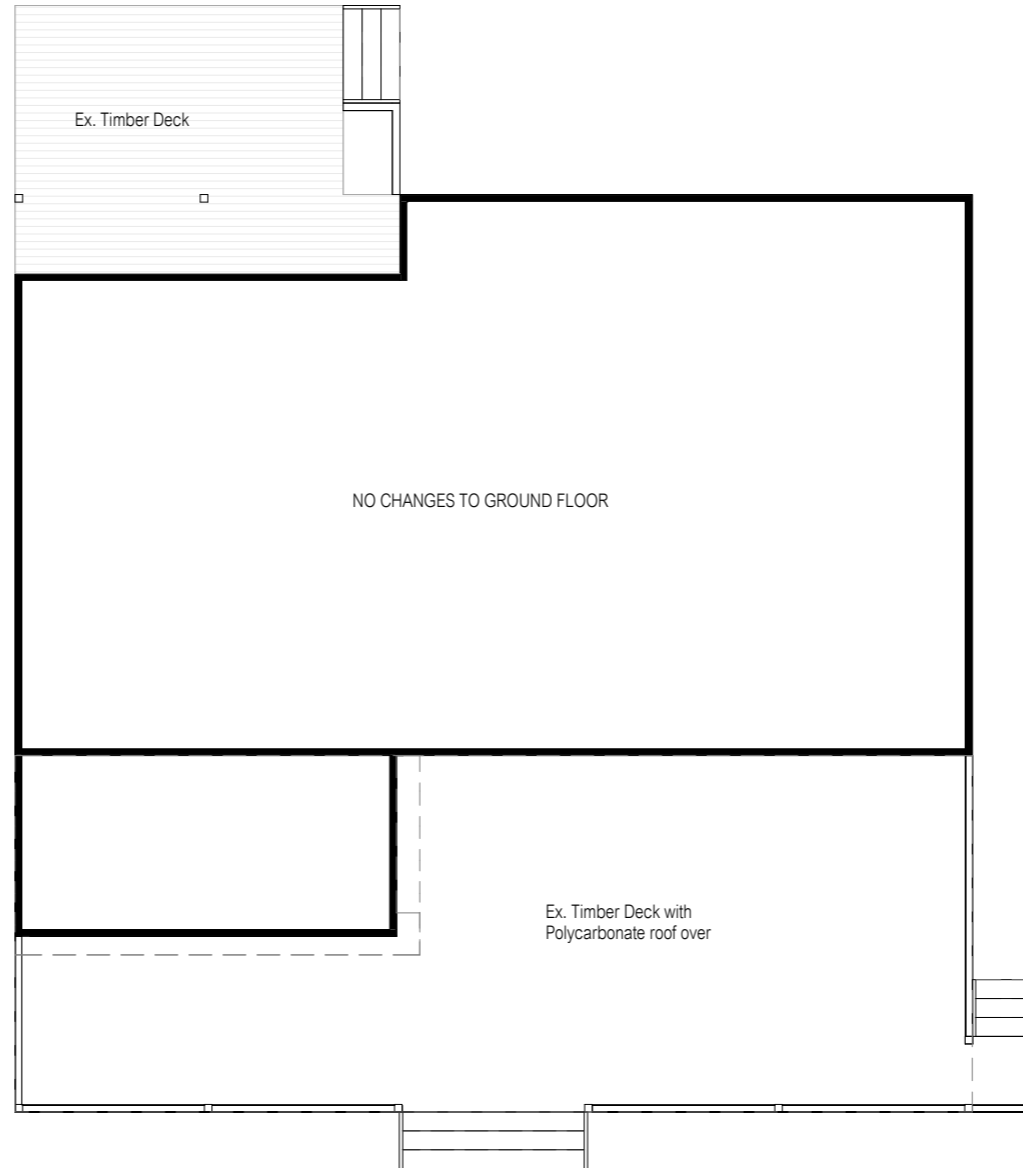
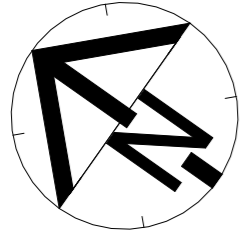
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 LAUDERDALE



EROSION AND SEDIMENT CONTROL PLAN

| | | |
|-------|---------------|-------------|
| Drawn | RJ | AP2025-2523 |
| Date | 25 March 2026 | Sheet |
| Scale | As indicated | 01a/05 |



NOTE
DWELLING LAYOUT BASED ON
PREVIOUSLY APPROVED PLANS



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| No. | Date | Int. | Amendment changes as per cover sheet |
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Notes

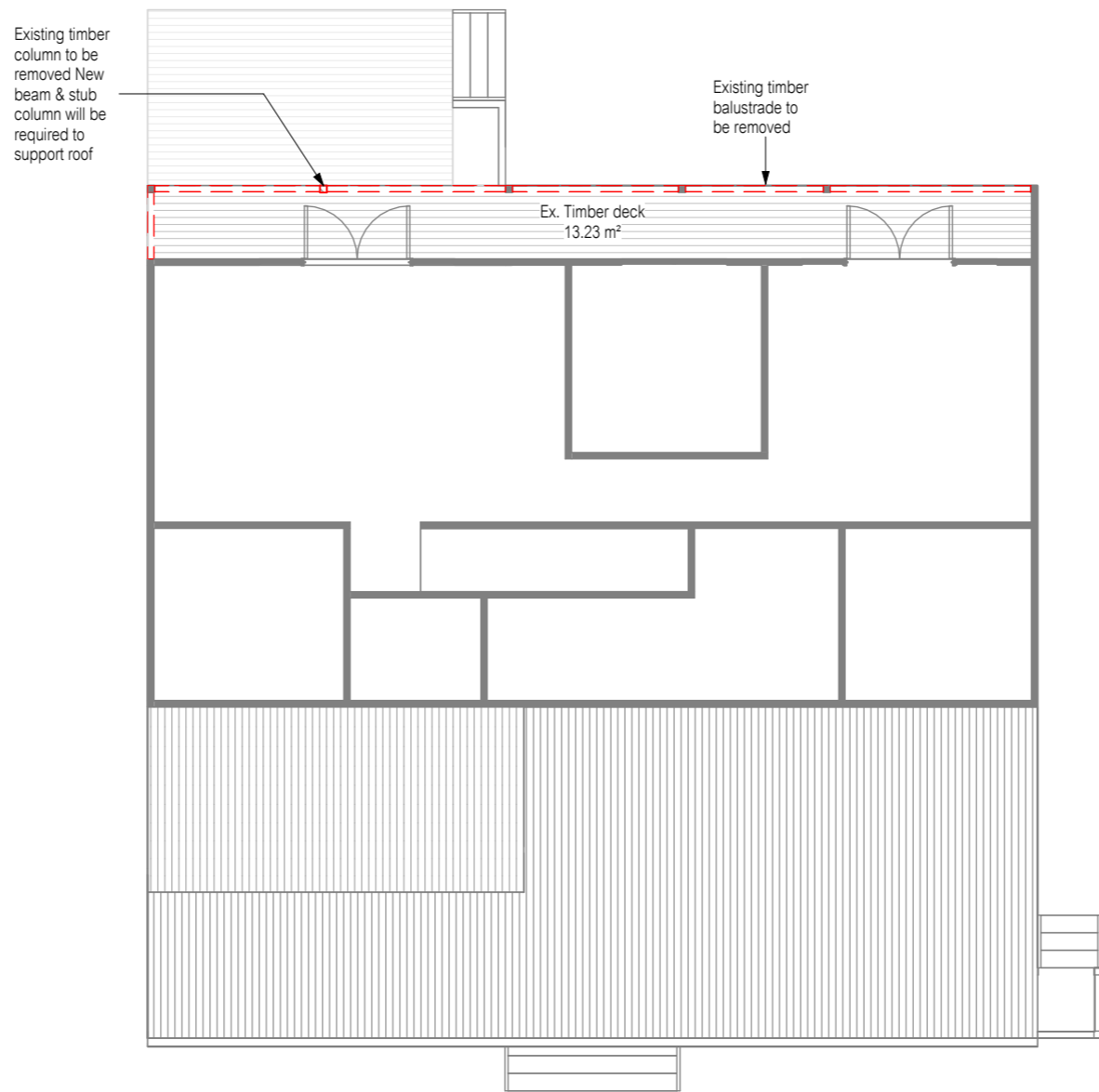
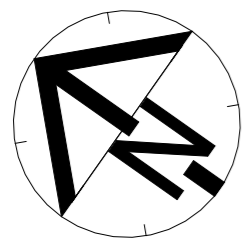
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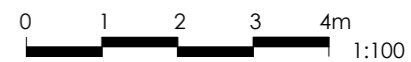


| | | |
|----------------------------|-----------------|-------------|
| EXISTING GROUND FLOOR PLAN | | |
| Drawn | RJ | AP2025-2523 |
| Date | 14 January 2026 | Sheet |
| Scale | 1:100 | 02/05 |
| Copyright © | | |



NOTE
DWELLING LAYOUT BASED ON
PREVIOUSLY APPROVED PLANS

LEGEND
 - To be demolished or modified.
 - To remain unchanged.



Existing Deck Area = 13.23m²

- Notes
- Builder to verify all dimensions and levels on site prior to commencement of work
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Client / Project info
 PROPOSED DECK ADDITION
 117 Bayview Road
 LAUDERDALE



EXISTING/DEMOLITION FIRST
FLOOR PLAN

Drawn RJ AP2025-2523

Date 14 January 2026 Sheet

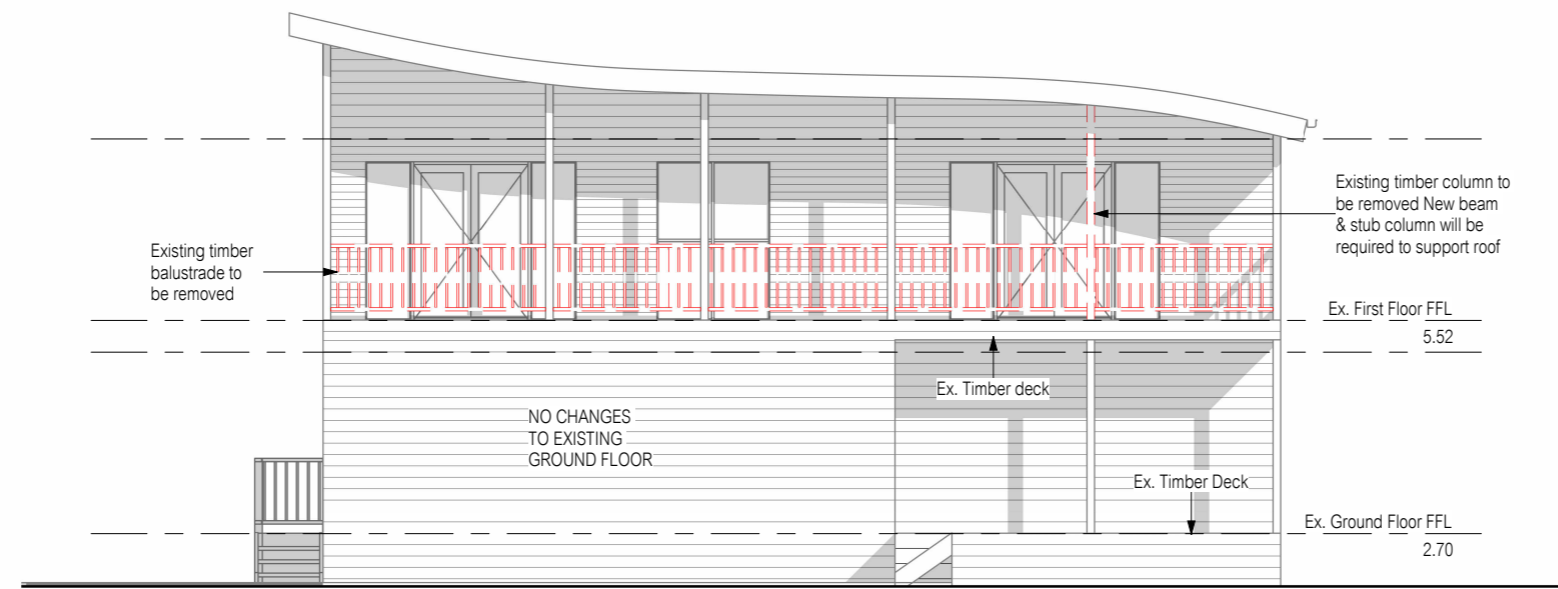
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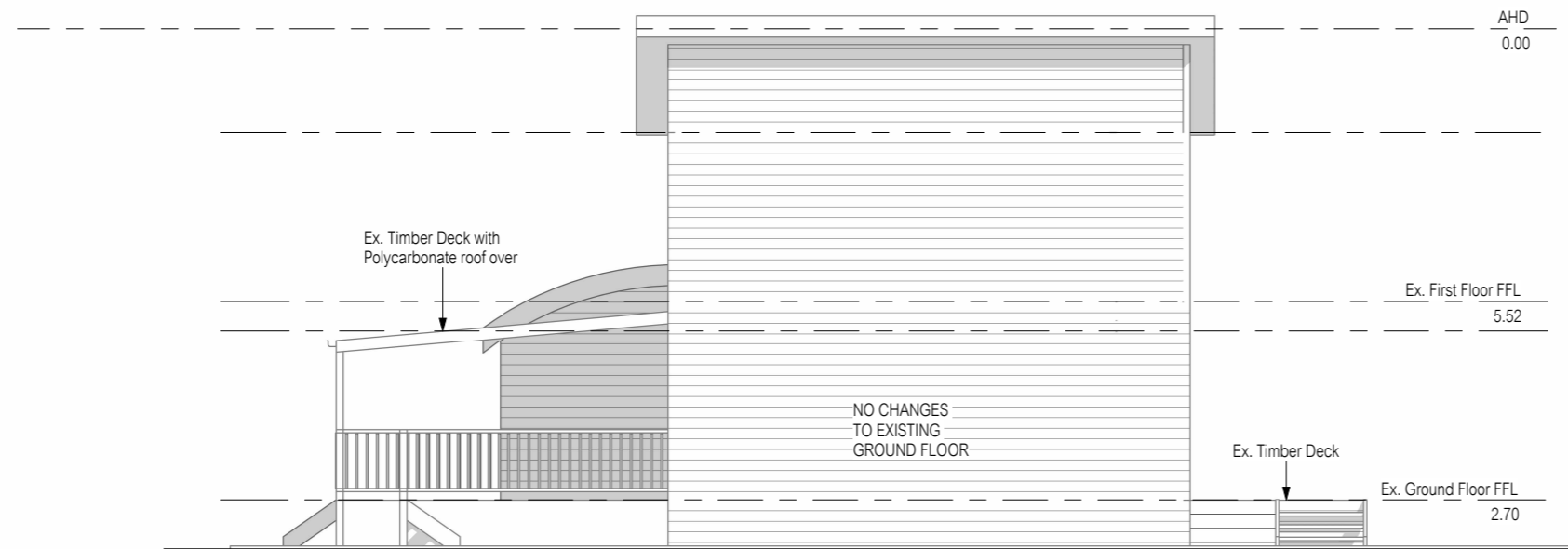
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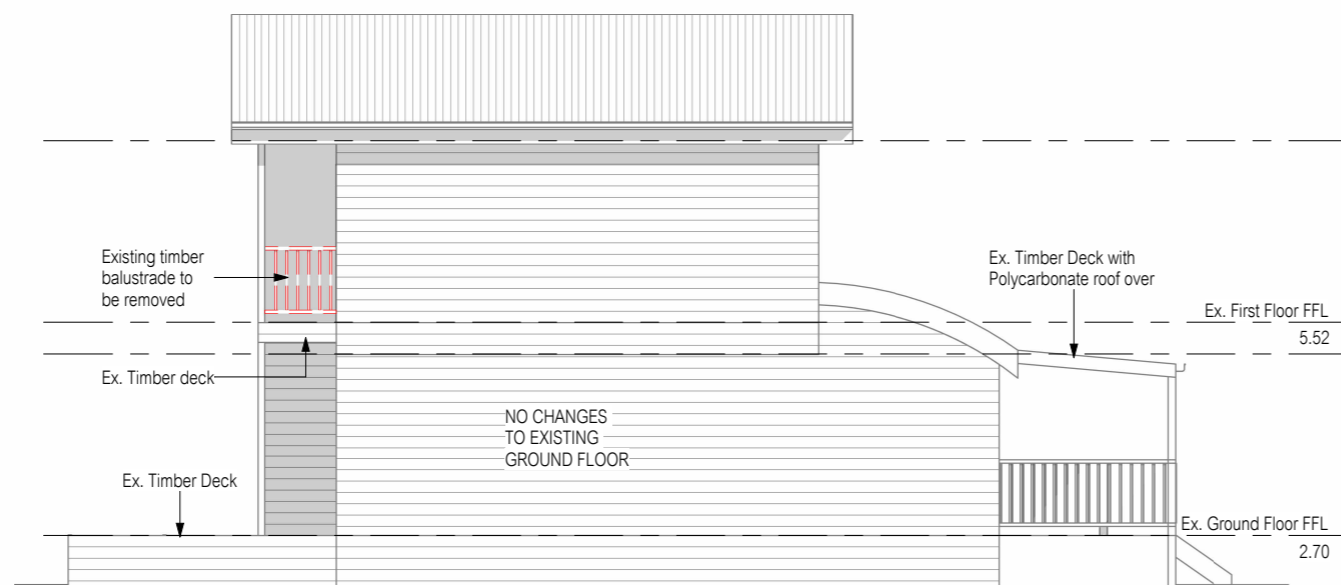
Existing North East Elevation

NOTE
FFL IS NOMINAL ONLY



Existing South East Elevation

NOTE
FFL IS NOMINAL ONLY



Existing North West Elevation

NOTE
FFL IS NOMINAL ONLY

LEGEND
 - To be demolished or modified.
 - To remain unchanged.
 Shadows shown for stylisation purposes only

| No. | Date | Int. |
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| Amendment changes as per cover sheet | | |

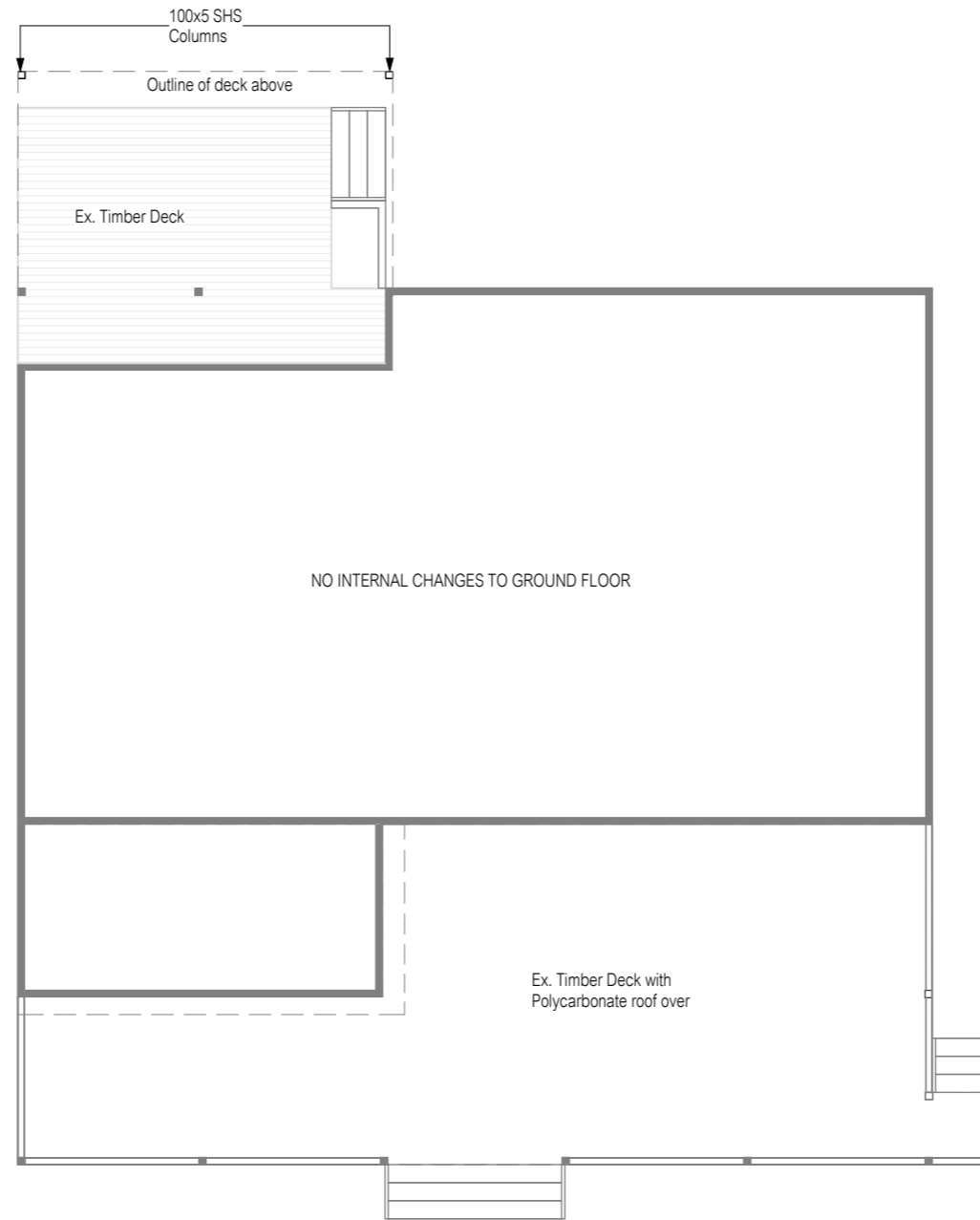
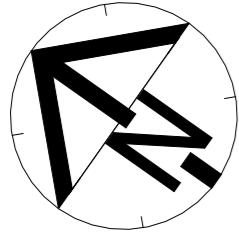
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 PROPOSED DECK ADDITION
 117 Bayview Road
 LAUDERDALE



| EXISTING/DEMOLITION ELEVATIONS | | |
|--------------------------------|-----------------|-------------|
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| Copyright © | | |



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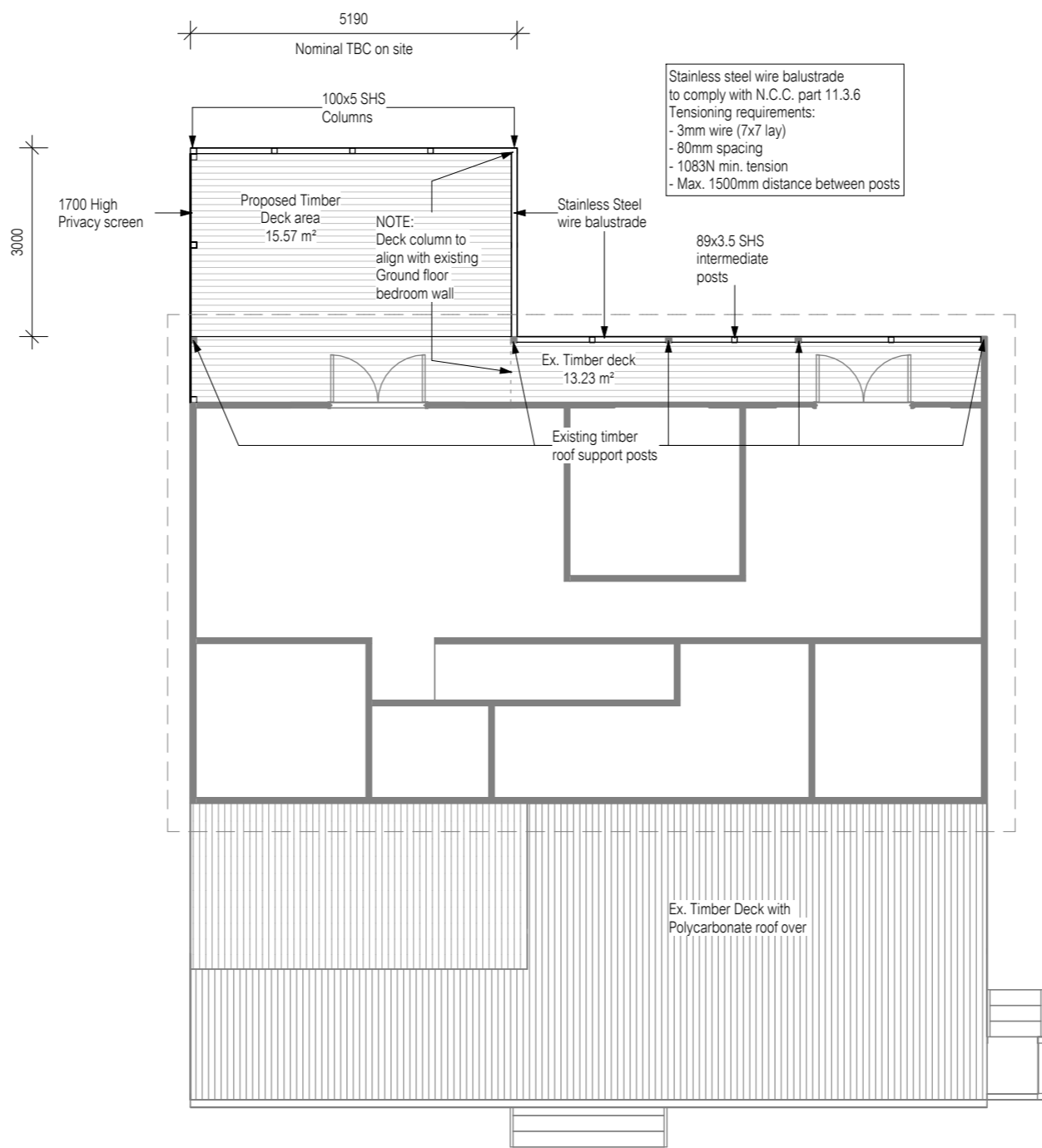
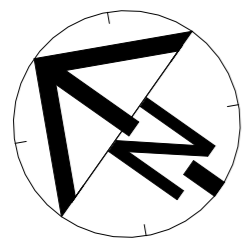
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Client / Project info
 PROPOSED DECK ADDITION
 117 Bayview Road
 LAUDERDALE



| | | |
|----------------------------|-----------------|-------------|
| PROPOSED GROUND FLOOR PLAN | | |
| Drawn | RJ | AP2025-2523 |
| Date | 14 January 2026 | Sheet |
| Scale | 1:100 | 04/05 |



Existing Deck Area = 13.23m²
 Proposed Additional Deck Area = 15.57m²
 Total Proposed Deck Area = 28.80m²

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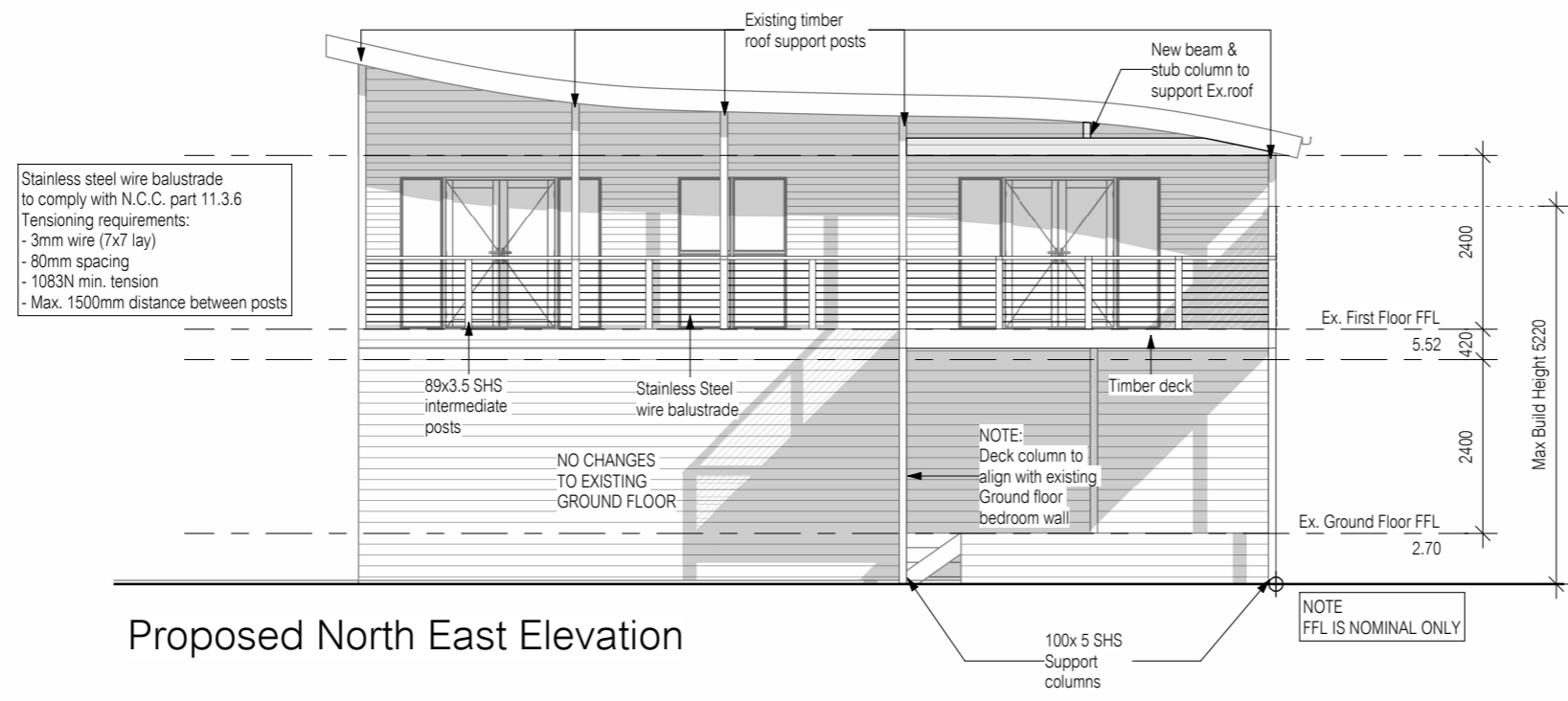


PROPOSED FIRST FLOOR PLAN

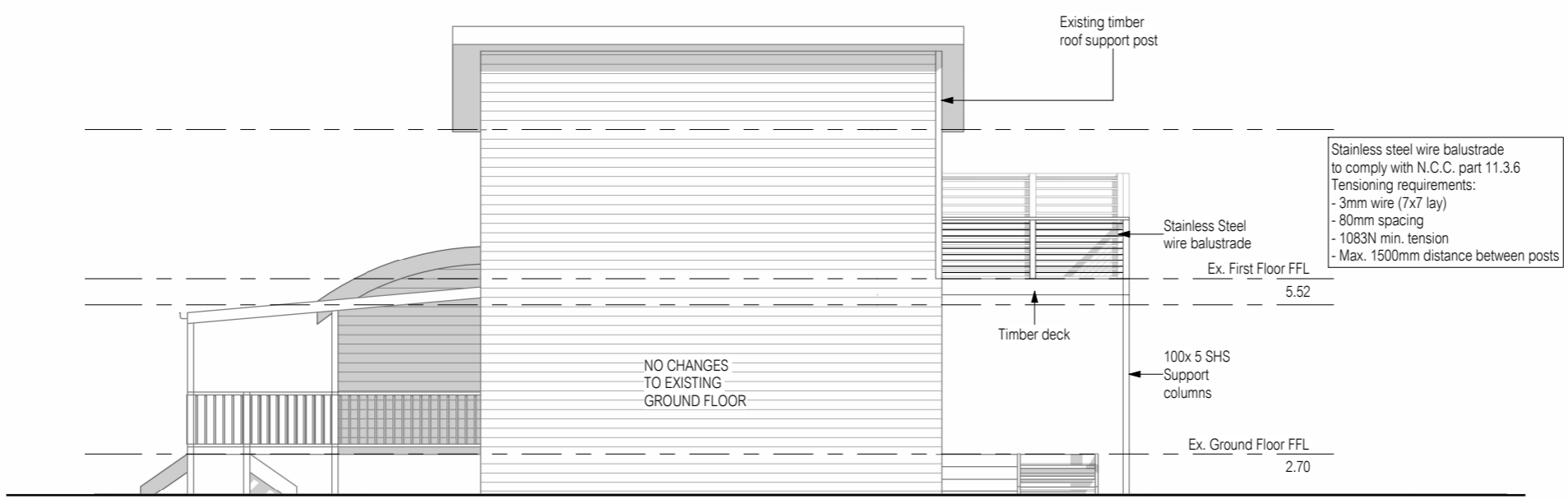
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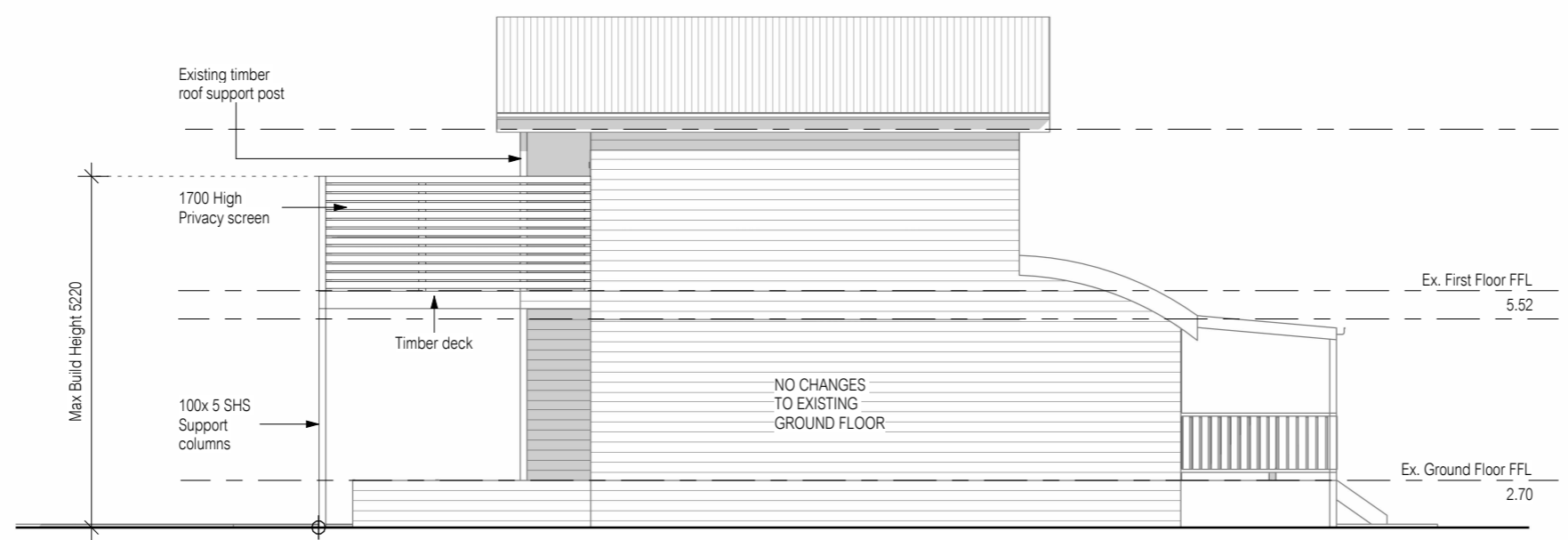
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| No. | Date | Int. | Amendment changes as per cover sheet |
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Proposed North East Elevation



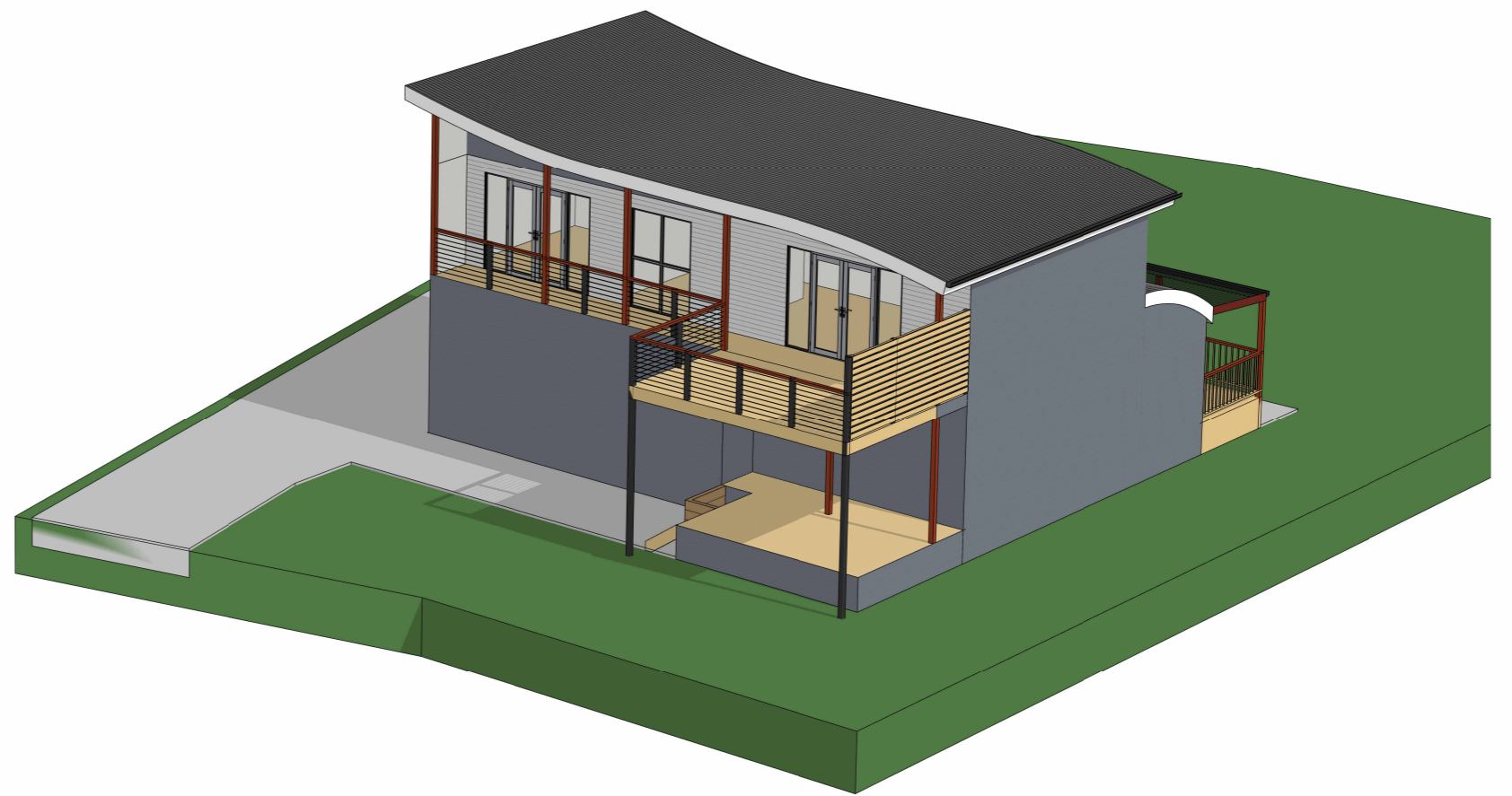
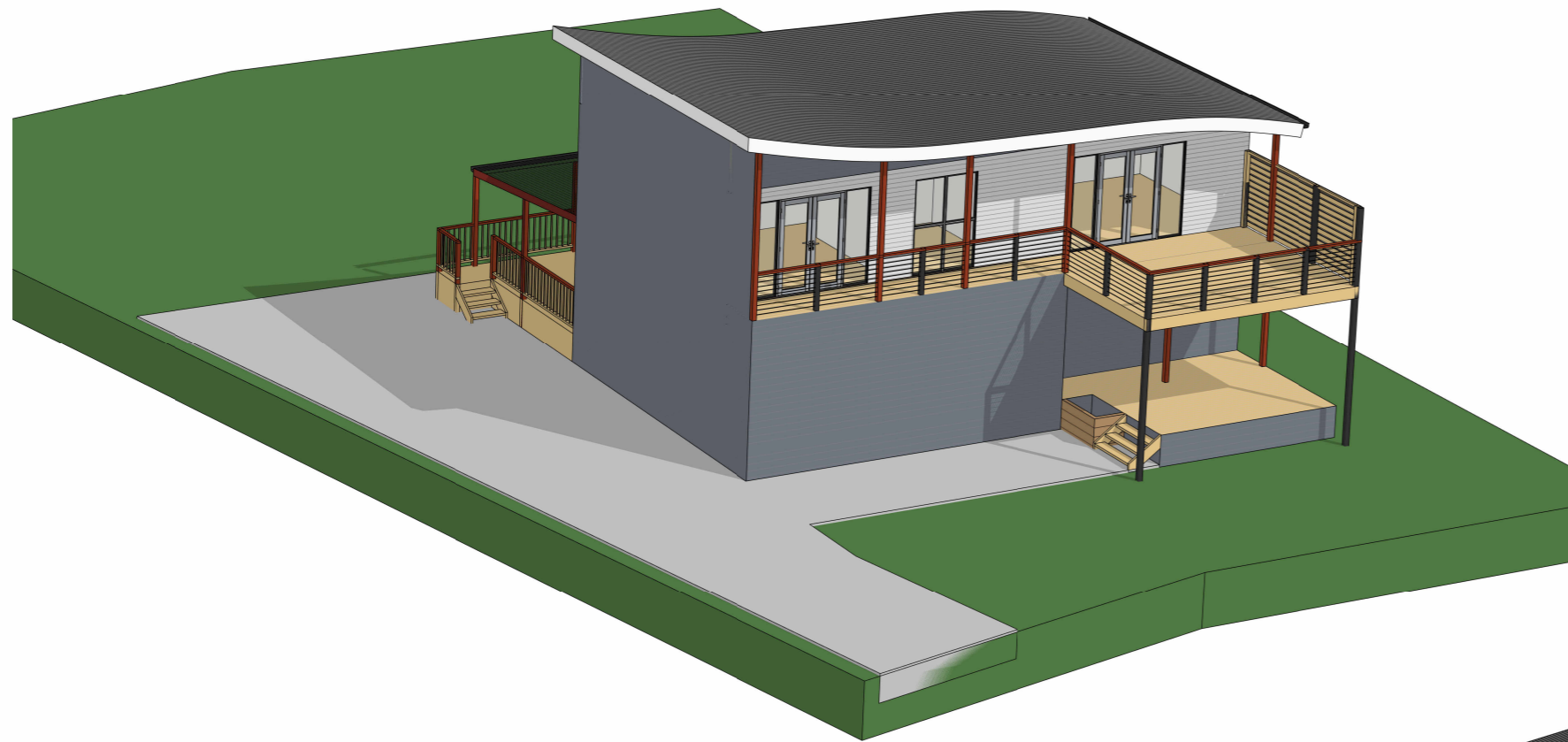
Proposed South East Elevation



Proposed North West Elevation

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| Notes | | |
| <ul style="list-style-type: none"> • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer. | | |
| Designer: | | |
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| Client / Project info | | |
| PROPOSED DECK ADDITION 117 Bayview Road LAUDERDALE | | |
|  | | |
| PROPOSED ELEVATIONS | | |
| Drawn | RJ | AP2025-2523 |
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Shadows shown for stylisation purposes only



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PROPOSED DECK ADDITION

117 Bayview Road
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| | |
|--------------------|-----------------------|
| PERSPECTIVE VIEWS | |
| Drawn | RJ AP2025-2523 |
| Date | 14 January 2026 Sheet |
| Scale | |
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