



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/049321

PROPOSAL: Two Multiple Dwellings (One Existing & One New)

LOCATION: 12 River Street, Bellerive

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 06 October 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 06 October 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 06 October 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Multi-dwelling development

Location:

12 River Street,

Ballerive TAS 7018

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$450,000.00

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Memory Hatendi

Current Use of Site:

Residential

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature.....	Personal Information Removed	Date..... 13/12/2024
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PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 216935	FOLIO 5
EDITION 6	DATE OF ISSUE 30-Jun-2015

SEARCH DATE : 13-Dec-2024

SEARCH TIME : 04.01 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 5 on Plan 216935
 Derivation : Part of 9A-2R-0Ps. (Section H.) Gtd. to W.
 Dossiter.
 Prior CT 2627/96

SCHEDULE 1

C761742 TRANSFER to CARL ANTONY FITZGERALD Registered
 16-Jan-2007 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 132302 FENCING CONDITION in Transfer
 E14236 MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 30-Jun-2015 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended

CERTIFICATE OF TITLE

Register Book
Vol. Fol.

2627 96



NOTE—REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE

Cert. of Title Vol. 610 Fol. 76

CANCELLED
I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.
- 5 JAN 1995
Michael Imlach
RECORDER OF TITLES
NEW TITLE ISSUED

M. Hutchinson
Recorder of Titles.



UNDER SIGNATURE OF THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.

DESCRIPTION OF LAND

TOWN OF BELLERIVE
THIRTY PERCHES AND NINE TENTHS OF A PERCH on the Plan hereon

FIRST SCHEDULE (continued overleaf)

JAMES KITCHENER of Bellerive, Concrete Employee and
MARION WYONNE KITCHENER, his wife

~~ENTIRELY CANCELLED~~
M. Hutchinson
Recorder of Titles

SECOND SCHEDULE (continued overleaf)

TRANSFER NO. 132302 was made SUBJECT TO fencing condition

NO.A197161 MORTGAGE to Charles Thomas Hector Reed DISCHARGED A368177
and Maurice William Reed

Registered 4th March, 1964 at 12.2p.m.
(Sgd.) A. IMLACH, Recorder of Titles.

MA Frank
Acting Recorder of Titles

NO.A197162 MORTGAGE to Ada Maria Frank

Registered 4th March, 1964 at 12.3 p.m.
(Sgd.) A. IMLACH, Recorder of Titles.

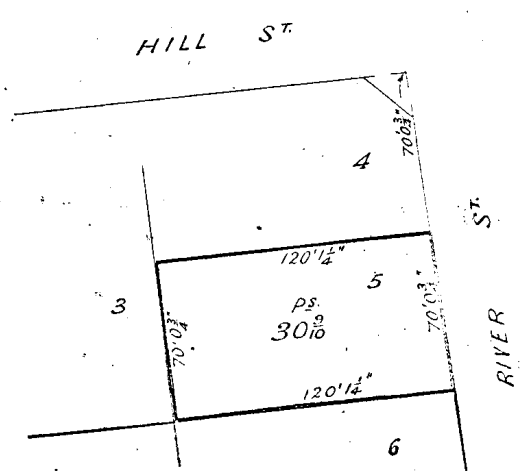
DISCHARGED
A338744

M. Hutchinson
Recorder of Titles

REGISTERED NUMBER

216935

Lot 5 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.



PROPERTY ADDRESS

12 River Street
Bellerive

Part of 9acs.2rds.0ps. Sec.H. Gtd. to W.Dossiter Meas. in Ft. & Ins.
215/19D

FIRST Edition. Registered 16 APR 1970

Derived from C.T.Vol.610 Fol. 76 Transfer A197160- A.M.Frank.

DEVELOPMENT APPLICATION (REV 2)

Project:
Proposed Unit
Address:
12 River Street, Bellerive
For:
Carl Fitzgerald
Date:
15/09/2025
Job No.:
BELL.RIVE.0012

ALLURE
BUILDING DESIGN

3/17 Dowding Crescent, New Town TAS 7008
PH: 0400 020 908
info@allurebuildingdesign.com.au



Building Designer No. 147104095
BDAA Membership No. 9540-22

Drawing Register

Pg No:	Layout Name	Date	Rev	Scale	Size
DA00	Cover Sheet	31/07/2025			A3
DA01	Site Plan	31/07/2025	2	1:200	A3
DA02	Proposed Floor Plan	31/07/2025	2	1:100	A3
DA03	Proposed Elevations	31/07/2025	2	1:100	A3
DA04	Shadow Diagram - June 21 (9am)	31/07/2025	2	1:200	A3
DA05	Shadow Diagram - June 21 (12pm)	31/07/2025	2	1:200	A3
DA06	Shadow Diagram - June 21 (3pm)	31/07/2025	2	1:200	A3



Site Plan

Scale: 1:200 - A3

3/17 Dowding Crescent, New Town TAS 7008
PH: 0400 020 908
info@allurebuildingdesign.com.au

bdaa Building Designer No. 147104095
BDAA Membership No. 9540-22

DESCRIPTION: Proposed Unit
ADDRESS: 12 River Street, Bellerve
FOR: Carl Fitzgerald
TITLE: Site Plan
DRAWN: JF
DATE: 15/09/2025 **JOB:** BELL.RIVE.0012
SHEET: DA01 **SHEET SIZE:** A3

Revisions

Rev.	Date	Comments
-	20/02/2024	Request for Preliminary Planning Assessment
-	13/12/2024	Development Application
1	09/07/2025	Response to Council RFI's

ISSUE: Development Application

PROPOSED AREA SCHEDULE

SITE	780.00 m ²
SURFACE COVER	78.65 m ² / 10.08%
BUILDING COVER	279.89 m ² / 35.88%
PERMEABILITY	421.46 m ² / 54.04%

LEGEND:

	Existing Sewer Main
	Existing Stormwater Main
	Existing Domestic Sewer Pipe
	Existing Domestic Stormwater Pipe
	100dia UPVC Sewer Pipe
	100dia UPVC Stormwater Pipe
	New Overflow Relief Gully
	450SQ Grated Pit
	100W Grated Strip Drain
	Concrete Path/Driveway
	Crushed Rock
	Engineered 190 Block Retaining Wall
	Letterbox
	General Waste Rubbish Bin
	Recycling Rubbish Bin

All Stormwater catchment for new roof to connect into proposed Slimline tank (or similar). Overflow to connect into Council Mains as specified on Engineers Drawings.

Adjacent Residential Property. No. 14 River St.

Adjacent Residential Property. No. 39 Hill St.

LOT. 5 (#12)
780.00m²
(SP216935)

Existing Dwelling
139.95 m²

Proposed Garage
(FFL: 27.72)

Proposed Unit
(FFL: 27.90)

Existing Single Car Garage

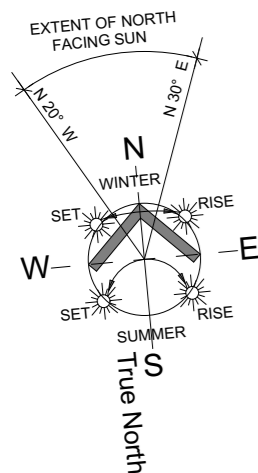
5.4m x 2.6m Car Space

Existing domestic sewer connection (Approximate).
Existing domestic stormwater connection (Approximate).

Line of existing carport to be demolished.

Adjacent Residential Property. No. 10 River St.

RIVER STREET



Proposed Floor Plan

Scale: 1:100 - A3

3/17 Dowding Crescent, New Town TAS 7008
PH: 0400 020 908
info@allurebuildingdesign.com.au

bdaa Building Designer No. 147104095
ASSOCIATION OF AUSTRALIA BDAA Membership No. 9540-22

DESCRIPTION: Proposed Unit

ADDRESS: 12 River Street, Bellerive

FOR: Carl Fitzgerald

TITLE Proposed Floor Plan

DRAWN JF

DATE 15/09/2025

JOB BELL.RIVE.0012

SHEET DA02

SHEET SIZE: A3

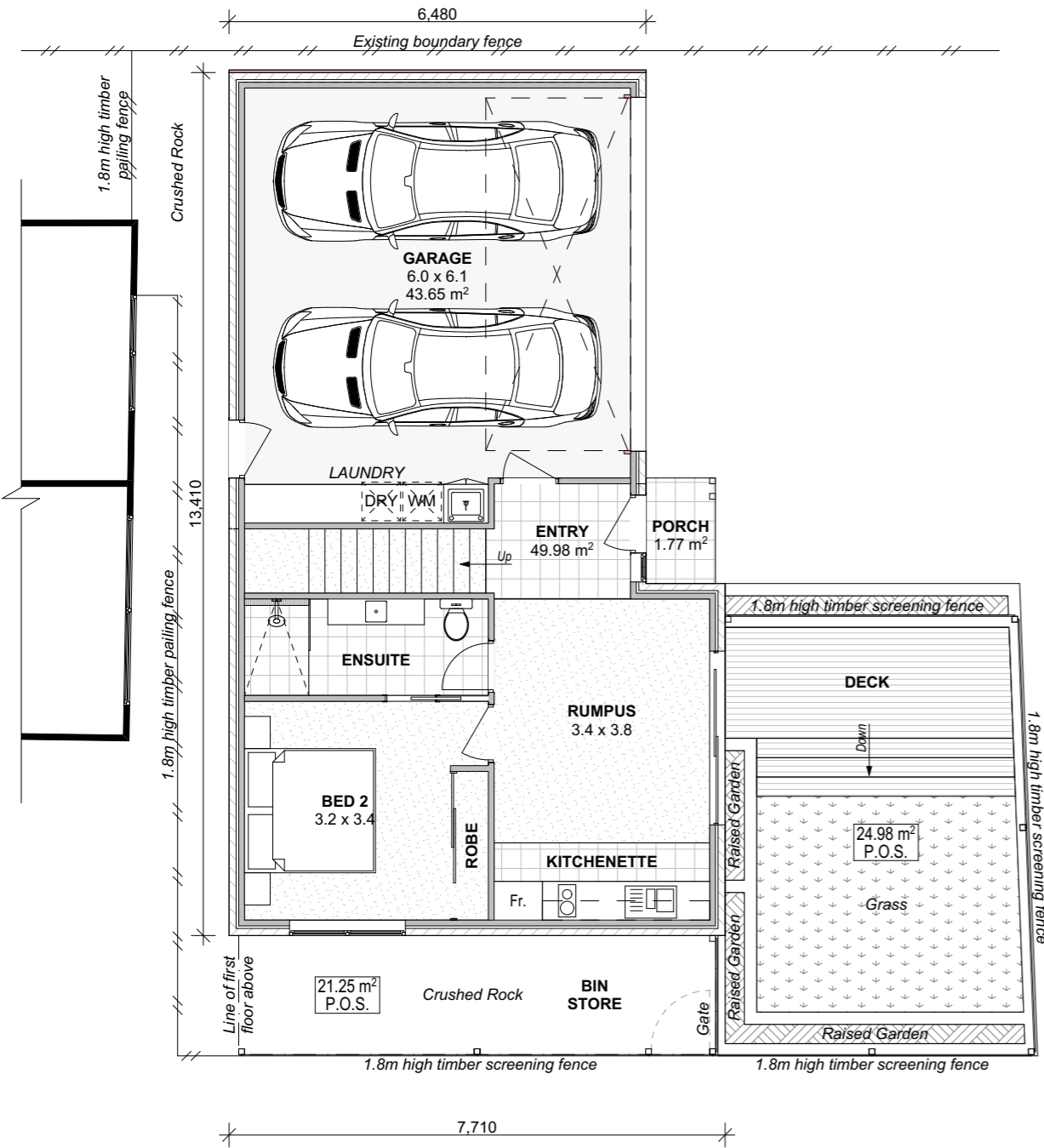
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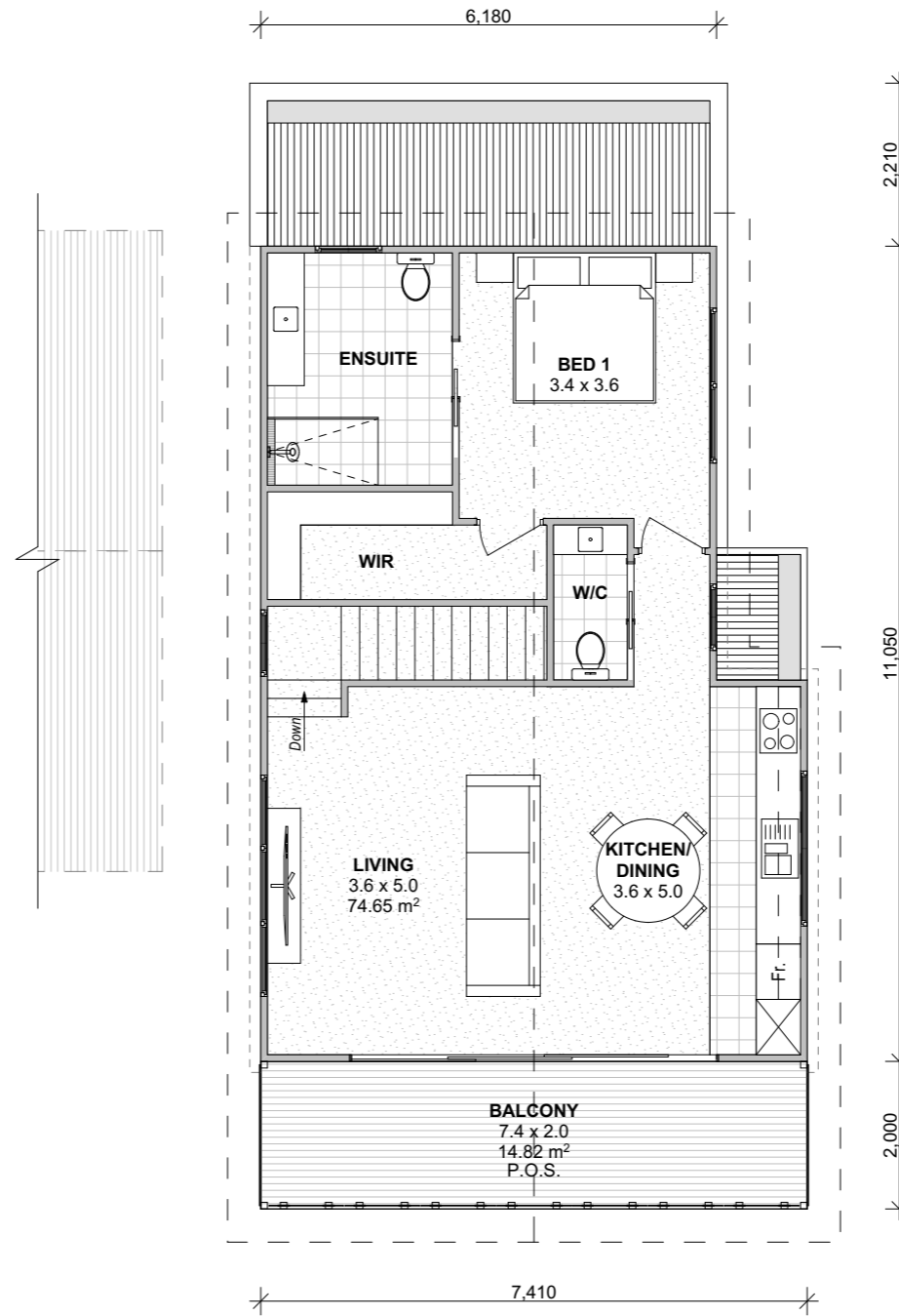
ISSUE: Development Application

AREA SCHEDULE

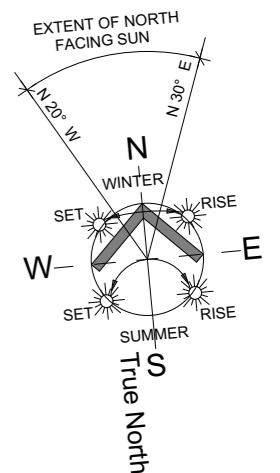
PROPOSED:	
GROUND FLOOR	49.98 m ²
FIRST FLOOR	74.65 m ²
GARAGE	43.65 m ²
BALCONY	14.82 m ²
PORCH	1.77 m ²
TOTAL	184.87 m²
	19.90 SQ



GROUND FLOOR

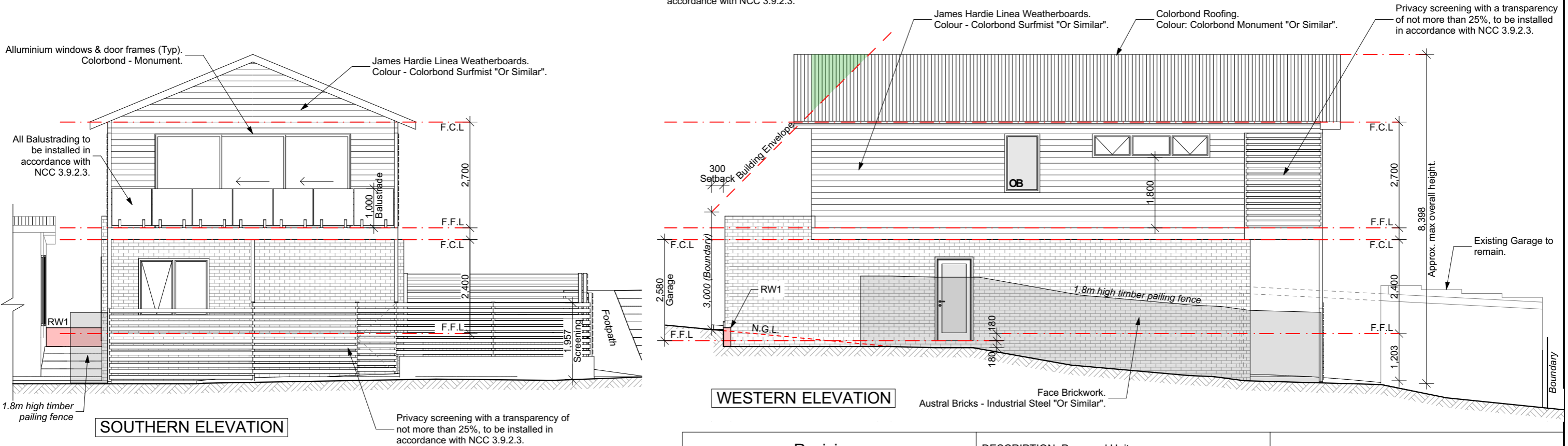
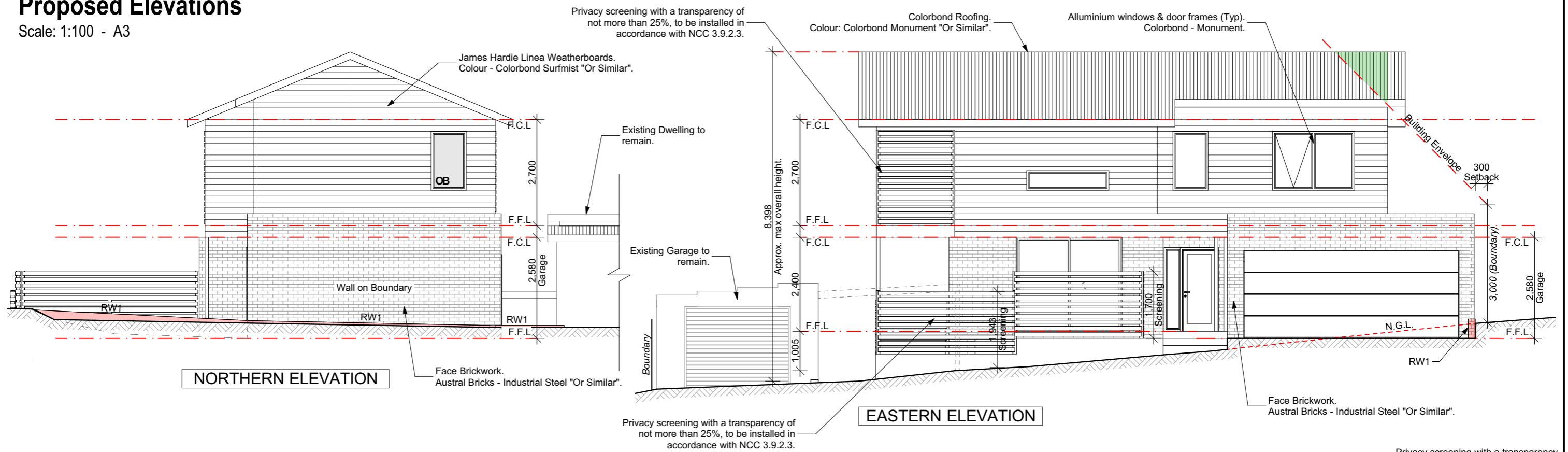


FIRST FLOOR



Proposed Elevations

Scale: 1:100 - A3



Revisions		
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DESCRIPTION: Proposed Unit	
ADDRESS: 12 River Street, Bellerive	
FOR: Carl Fitzgerald	
TITLE	Proposed Elevations
DRAWN	JF
DATE	15/09/2025
SHEET	DA03
JOB	BELL.RIVE.0012
SHEET SIZE	A3

ALLURE
BUILDING DESIGN

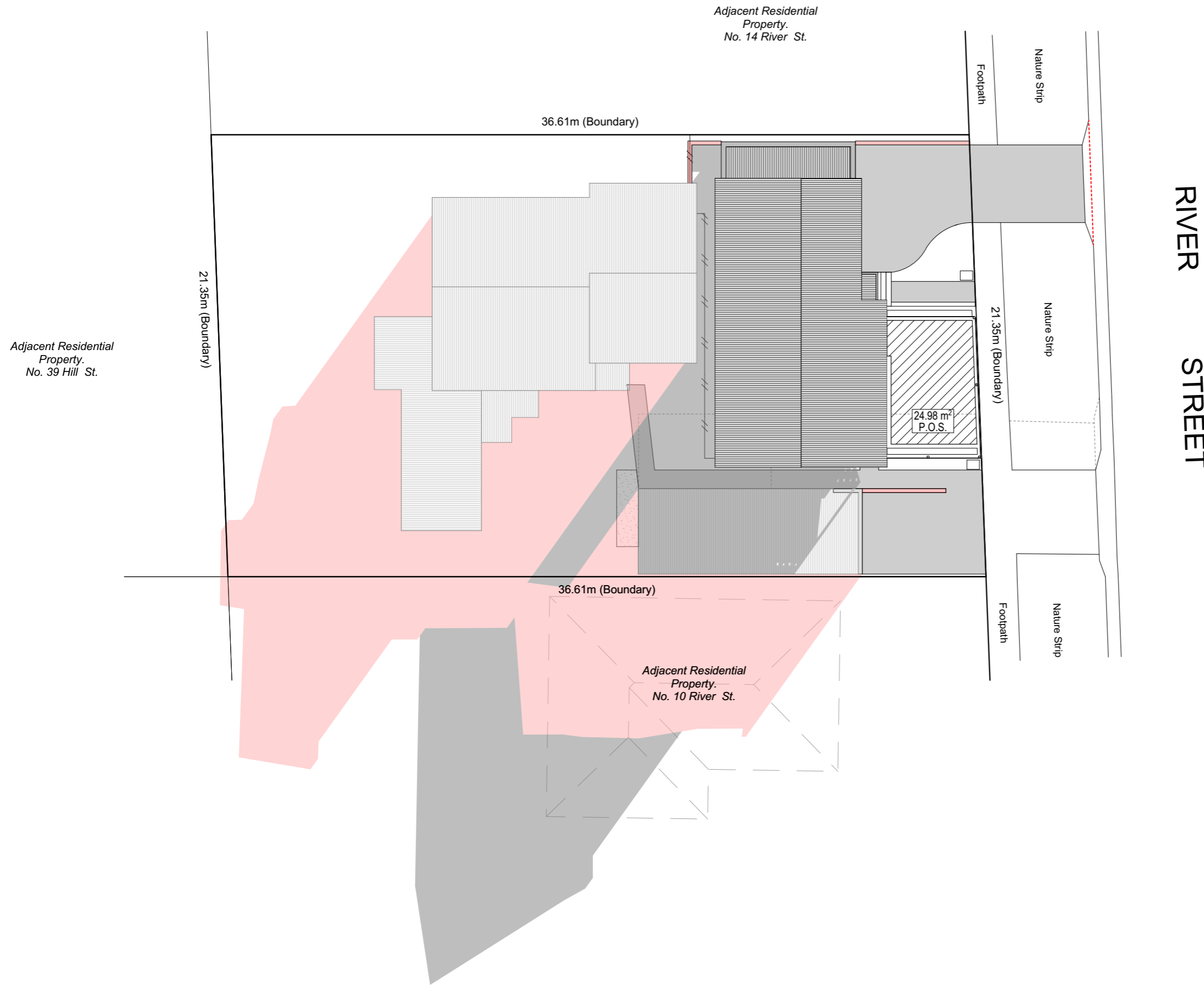
3/17 Dowding Crescent, New Town TAS 7008
PH: 0400 020 908
info@allurebuildingdesign.com.au



Building Designer No. 147104095
BDAA Membership No. 9540-22

Shadow Diagram - June 21 (9am)

Scale: 1:200 - A3



3/17 Dowding Crescent, New Town TAS 7008
 PH: 0400 020 908
 info@allurebuildingdesign.com.au

bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
 Building Designer No. 147104095
 BDAA Membership No. 9540-22

DESCRIPTION: Proposed Unit
ADDRESS: 12 River Street, Bellerive
FOR: Carl Fitzgerald

TITLE Shadow Diagram - June 21 (9am)
DRAWN JF
DATE 15/09/2025 **JOB** BELL.RIVE.0012
SHEET DA04 **SHEET SIZE:** A3

Revisions

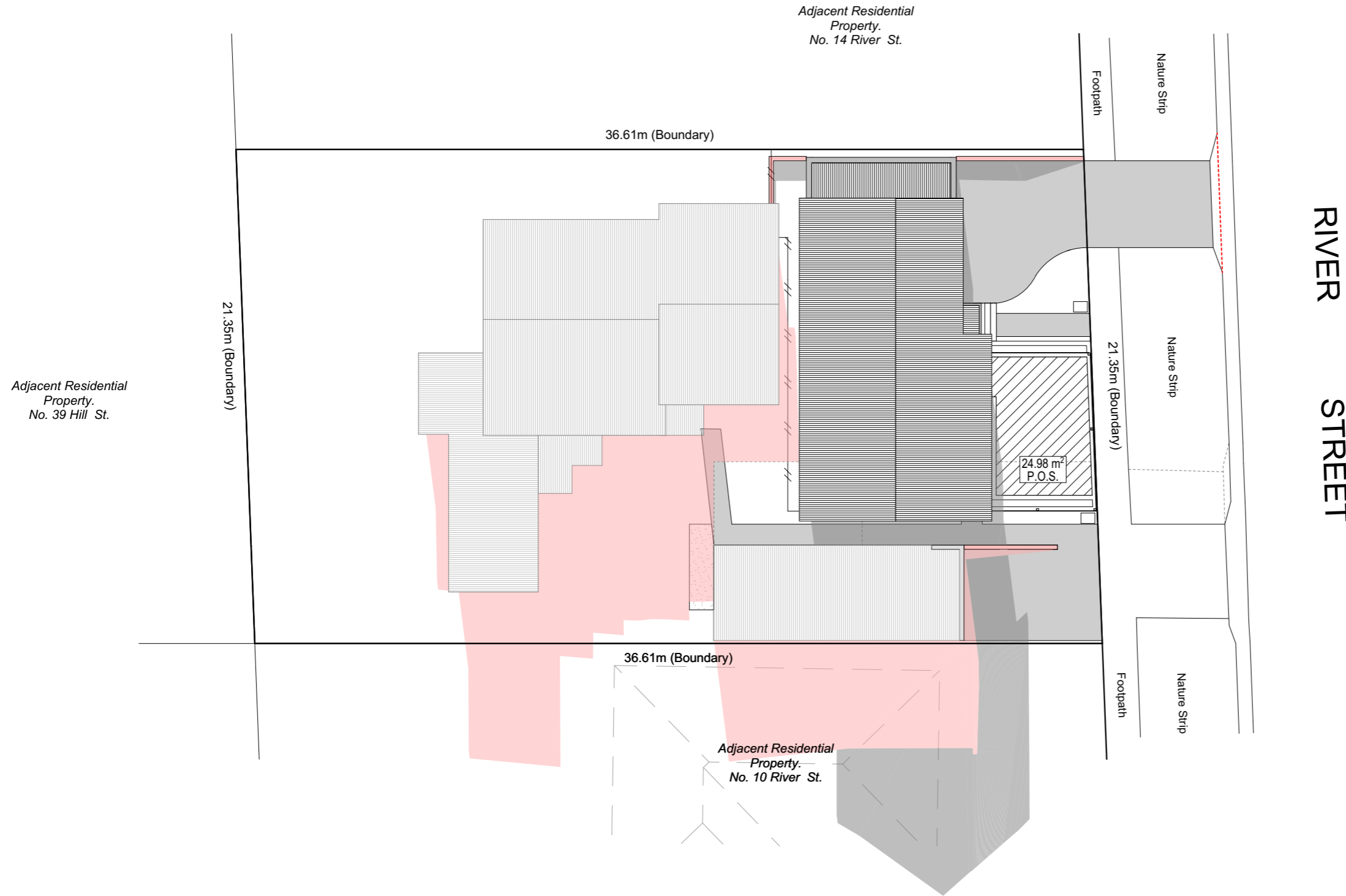
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ISSUE: Development Application

- Existing shadow line
- Proposed shadow line

Shadow Diagram - June 21 (12pm)

Scale: 1:200 - A3



3/17 Dowding Crescent, New Town TAS 7008
 PH: 0400 020 908
 info@allurebuildingdesign.com.au

bdaa Building Designer No. 147104095
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA BDAA Membership No. 9540-22

DESCRIPTION: Proposed Unit
ADDRESS: 12 River Street, Bellerive
FOR: Carl Fitzgerald

TITLE Shadow Diagram - June 21 (12pm)
DRAWN JF
DATE 15/09/2025 **JOB** BELL.RIVE.0012
SHEET DA05 **SHEET SIZE:** A3

Revisions

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ISSUE: Development Application

- Existing shadow line
- Proposed shadow line

Shadow Diagram - June 21 (3pm)

Scale: 1:200 - A3



3/17 Dowding Crescent, New Town TAS 7008
 PH: 0400 020 908
 info@allurebuildingdesign.com.au

bdaa Building Designer No. 147104095
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA BDAA Membership No. 9540-22

DESCRIPTION: Proposed Unit

ADDRESS: 12 River Street, Bellerive

FOR: Carl Fitzgerald

TITLE Shadow Diagram - June 21 (3pm)

DRAWN JF

DATE 15/09/2025

JOB BELL.RIVE.0012

SHEET DA06

SHEET SIZE: A3

Revisions

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ISSUE: Development Application

- Existing shadow line
- Proposed shadow line

