



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0146
Proposed Use or Development:	Residential (single dwelling)
Address of the Land:	23 Spirit Way, East Devonport
Date of Notice:	25/10/2025

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **10/11/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



23 Spirit Way, East Devonport



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Created: 22-10-2025 12:53:43



**Devonport
City Council**

PROJECT:
PROPOSED RESIDENCE

CLIENT:
MALCOLM & MAVIS CALVERT

LOCATION:
**LOT 12 SPIRIT VIEW, AMBLESIDE
TASMANIA, 7310**

VOLUME: 187226
FOLIO: 12
DESIGN WIND SPEED: TBC - BY OTHER
SOIL CLASSIFICATION: TBC - BY OTHER
BUSHFIRE ASSESSMENT: LOW - BY LIVINGSTON NATURAL RESOURCE SERVICES
CLIMATE ZONE: 7
ALPINE AREA: NA

FLOOR AREA:
RESIDENCE: 247.6m²
PORCH/S 9.1m²
TOTAL: 256.7m²

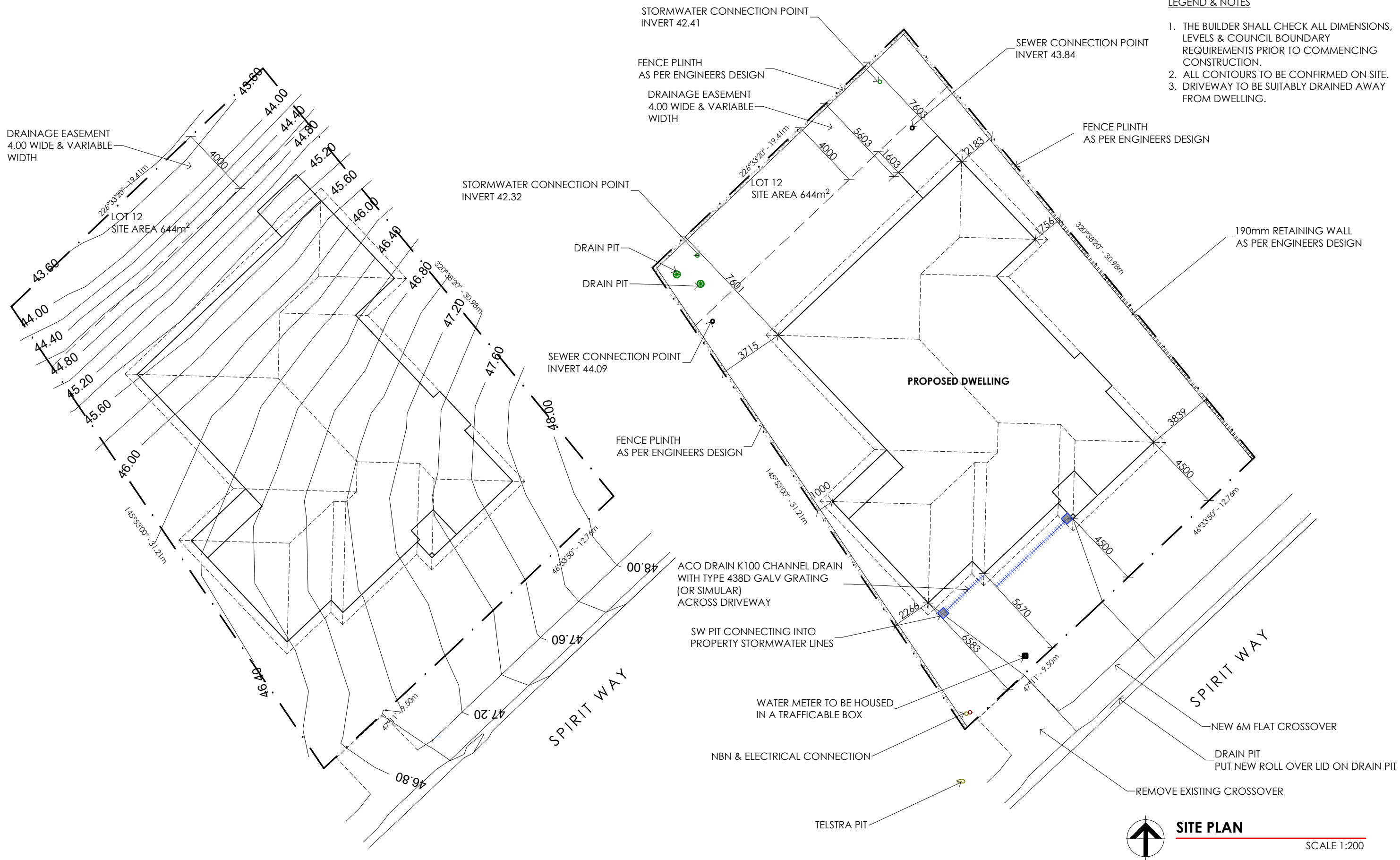
REV:A PLANNING APPROVAL DATE: 16.09.2025

DRAWING SCHEDULE:		
SHEET No.	TITLE	REV #
A01	COVER SHEET	A
A02	SITE PLAN	A
A03	FLOOR PLAN	A
A04	ELEVATION 1 of 2	A
A05	ELEVATION 2 of 2	A



**70 TUGRAH RD
DEVONPORT, TASMANIA
AUSTRALIA, 7310**

LICENSED DESIGNER: ABBIE BROWN CC6487
PH: 03 6424 6325
EMAIL: drafting@rfsprojects.com.au



- LEGEND & NOTES**
1. THE BUILDER SHALL CHECK ALL DIMENSIONS, LEVELS & COUNCIL BOUNDARY REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION.
 2. ALL CONTOURS TO BE CONFIRMED ON SITE.
 3. DRIVEWAY TO BE SUITABLY DRAINED AWAY FROM DWELLING.

SITE PLAN
SCALE 1:200



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REV:	DESCRIPTION:	DATE:
A	PLANNING APPROVAL	16.09.2025

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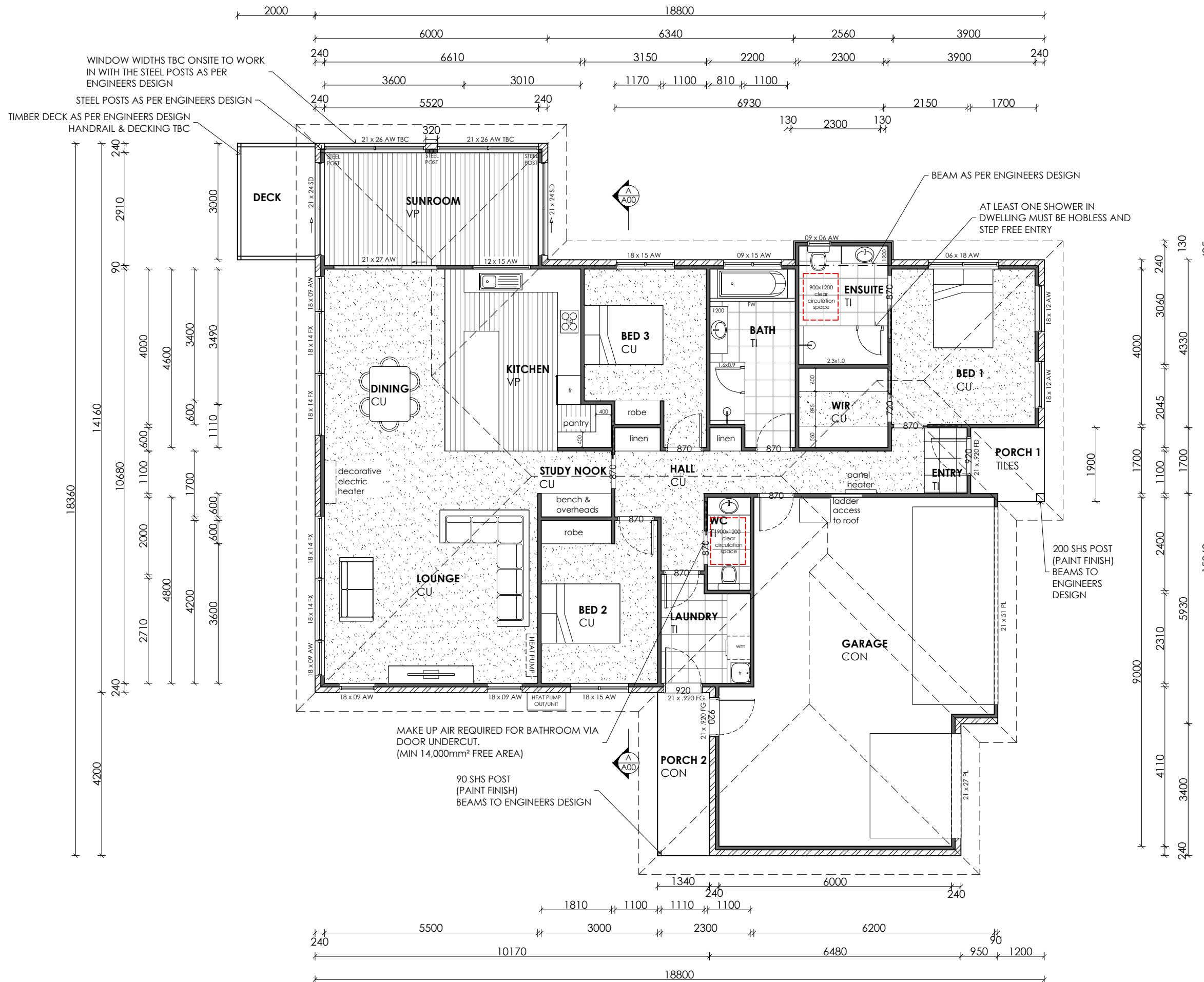
PROJECT:
PROPOSED RESIDENCE

CLIENT:
MALCOLM & MAVIS CALVERT

LOCATION:
**LOT 12 SPIRIT VIEW, AMBLESIDE
TASMANIA, 7310**

DRAWING TITLE: SITE PLAN		
JOB NO: CALVERT		
DRAWN BY: A.B	SCALE: 1:200 @ A3	ISSUE: DA
CHECKED BY: R.S		

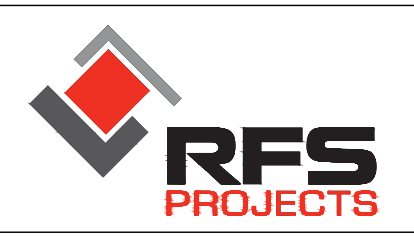
DRAWING NO:
A02
/ A05



- LEGEND & NOTES:**
- LIFT OFF DOOR HINGES REQUIRED ON FULLY ENCLOSED SANITARY COMPARTMENT DOORS IF CLEAR SPACE IS LESS THAN 1.2m (AS PER HPS PART 10.4.2).
 - R2.5 INSULATION REQUIRED TO WALLS SEPARATING GARAGE FROM DWELLING. NO OTHER INSULATION IS REQUIRED TO EXTERNAL GARAGE WALLS OR CEILING.
 - LINEN/ROBES ARE 600mm DEEP UNLESS STATED OTHER
- FLOOR AREA**
 NEW RESIDENCE - 247.6m²
 PORCH/S - 9.1m²
- ROOFING:**
 CUSTOM ORB - MEDIUM
 FASCIA - MEDIUM
 GUTTER - MEDIUM
- FACADE:**
 BRICK TYPE - MEDIUM
- CEMENT SHEET - TBC
 COLOUR - TBC BY CLIENT
- ALUMINIUM FRAMED WINDOWS:**
 COLOUR - MEDIUM
 GLAZING - DOUBLE
- CARPET UNDERLAY - (CU)**
 FLOOR AREA APPROX - 0.0m²
- VINYL PLANK - (VP)**
 FLOOR AREA APPROX - 0.0m²
- TILES - (TI)**
 FLOOR AREA APPROX - 0.0m²
- CONCRETE - (CON)**
 EXPOSED CONCRETE, NO SURFACE FINISH REQUIRED

NOTE:
 FLOOR HEATING IN LOUNGE, DINING, KITCHEN & STUDY NOOK

FLOOR PLAN
 SCALE 1:100



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A	PLANNING APPROVAL	16.09.2025

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PROJECT:
PROPOSED RESIDENCE

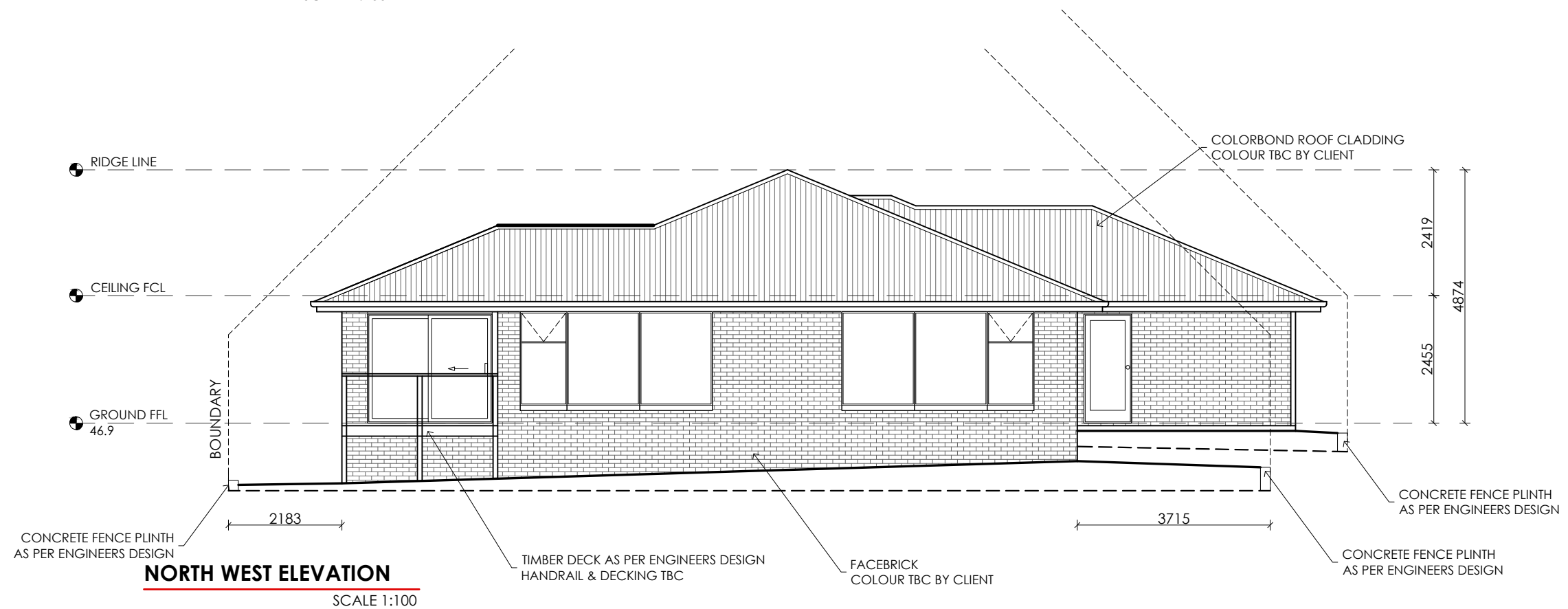
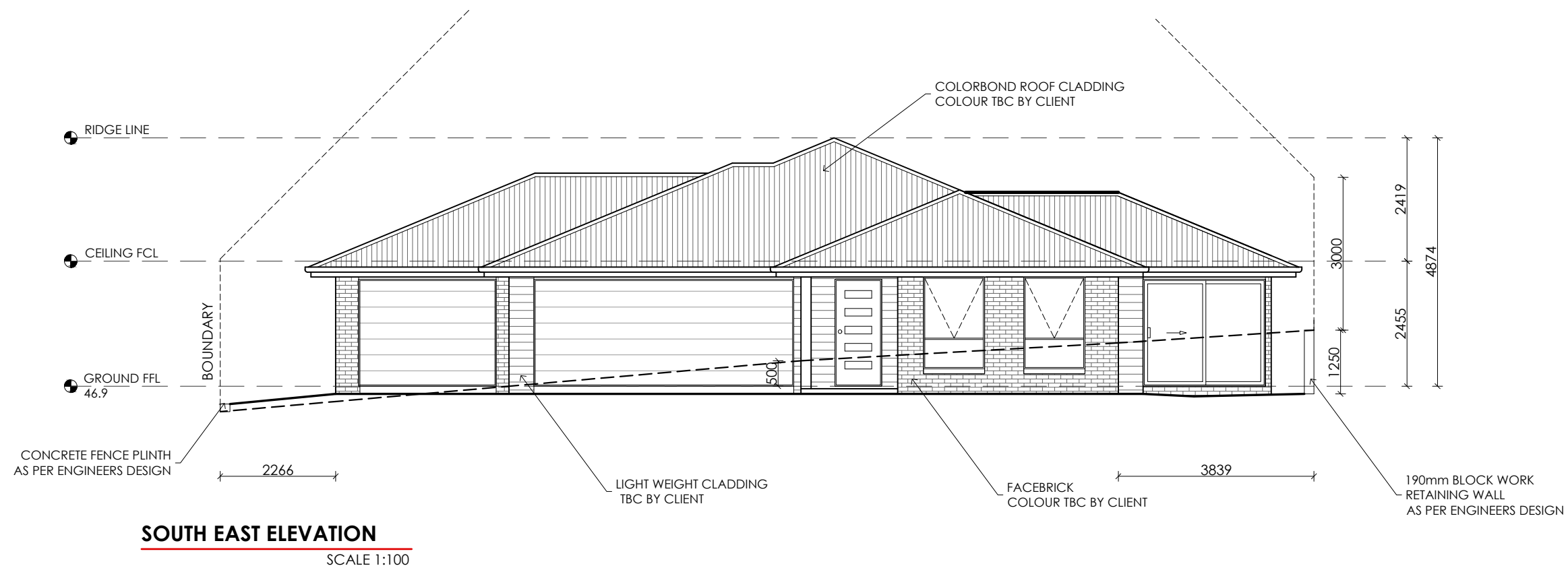
CLIENT:
MALCOLM & MAVIS CALVERT

LOCATION:
**LOT 12 SPIRIT VIEW, AMBLESIDE
 TASMANIA, 7310**

DRAWING TITLE: FLOOR PLAN		DRAWING NO: A03	
JOB NO: CALVERT		/ A05	
DRAWN BY: A.B	SCALE: 1:100 @ A3	ISSUE: DA	
CHECKED BY: R.S			

LEGEND & NOTES:

1. LIGHTWEIGHT CLADDING TO BE INSTALLED ABOVE ALL DOOR OPENINGS AND WINDOWS IN ALFRESCO AREAS.



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MALCOLM & MAVIS CALVERT
LOCATION:
LOT 12 SPIRIT VIEW, AMBLESIDE TASMANIA, 7310

DRAWING TITLE:
ELEVATIONS 1 of 2

JOB NO: CALVERT

DRAWN BY: A.B

CHECKED BY: R.S

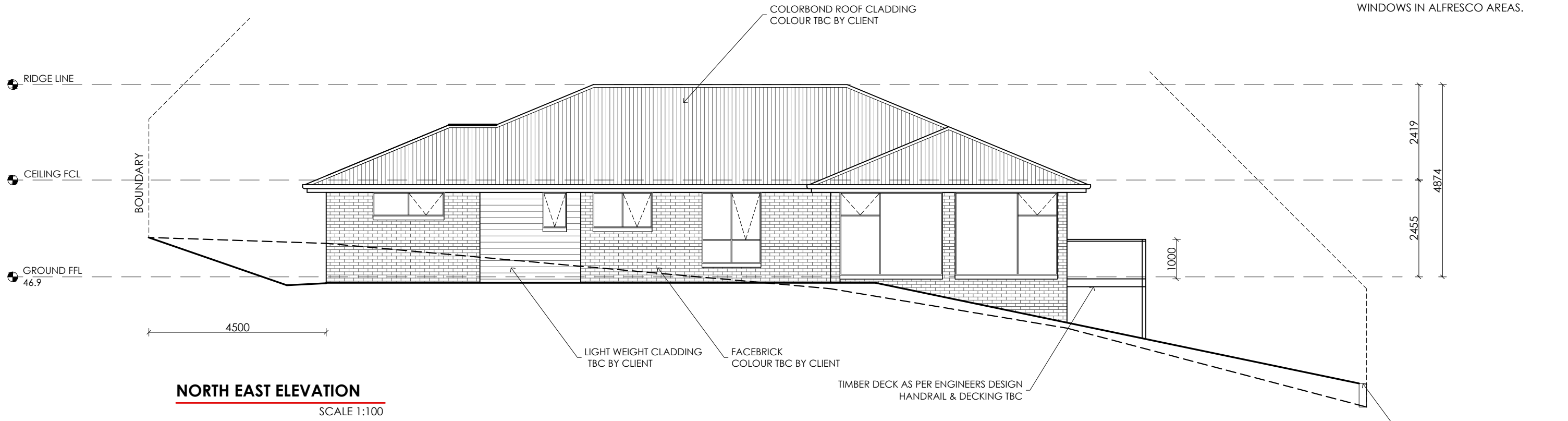
SCALE:
1:100 @ A3

ISSUE: **DA**

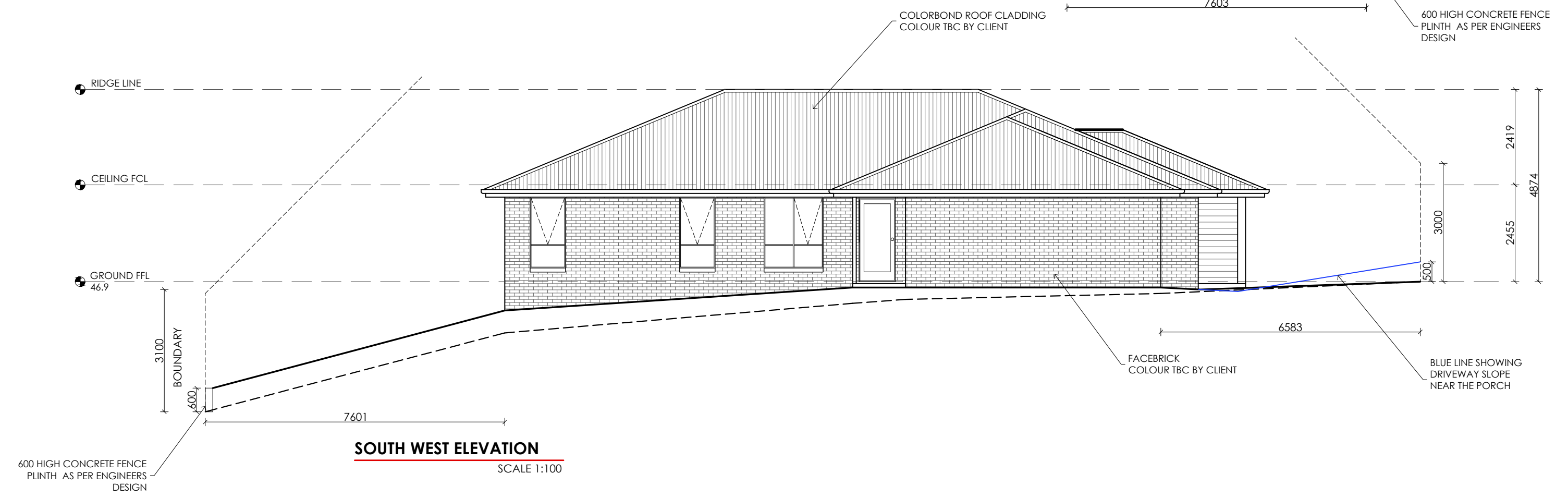
DRAWING NO:
A04
/ A05

LEGEND & NOTES:

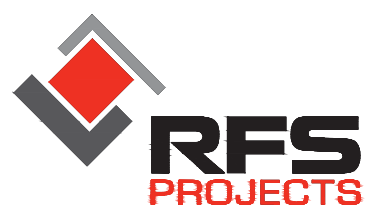
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NORTH EAST ELEVATION
SCALE 1:100



SOUTH WEST ELEVATION
SCALE 1:100



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LOCATION:
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DRAWING TITLE: ELEVATIONS 2 of 2		
JOB NO: CALVERT		
DRAWN BY: A.B	SCALE: 1:100 @ A3	ISSUE: DA
CHECKED BY: R.S		

DRAWING NO:
A05
/ A05