



Devonport City Council

# PUBLIC NOTICE

## APPLICATION FOR PLANNING PERMIT

*Section 57(3) Land Use Planning Approvals Act 1993*

An application for a planning permit has been made which may affect you.

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### Application Details

Application Number:	<b>PA2026.0020</b>
Proposed Use or Development:	<b>Residential (single dwelling - retrospective alterations and additions and secondary residence)</b>
Address of the Land:	<b>183 Beach Road, Leith</b>
Date of Notice:	<b>28/02/2026</b>

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You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website [www.devonport.tas.gov.au](http://www.devonport.tas.gov.au)

**Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.**

Your representation must:

- be received by close of business on **17/03/2026**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
  - P.O. Box 604, Devonport, Tasmania, 7310; or
  - [townplanning@devonport.tas.gov.au](mailto:townplanning@devonport.tas.gov.au)

If you make a representation then Council must consider your submission before making its decision on the application.

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## 183 Beach Road, Leith



This map is made available for the purpose of providing access to Devonport City Council information and not as professional advice. The information contained on the map is diagrammatic only. All information should be verified on site, or with the appropriate State Government Department or Council Office, prior to being used for any purpose.

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Created: 25-02-2026 13:28:49



**Devonport  
City Council**

# PROPOSED DETACHED GRANNY FLAT TO THE PROPERTY AT 183 BEACH ROAD LEITH.

FOR PLANNING PERMIT  
APPLICATION ONLY

## FOR

# *J.J. BAKKER.*

**FEBRUARY 2026**

PROJECT No. 1226

KNOWN SITE HAZARDS REFER TO SAFETY SITE PLAN		UNDERGROUND SERVICES		WORKING AT HEIGHTS		BUSHFIRE ATTACK LEVEL B.A.L. - T.B.A.						
DISTRIBUTION	DRAFT	PLANNING APPROVAL	BUILDING APPROVAL	BUILDING SURVEYOR	TITLE HOLDER	BUILDER						
TITLE REFERENCE Volume 101522 Folio 1		DESIGN WIND SPEED 'N2'	SOIL CLASS. 'M'	BUILDING CLASS. 1(a)	CLIMATE ZONE SEVEN	ALPINE AREA NO	KNOWN SITE HAZARDS REFER TO SAFETY NOTES					
AREAS		EXISTING DWELLING	195.95 m2	EXISTING CARPORT	40.50 m2	LOT AREA	31 500 m2					
STUDIO 30.18 m2		EXISTING VERANDAHS	58.50 m2	TOTAL BUILDINGS	294.95 m2	SITE COVERAGE	0.94 %					
TITLE PAGE		1226 - 1 OF 10		PROPERTY IDENTIFICATION NUMBER 7904096								
EXISTING DWELLING FLOOR PLAN 1:100		1226 - 2 OF 10		CERTIFICATE OF TITLE NUMBER 101522 FOLIO 1								
PROPOSED DWELLING FLOOR PLAN 1:100		1226 - 3 OF 10		<small>NOTE: THE BUILDING CONTRACTOR SHALL ENSURE THAT THE WHOLE SET OF DRAWINGS AND SUPPORTING DOCUMENTATION IS PASSED ONTO ALL SUB CONTRACTORS &amp; SUPPLIERS PRIOR TO THOSE ENTITIES COMMENCING MANUFACTURING OR SUPPLYING MATERIALS FOR THE PROJECT. WEEDA DRAFTING &amp; BUILDING CONSULTANTS Pty. Ltd. WILL NOT BE LIABLE FOR ANY ACTION IF THESE CONDITIONS ARE NOT FOLLOWED. IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS OR SUPPORTING DOCUMENTS, THEY MUST BE REFERRED TO THE DESIGNER/DRAFTSMAN FOR RESOLUTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT © AND SHALL NOT BE REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN APPROVAL OF BOTH THE OWNERS AND WEEDA DRAFTING &amp; BUILDING CONSULTANTS Pty. Ltd. PRIOR TO WORK COMMENCING ON SITE THE OWNER &amp; BUILDER SHALL CHECK THAT THE APPROVED SET OF DRAWINGS ARE CORRECT &amp; ARE THE SET OF DRAWINGS STATED IN THE BUILDING CONTRACT.</small>								
DWELLING ELEVATIONS 1:100		1226 - 4 OF 10										
STUDIO FLOOR & SUB FLOOR PLAN 1:50		1226 - 5 OF 10										
ELEVATIONS & NOTATIONS 1:50		1226 - 6 OF 10										
ROOF FRAMING & ROOF PLANS 1:50		1226 - 7 OF 10										
DETAILS, SPECIFICATIONS & NOTES		1226 - 8 OF 10										
SITE LOCATION & SETTING OUT PLAN		1226 - 9 OF 10										
SITE LOCATION & SERVICES PLAN		1226 - 10 OF 10										
PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.								DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
								09/02/2026	AS SHOWN	J WEEDA	A WEEDA	1226 - 1 OF 10

WEEDA Drafting

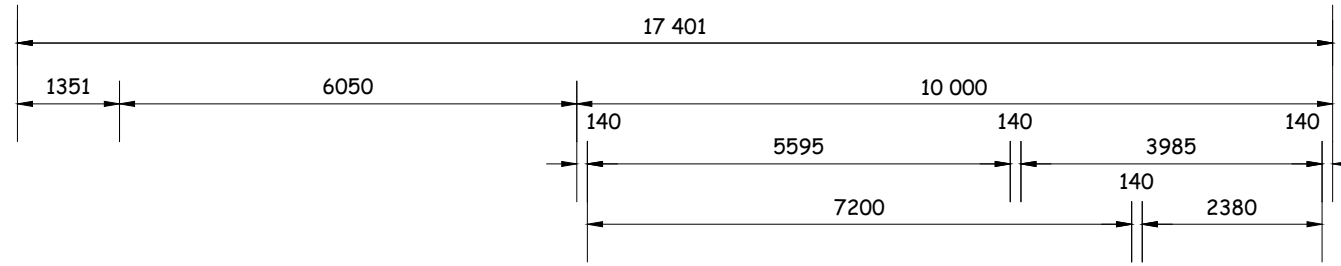
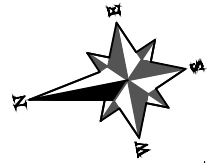


& Building Consultants Pty Ltd

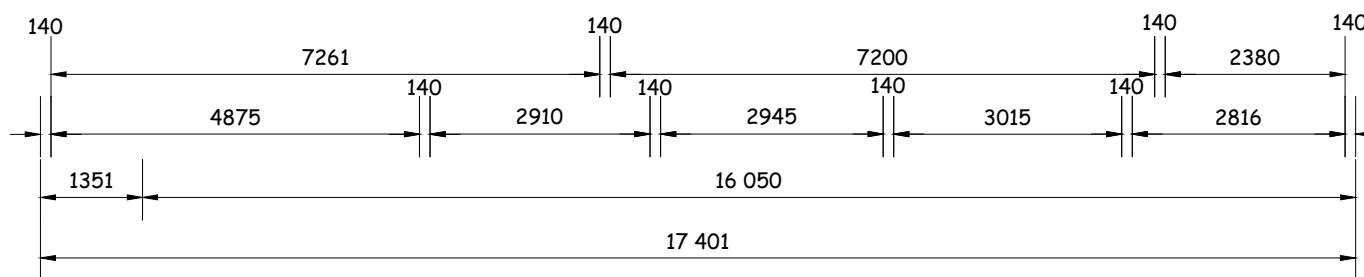
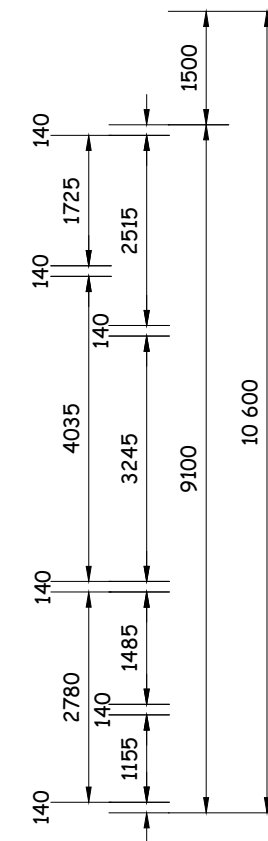
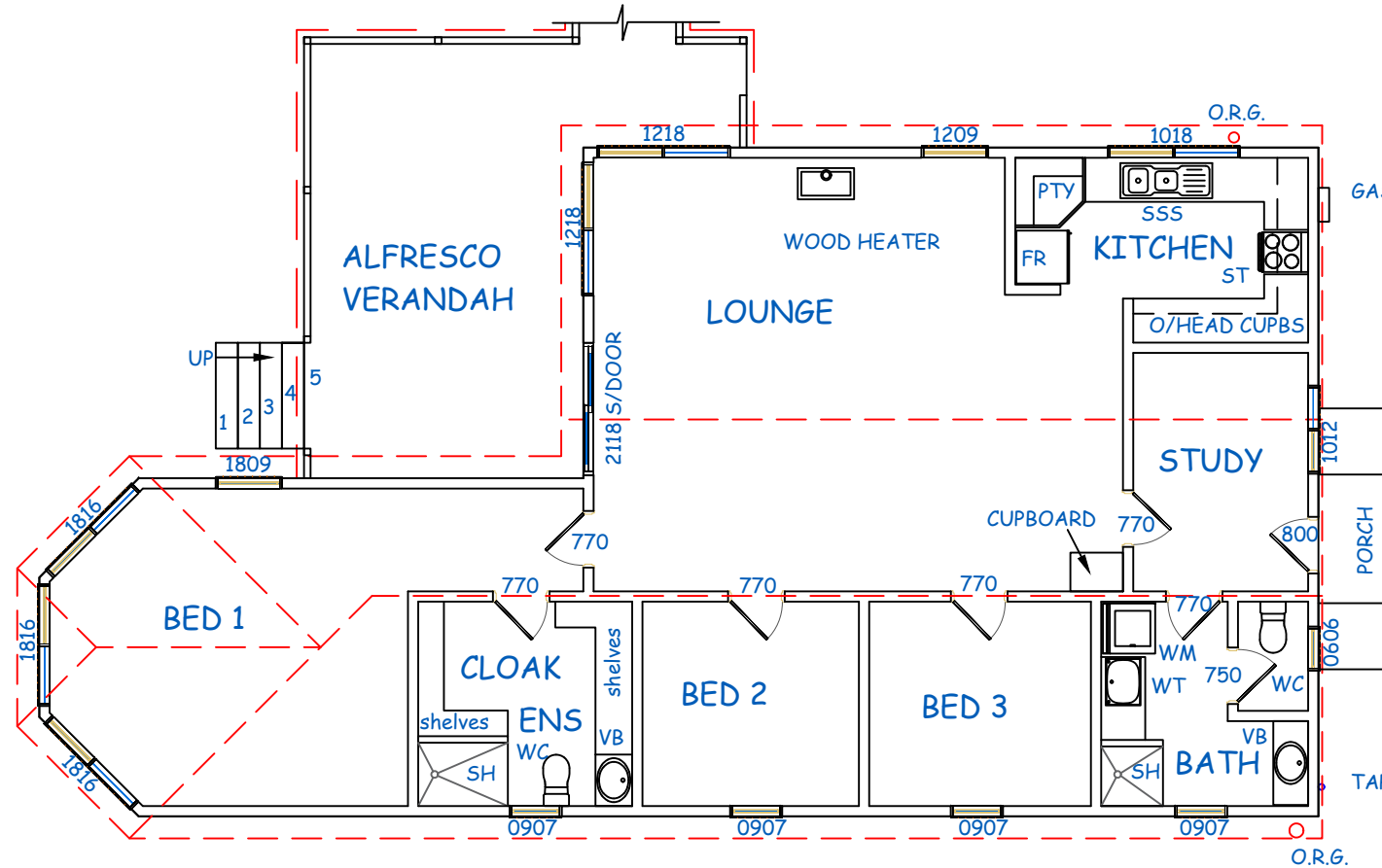
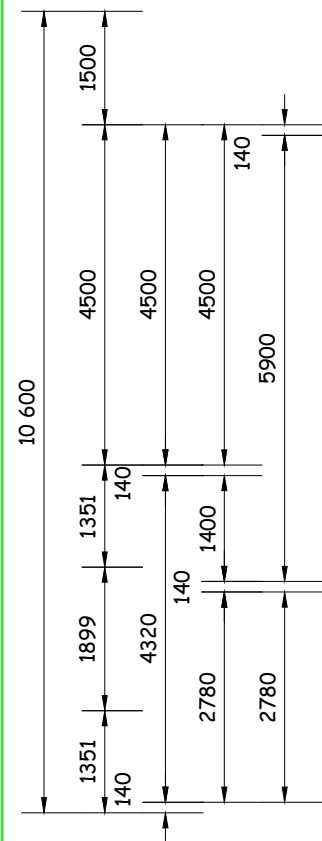
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95 Queen Street, West Ulverstone, 7315  
 Phone: (03) 6425 9333  
 Email: admin@weedadrafting.com.au

WORKPLACE STANDARDS TASMANIA BUILDING PRACTITIONER AC  
 NUMBERS, ADAM; CC 5317 P Cat B.D.



**FOR PLANNING PERMIT  
 APPLICATION ONLY**



**AREA:**

DWELLING 123.20 m2  
 VERANDAH 26.15 m2  
 TOTAL 149.35 m2

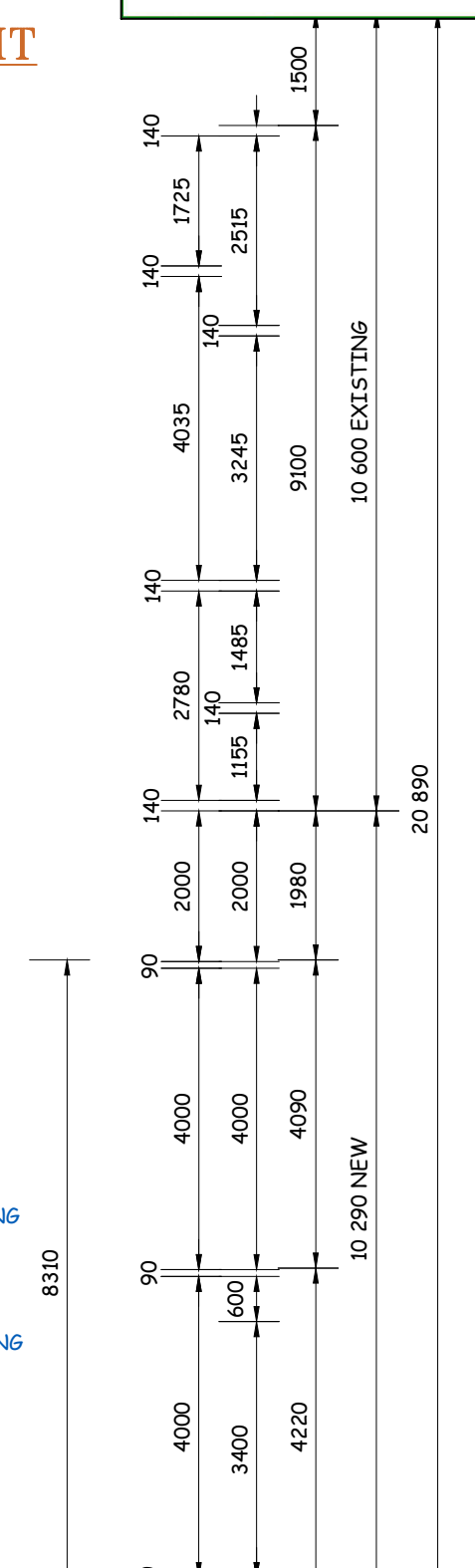
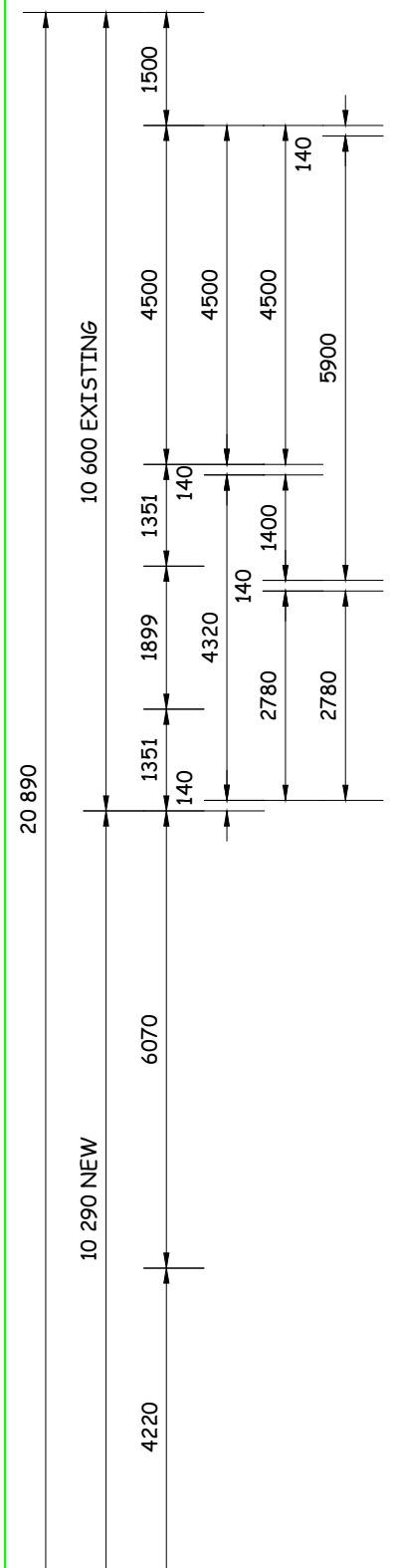
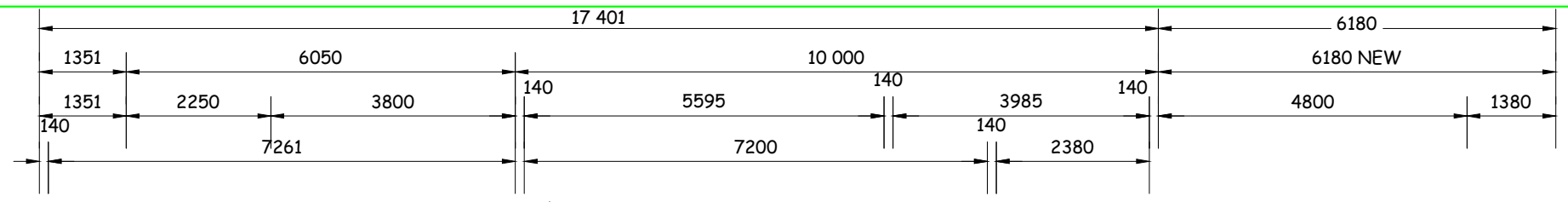
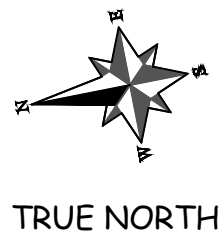
**LEGEND**

- WT- WASH TROUGH
- WM- WASHING MACHINE
- DR - DRYER
- WR- WARDROBE
- WIWR - WALK IN ROBE
- WC - TOILET
- VB- VANITY BASIN
- BA - BATH
- SHO- SHOWER OPEN
- SHE- SHOWER ENCLOSED
- HW- HOT WATER
- PTY - PANTRY
- ST- STOVE
- UBO - UNDER BENCH OVEN
- HP- HOT PLATES
- SSS - S/STEEL SINK
- MW - MICRO WAVE OVEN
- RH - RANGE HOOD
- MB- METER BOX
- FR- FRIDGE
- FRZ- FREEZER
- DW- DISHWASHER
- RAD- ROLLER DOOR
- AJ-ARTICULATION JOINT
- ⊕ SMOKE DETECTOR
- TL - CERAMIC TILE
- SV - SHEET VINYL
- FF - FLOATING FLOOR
- CP - CARPET
- SD - SLIDER DOOR
- FW - FLOOR WASTE
- DP - DOWNPIPES
- SUB FLOOR VENTS
- ⊞ BATHROOM FAN, LIGHT, HEATER.
- ▭ VENTED SKYLIGHT WITH DIFFUSER
- ▭ ROOF SPACE ACCESS HATCH

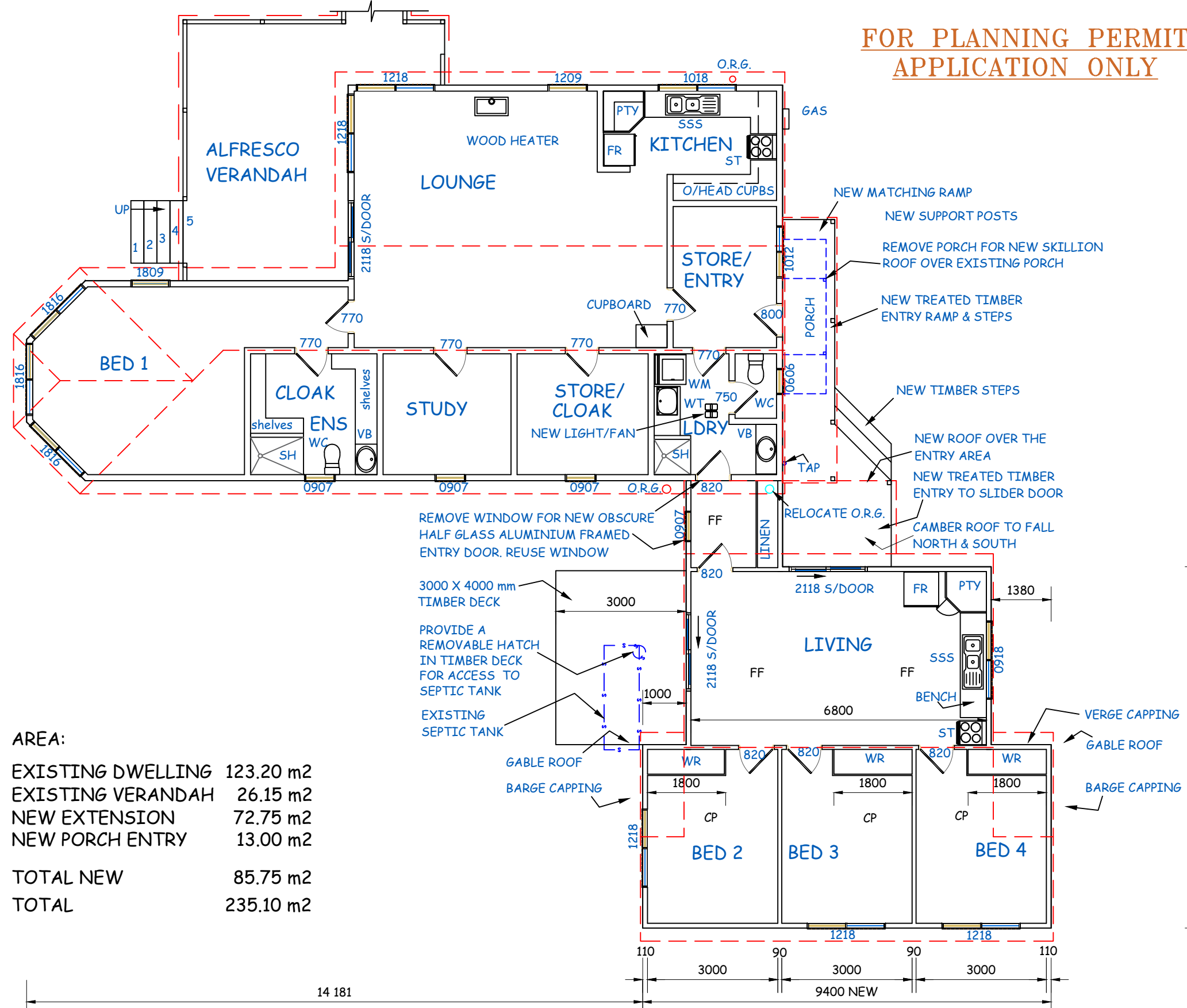
**EXISTING  
 FLOOR PLAN 1:100**

**PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT  
 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.**

DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
09/02/2026	AS SHOWN	J WEEDA	A WEEDA	1226 - 2 OF 10



**FOR PLANNING PERMIT APPLICATION ONLY**



**AREA:**

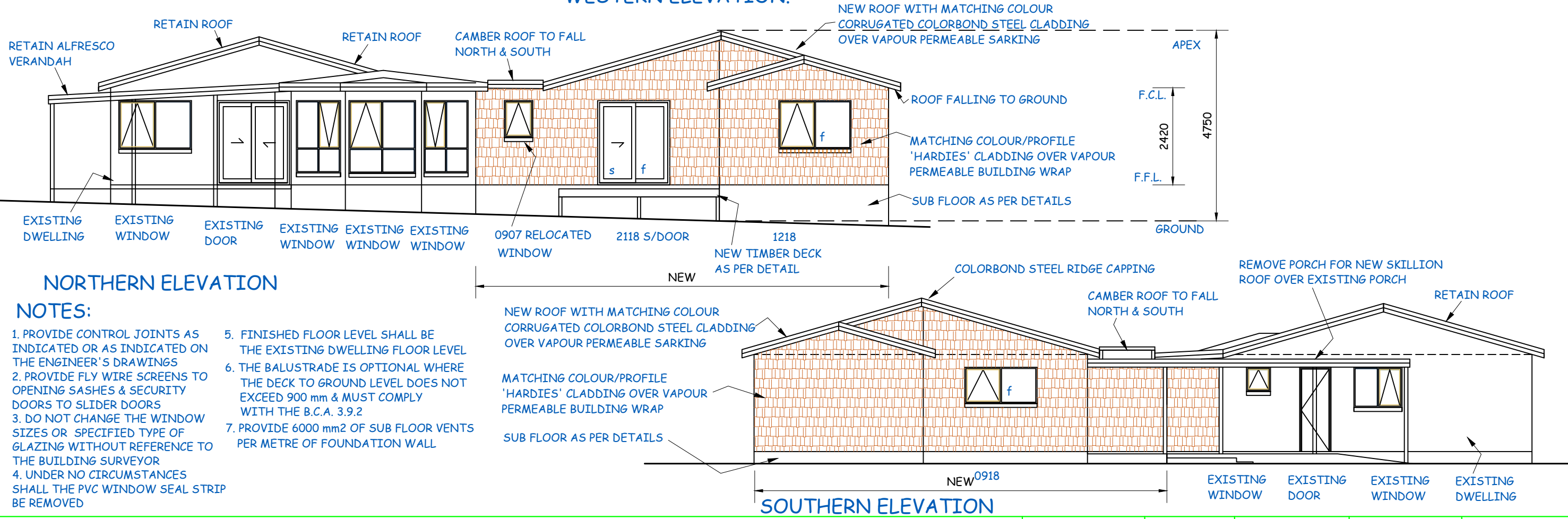
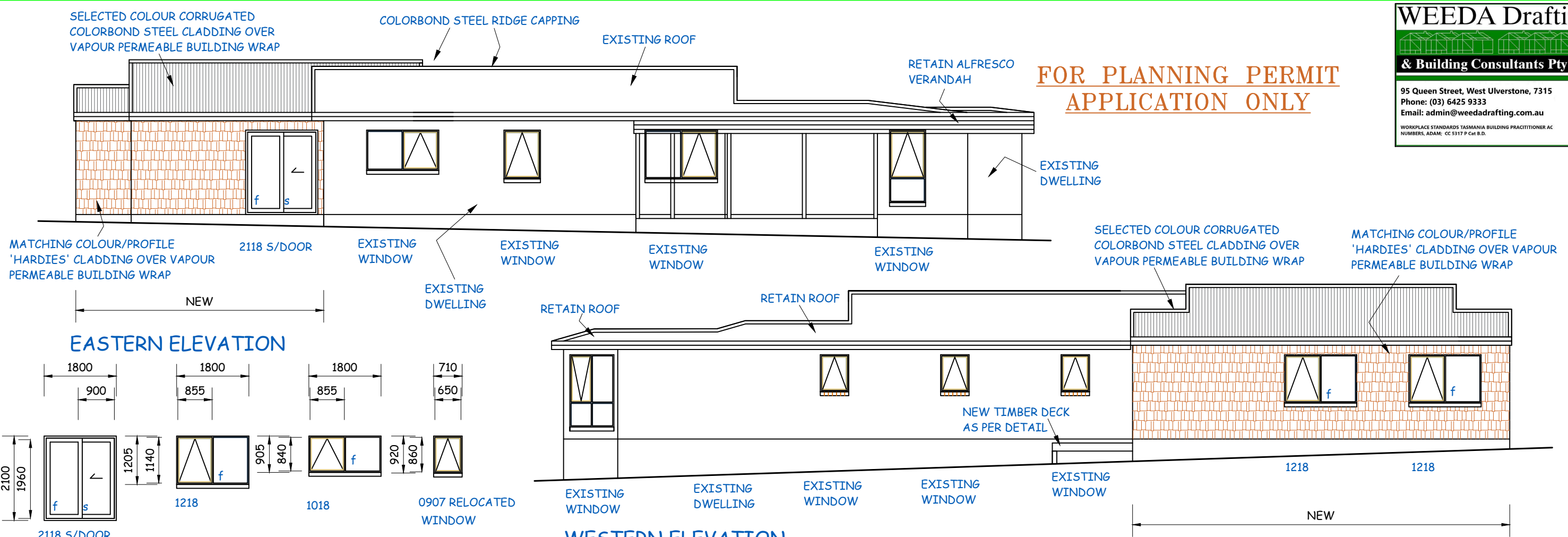
EXISTING DWELLING	123.20 m <sup>2</sup>
EXISTING VERANDAH	26.15 m <sup>2</sup>
NEW EXTENSION	72.75 m <sup>2</sup>
NEW PORCH ENTRY	13.00 m <sup>2</sup>
<b>TOTAL NEW</b>	<b>85.75 m<sup>2</sup></b>
<b>TOTAL</b>	<b>235.10 m<sup>2</sup></b>

**PROPOSED FLOOR PLAN 1:100**

**PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.**

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09/02/2026	AS SHOWN	J WEEDA	A WEEDA	1226 - 3 OF 10

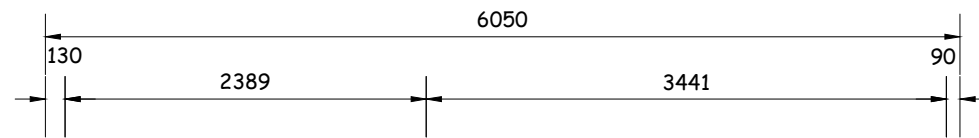
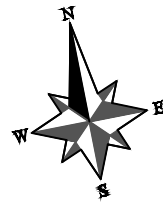
**FOR PLANNING PERMIT APPLICATION ONLY**



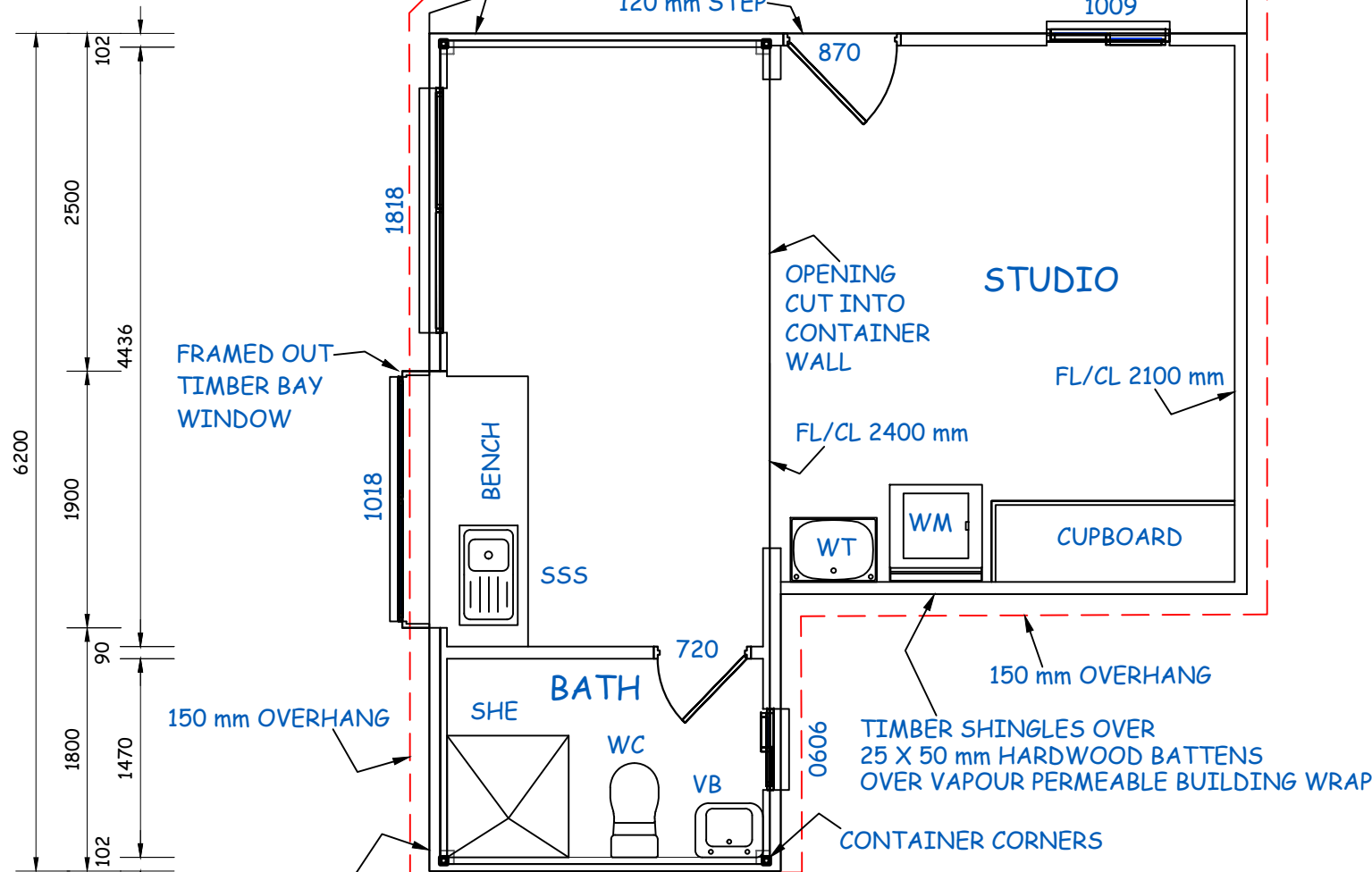
- NOTES:**
1. PROVIDE CONTROL JOINTS AS INDICATED OR AS INDICATED ON THE ENGINEER'S DRAWINGS
  2. PROVIDE FLY WIRE SCREENS TO OPENING SASHES & SECURITY DOORS TO SLIDER DOORS
  3. DO NOT CHANGE THE WINDOW SIZES OR SPECIFIED TYPE OF GLAZING WITHOUT REFERENCE TO THE BUILDING SURVEYOR
  4. UNDER NO CIRCUMSTANCES SHALL THE PVC WINDOW SEAL STRIP BE REMOVED
  5. FINISHED FLOOR LEVEL SHALL BE THE EXISTING DWELLING FLOOR LEVEL
  6. THE BALUSTRADE IS OPTIONAL WHERE THE DECK TO GROUND LEVEL DOES NOT EXCEED 900 mm & MUST COMPLY WITH THE B.C.A. 3.9.2
  7. PROVIDE 6000 mm<sup>2</sup> OF SUB FLOOR VENTS PER METRE OF FOUNDATION WALL

PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.

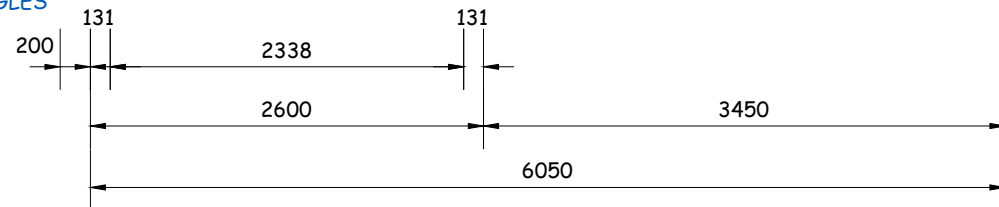
DATE:	SCALE:	CHECKED BY	DRAWN BY	DWG No.
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TIMBER SHINGLES OVER  
25 X 50 mm HARDWOOD BATTENS  
OVER VAPOUR PERMEABLE BUILDING WRAP



ON CONTAINER WALLS 35 X 45  
VERTICAL BATTENS SCREWED TO  
CONTAINER FOR 25 X 50  
HARDWOOD BATTENS FOR SHINGLES



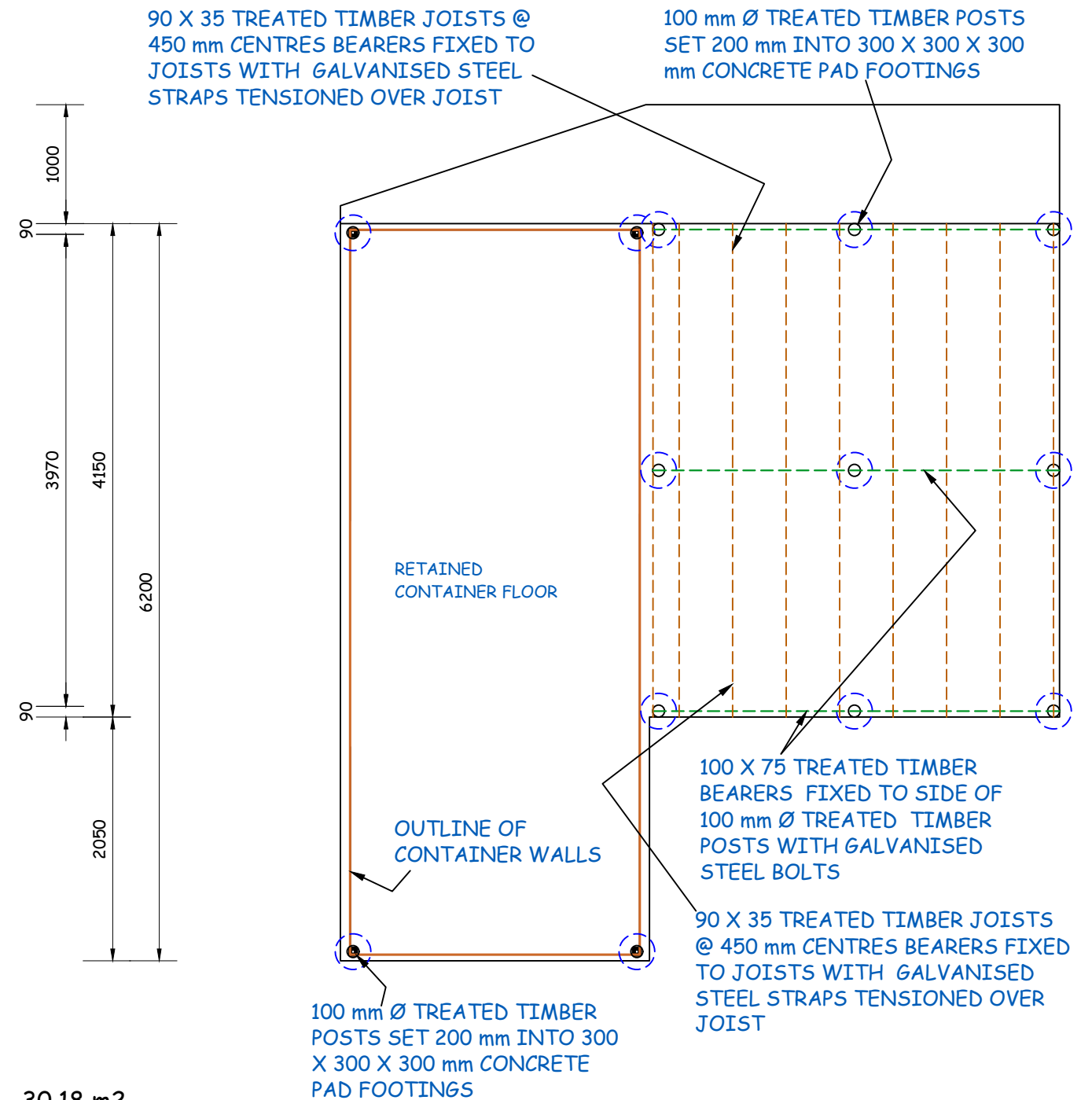
STUDIO FLOOR PLAN 1:50

AREA:  
STUDIO 30.18 m<sup>2</sup>

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Email: admin@weedadrafting.com.au  
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NUMBERS, ADAM: CC 5317 P Cat B.D.

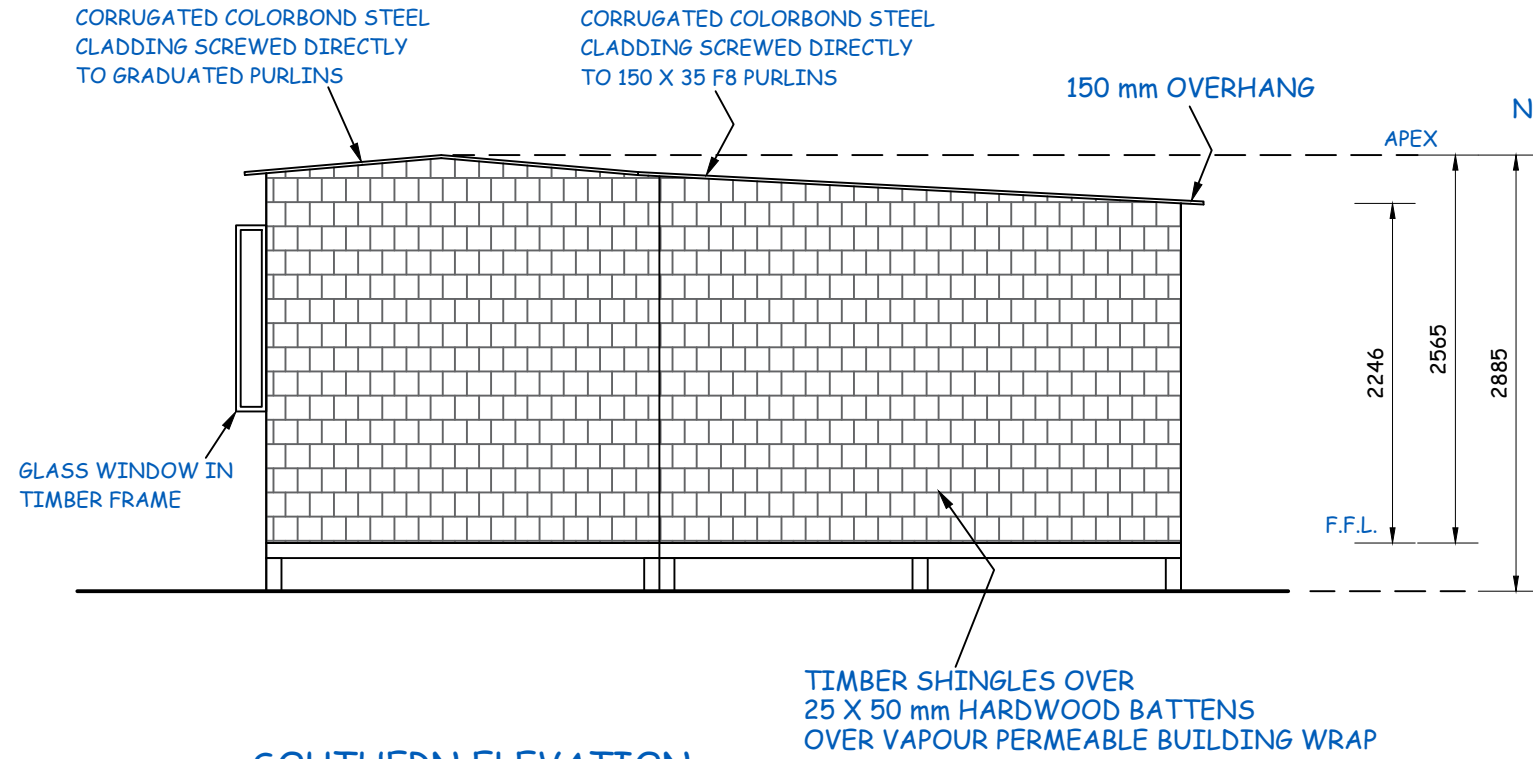


STUDIO SUB FLOOR PLAN 1:50

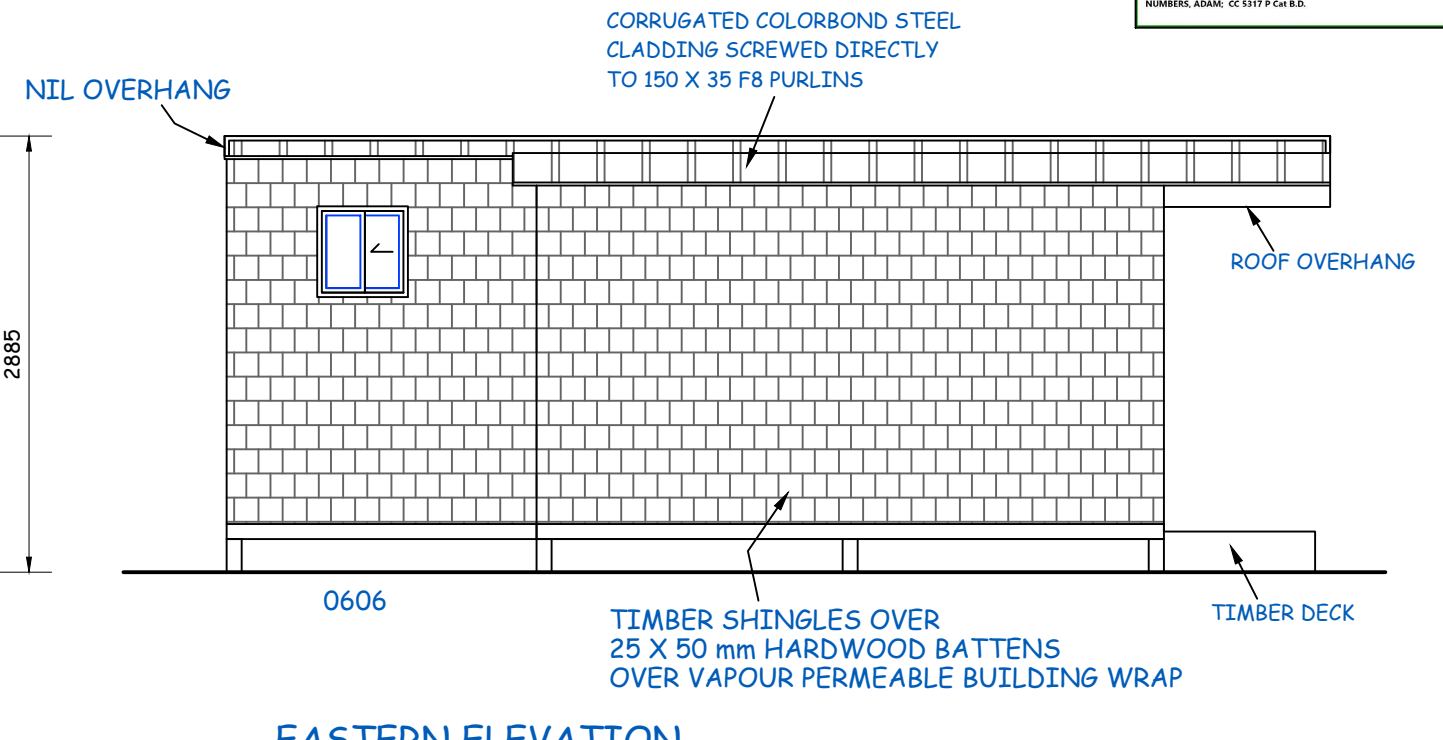
PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT  
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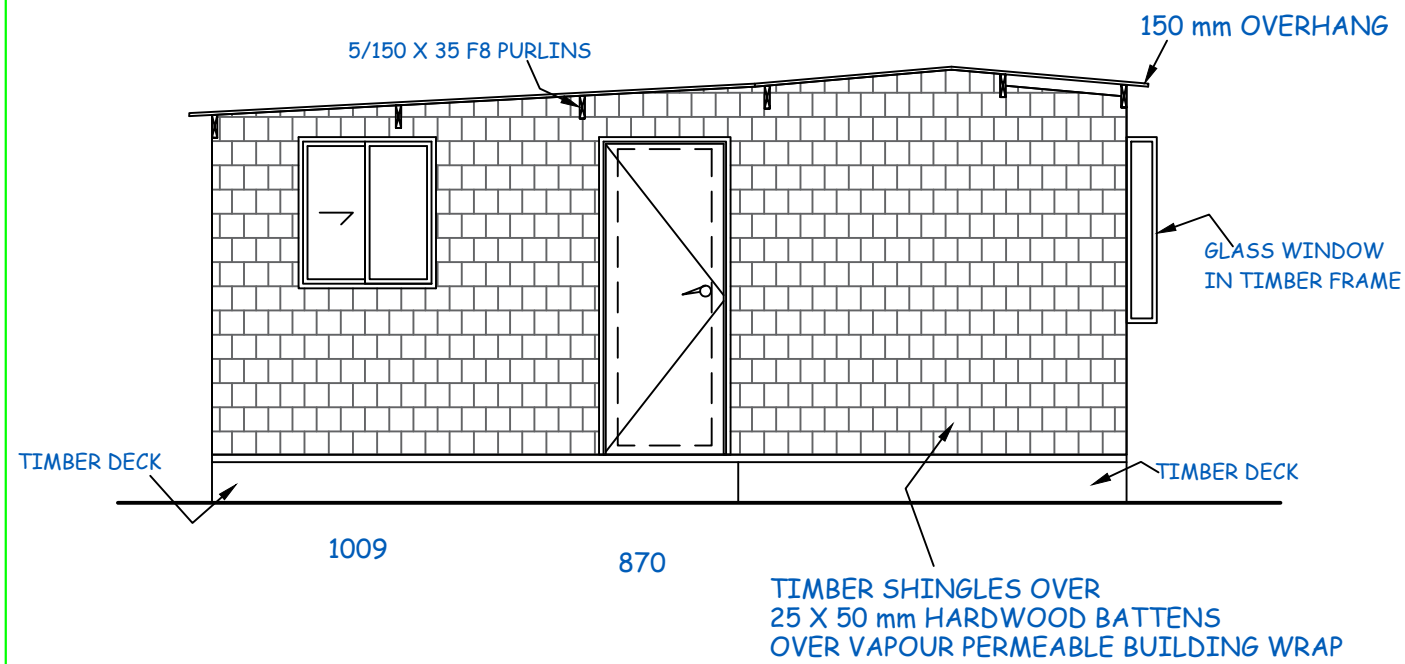
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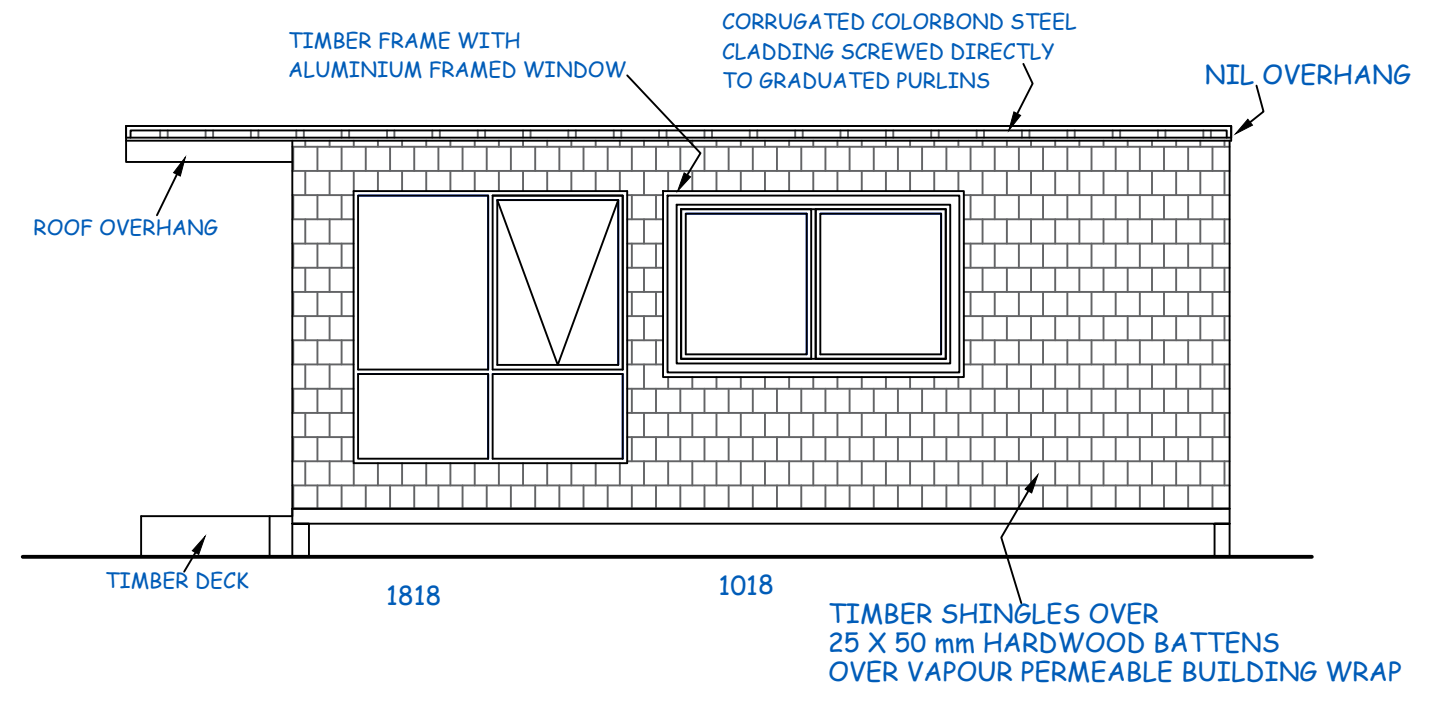
**SOUTHERN ELEVATION**



**EASTERN ELEVATION**



**NORTHERN ELEVATION**



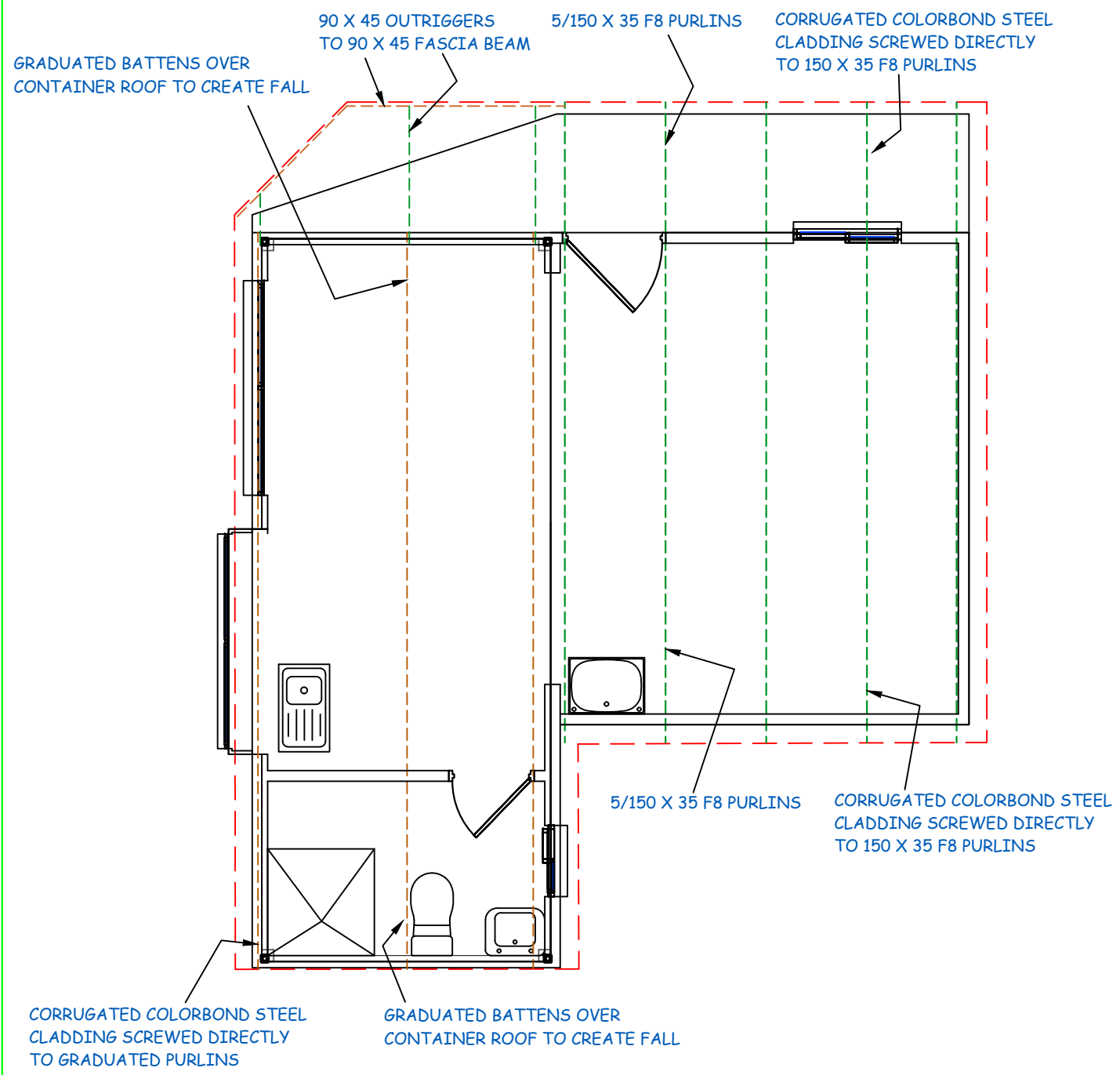
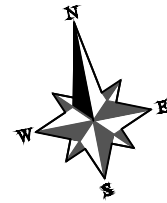
**WESTERN ELEVATION**

**PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT  
 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.**

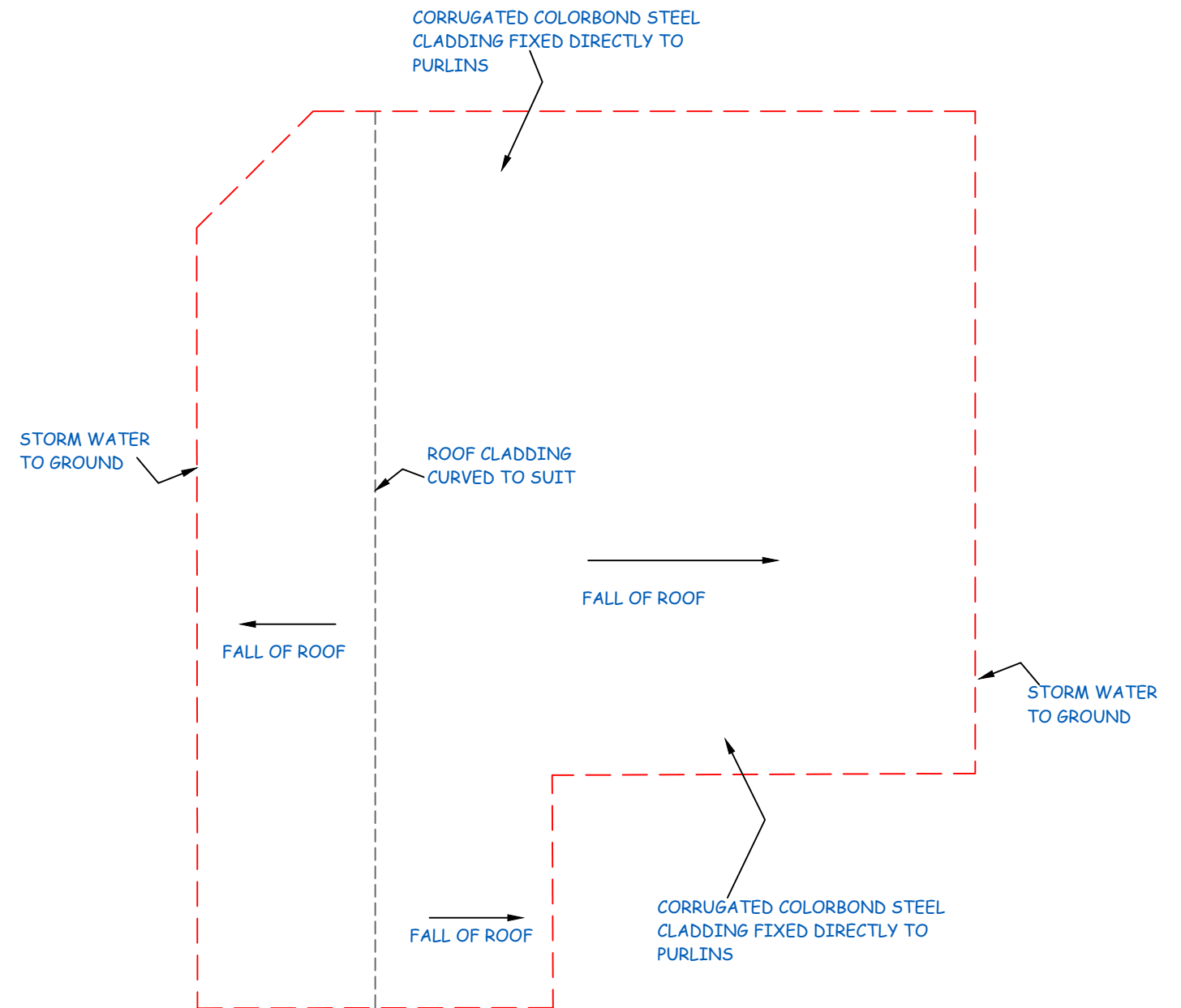
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**FOR PLANNING PERMIT APPLICATION ONLY**



**ROOF FRAMING PLAN 1:50**



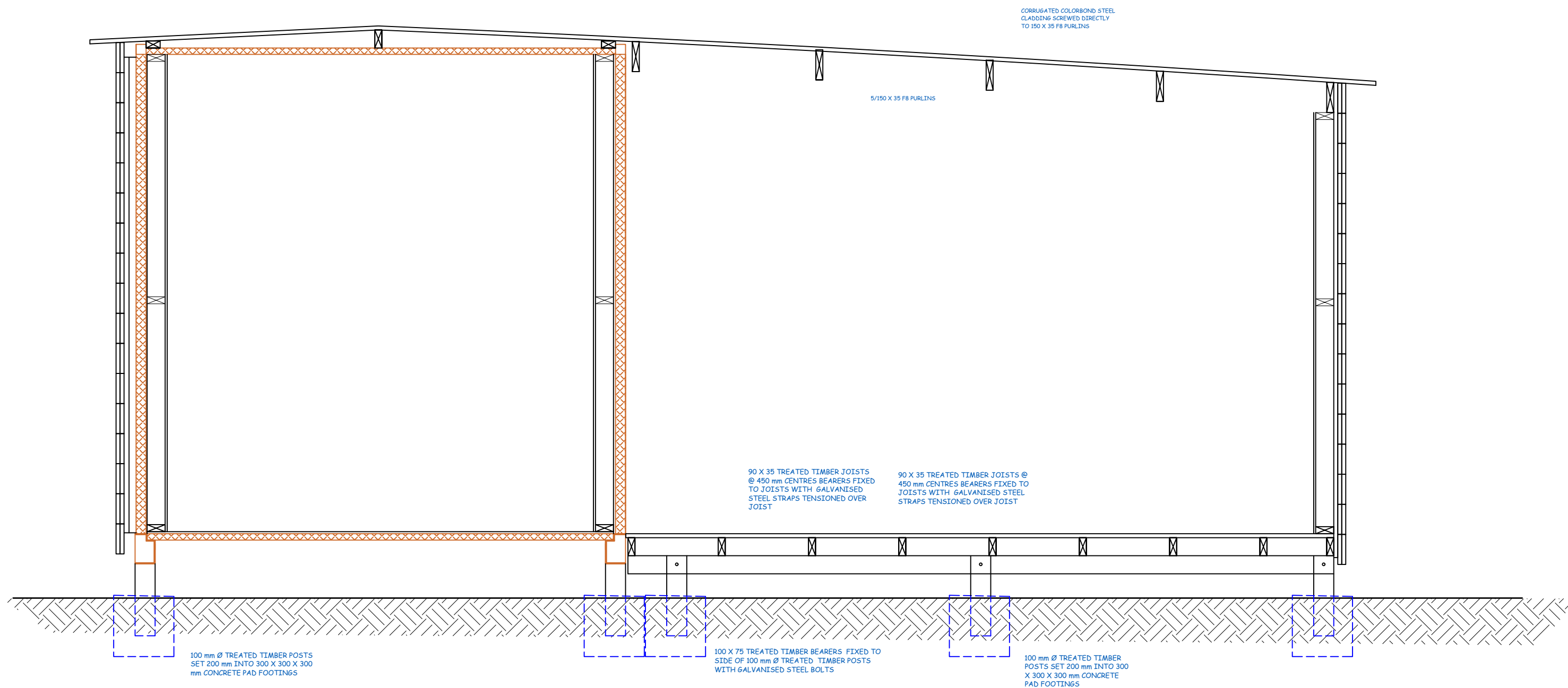
**ROOF PLAN 1:50**

**PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.**

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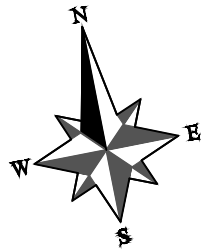


**PRELIMINARY SECTIONAL DETAIL 1:20**

**PROPOSED AS CONSTRUCTED EXTENSION & DETACHED GRANNY FLAT TO THE PROPERTY AT  
 183 BEACH ROAD, LEITH FOR Mr. J. J. BAKKER.**

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**NOTES**

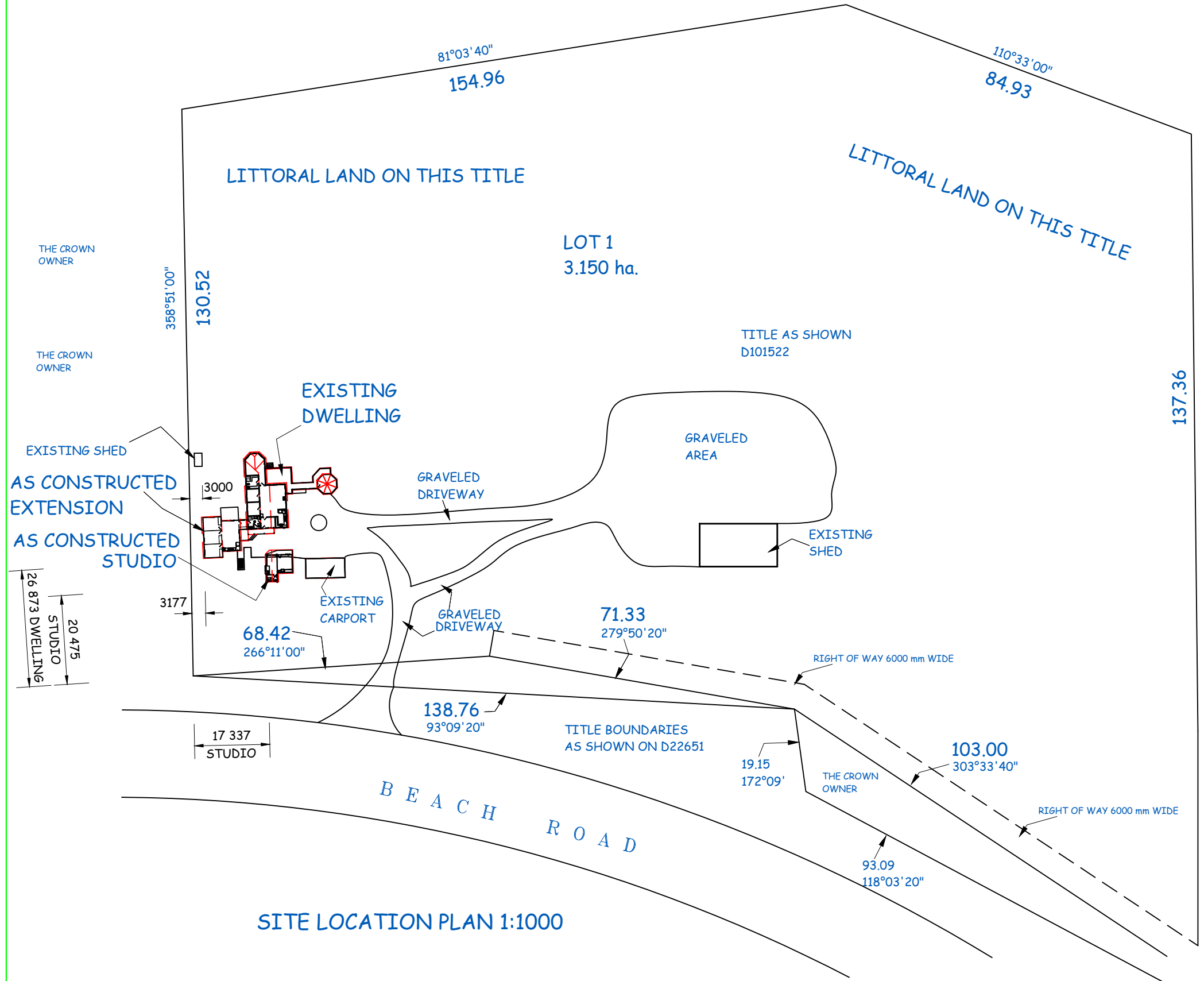
1. THE BUILDER SHALL HAVE A PUBLIC RISK INSURANCE POLICY TO THE VALUE OF TEN MILLION DOLLARS (\$10 MILLION.)
2. THE BUILDER SHALL BE ACCREDITED FOR CLASS 1 & 10 BUILDINGS.
3. THE BUILDER SHALL ENSURE THE SAFETY OF ALL PERSONS ON THE SITE.
4. USE ONLY APPROVED SCAFFOLDING AND SECURITY FENCE HOARDINGS.
5. USE ONLY TESTED & TAGGED POWER TOOLS.

**WEEDA Drafting & Building Consultants Pty Ltd**

95 Queen Street, West Ulverstone, 7315  
 Phone: (03) 6425 9333  
 Email: admin@weedadrafting.com.au

WORKPLACE STANDARDS TASMANIA BUILDING PRACTITIONER AC NUMBERS, ADAM: CC 5317 P C&B.D.

BASS STRAIT



The overriding document is the "NATIONAL CONSTRUCTION CODE SERIES "Building Code of Australia Volume 2, Class 1 & 10 Buildings" which refers to the relevant Australian / NZ Standards. WHERE AS/NZ STANDARDS ARE NOTED, ENSURE THAT THE LATEST AND CURRENT EDITION IS REFERENCED

THE BUILDER SHALL APPLY & PAY FOR THE DEVONPORT COUNCIL "WORKS IN A ROAD RESERVATION" PERMIT FOR DELIVERY OF GOODS VEHICLES THAT CAN NOT BE ACCOMMODATED FULLY ON THE SITE AT THE TIME OF DELIVERY.

THE SOIL CLASSIFICATION FOR THIS SITE HAS BEEN ASSUMED AS 'S' UNDER A.S. 2870.

THE WIND CATEGORY FOR THIS SITE HAS BEEN ASSUMED AS 'N2' UNDER A.S. 4055.

THE CLIMATE ZONE FOR THIS SITE IS 7 UNDER THE N.C.C B.C.A. VOLUME 2 PART 1.1

PROPERTY IDENTIFICATION NUMBER 7904096  
 CERTIFICATE OF TITLE NUMBER 101522 FOLIO 1  
 RURAL LIVING PLANNING ZONE  
 LOT AREA 31 500 m<sup>2</sup>  
 PRIORITY VEGETATION AREA  
 WATERWAY & COASTAL PROTECTION AREA  
 HIGH COASTAL EROSION HAZARD BAND  
 MEDIUM COASTAL EROSION HAZARD BAND  
 LOW COASTAL EROSION HAZARD BAND  
 BUSHFIRE-PRONE AREA  
 HIGH COASTAL INUNDATION HAZARD BAND  
 MEDIUM COASTAL INUNDATION HAZARD BAND  
 LOW COASTAL INUNDATION HAZARD BAND

**SITE LOCATION PLAN 1:1000**

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