



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0164
Proposed Use or Development:	Subdivision (reconfiguration – no new lots)
Address of the Land:	246 Brooke Street, East Devonport
Date of Notice:	22/11/2025

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **09/12/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.

Equilibrium Town Planning

Development Application

Boundary adjustment

246 Brooke Street
East Devonport
CT29271/1 & CT172454/1



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APPENDICES

Appendix A Land title

Appendix B Proposal plans

V1

4 November 2025

Boundary adjustment

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This statement has been prepared by Theresa Williams, urban and regional planner, RPIA, member of the Planning Institute of Australia, M SocSc (Env & Planning) and Bch Sc.

EXECUTIVE SUMMARY

It is proposed to:

- Modify the boundaries defining CT172454/1 & CT29271/1 to result in one lot of 86.6ha and one of 3.3h; and
- Remove the right-of-way existing for CT29279/1

for the properties known as 246 Brooke Street, East Devonport PID9626829 under the 7.3 Adjustment of a Boundary provisions of the Tasmanian Planning Scheme.

This documentation addresses the relevant provisions of the Tasmanian Planning Scheme – Devonport, and the Devonport Local Provisions Schedule.



Figure 1 Aerial photo of site and surrounds (boundaries approximate only) (Source: ListMap)

1. PLANNING OVERVIEW

Table 1 Planning Overview

Element	Details		
Property	Address	PID	Title
	246 Brooke Street	9626829	CT172454/1 CT29271/1
Use	No change		
Development	Boundary adjustment		
Planning Instrument	Tasmanian Planning Scheme – Devonport Zone: <ul style="list-style-type: none"> • Agriculture Zone Applicable Codes: <ul style="list-style-type: none"> • Nil Devonport Local Provisions Schedule: <ul style="list-style-type: none"> • Nil 		
Discretions applicable	Nil applicable		
Planning Directives	Nil applicable		
Other	Nil		

2. Proposal

It is intended to adjust the boundaries to slightly modify the allocation of land between the two parcels of land.

2.1. Background

The larger property currently contains a dwelling and associated outbuildings and spans Brooke Street. This property is utilised for agricultural purposes. The smaller lot has historically contained infrastructure. When this was decommissioned, the land was transferred to the current owner.

2.2. Property Ownership

Both lots are in the ownership of W Bovill, the applicant for this proposal.

2.3. Site Description and Surrounding Area

The site is located in the Agricultural area to the east of Devonport, in close proximity to the General Residential and Rural zones. Existing vehicle access is provided from Brooke Street and Upper Drew Street (via right of way).

2.4. Photographs

Site photos are provided for context.



Figure 2 246 Brooke Street, looking south. Picture taken to the west of the dwelling



Figure 3 Smaller title in the background. ROW runs off from the end of this road (Upper Drew Street)

2.5. Supporting Assessments

2.5.1. Access

No change is proposed to vehicle access points.

2.5.2. Servicing

The site is within the water serviced land as identified on theList. It is not serviced for sewer.

The proposal itself does not increase the loading on these services.

3. LEGISLATIVE FRAMEWORK

3.1. Tasmanian Planning Scheme - Devonport

The site is located in the Agricultural zone within the Tasmanian Planning Scheme – Devonport (the planning scheme). No new use is proposed.

The proposal sits underneath the provisions of 7.3.1 for the adjustment of a boundary, as follows:

An application for a boundary adjustment is permitted and a permit must be granted if:

(a) No additional lots are created;

Comment: no additional lots are being created. There is no change in the overall number of lots.

(b) There is only a minor change to the relative size, shape and orientation of the existing lots;

Comment: the lots will change from 86.70ha to 86.62ha, and from 758m² to 3.32ha. This is considered to be minor, given the large size of the main lot.

(c) No setback from an existing building will be reduced below the relevant Acceptable Solution setback requirement;

Comment: no setbacks to an existing building will be reduced beyond those existing.

(d) No frontage is reduced below the relevant Acceptable Solution minimum frontage requirement;

Comment: the impacted road frontage will be increased for one lot. There is no minimum frontage requirement for the Agricultural Zone.

(e) No lot is reduced below the relevant Acceptable Solution minimum lot size unless already below the minimum lot size; and

Comment: there is not minimum lot size for the Agricultural Zone. It is noted that the size of the smaller lot will increase.

(f) *No lot boundary that aligns with a zone boundary will be changed.*

Comment: no zone boundaries are proposed to be changed.

3.1.1. Devonport Local Provisions Schedule

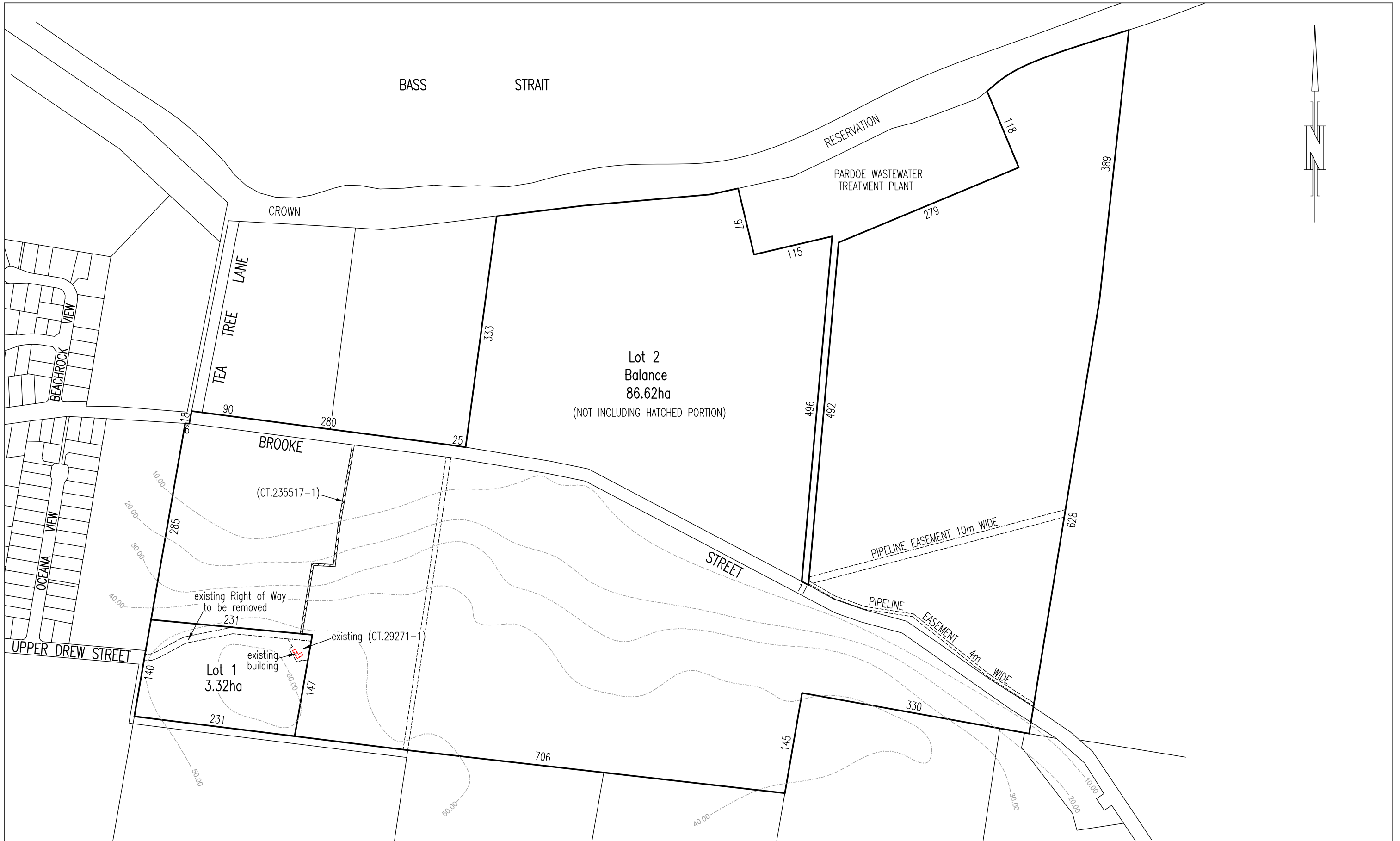
The site is not within a Specific Area Plan.

3.2. PLANNING DIRECTIVES

No current planning directives impact upon this proposal.

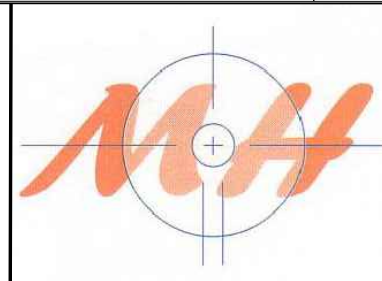
4. CONCLUSION

The proposal is for minor modifications to existing property boundaries in keeping with the boundary adjustment provisions of the *Tasmanian Planning Scheme – Devonport* and the *Devonport Local Provisions Schedule*.



This plan has been prepared only for the purpose of obtaining subdivision approval from the local planning authority & the information shown hereon should be used for no other purpose.

All dimensions & areas subject to final survey .
All measurements are in metres .



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PROPOSED SUBDIVISION

246 Brooke Street, East Devonport
William David Bovill

Drawn : J.A.T | Scale : 1:5000 (A3) | Date : 02/10/25

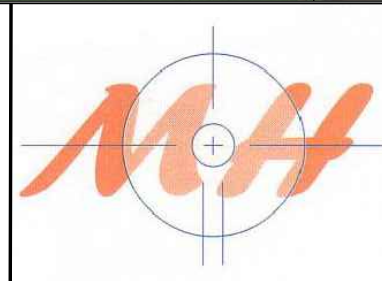
Drawing No.
225121

Paul Hodgetts – Registered Land Surveyor



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