
Application for Planning

S.57 Land Use Planning and Approvals Act 1993

The following application has been received:

Application No.: **DA2025231**

Location: **1390 Loongana Road, Loongana**

Proposal: **Subdivision - 2 Lots**

The application may be inspected at the Administration Centre, 19 King Edward Street, Ulverstone during Office hours and on the council's website: www.centralcoast.tas.gov.au Any person may make representation in relation to the applications (in accordance with S.57(5) of the Act) by writing to the Chief Executive Officer, PO Box 220, Ulverstone 7315 or by email to admin@centralcoast.tas.gov.au and quoting the Application No. Any representations received by the Council are classed as public documents and will be made available to the public where applicable under the *Local Government (Meeting Procedures) Regulations 2025*.

The representation must be made on or before **14 January 2026**

Date of Notification: **17 December 2025**

Vicki Brereton
CHIEF EXECUTIVE OFFICER

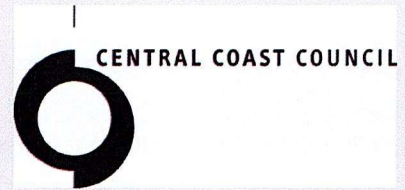
CENTRAL COAST COUNCIL

PO Box 220

19 King Edward Street

ULVERSTONE TASMANIA 7315

Ph: (03) 6429 8900

Email: planning@centralcoast.tas.gov.auwww: centralcoast.tas.gov.au**Land Use Planning and Approvals Act 1993****Tasmanian Planning Scheme – Central Coast****PLANNING PERMIT APPLICATION**

CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	12/12/2025
Application No:	DA2025231
Doc ID:	540376

Office use only:

Zone:

Permit Pathway – NPR/Permitted/Discretionary

Use or Development Site:

Site Address

1390 Loongana Road, Loongana

Certificate of
Title Reference

FR186358/1 FR185625/1

Land Area

80.88ha

Heritage Listed Property

NO

YES

Applicant(s)

First Name(s)

Alan

Surname(s)

Dodds

Company name
(if applicable)

Contact No:

0408547885

Postal Address:

PO Box 5009 Ulverstone TAS 7315

Email address:

adodds@iinet.net.au

Please tick box to receive correspondence and any relevant information regarding your application via email.

Owner(s) (note – if more than one owner, all names must be indicated)

First Name(s)

Middle Names(s)

Surname(s)

Company name (if applicable)

Wallace Bros Pastoral Co Pty Ltd

Postal Address:

19 Rome St, Coorparoo QLD 4151

PERMIT APPLICATION INFORMATION (If insufficient space for proposed use and development, please attach separate documents)

"USE" is the purpose or manner for which land is utilised.

Proposed Use

Use Class
Office use only

"Development" is the works required to facilitate the proposed use of the land, including the construction or alteration or demolition of buildings and structures, signs, any change in ground level and the clearing of vegetation.

Proposed Development (please submit all documentation in PDF format to planning@centralcoast.tas.gov.au separating A4 documents & forms from A3 documents).

Two lot subdivision

Value of the development – (to include all works on site such as outbuildings, sealed driveways and fencing)


\$..... n/a Estimate/ Actual

Total floor area of the developmentm²

Declaration of Notice to Landowner

If land is NOT in the applicant's ownership

I Alan Dodds , declare that the owner/each of the owners of the land has been notified of the intention to make this permit application under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

Signature of Applicant 

Date 29/09/2025

If the application involves land within a Strata Corporation

I , declare that the owner/each of the owners of the body corporation has been notified of the intention to make this permit application.

Signature of Applicant

Date

If the application involves land owned or administered by the CENTRAL COAST COUNCIL


Central Coast Council consents to the making of this permit application.

General Managers Signature _____ Date _____

If the permit application involves land owned or administered by the CROWN

I, Jesse Walker, Unit Manager (Assessments) ^{Delegate} the Minister


responsible for the land, consent to the making of this permit application.

^{Delegate} Minister (Signature)  Date 26/4/25

NB: If the site includes land owned or administered by the Central Coast Council or by a State government agency, the consent in writing (a letter) from the Council or the Minister responsible for Crown land must be provided at the time of making the application - and this application form must be signed by the Council or the Minister responsible.

Applicants Declaration

I/ we Alan Dodds
 declare that the information I have given in this permit application to be true and correct to the best of my knowledge.

Signature of Applicant/s  Date 29/09/2025

Office Use Only	
Planning Permit Fee	\$
Public Notice Fee	\$
Permit Amendment / Extension Fee	\$
No Permit Required Assessment Fee	\$
TOTAL	\$
Validity Date	



Department of Natural Resources,
and Environment Tasmania

GPO Box 44, Hobart, TAS 7001 Australia
Ph 1300 TAS PARKS / 1300 827 727 Fax 03) 6223 8308
www.parks.tas.gov.au




Enquiries: Tanya Simm
Phone: 6165 4691
Email: Tanya.Simm@parks.tas.gov.au
Our ref: 25/3375

26 November 2025

Mr Adam Moller
Wallace Bros Pastoral Co Pty Ltd
1390 Loongana Road
LOONGANA TAS 7315

E: adamroller47@gmail.com

	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	05/12/2025
Application No:	DA2025231
Doc ID:	540037

Dear Mr Moller,

**LODGEMENT OF PLANNING APPLICATION
ALAN DODDS
TWO LOT SUBDIVISION
LOONGANA ROAD, LOONGANA**

This letter, issued pursuant to section 52(1B) of the *Land Use Planning and Approvals Act 1993* (LUPAA), is to confirm that the Crown consents to the making of the enclosed Planning Permit Application, insofar as the proposed development relates to Crown land managed by the Department of Natural Resources and Environment Tasmania.

Crown consent is only given to the lodgement of this application. Any variation will require further consent from the Crown.

It is Departmental policy that all fire buffer areas (Hazard Management Areas and Fuel Modified Areas) are maintained wholly within freehold title boundaries and not on neighbouring Crown or Reserved land. Additionally, it is not the Parks and Wildlife Service's practice for the Crown to enter into agreements under Part 5 of LUPAA in support of developments on private property.

This letter does not constitute, nor imply, any approval to undertake works, or that any other approvals required under the *Crown Lands Act 1976* have been granted. If planning approval is given for the proposed development, the applicant will be required to obtain separate and distinct consent from the Crown before commencing any works on Crown land.

If you need more information regarding the above, please contact the officer nominated at the head of this correspondence.

Yours sincerely,

Jesse Walker
Unit Manager (Assessments)

Instrument of Revocation and Delegation

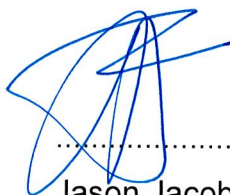
DELEGATION OF THE DIRECTOR-GENERAL OF LANDS' FUNCTIONS UNDER THE *LAND USE PLANNING AND APPROVALS ACT 1993*

I, JASON JACOBI, being and as the Director-General of Lands appointed under section 7 of the *Crown Lands Act 1976*, hereby revoke any previous delegation made pursuant to section 52(1E) of the *Land Use Planning and Approvals Act 1993* ("the Act") and, acting pursuant to section 52(1E) of the Act, I hereby delegate the functions described (by reference to the relevant provision of the Act and generally) in Schedule 1, to the persons respectively holding the offices of Deputy Secretary (Parks and Wildlife Service) (position number 700451), General Manager (Park Operations and Business Services) (position number 708581), Manager (Property Services) (position number 707556), Unit Manager (Operations) (position number 702124) and Unit Manager (Assessments) (position number 334958) in accordance with the functions delegated to me by the Minister administering the *Crown Lands Act 1976*, by instrument dated 9 November 2023.

SCHEDULE 1

Provision	Description of Functions
Section 52(1B)	Signing, and providing written permission for, applications for permits in relation to Crown land.

Dated at HOBART this 29 day of July, 2024



.....
Jason Jacobi
DIRECTOR-GENERAL OF LANDS



CENTRAL COAST COUNCIL LAND USE PLANNING	
Received:	05/12/2025
Application No:	DA2025231
Doc ID:	540033

CROWN LANDS ACT 1976

WORKS AND/OR DEVELOPMENT APPLICATION REQUEST

IMPORTANT INFORMATION

- Lodge this form to apply to Property Services to:
 - undertake works on Crown land, and/or
 - obtain Crown consent to lodge a Development Application.
- If adequate information is not provided this application may be delayed or declined.
- If insufficient space is provided please attach a separate page.
- Where the works result in a change to your lease/licence area, you may need to also complete a new application form and pay the relevant fees, you will be advised.

***Mandatory fields**

1. APPLICANT DETAILS

(circle) Mr/Mrs/Miss/Ms	APPLICANT (Full Name, Company or Business Name)*: Wallace Bros Pastoral Co Pty Ltd ATF MD Trust		
Daytime contact number:	0429 438 150		
Email Address:	Adammoller47@gmail.com		
Residential Address:	1390 Loongana Rd LOONGANA TAS	Post Code	7315
Postal Address:	As above	Post Code	

Who should be contacted about this request? (If different to above).

Name*:	Adam Moller		
Organisation*:	Wallace Bros Pastoral Co Pty Ltd ATF MD Trust		
Position Title:	Director		
Daytime contact number:	0429 438 150		
Email Address: (This is the preferred method of contact)	adammoller47@gmail.com		
Postal Address*:	1390 Loongana Rd LOONGANA TAS	Post Code:	7315

2. LOCATION OF THE CROWN LAND

Property Identification Number (PID) or Title Reference:	6775122		
Address*:	1390 Loongana Rd LOONGANA TAS	Post Code:	.7315.....
Describe where the works will be undertaken. Include the location of the works in relation to surrounding structures and land features such jetties, fences, rivers, and foreshore. Mark the location on maps, diagrams, photos or other forms of illustration to add detail and clarification.			
No work on the licenced area just a subdivision (1 into 2) on my land.			

3. DETAILS ABOUT THE WORKS

Describe what work is proposed. Include the design, size, orientation and layout of structures or vegetation and the materials to be used. Attach plans, diagrams, photos and other illustrations that add detail and clarification*.			
Just a subdivision (1 into 2) on my land. See attached maps			
Describe how the works will be undertaken. Detail the processes, techniques and equipment. Arrangements such as site settings, engineering and/or work management, maps, diagrams, photos and other illustrations would add detail and clarification*.			
No work being done.			
Will heavy machinery and equipment be required to cross public spaces? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, identify the route from the public road to the site on Crown land. Mark the route on maps, diagrams, photos or			

other forms of illustration.

4. LEASE/LICENCE DETAILS (where known)

Lease/Licence Number:259711

File Number:

Date on which the current lease/licence will expire*: 30 April 2070

5. COUNCIL REQUIREMENTS*

Before lodging this Application seek advice from Council Planning regarding Council requirements. *This application cannot proceed without this advice.*

Are there any Council requirements? Yes No If Yes, answer a) and b) below.

a) Is Crown consent to a Development Application required? Yes No

If yes, supply a copy of the complete and final Development Application package. The complete package includes the Council Development Application form and any documents, reports and plans that will be lodged for Council's consideration.

b) Is Crown consent to a Building or Plumbing Application required? Yes No

If yes, supply a copy of the complete and final Building or Plumbing Application package. The complete package includes the Council Application form and any documents, reports and plans that will be lodged for Council's consideration.

6. TIMEFRAMES

What dates do you intend to undertake the work:

Start Date: ASAP

End Date:ASAP

If there is an important deadline state the date

Explain why the deadline is important:

7. SIGNATURE OF APPLICANT

Name: ..Adam Moller.....

Signed: 

Date:9/10/25.....

PS Office Use Only

Received Doc ONE ID:

Folder ID:

CLAIMS:

8. CHECKLIST

- Documents that describe **what** work is proposed e.g. plans, diagrams.
- Documents that illustrate **how** the work will be undertaken e.g. management plans, diagrams.
- Illustrations, maps that identify **where** the work will be undertaken.
- Illustrations, maps that **identify the route** from the public road to the works site on Crown land.
- The complete Development, Building and/or Plumbing Application package if required by council.
- A copy of Public Liability insurance covering the proposed works.

Where there is an agreement holder for the leased/licensed Crown land, attach:

- A copy of their Public Liability insurance
- A letter from the agreement holder supporting this Works Application
- The agreement holders contact details
- If you are acting on behalf of a client please submit a copy of authorisation to do so.

Privacy Statement

Personal information is collected for the purpose of processing, assessing and determining this application and may be disclosed to local government, Forestry Tasmania, Mineral Resources Tasmania, adjoining landowners, agents of the Property Services, law enforcement agencies, courts and other organisations authorised to collect it. It may be disclosed to other public sector bodies where necessary for the efficient storage and use of the information. It is managed in accordance with the Right to Information and may be accessed by the individual to whom it relates on request to the Department of Natural Resources and Environment Tasmania. A fee may be charged for this service.

Applications can be lodged at
PropertyServices@parks.tas.gov.au OR
Property Services
GPO Box 44, Hobart TAS 7001

Contact
Property Services Message Service 6169 9015
(leave message and calls are returned within two business days)
www.parks.tas.gov.au/ps

CENTRAL COAST COUNCIL
CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 05/12/2025
 Application No: DA2025231
 Doc ID: 540036

SEARCH OF TORRENS TITLE

VOLUME 185625	FOLIO 1
EDITION 3	DATE OF ISSUE 24-Aug-2024

SEARCH DATE : 05-Dec-2025

SEARCH TIME : 11.42 am

DESCRIPTION OF LAND

Parish of LOONGANA Land District of DEVON
 Lot 1 on Sealed Plan [185625](#)
 Derivation : Part of Lot 21893, 196A-0R-36P Gtd. to V A Webb &
 Part of Lot 26870, 198A-0R-39P Gtd. to W R Webb
 Prior CT [239623/1](#)

SCHEDULE 1

[N206144](#) TRANSFER to THE TRUST COMPANY (AUSTRALIA) LIMITED
 Registered 24-Aug-2024 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
[SP185625](#) FENCING PROVISION in Schedule of Easements
[N160939](#) BURDENING EASEMENT: a right of carriageway
 (appurtenant to Lot 1 on Plan [186358](#)) over the land
 marked Right of Way 'A' 10.00 wide and Right of Way
 'B' 10.00 wide on Sealed Plan [185625](#) Registered
 02-Jan-2024 at noon
[C811148](#) PRIVATE TIMBER RESERVE pursuant to Section 15(1) of
 the Forest Practices Act 1985 (affecting part of the
 said land within described as shown hatched on the
 plan annexed thereto) Registered 15-Sept-2008 at noon

UNREGISTERED DEALINGS AND NOTATIONS

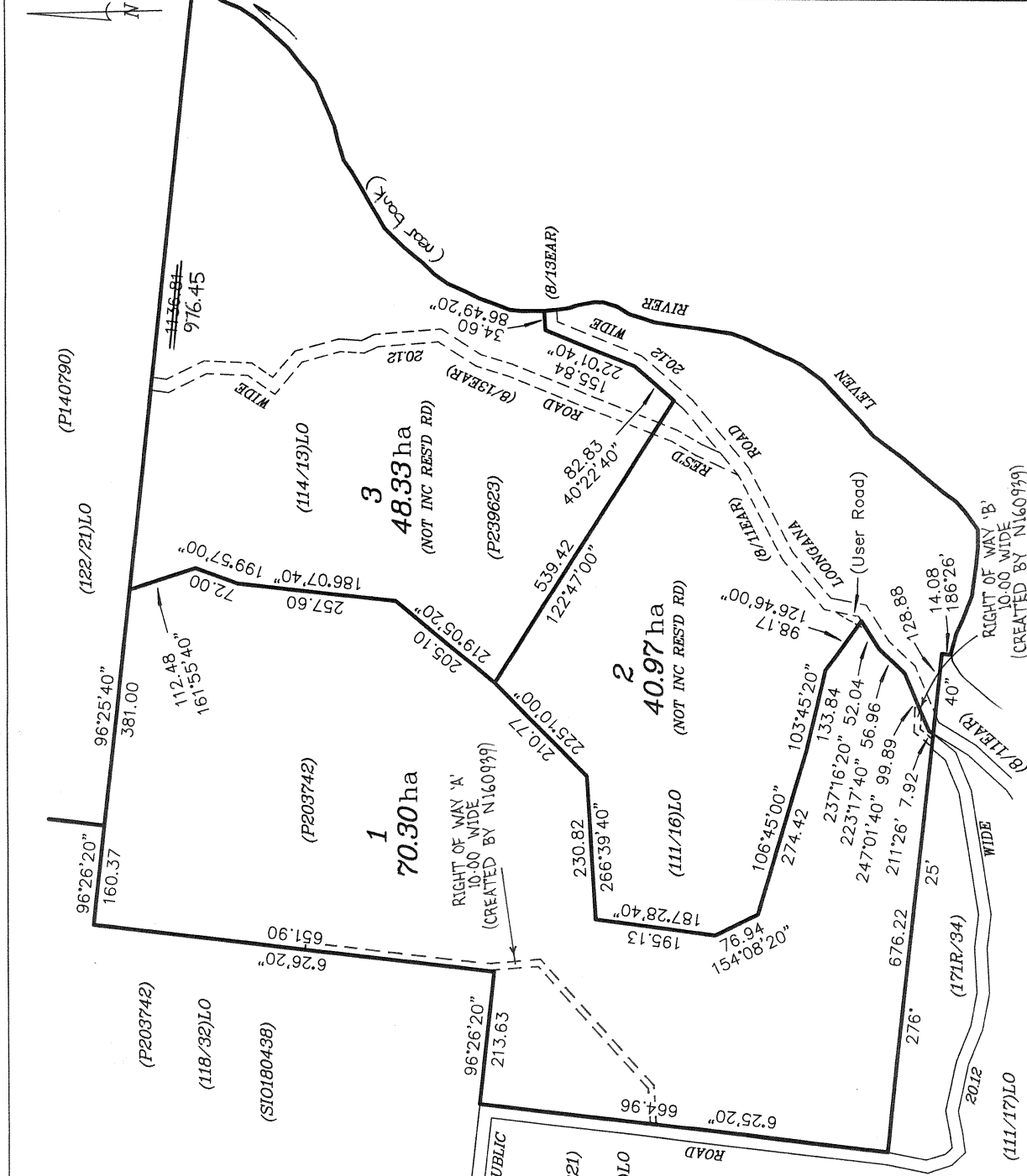
No unregistered dealings or other notations

Priority Final Plan

OWNER: GLEN PATRICK CURRAN & DIANNE ELIZABETH CURRAN FOLIO REFERENCE: FR239623/1 GRANTEE: WHOLE OF LOT 21893 (196-0-36) VERA ANNIE WEBB PUR & WHOLE OF LOT 26870 (198-0-39) WILLIAM ROYSTON WEBB PUR	<p align="center">PLAN OF SURVEY</p> BY SURVEYOR A. E. DODDS LOCATION <p align="center">LAND DISTRICT OF DEVON PARISH OF LOONGANA</p> SCALE 1: 6,000 LENGTHS IN METRES	REGISTERED NUMBER <p align="center">SP185625</p> APPROVED EFFECTIVE FROM 23 AUG 2023 Recorder of Titles
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LOT 3 IS COMPILED FROM FR239623/1 & THIS SURVEY

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



<p><i>A E Dodds</i> 5/07/2023 Registered Land Surveyor Date</p>	<p>(P246821) (111/17)LO PUBLIC ROAD</p>	<p><i>[Signature]</i> 07.08.23 COUNCIL DELEGATE DATE</p>
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CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: **05/12/2025**

Application No: **DA2025231**

Doc ID: **540034**

SEARCH OF TORRENS TITLE

VOLUME 186358	FOLIO 1
EDITION 1	DATE OF ISSUE 02-Jan-2024

SEARCH DATE : 15-Jan-2024
SEARCH TIME : 10.32 AM

DESCRIPTION OF LAND

Parish of LOONGANA Land District of DEVON
Lot 1 on Plan 186358
Derivation : Whole of Lot 30171, 199A-3R-18P Gtd. to Laurence Floyd
Prior CT 203742/1

SCHEDULE 1

M795017 TRANSFER to WALLACE BROS PASTORAL CO PTY LTD
Registered 19-Mar-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

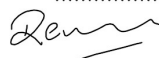
N160939 BENEFITING EASEMENT: a right of carriageway over the land marked Right of Way 'A' 10.00 wide and Right of Way 'B' 10.00 wide on Plan 186358 Registered 02-Jan-2024 at noon

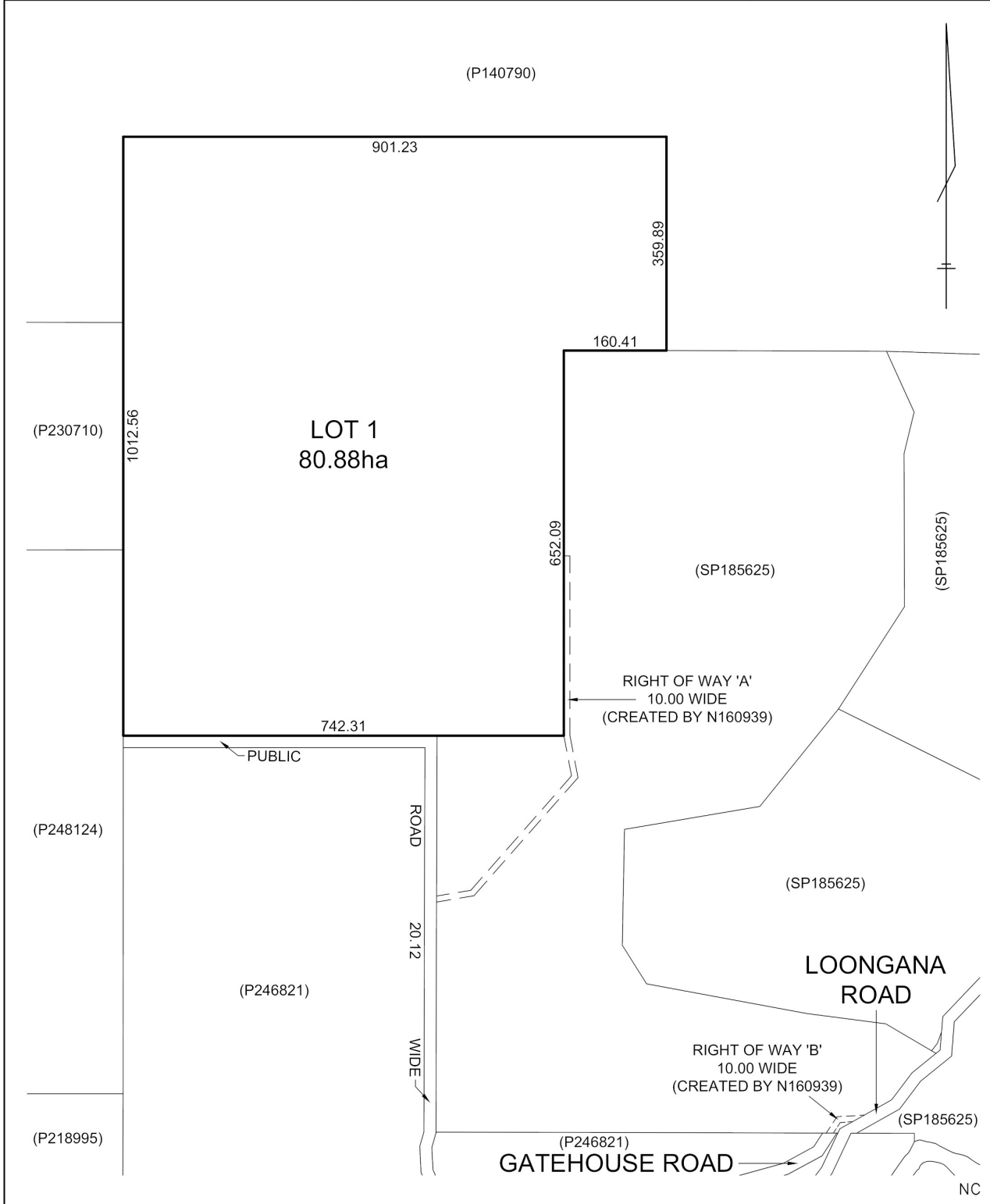
E278965 AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 06-Oct-2021 at noon

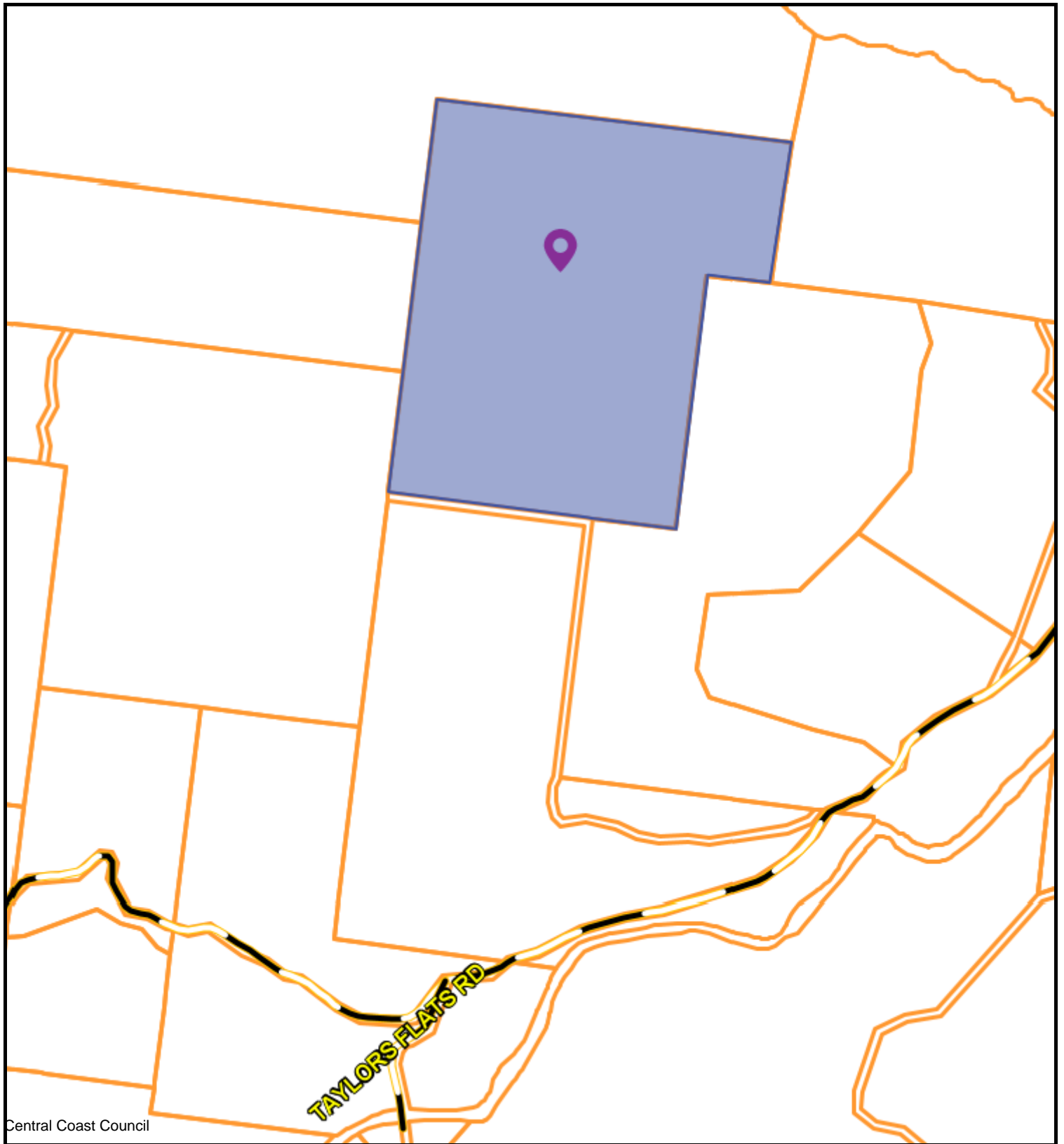
M990130 MORTGAGE to MyState Bank Limited Registered 25-Oct-2022 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: FOLIO REFERENCE: F.R.203742/1 GRANTEE: WHOLE OF LOT 30171, 199A-3R-18P GTD TO LAURENCE FLOYD	PLAN OF TITLE LOCATION: DEVON - LOONGANA FIRST SURVEY PLAN No: 118/32 L.O. COMPILED BY: LTO SCALE 1:6000 LENGTHS IN METRES	Registered Number P.186358
		APPROVED 19 DEC 2023  Recorder of Titles





Central Coast Council



CENTRAL COAST COUNCIL
 19 King Edward St
 Ulverstone
 TAS 7315
 Telephone: 03 6429 8900
 admin@centralcoast.tas.gov.au



15-Dec-2025

**1390 LOONGANA ROAD,
 LOONGANA
 DA2025231**

IMPORTANT

This map was produced on the GEOCENTRIC DATUM OF AUSTRALIA 1994 (GDA94), which has superseded the Australian Geographic Datum of 1984 (AGD66/84). Heights are referenced to the Australia Height Datum (AHD). For most practical purposes GDA94 coordinates, and satellite derived (GPS) coordinates based on the World Geodetic Datum 1984 (WGS84), are the same.

Disclaimer

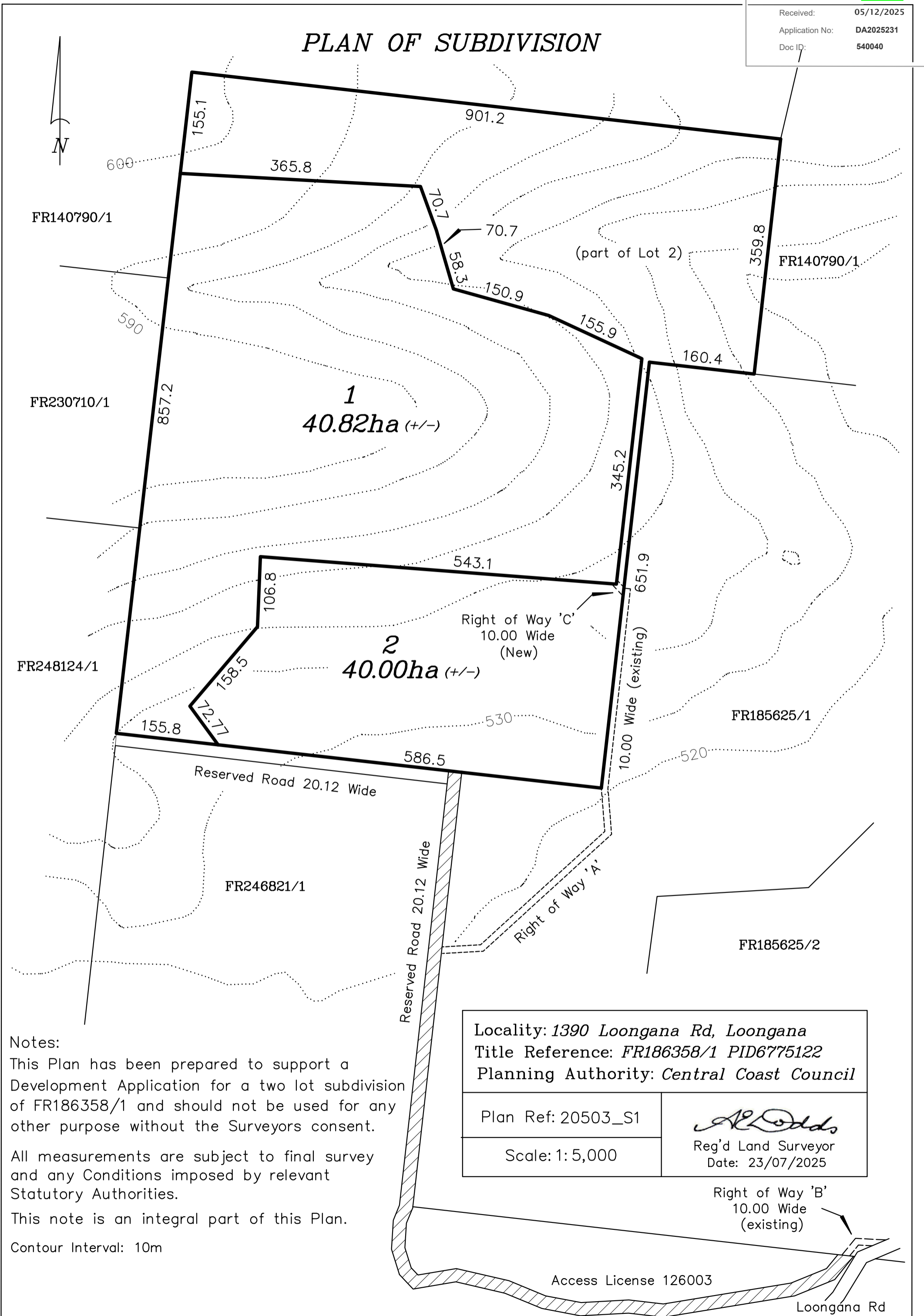
This map is not a precise survey document
 All care is taken in the preparation of this plan; however, Central Coast Council accepts no responsibility for any misprints, errors, omissions or inaccuracies. The information contained within this plan is for pictorial representation only. Do not scale. Accurate measurement should be undertaken by survey.
 © The List 2025.

© Central Coast Council 2025.

500 m

Scale =
1:13566.420

PLAN OF SUBDIVISION



Notes:


This Plan has been prepared to support a Development Application for a two lot subdivision of FR186358/1 and should not be used for any other purpose without the Surveyors consent.

All measurements are subject to final survey and any Conditions imposed by relevant Statutory Authorities.

This note is an integral part of this Plan.

Contour Interval: 10m

Locality: 1390 Loongana Rd, Loongana
Title Reference: FR186358/1 PID6775122
Planning Authority: Central Coast Council

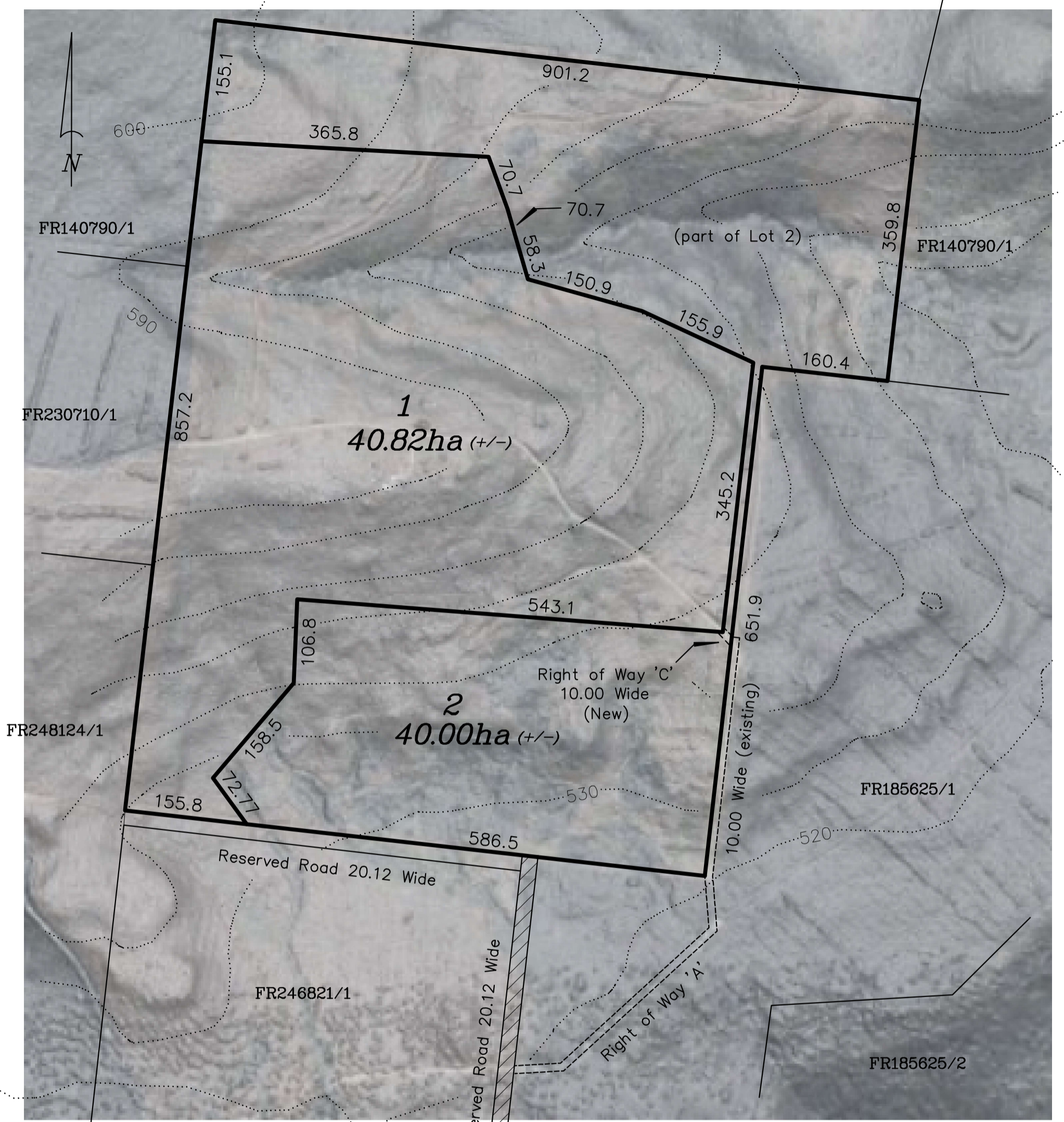
Plan Ref: 20503_S1	 Reg'd Land Surveyor Date: 23/07/2025
Scale: 1:5,000	

Right of Way 'B'
10.00 Wide
(existing)

Access License 126003

Loongana Rd

PLAN OF SUBDIVISION



Notes:

This Plan has been prepared to support a Development Application for a two lot subdivision of FR186358/1 and should not be used for any other purpose without the Surveyors consent.

All measurements are subject to final survey and any Conditions imposed by relevant Statutory Authorities.

This note is an integral part of this Plan.

Contour Interval: 10m

Locality: *1390 Loongana Rd, Loongana*
 Title Reference: *FR186358/1 PID6775122*
 Planning Authority: *Central Coast Council*

Plan Ref: 20503_S1	Reg'd Land Surveyor Date: 23/07/2025
Scale: 1:5,000	

Right of Way 'B'
10.00 Wide
(existing)

Access License 126003

Loongana Rd

CENTRAL COAST COUNCIL
LAND USE PLANNING

Received: 05/12/2025
 Application No: DA2025231
 Doc ID: 540041

Received: 05/12/2025
Application No: DA2025231
Doc ID: 540042

Subdivision Report

Proposed Two-Lot Subdivision of CT186358/1

Rural Zone – Tasmanian Planning Scheme - Central Coast

Introduction

This development proposes to subdivide CT186358/1 into two lots of approximately 40 ha each.

The following assessment addresses the relevant provisions of the Tasmanian Planning Scheme – Central Coast, with specific reference to the Rural Zone Purpose Statements and Clause 20.5.1 P1 and P2 – Development Standards for Subdivision.

Rural Zone – Purpose Statements

The purpose of the Rural Zone is to:

- (a) provide for a range of use or development in a rural location where agriculture is limited or marginal, but other uses compatible with rural character may be appropriate;
- (b) encourage land use or development that contributes to the character and use of the rural landscape;
- (c) minimise conversion of productive agricultural land to non-agricultural uses;
- (d) ensure that subdivision and development is consistent with land capability and suitability for a range of rural uses; and
- (e) provide for other uses that do not compromise the long-term use of land for rural purposes.

Proposal

The proposal seeks to subdivide the existing Title into two lots as follows:

- Lot 1 – 40.82 ha: to be retained and utilised for a planned beef stud breeding enterprise.
- Lot 2 – 40.00 ha: an irregularly shaped lot to be sold, intended primarily for forestry, carbon sequestration, or low-intensity rural use.

Both lots will obtain access from the existing Reserved Road (for which the landowner holds a 50-year Crown access licence) via a combination of direct frontage and a new 10 m wide Right of Way.

20.5 Development Standards for Subdivision

Assessment Against Performance Criteria **P1 & P2**

This proposal satisfies the intent and integrity of the Zone Purpose and Development Standards for Subdivision in the Rural Zone in that both lots have a size and shape that:

1. are consistent with the relevant zone purpose statements;
2. are able to accommodate sustainable rural use;
3. are arranged to maximise the efficient use of land for rural purposes; and
4. have appropriate access to a road.

1. Consistency with Zone Purpose Statements

The subdivision maintains rural land in large holdings that reflect both the capability and the existing and intended use of the land.

While land capability across the site is generally similar, the configuration of Lot 1 has been selected to best support the planned beef stud operation, taking advantage of the existing cleared and improved pasture, operational layout, and proximity to existing infrastructure. Lot 2, although of comparable capability, is positioned adjacent to established forestry plantations, making it well suited for forestry, carbon, or passive rural purposes consistent with its location and existing land use context.

The sale of Lot 2 will enable reinvestment into the beef stud enterprise on Lot 1, supporting the long-term viability of agricultural production and reinforcing the economic sustainability of rural use on the property.

2. Ability to Accommodate Sustainable Rural Use

Both proposed lots exceed 40 ha and have sufficient area, access, and physical characteristics to support ongoing rural use.

- Lot 1 contains higher-quality grazing land. The area contained within proposed Lot 1 has had extensive work done including: having all stumps from previous plantation forestry removed, rock picked and grass and clover sown in readiness for the proposed beef stud operation. Lot 1 provides a contiguous and practical area for livestock operations, including paddock management, fodder production, and potential infrastructure improvements.
- Lot 2, despite its irregular shape, retains adequate area and accessibility for forestry management or similar rural pursuits consistent with the zone's purpose.

3. Efficient Use of Rural Land

The layout of the proposed subdivision supports efficient and practical land management. Although land capability is similar across both lots, the boundary arrangement reflects the logical separation of land uses — consolidating land with existing agricultural improvements into the retained lot, and grouping the balance with similar surrounding forestry land.

This design minimises management inefficiencies, avoids fragmentation of rural land, and allows both titles to continue supporting productive or complementary rural use.

4. Appropriate Access

Both proposed lots will have legal and physical access via the existing Reserved Road and registered Rights of Way.

These access arrangements are suitable for rural machinery and forestry vehicles, ensuring both lots are capable of independent and ongoing rural operation in accordance with the Planning Scheme's access standards.

Conclusion

This subdivision proposal satisfies the requirements of the Tasmanian Planning Scheme – Central Coast, particularly:

- It maintains the integrity and purpose of the Rural Zone.
- It does not result in fragmentation of viable rural land.
- It provides for ongoing and diverse rural use consistent with the land's physical characteristics.
- It promotes efficient land management and supports the long-term viability of existing and proposed rural enterprises.
- Although Lot 2 is irregular in shape, the subdivision pattern reflects operational practicality, tenure flexibility, and the logical separation of compatible rural uses.
- The proposal aligns with the Cradle Coast Regional Land Use Strategy, which recognises the importance of protecting rural land while supporting flexibility for sustainable and economically viable rural activities.

Accordingly, this proposal is considered consistent with Clauses 20.5.1 P1 and P2 of the Rural Zone, and it is respectfully requested that Council grant a Planning Permit for the proposed two-lot subdivision.

A E Dodds
Registered Land Surveyor

AGRICULTURAL REPORT

1390 Loongana Rd, Loongana

Prepared by:

Lisa Abblitt

Agricultural Consultant

November 2025

Masters Degree in Business Administration

Adv Dip Agriculture

Dip Horticulture

Dip Agribusiness Management

Phone: 0427 238 176

Email: Lisaabblittag@gmail.com

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Background

Planning schemes regulate the way land can be used or developed and the specific requirements or standards for the use, development, and protection of land. These standards must be met to gain planning or development approval.

This report has been prepared for the property at 1390 Loongana Rd, Loongana, in the Central Coast Municipality. The *Tasmanian Planning Scheme* sets out the requirements for use or development of land in accordance with the *Land Use Planning and Approvals Act 1993* for this Municipality. The *Local Provisions Schedules* that apply to this municipality divide the area into zones related to the desirable land use for each zone. The property is in the Rural Zone.

Section 21.1 states that the purpose of the Rural Zone is -

- 20.1.1 To provide for a range of use or development in a rural location:**
 - (a) where agricultural use is limited or marginal due to topographical, environmental or other site or regional characteristics;**
 - (b) that requires a rural location for operational reasons;**
 - (c) is compatible with agricultural use if occurring on agricultural land;**
 - (d) minimises adverse impacts on surrounding uses.**
- 20.1.2 To minimise conversion of agricultural land for non-agricultural use.**
- 20.1.3 To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.**

The purpose of this report is to address how the proposed subdivision will meet the Rural Zone Purpose requirements as outlined in section 21.0 of the *Tasmanian Planning Scheme*.

The Proposal

The property at 1390 Loongana Rd, Loongana is owned by Wallace Bros Pastoral Co Pty Ltd as trustee for the MD Trust. Mr Adam Moller is the sole director of the trustee company. This report forms part of an application to the Central Coast Council for subdivision. Key points for this proposal are as follows:

- 1.** This application proposes to subdivide 1390 Loongana Rd into two lots of approximately 40ha each. The Title reference is 186358/1, the Property ID 6775122. Further information is available in the Subdivision Report by AE Dodds which accompanies this application.
- 2.** This property was purchased in 2019 and was formerly plantation forestry. Since harvest Mr Moller has been developing and converting to pasture with a view to operate a stud stock enterprise on the property. A planning application for residential use was approved in 2020, with the residence yet to be completed. Since 2020 Mr Moller has completed an impressive amount of development work, including clearing the plantation debris, stone removal, fencing, access upgrades, and pasture establishment.
- 3.** The reason for this subdivision is to divest of the lesser quality land which is more suited to an alternative land use, and to use the proceeds for further development and establishment of the stud stock enterprise.
- 4.** Surrounding land uses are mostly forestry, there are no directly adjacent sensitive uses identified.

This report supports the application for the subdivision, includes analysis of the land capability, followed by evaluation of compliance with the standards 20.5.1. The following site map explains the proposed boundary changes.

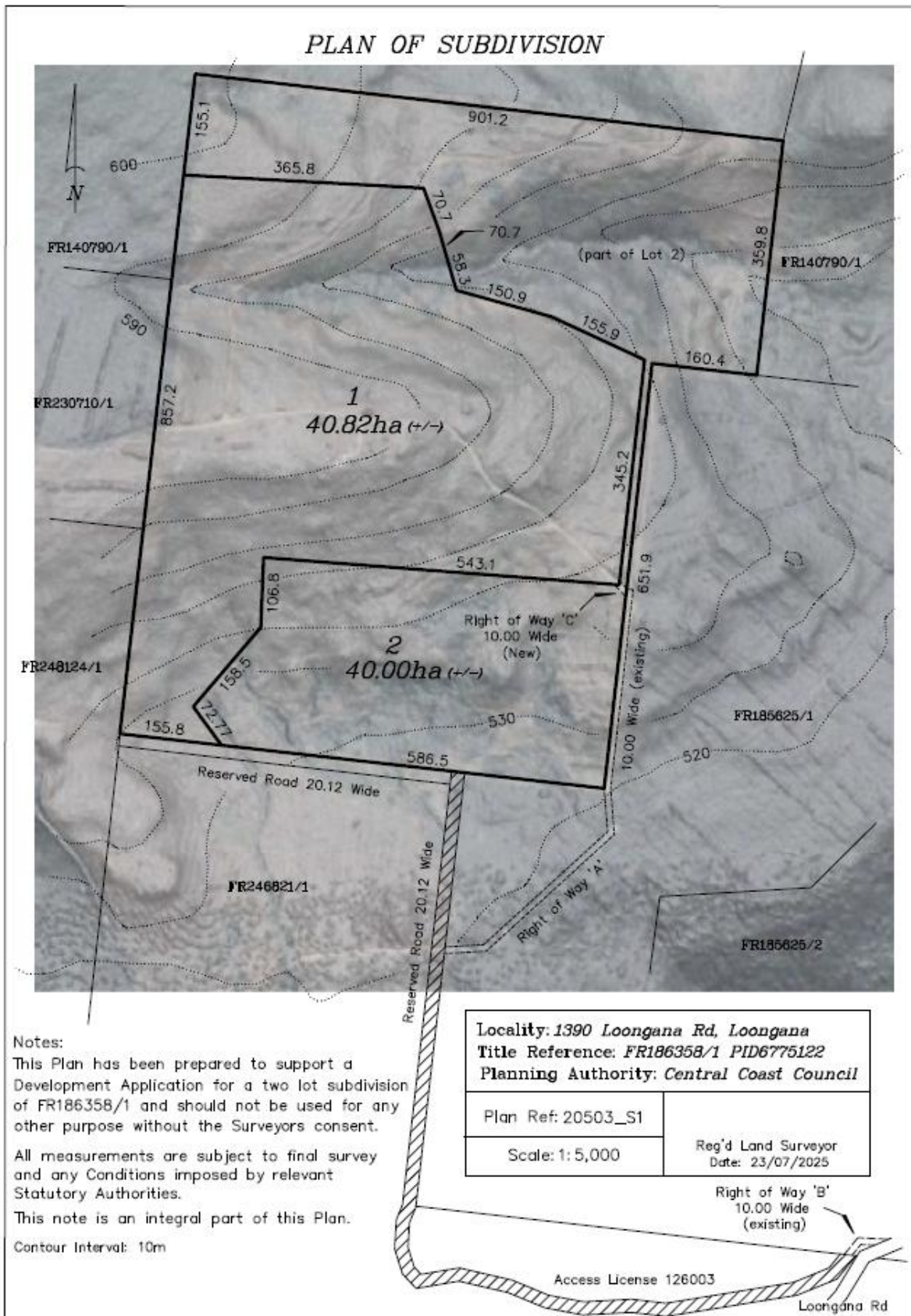


Figure 1: Plan of Subdivision (Source: AE Dodds, Registered Land Surveyor)

Land Capability Assessment

The Land Capability system grades the ability of land to sustain agricultural uses without resource degradation (Noble, 1992). The method uses a Class 1 – 7 scale whereby Class 1 is the best land well suited to a range of intensive cropping and pasture production. Class 7 is the opposite with severe limitations that render the land unsuitable for agricultural production.

According to the Land Capability Survey of Tasmania, Inglis 1:100 000 map (Moreton, 1999), the subject property is Class 5 (refer Figure 2). The scale of this map does not always allow accurate classification of land at the property level. A more detailed assessment of this block would support a Class 5 assessment on the proposed Lot 1 and a complex mix of Class 6 + 5 on the proposed Lot 2. It is difficult to separate land capability classes in areas that remain forested, so the system allows a dual rating where mapping is difficult. It is important to note that Classes 5 and 6 are not considered 'prime agricultural land' based on the definitions provided by Grose (1999).

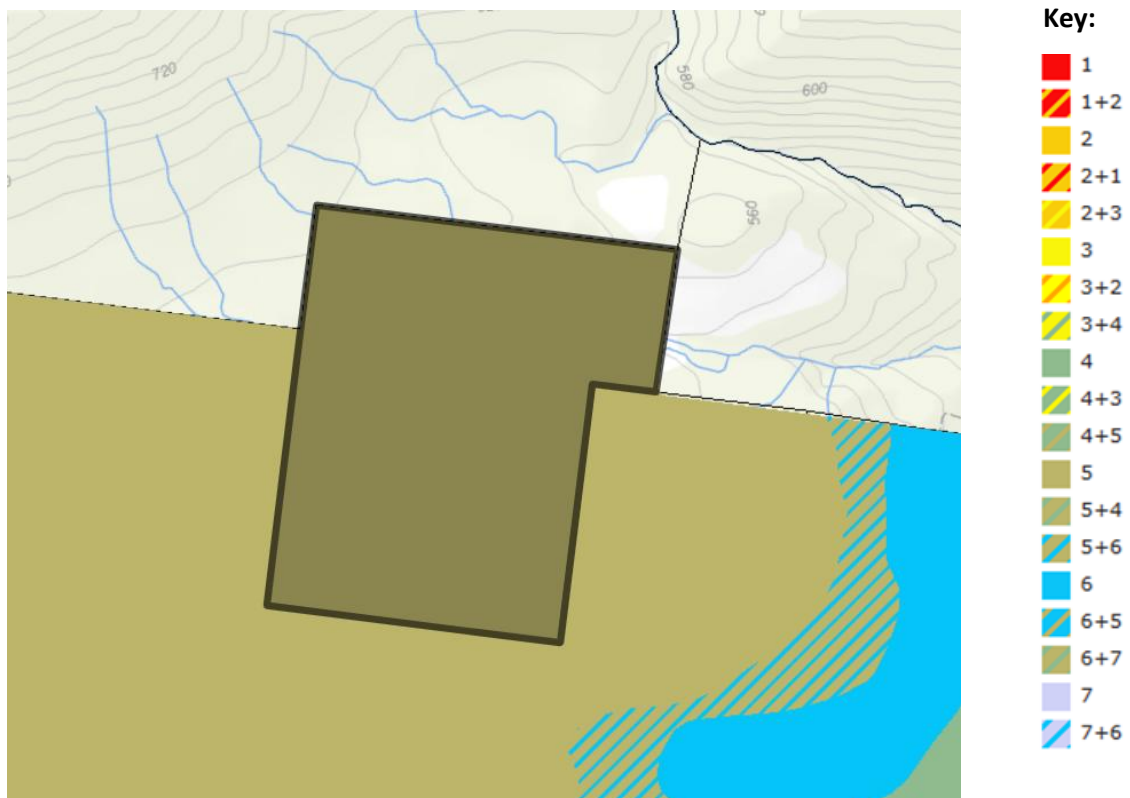


Figure 2: The Land Capability Assessment shows the property as Class 5 (Source: Listmap, 2025).

Class 5 land is defined as *'land unsuitable for cropping, although some areas on easier slopes may be cultivated for pasture establishment or renewal and occasional fodder crops may be possible. The land may have slight to moderate limitations for pastoral use...'* (Grose, 1999). This is a reasonable assessment for the area chosen for inclusion in Lot 1, due to the higher capability the landowner will use it for development and production of a grazing enterprise.

Class 6 is defined as *'Land marginally suitable for grazing because of severe limitations. This land has low productivity, high risk of erosion, low natural fertility or other limitations that severely restrict agricultural use. This land should be retained under its natural vegetation cover'*. The majority of Lot 2 is Class 6 with some areas of Class 5. The class 6 land contains native vegetation and an area of plantation forestry and is considered to be of low production value with a high conversion cost.

This Land Capability Assessment confirms that the property has a low value for agricultural production, but a suitability for livestock grazing in some areas. Pasture establishment will be challenging on this site, with conservation measures required to prevent resource degradation. The separation of Lots 1 and 2 is supported as a reasonable way to divide the property by land class. The following section will examine this subdivision proposal against the development standards.



Figure 3: Part of Lot 2 with native vegetation including the Tasmanian Mountain Pepper Berry.

Planning Scheme Requirements

Section 20.5 of the *Tasmanian Planning Scheme* outlines the Development Standards for Subdivision.

The Objectives for lot design are to provide for subdivision that:

- (a) relates to public use, irrigation or Utilities; or**
- (b) facilitates use and development for allowable uses in the zone.**

This proposal does not satisfy the requirements of Acceptable Solutions A1 and A2; therefore, it will address Performance Criteria P1. P1 (a) is applicable for this proposal and P2 a) – d) inclusive.

20.5.1 Performance Criteria P1:

Each lot, or a lot proposed in a plan of subdivision, must:

(a) have sufficient useable area and dimensions suitable for the intended purpose, excluding Residential or Visitor Accommodation, that:

- (i) requires the rural location for operational reasons;**
- (ii) minimises the conversion of agricultural land for a non-agricultural use;**
- (iii) minimises adverse impacts on nonsensitive uses on adjoining properties; and**
- (iv) is appropriate for a rural location.**

As each Lot will have a different use profile due to the land capability, Lot 1 and 2 will be addressed against this criterion individually.

Lot 1's intended purpose is livestock grazing. The proposed 40.82ha lot size is considered reasonable to accommodate a stud enterprise which generally grow fewer stock of high-quality genetics. Stud enterprises are a good choice for smaller properties as they have the capacity to make a higher profit from smaller areas than can be achieved with standard production. The livestock grazing use meets the criteria as it requires a rural location for operational reasons. The intention is to continue conversion of the land from forestry to agricultural use, therefore, no land will be converted to non-agricultural use unless incapable. There are no adverse impacts on non-sensitive forestry uses on the neighbouring properties as there are no identified conflicts between the two uses. Finally, livestock grazing is accepted as appropriate for a rural location. For these reasons it is considered that the use profile of Lot 1 is compliant with 20.5.1 P2 (a).

Lot 2 has been designed to separate the two land classes experienced on the property. The land capability rating of the Lot 2 area is predominantly class 6. The recommendation for this land class is for it to remain under native vegetation. The suggested uses are conservation or forestry, but a new owner may seek alternatives through the discretionary use pathway. These alternative uses have no requirement to be of a specific lot size, the 40ha will provide suitable useable area and dimensions. These suggested alternative uses also meet the requirement to require a rural location and the low intensity nature should not result in interruption to any potential sensitive uses on adjoining properties. Most importantly, whatever alternative use undertaken on Lot 2 will not result in the conversion of agricultural land for non-agricultural use due to its low capability. It is considered that the use profile of Lot 2 is also compliant with 20.5.1 P2 (a).

Most rural properties have sections with differing land capabilities which require separation and specific management. The separation of these lots will allow this under independent ownership, by owners that may have different interests, talents, or skills. The Lot 2 design may be a little unorthodox, but it reflects the natural landscape. In an ideal world the attributes of Lot 2 would not experience separation, however, for the suggested alternative uses such as forestry and conservation, the lot design is unlikely to matter. Certainly, this proposal offers a good benefit to agriculture, in that divesting the lesser quality land to an owner with forestry interest will allow a capital injection into the development of the livestock enterprise.



Figure 4: Newly established pastures on Lot 1 after conversion from plantation forestry.

20.5.1 Performance Criteria P2:

Each lot, or a lot proposed in a plan of subdivision, is provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to:

- (a) the topography of the site;**
- (b) the distance between the lot or building area and the carriageway;**
- (c) the nature of the road and the traffic, including pedestrians; and**
- (d) the pattern of development existing on established properties in the area.**

Lot 1 & 2 will be provided reasonable vehicular access to the existing reserved road with a 50-year crown access licence. A new Right of Way has been created to access the northern part of Lot 2.



Figure 5: the eastern neighbouring land use, plantation forestry.

Summary

This proposal is highly compatible with Development Standards for Subdivision 20.5.1 objective (b), to provide for subdivision that facilitates use and development for allowable uses in the zone. It supports agricultural development by providing capital, and for the landowner to focus on the livestock enterprise without the maintenance costs of non-productive land.

Key points are as follows:

1. This application requests subdivision of property into Lot 1 to be developed for agricultural use, and Lot 2 containing lower class land for alternative use such as conservation or forestry.
2. A new Land Capability analysis shows that this land is Class 5 on Lot 1 and 6+5 on Lot 2. Lot 1 is considered suitable for agricultural development, Lot 2 is unsuitable for development and it is recommended to remain under native vegetation or forestry. There is no prime agricultural land present in this area.
3. This proposal meets criteria 20.5.1 P1 a). Both Lot 1 and Lot 2 with their suggested use profiles require a rural location, minimise conversion of agricultural land to non-agricultural use, no adverse effects for use on adjacent properties have been identified, and the rural location is appropriate. The Lot 2 design reflects the natural landscape and the separation of the areas is not considered detrimental for suggested uses such as forestry or conservation.
4. This proposal meets criteria 20.5.1 P2. Reasonable vehicular access is available via a crown access licence and appropriate Right of Way configuration.

This report has provided rigorous evaluation of the agricultural value of the proposal and has found significant benefit for the subdivision. It has found to be compatible with the Rural Zone objectives, particularly 20.1.1 (a) to provide for a range of uses where agricultural use is limited or marginal due to topographical, environmental or other site characteristics. Therefore, this proposal adequately satisfies the Development Standards for Subdivision in the Rural Zone as part of the *Tasmanian Planning Scheme*. Approval is recommended.

References:

Grose, C.J., 1999, *Land Capability Handbook – Guidelines for the Classification of Agricultural Land in Tasmania*, Department of Primary Industries, Water and Environment, Prospect, TAS.

Moreton, R.M, 1999, *Land Capability Survey of Tasmania, Inglis, 1:100 000 map*, Department of Primary Industries, Water and Environment, Tasmania.



Figure 6: Pasture conversion in process.



environmental service & design

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BUSHFIRE HAZARD REPORT - Version 3

Client – Adam Moller

2 lot Subdivision

**1390 Loongana Road
Loongana TAS**

 CENTRAL COAST COUNCIL	CENTRAL COAST COUNCIL LAND USE PLANNING
Received:	05/12/2025
Application No:	DA2025231
Doc ID:	540031

Author- Bruce Harpley

BFP- 140

2 December 2025

Scope of Assessors Accreditation

Bruce Harpley (BFP-140) is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for scope of works:

1. *Certify a Bushfire Hazard Management Plan for the purposes of the Building Act 2016*
2. *Certify an Exemption from a Bushfire Hazard Management Plan for the purposes of the Building Act 2016 or the Land Use Planning and Approvals Act 1993*
- 3A. *Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for Vulnerable Uses and Hazardous Uses for the purposes of the Land Use Planning and Approvals Act 1993.*
- 3B. *Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for small subdivisions for the purposes of the Land Use Planning and Approvals Act 1993.*

Works performed by **Bruce Harpley (BFP-140)** that require Tasmania Fire Service endorsement:

4. *Certify an Emergency Management Strategy or Bushfire Emergency Plan*

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Any measures implemented based on the advice from *Environmental Services and Design Pty Ltd*, is offered as potential methods of reducing your properties risk of fire damage only and is not to be relied upon as a total solution. It in no way guarantees that any or all buildings on site will survive the effects of a bushfire nor does it guarantee the safety and security of any individuals whom frequent the property.

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Re-Certification – Ability to Re-Evaluate

If in the event that the land owner requests a re-assessment of this plan due to a reduced or eliminated bushfire risk in the future; an Accredited Bushfire Assessor can over-ride any or all of the requirements or provisions of this plan. This provision serves to formally expunge any Part 5 Agreement with a Council Planning Authority (if placed on a Title as a condition of Permit) or to reduce the construction standards required under AS3959 *Construction of Buildings in Bushfire Prone Areas* (as amended) if the bushfire risk is reduced to **BAL – LOW** or a threat no longer exists.

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Appendix A – Plan of Subdivision

Appendix B – Hazard Management Plan

Appendix C – Requirements for Property Access and Water Supply

Appendix D – Planning Certificate

1. Introduction

Environmental Services and Design Pty Ltd has been engaged to complete a bushfire hazard management assessment for a proposed 2 lot subdivision.

Lot 1 contains an existing dwelling that will be used for the assessment. The plan provided does not show a proposed building area for lot 2. Following discussion on site with the client the potential building area provided on the Bushfire Hazard Management plan is for assessment purposes only.

The purpose of this report is to document the assessment, bushfire attack level and associated hazard management areas under the Tasmanian Building Regulations 2016, Tasmanian Planning Scheme – Central Coast Code C13 and AS3959-2018.

2. Site Description

2.1 Property Details

Property Address	1390 Loongana Road Loongana
Certificate of Title	186358/1 PID - 6775122
Type of Application	2 lot Subdivision
Area	Lot 1 – 40.82ha, Lot 2 – 40ha
Zoning	Rural – zone 20
Surrounding Zoning	Rural
Planning Scheme	Tasmanian Planning Scheme – Central Coast
Existing land Use	Rural/Forestry
Proposed land use	Rural/Forestry



Site Aerial

2.2 Surrounding Land Use

Surrounding land use consists of plantation forestry with some harvested land to the south.

3. Proposed Development

The proposal creates 2 lots from the original lot. *Plan of subdivision 20503_S1 prepared by Alan Dodds dated 23/0/2025 is at appendix A.*

The subdivision proposes to create 2 lots with lot 1 containing the existing dwelling and lot 2 as a vacant balance lot. As required by Code C13 – Bushfire Hazard Areas Code a potential building area must be included for assessment purposes and is shown on the hazard management plan for assessment purposes only.

4. Bushfire Hazard Assessment

A site assessment was carried out on 16 July 2025. Report revision assessment was conducted on 2 December 2025.

4.1. Vegetation & Effective Slope

Vegetation and relevant effective slopes within 100m of the proposed subdivision building area and existing habitable building have been inspected and classified in accordance with AS 3959-2018. All measurements noted below were taken with a Nikon Forestry Pro II laser measurement device.

Vegetation

The proposed lots are surrounded by plantation forestry. Areas to the south, east and west of the existing dwelling of lot 1 have been replanted and will mature over time to become forest.

Lot 1 (existing dwelling)

North – shrubland for greater than 200m then forest,
South – low threat cleared land 50m then shrubland to 480m,
East – shrubland for greater than 100m then forest at 200m, and
West – low threat cleared land to fence at 35m then forest.

Lot 2 (vacant lot)

North – shrubland 40m within boundary and to 100m,
South – shrubland 40m then forest,
East – shrubland for 90m then forest, and
West – shrubland 50m then forest.

Topography

Effective slope under the assessable vegetation was assessed as:

Lot 1

- North – upslope,
- South – down 5°,
- East – down 4°,
- West – across slope,

Lot 2

- North – upslope,
- South – down 5°,
- East – down 4°,
- West – across slope,



Image 4.1.1 – North – lot 1



Image 4.1.2 – South - lot 1 towards lot 2 building area



Image 4.1.3 East – lot 1



Image 4.1.4 West - lot 1

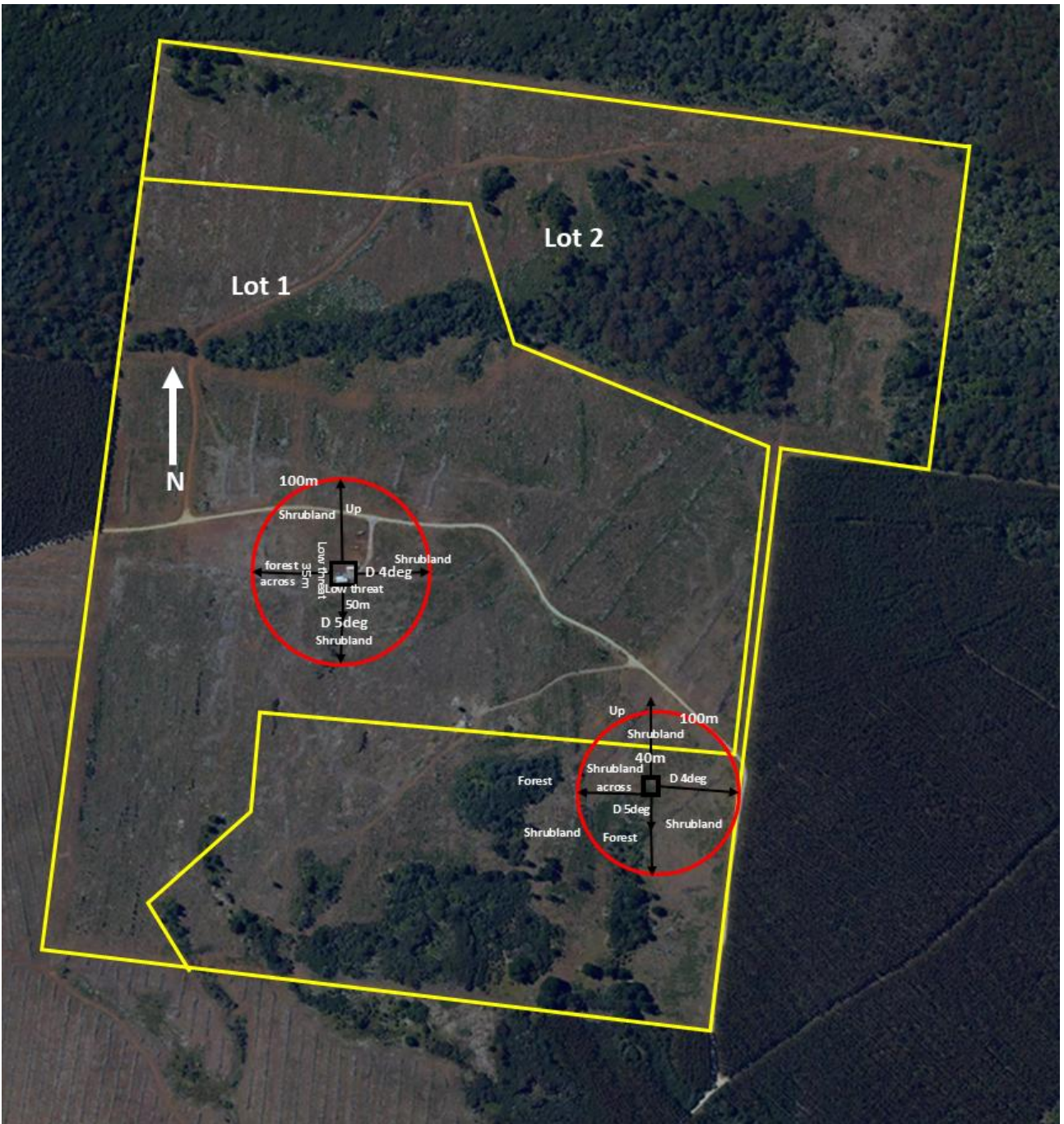


Image 4.1.5 – Site Analysis

4.2. Bushfire Attack Level - Lot 1

A Bushfire Attack Level assessment has been completed using Method 1 of AS 3959-2018. Assessment relates to the subdivision.

Lot 1

Step 1: Relevant fire danger index (clause 2.2.2): FDI 50

Step 2: Assess the vegetation within 100m in all directions

Vegetation Classification	North	South	East	West
Group A - Forest				X
Group B – Woodland				
Group C – Shrubland	X	X	X	
Group D – Scrub				
Group E – Mallee/Mulga				
Group F – Rainforest				
Group G – Grassland		X (50m)		X (35m)
Low threat (cl. 2.2.3.2)				

Step 3: Distance from classified vegetation (clause 2.2.4)

	North	South	East	West
Existing distance	0-100m shrubland	0-50m low threat 50-100m shrubland	0-100m shrubland	0-35m low threat 35m-100m Forest
Proposed HMA distance	19m	22m	22m	32m

Step 4: Effective slope under classified vegetation

	North		South		East		West	
	Upslope/ 0°	X	Upslope/ 0°		Upslope/ 0°		Upslope/ 0°	X
	>0-5°		>0-5°	X	>0-5°	X	>0-5°	
	>5-10°		>5-10°		>5-10°		>5-10°	
	>10-15°		>10-15°		>10-15°		>10-15°	
	>15-20°		>15-20°		>15-20°		>15-20°	

Step 5: Determination of Bushfire Attack Level (BAL)

	North	South	East	West
BAL value for each quadrant	12.5	12.5	12.5	12.5

The applicable Bushfire Attack Level is: **BAL – 12.5**

Lot 2

A Bushfire Attack Level assessment has been completed using Method 1 of AS 3959-2018. Assessment relates to the subdivision.

Step 1: Relevant fire danger index (clause 2.2.2): FDI 50

Step 2: Assess the vegetation within 100m in all directions

Vegetation Classification	North	South	East	West
Group A - Forest		X	X	X
Group B – Woodland				
Group C – Shrubland	X	X	X	X
Group D – Scrub				
Group E – Mallee/Mulga				
Group F – Rainforest				
Group G – Grassland				
Low threat (cl. 2.2.3.2)				

Step 3: Distance from classified vegetation (clause 2.2.4)

	North	South	East	West
Existing distance	0-100m	0-40m shrubland 40-100m forest	0-90m shrubland 90- 100m Forest	0-50m shrubland 50-100m forest
Proposed HMA distance	20m	38m	38m	32m

Step 4: Effective slope under classified vegetation

	North		South		East		West	
	Upslope/0°	X	Upslope/0°		Upslope/0°		Upslope/0°	X
	>0-5°		>0-5°	X	>0-5°	X	>0-5°	
	>5-10°		>5-10°		>5-10°		>5-10°	
	>10-15°		>10-15°		>10-15°		>10-15°	
	>15-20°		>15-20°		>15-20°		>15-20°	

Step 5: Determination of Bushfire Attack Level (BAL)

	North	South	East	West
BAL value for each quadrant	12.5	12.5	12.5	12.5

The applicable Bushfire Attack Level is: **BAL – 12.5**

5. Bushfire Protection Measures

The Bushfire Attack Level assessment is based on the existing structure within lot 1 and the assessable building areas for lot 2. The Bushfire Attack Level for all lots is assessed as:

Lot 1 – BAL – 12.5 Lot 2 – BAL 12.5

Hazard Management

Lot 1

- Hazard management area must be established and maintained.

Lot 2

- Hazard management area is not required until a habitable building is constructed.
- If a future habitable building is constructed within the assessed building area a Hazard Management Area must be established and maintained as shown on the Hazard management plan drawing at appendix B to the building surveyor's satisfaction and maintained by the owner thereafter.
- Should a dwelling be proposed outside the assessed potential building area a new bushfire risk assessment will be required.

Hazard Management Distances

	Lot 1	Lot 2
North	19m	20m
South	22m	38m
East	22m	38m
West	32m	32m

Water Supply

Lot 1

Water supply for firefighting must be installed and maintained.

- A static water supply for firefighting purposes is required and must meet the requirements of Table C13.5 of Bushfire Prone Areas Code C13.
- A potential location for the static water supply tank is shown on Hazard Management Plan drawing 9830-1.
- The potential static water supply firefighting water point is located within 90m of the furthest part of the building to be protected measured as a hose lay.
- Static water supply must be located within 3m of the access hardstand area and no less than 6m from the dwelling.
- Static water supply must be a minimum of 10,000L of noncombustible construction.
- Static water supply has the capacity to meet the requirements of Table C13.5 of Bushfire Prone Areas Code C13.
- Static water supply requirements are included in Appendix D.

Lot 2

Water supply for firefighting purposes is not required until such a time a habitable building is constructed.

- A static water supply for firefighting purposes is required and must meet the requirements of Table C13.5 of Bushfire Prone Areas Code C13.
- A potential location for the static water supply tank is shown on Hazard Management Plan drawing 9830-1.
- The potential static water supply firefighting water point is located within 90m of the furthest part of the building to be protected measured as a hose lay.
- Static water supply must be located within 3m of the access hardstand area and no less than 6m from the dwelling.
- Static water supply must be a minimum of 10,000L of noncombustible construction.
- Static water supply has the capacity to meet the requirements of Table C13.5 of Bushfire Prone Areas Code C13.
- Static water supply requirements are included in Appendix D.

Access

Lot 1

Access must be upgraded to comply with the requirements.

- Access to the lot is via a 20m wide access licence (126003) with a 4m wide all-weather gravel road from Loongana Road via an existing 10m wide 'right of way' and a separate 10m wide 'right of way' along Maxwells Road to the southeast corner of lot 1 – refer plan of subdivision and image 5.2.
- Existing access from the southeast corner 'right of way' to the dwelling is an all-weather gravel road 4m wide – refer image 5.3.
- Existing access terminates in a hardstand area 6m wide and 10m long providing adequate area for maneuvering of emergency vehicles – refer image 5.4.
- Access must be extended to the west of the hardstand area to the static water supply.
- Total length of the access exceeds 200m and passing bays are required.
- Passing bays must be a minimum of 20m length and an additional 2m carriageway width.
- Passing bays are to be spaced every 200m as shown on the hazard management plan.
- Passing bays can be installed at shorter distances to meet geographical constraints but must not be greater than 200m apart.
- Access and hardstand to the static water supply must comply with the requirements of Table C13.2 of Bushfire Prone Areas Code C13.
- Access requirements are included in Appendix D.



Image 5.2 – Existing right of way



Image 5.3 – Existing access



Image 5.4 – existing hardstand

Lot 2

Access is not required until such a time a habitable building is constructed.

- Access is a 4m wide all-weather gravel road from Loongana Road via a 10m wide 'right of way' under access licence 126003 and a separate 10m wide 'right of way' to the northeast corner of lot 2 – refer plan of subdivision and image 5.2.
- Proposed internal access to the potential building area and static water point is shown on the Bushfire Hazard Management Plan and is less than 90m to the building to be protected.
- Access must comply with the requirements of Table C13.2 of Bushfire Prone Areas Code C13.
- Property access requirements are included in Appendix D.

6. Statutory Compliance

The applicable bushfire requirements are specified in the *Tasmanian Planning Scheme – Circular Head Code C13 – Bushfire Prone Areas Code*.

Table 1 – Compliance Schedule

Deemed-to-Satisfy requirement	Compliance
C13.4.1 Exemptions	N/A
C13.6.1 Hazard management areas	Subject to implementing the hazard management area prescribed on the Bushfire Hazard Management Plan, the proposal will comply with clause C13.6.1 A1(b).
C13.6.2 Property access	Subject to the construction/upgrade of any access requirements as prescribed in section 5 access the proposal will comply with clause C13.6.2 A1(b)
C13.6.3 Water supply for firefighting	Subject to installation of the static water supply for firefighting as prescribed in section 5, the proposal will comply with clause C13.6.3 A2(b).

7. Conclusion

The building areas shown on the hazard management plan are for assessment purposes only.

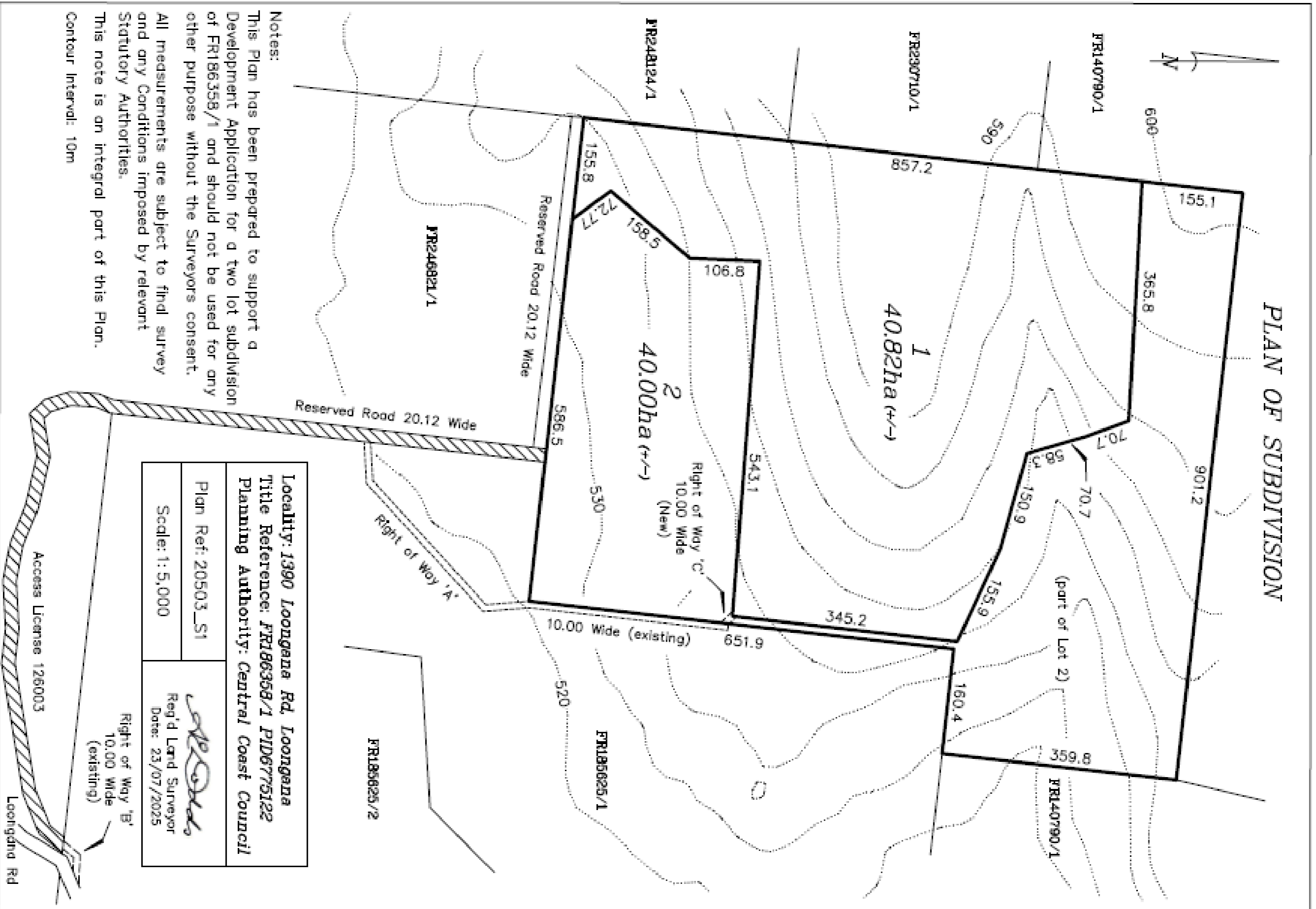
A bushfire hazard management plan is required and attached as appendix B. This Bushfire Hazard Report must be read in conjunction with the bushfire hazard management plan.

Lot 1

Hazard management area, property access and static water supply requirements as set out in section 5 must be complied with.

Lot 2

Hazard management area, property access and static water supply requirements as set out in section 5 are not required until such a time a habitable building is constructed.

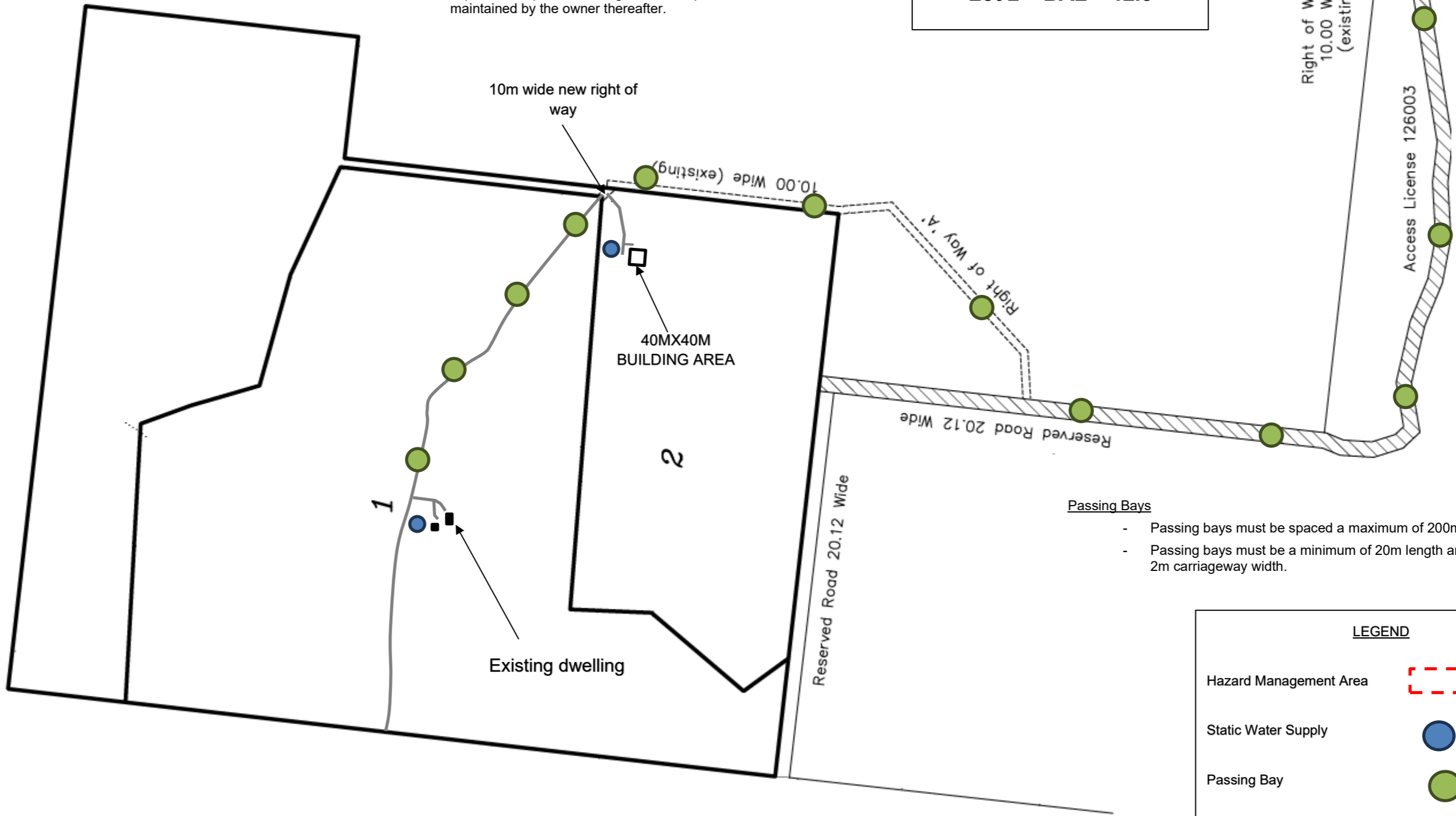


Appendix B – Hazard Management Plan

General

- Plan to be read in conjunction with Bushfire Hazard Assessment Report v3.0
- Ensure that all relevant consultants and contractors are provided with a full copy of this plan and supporting report
- Requirements of the hazard management plan must be implemented prior to sealing of the final plan of subdivision and maintained by the owner thereafter.

1390 Loongana Road
 LOONGANA
 CT – 186358/1
Lot 1 – BAL – 12.5
Lot 2 – BAL – 12.5



Passing Bays

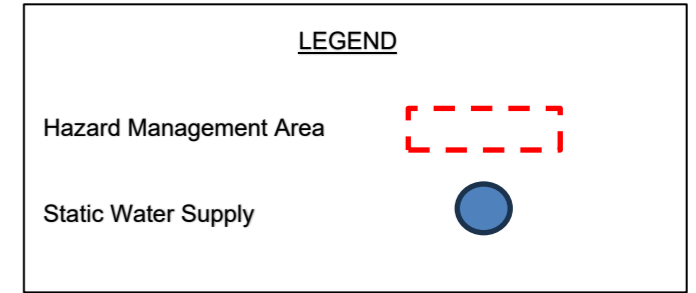
- Passing bays must be spaced a maximum of 200m apart.
- Passing bays must be a minimum of 20m length and an additional 2m carriageway width.

LEGEND	
Hazard Management Area	
Static Water Supply	
Passing Bay	

NOTE: Lot 1 existing dwelling and Lot 2 assessed building area are shown in greater detail on page 2 and page 3.



1390 Loongana Road
LOONGANA
CT – 186358/1
Lot 1 – BAL – 12.5

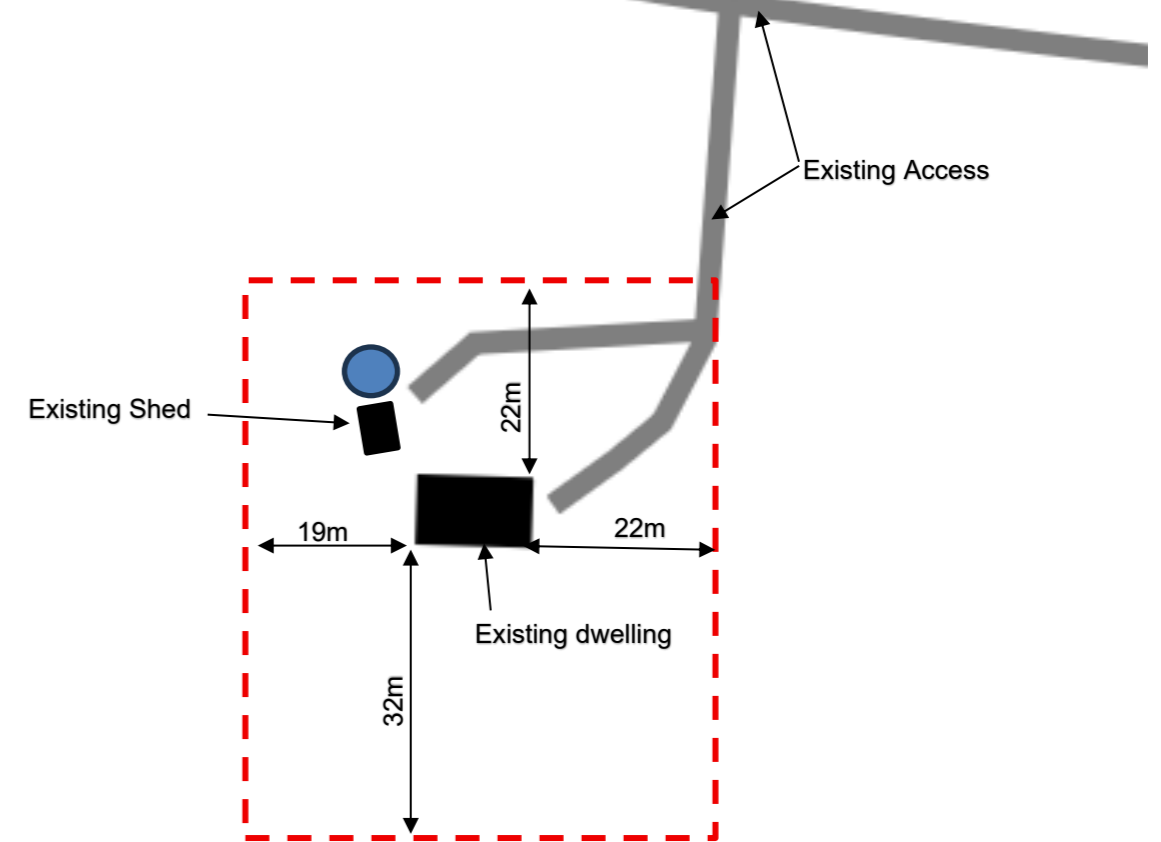


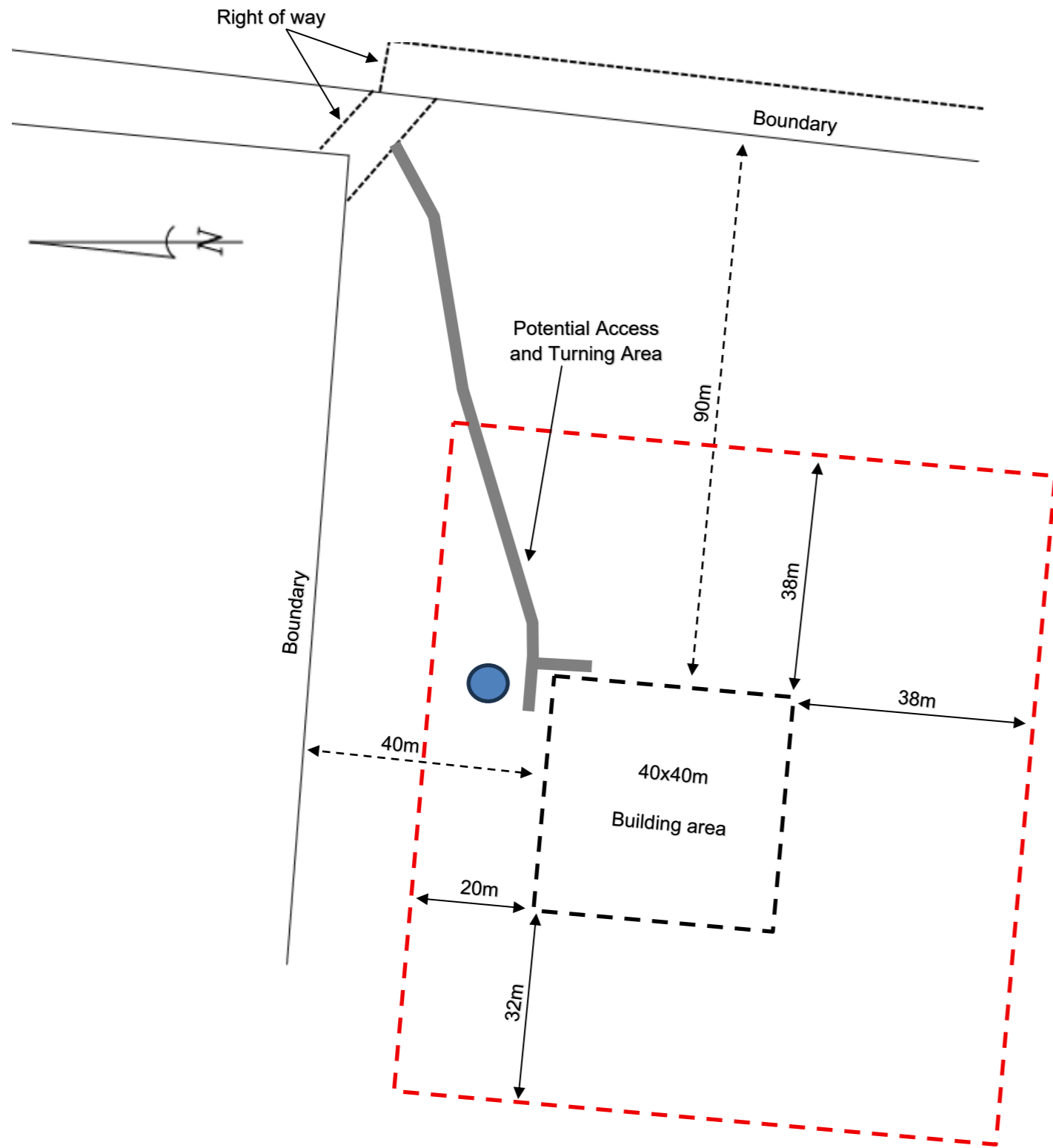
Boundary

Maintenance prior to the onset of each fire season

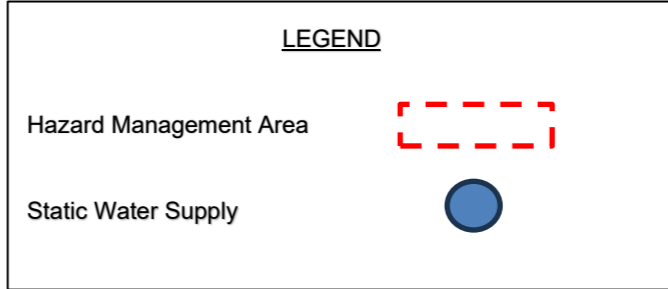
- Guttering on all habitable structures must be inspected and cleared of debris annually
- Ensure all hoses and brass connections are in good working order
- All valley and wall/roof junctions are inspected and debris removed
- Roof sheeting inspected for damages or dislodged roofing materials (replace if necessary)
- Painted surfaces are in good condition and decaying timbers given particular attention to repair
- Screens/shutters on windows and doors are in good working condition and fit well without breaks, holes or tears,
- Door mats to be of non-combustible materials

Woodpiles, garden sheds and other combustible materials to be kept well away from habitable structures.





1390 Loongana Road
 LOONGANA
 CT – 186358/1
 Lot 2 – BAL – 12.5



General Notes

Design and Construction

- Lot 2 Assesed biilding area design and construction must conform to **BAL – 19** minimum specifications under AS3959:2018

Hazard Management (HMA)

- It is the responsibility of the landowner to maintain the landscaping in accordance with the Bushfire Hazard Management Plan
- Establish hazard management area for whole site as shown on the Bushfire Hazard Management Plan.
- Ensure fuels are reduced sufficiently & other hazards are removed such that the fuel & other hazards do not significantly contribute to the bushfire attack
- The hazard managment area is to be regulary maintained and managed and in particular between the months of September and March in each calender year.
- Landscaping in the HMA isto be minimised with grass maintained to a maximum height of 100mm
- Pathways and landscaping material surrounding any habitable structures must be of non-combustible elements for a minimum of 1m from any external walls or decks
- To be established prior to occupancy

Appendix C Table C13.2: Standards for Property Access

Column 1		Column 2
Element		Requirement
A.	Property access length is less than 30 metres, or access is not required for a fire appliance to access a firefighting water point.	There are no specified design and construction requirements.
B.	Property access length is 30 metres or greater, or access is required for a fire appliance to access a firefighting water point.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (a) all-weather construction; (b) load capacity of at least 20 tonnes, including for bridges and culverts; (c) minimum carriageway width of 4 metres; (d) minimum vertical clearance of 4 metres; (e) minimum horizontal clearance of 0.5 metres from the edge of the carriageway; (f) cross falls of less than 3 degrees (1:20 or 5%); (g) dips less than 7 degrees (1:8 or 12.5%) entry and exit angle; (h) curves with a minimum inner radius of 10 metres; (i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and (j) terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> (i) a turning circle with a minimum outer radius of 10 metres; (ii) a property access encircling the building; or (iii) a hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long.
C.	Property access length is 200 metres or greater.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (a) complies with requirements for B above; and (b) passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.
Column 1		Column 2
D.	Property access length is greater than 30 metres, and access is provided to 3 or more properties.	The following design and construction requirements apply to property access: <ul style="list-style-type: none"> (a) complies with requirements for B above; and (b) passing bays of 2 metres additional carriageway width and 20 metres length must be provided every 100 metres.

Table C13.5: Static Water Supply for Fire Fighting

Column 1		Column 2
Element		Requirement
A.	Distance between building area to be protected and water supply	<p>The following requirements apply:</p> <ul style="list-style-type: none"> (a) the building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) the distance must be measured as a hose lay between the firefighting water point and the furthest part of the building area.
B.	Static water supplies	<p>A static water supply:</p> <ul style="list-style-type: none"> (a) may have a remotely located offtake connected to the static water supply; (b) maybe a supply for combined use (firefighting and other uses), but the specified minimum quantity of firefighting water must be available at all times; (c) must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose, including firefighting sprinkler or spray systems; (d) must be metal, concrete or lagged by non-combustible materials if above ground; and (e) if a tank can be located, so it is shielded in all directions in compliance with Section 3.5 of AS 3959, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: <ul style="list-style-type: none"> (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	<p>Fittings and pipework associated with a firefighting water point for a static water supply must:</p> <ul style="list-style-type: none"> (a) have a minimum nominal internal diameter of 50mm; (b) be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) be metal or lagged by non-combustible materials if above ground; (d) if buried, have a minimum depth of 300mm;

Column 1		Column 2
Element		Requirement
		<ul style="list-style-type: none"> (e) provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment; (f) ensure the coupling is accessible and available for connection at all times; (g) ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); and (h) ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (i) where a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (i) visible; (ii) accessible to allow connection by firefighting equipment; (iii) at a working height of 450mm – 600mm above ground level; and (iv) protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	<p>The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <ul style="list-style-type: none"> (a) comply with water tank signage requirements within AS 2304; or (b) comply with the TFS Water Supply Signage Guideline.
E.	Hardstand	<p>A hardstand area for fire appliances must be provided:</p> <ul style="list-style-type: none"> (a) no more than three metres from the firefighting water point measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) no closer than six metres from the building area to be protected; (c) a minimum width of three metres constructed to the same standard as the carriageway; and (d) connected to the property access by a carriageway equivalent to the standard of the property access.

BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993*

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

1390 Loongana Road Loongana

Certificate of Title / PID:

186358/1 PID 6775122

2. Proposed Use or Development

Description of proposed Use and Development:

Subdivision of 1 lot to create 2 lots.

Applicable Planning Scheme:

Tasmanian Planning Scheme – Central Coast

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Plan of Subdivision (20503-1)	Alan Dodds	23/07/2025	
Bushfire Hazard Management Plan	Bruce Harpley	2/12/2025	3
Bushfire Hazard Report	Bruce Harpley	2/12/2025	3

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/> E1.4 / C13.4 – Use or development exempt from this Code	
Compliance test	Compliance Requirement
<input type="checkbox"/> E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/> E1.5.1 / C13.5.1 – Vulnerable Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/> E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/> E1.5.2 / C13.5.2 – Hazardous Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/> E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/> E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/> E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance')
<input type="checkbox"/> E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

<input checked="" type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for firefighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name: Bruce Harpley

Phone No: 0429 355 259

Postal Address: PO Box 651
BURNIE TAS 7320

Email Address: bharpley@esandd.com.au

Accreditation No: BFP – 140


Scope: 1, 2, 3a and 3b

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier



Name: Bruce Harpley

Date: 2/12/2025

Certificate
Number: 9830-3

(for Practitioner Use only)