



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054663

PROPOSAL: Dwelling

LOCATION: 63 Elinga Street, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 01 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 01 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **New residential home**

Location: **63 Elinga Street, Howrah**

Personal Information Removed

Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

Current use of site: **Vacant Land**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 60494	FOLIO 302
EDITION 6	DATE OF ISSUE 04-May-2022

SEARCH DATE : 14-Feb-2025

SEARCH TIME : 09.36 AM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 302 on Diagram 60494 (formerly being 480-1D)
 Derivation : Part of 730 Acres Gtd. to F. Butler & J.M. Browne.
 Prior CT 2021/58

SCHEDULE 1

M953835 TRANSFER to MADISON TIAHN KILLER and ALISTAIR JAMES WILLIAMS as tenants in common in equal shares
 Registered 04-May-2022 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 BENEFITING EASEMENT: Right of Drainage over the drainage easement marked A.B. on Diagram No. 60494
 BURDENING EASEMENT: Right of Drainage [appurtenant to Lots 303 to 306 on Diagram no. 60494) over the Drainage Easement shown passing through the said land within described on Diagram No. 60494.
 E302924 MORTGAGE to Police Bank Ltd Registered 04-May-2022 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

N236985 PRIORITY NOTICE reserving priority for 90 days
 D/MORTGAGE Police Bank Ltd to Madison Tiahn Killer and Alistair James Williams
 TRANSFER Madison Tiahn Killer and Alistair James Williams to Cindy Mei Lewis-Bryan and Geoffrey Frederick Hudson
 MORTGAGE Cindy Mei Lewis-Bryan and Geoffrey Frederick Hudson to MyState Bank Limited Lodged by GOODMAN
 CONVEYANCING on 05-Dec-2024 BP: N236985
 E406843 DISCHARGE OF MORTGAGE E302924 Lodged by WALLACE WILK & WEB on 09-Jan-2025 BP: E406843
 E406844 MORTGAGE to MyState Bank Limited Lodged by WALLACE WILK & WEB on 09-Jan-2025 BP: E406843

N236993 TRANSFER to CINDY MEI LEWIS-BRYAN and GEOFFREY
FREDERICK HUDSON Lodged by WALLACE WILK & WEB on
09-Jan-2025 BP: E406843

DIAGRAM FROM ACTUAL SURVEY

480/1 D

40'

REGISTERED NUMBER
60494

TOWN OF HOWRAH

The Perpetual Trustees Executors Agency
Co of Tas Ltd 1000-15
No. OF APPLICATION 12 of 730 ac. gr. to F. Butler & J.M. Browne.

For L.T.O. Use Only.

Filed by S. J. D. White 194

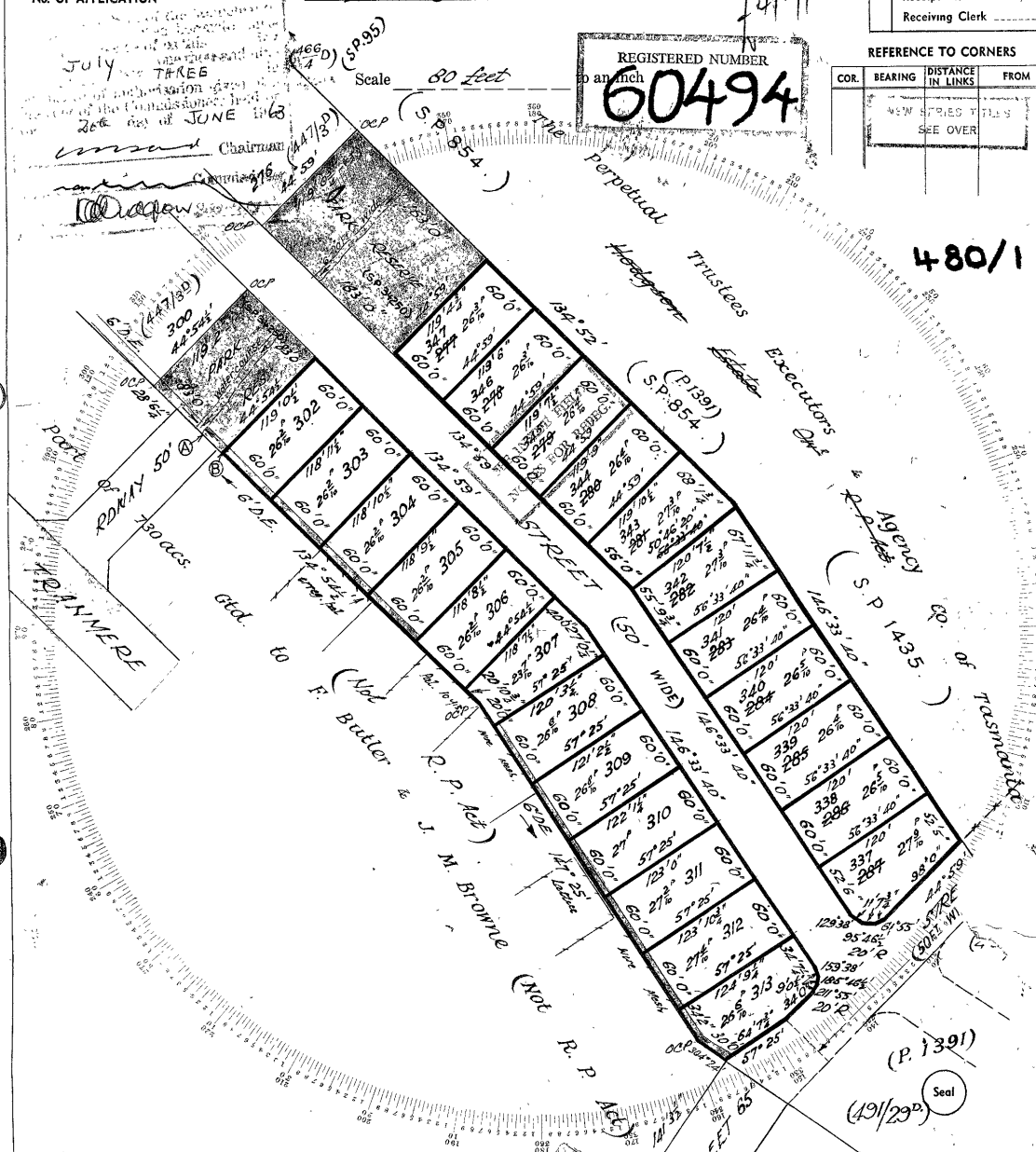
Lodged at the Lands Titles Office on 17/7/63 at 2-00 Receipt No. 45328 Receiving Clerk

REFERENCE TO CORNERS

COR.	BEARING	DISTANCE IN LINKS	FROM

NEW STRIPED TILES SEE OVER

ALL INFORMATION TO BE WRITTEN WITHIN THIS SPACE



To be filled in by Surveyor.

Survey commenced _____

Survey finished 28.2.63

Error of close 1 in _____

Plotted by ER

Examined as to boundaries ER

Mathematically checked ER

Entered on Card by ER

Dated this 28th day of Feb., 1963

I. Edward Mulhearn Lilley
of Abart
Registered Surveyor, of Tasmania, do hereby certify that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the Land Surveyors' By-Law No. 2, dated 3rd July, 1946.

I. Edward Mulhearn Lilley
Authorised Surveyor.

APPROVAL BY LOCAL AUTHORITY

Seal (49/29)

PROPERTY ID: 9119514
MUNICIPALITY: CLARENCE

PROPERTY ADDRESS: 63 ELINGA STREET
 HOWRAH TAS 7018

PROPERTY NAME:

TITLE OWNER: 60494/302 : MADISON TIAHN KILLER, ALISTAIR JAMES WILLIAMS

INTERESTED PARTIES: MADISON TIAHN KILLER, ALISTAIR JAMES WILLIAMS

POSTAL ADDRESS: 14 BIARRI CT
(Interested Parties) HOWRAH TAS 7018

MAIN IMPROVEMENTS SUMMARY

Improvements: VACANT LAND
Improvement Sizes (Top 3 by Size): Improvement: Area:
Number of Bedrooms:
Construction Year of Main Building:
Roof Material:
Wall Material:
Land Area: 0.0663 hectares

LAST SALES

Contract Date	Settlement Date	Sale Price
11/02/2022	30/03/2022	\$430,000

LAST VALUATIONS

Date Inspected	Levels At	Land	Capital	A.A.V.	Reason
29/06/2022	01/07/2018	\$260,000	\$260,000	\$10,400	SPLIT FROM CANCELLED PID 5207027

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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Explanation of Terms

Property ID - A unique number used for Valuation purposes.

Date Inspected - The date the property was inspected for the valuation.

Levels At - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.

Land Value - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.

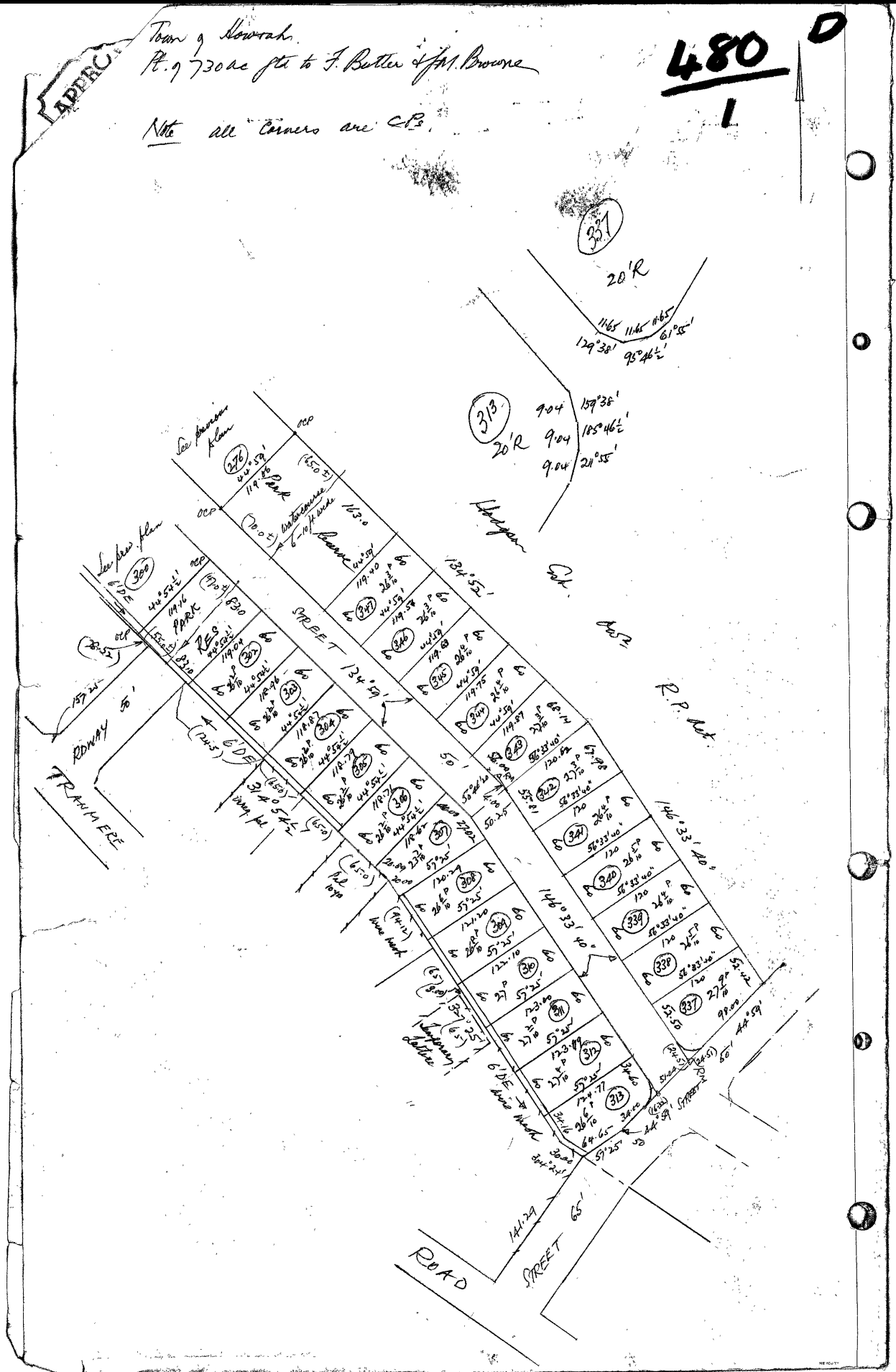
Capital Value - Capital Value is the total value of the property (including the land value), excluding plant and machinery.

AAV - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.

Interested Parties - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).

Postal Address - This is the last advised postal address for the interested parties.

Multiple Tenancies - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.



UNREGISTERED DEALINGS REPORT

SEARCH DATE : 14-Feb-2025

SEARCH TIME : 09:37 am

CT: 60494/302

N236985 PRIORITY NOTICE reserving priority for 90 days
D/MORTGAGE Police Bank Ltd to Madison Tiahn Killer
and Alistair James Williams
TRANSFER Madison Tiahn Killer and Alistair James
Williams to Cindy Mei Lewis-Bryan and Geoffrey
Frederick Hudson
MORTGAGE Cindy Mei Lewis-Bryan and Geoffrey Frederick
Hudson to MyState Bank Limited Lodged by GOODMAN
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E406843 DISCHARGE OF MORTGAGE E302924 Lodged by WALLACE WILK
& WEB on 09-Jan-2025 BP: E406843

N236993 TRANSFER to CINDY MEI LEWIS-BRYAN and GEOFFREY
FREDERICK HUDSON Lodged by WALLACE WILK & WEB on
09-Jan-2025 BP: E406843

E406844 MORTGAGE to MyState Bank Limited Lodged by WALLACE
WILK & WEB on 09-Jan-2025 BP: E406843

UNREGISTERED AND RECENTLY REGISTERED DEALINGS REPORT

SEARCH DATE : 14-Feb-2025

SEARCH TIME : 09:37 am

CT: 60494/302

<u>Lodge Date</u>	<u>Type</u>	<u>DealingNo</u>	<u>Reg Date</u>
05-Dec-2024	PRIORITY	N236985	
09-Jan-2025	D/MORTGAGE	E406843	
09-Jan-2025	TRANSFER	N236993	
09-Jan-2025	MORTGAGE	E406844	

Search covers any dealings registered in the last 90 days and any dealings yet to be registered.

Soil Test

By:
Date:

BAL Assessment

Rate: TBA
By:
Date:

Land Survey

By:
Date:

Thermal Assessment

By:
Date:

Corrosion Environment

Class: NCC 2022: Table 6.3.9a - Specifications 3

Alpine Area

Class:

Climate Zone - 7

Soil Classification

Class: TBA

Wind Speed

N3 Vh,u = 50m/s

Land Title

Folio No: 302
Volume: 60494

Site Coverage

Land	-	663.00m ²
House Level 1	-	163.85m ²
House Level 2	-	146.83m ²
Covered Entry Deck	-	4.48m ²
Covered Deck	-	20.31m ²
Deck Stairs	-	3.60m ²
TOTAL (for site coverage)-		175.22m ²
Site Coverage	-	26.43%



ABN: 18 220 805 074
Compliance No: CC 1159 Q
m: 0409 432 670
e: clint.draftone@bigpond.com

Client

Geoff Hudson & Cindy Lewis-Bryan

Job

New Residential Home

Job address

63 Elinga Street,
Howrah

Drawing

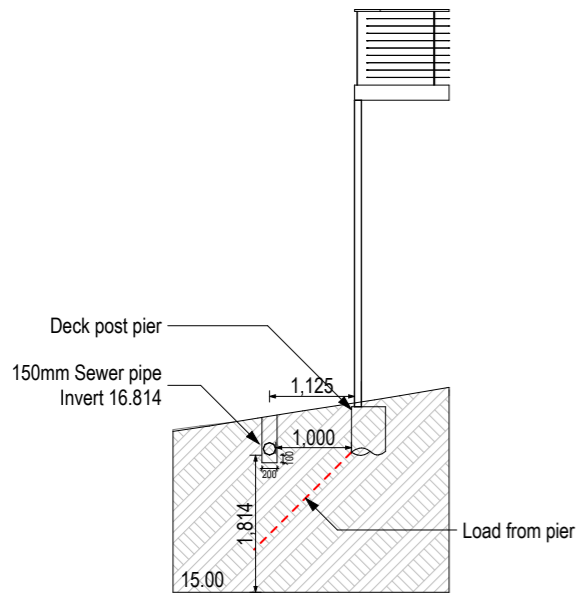
Scale: A3
DWG: 1 of 14
Date: 20 October 2025
Job No: 2025-01

Cover

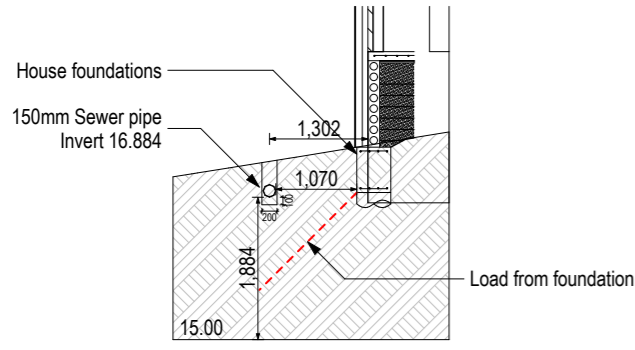
Amendments	
Date	By
Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.	

Layout Index

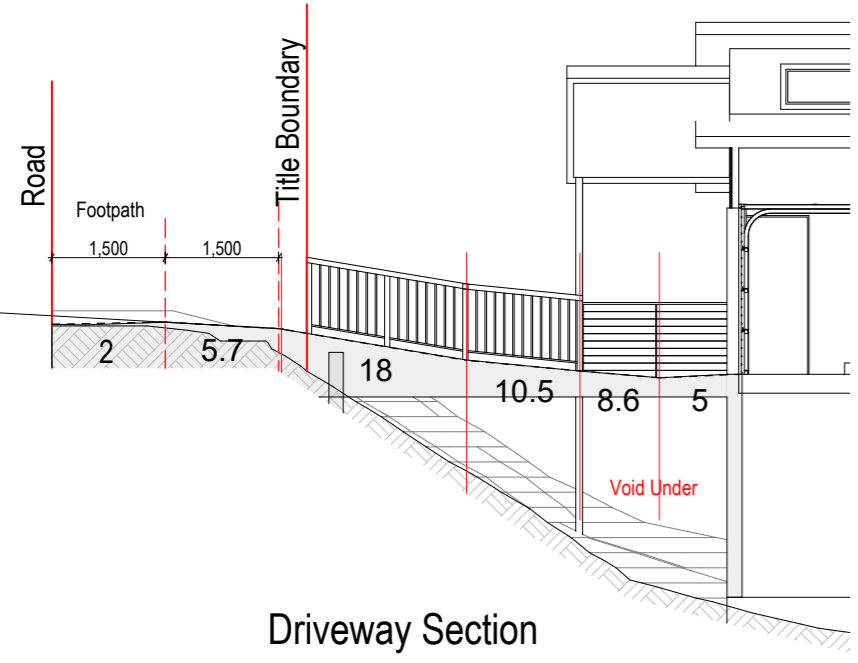
ID	Layout Name	Rev
1	Cover	
2	Site Plan	
3	Site Stormwater Plan	
4	Floor Plan Level 1	
5	Floor Plan Level 2	
6	Elevations	
7	Elevations	
8	Roof Plan	
9	Window Schedule	
10	Door Schedule	
11	Livable Housing Part 2	
12	Livable Housing Part 5-6	
13	Livable Housing Part 6	
14	Livable Housing Part 6	



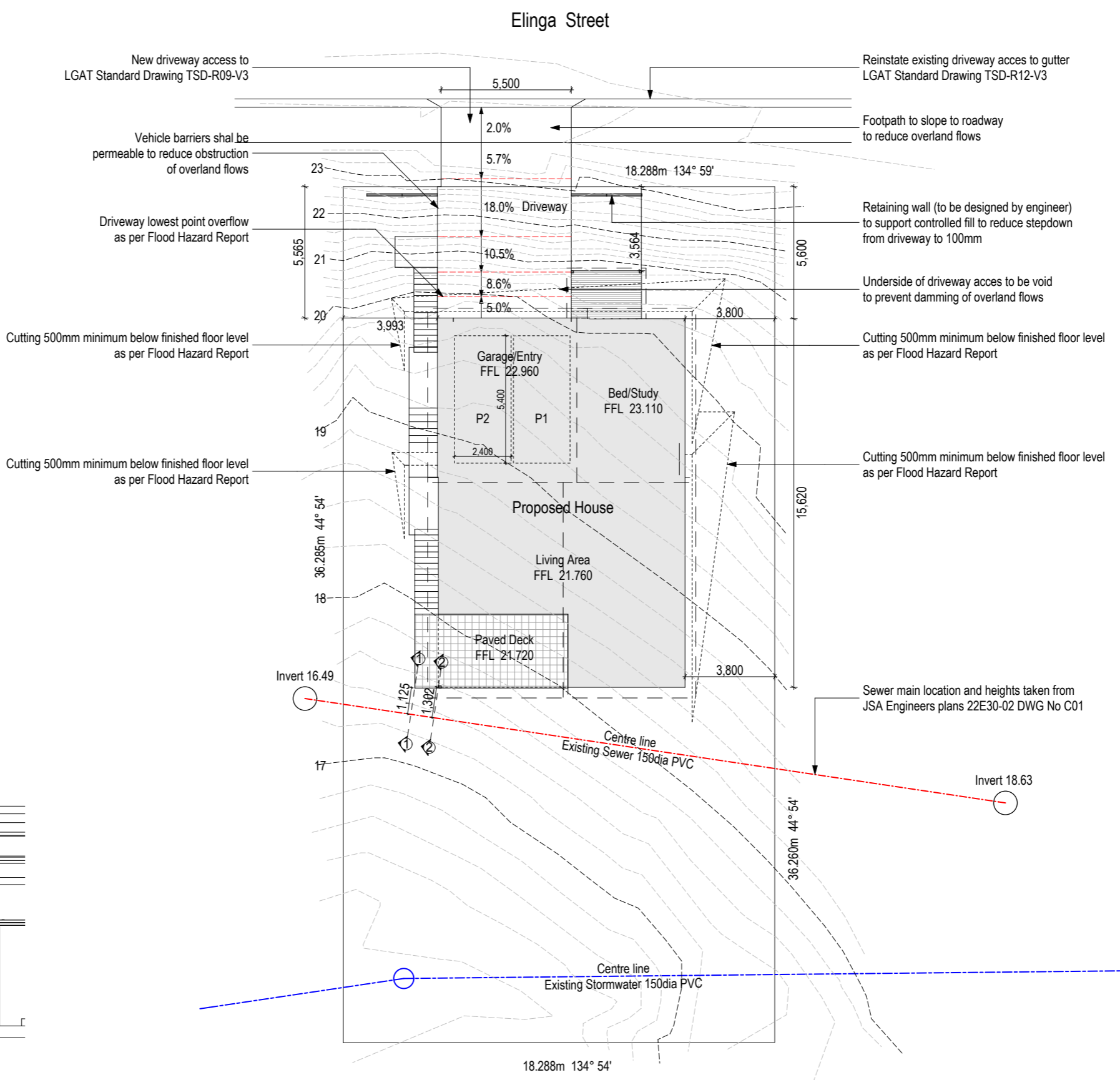
Section 1



Section 2



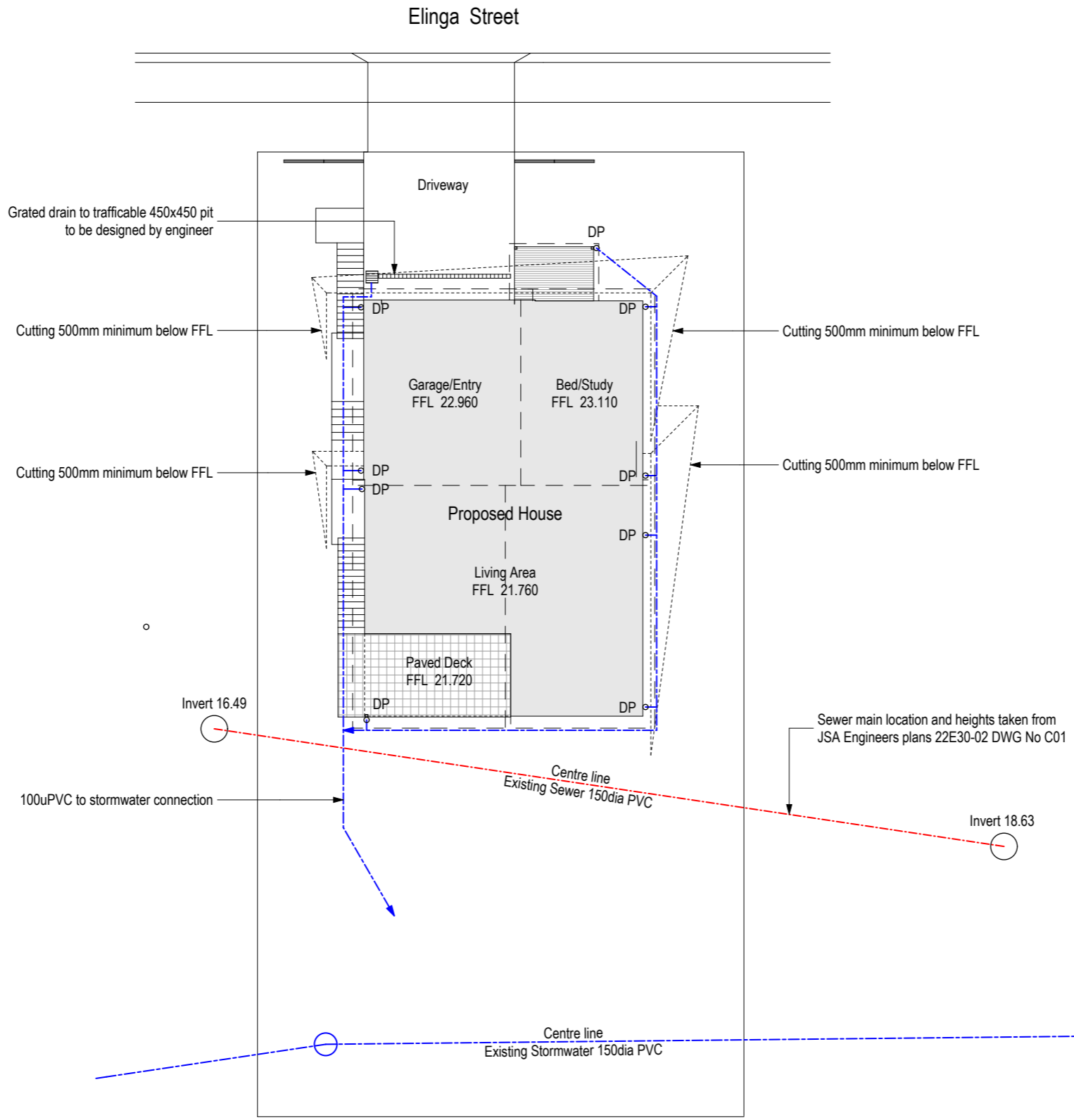
Driveway Section



Amendments	
Date	By
25-9-2025	CW
6-10-2025	CW
20-10-2025	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Site Stormwater Plan



Plumbing

Final internal sizes & layout to be determined by the plumber to council approval. See specifications for other details.

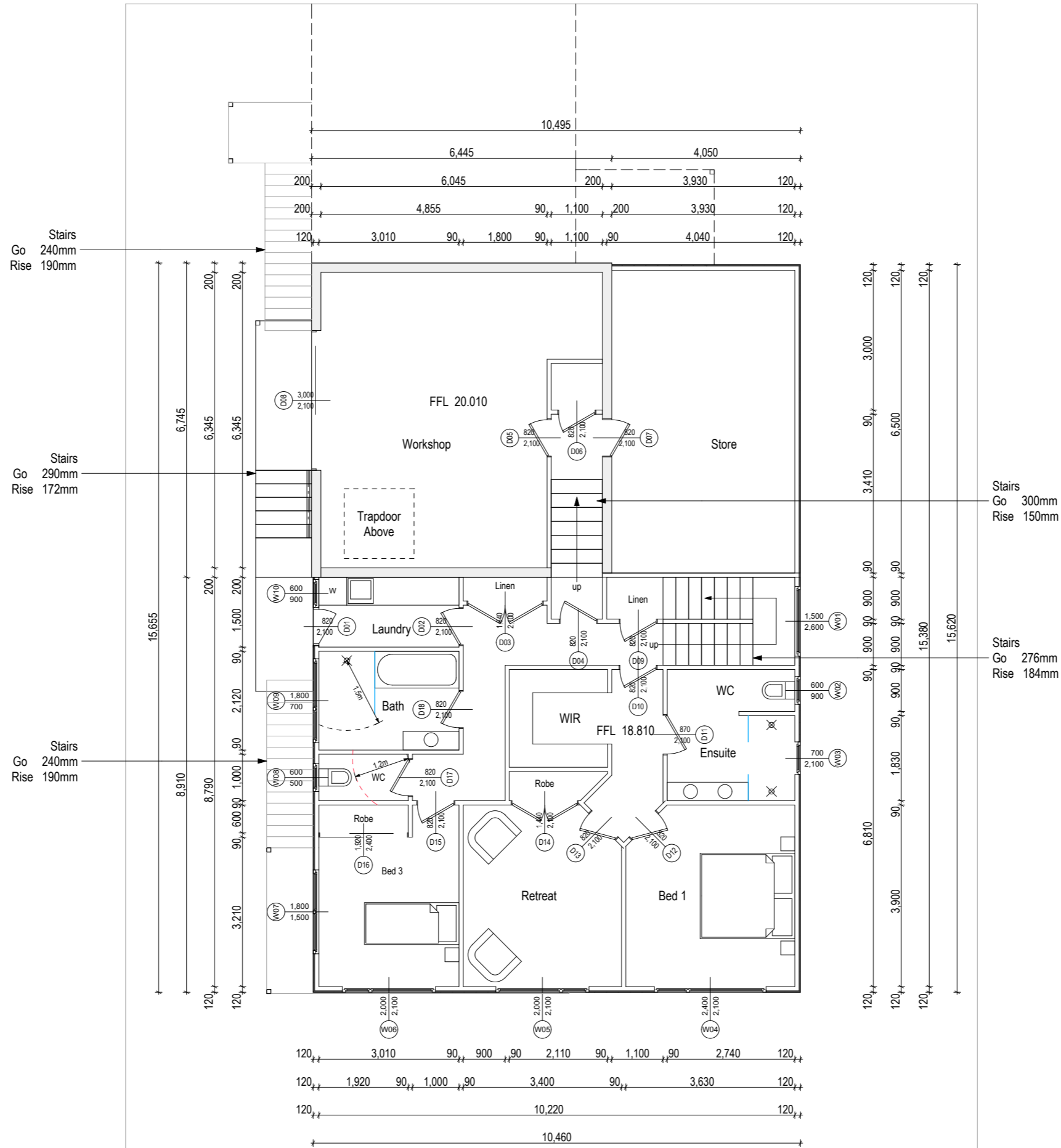
○	Downpipes
—	Sewer Line
---	Stormwater Line
---	Agg Pipe
	450x450 Pit

1	Toilet	100 dia
2	Bath	40 dia
3	Basin	40 dia
4	Trough	50 dia
5	Kit sink	50 dia
6	Shower	50 dia
7	Floor waste	50 dia

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Floor Plan Level 1



Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

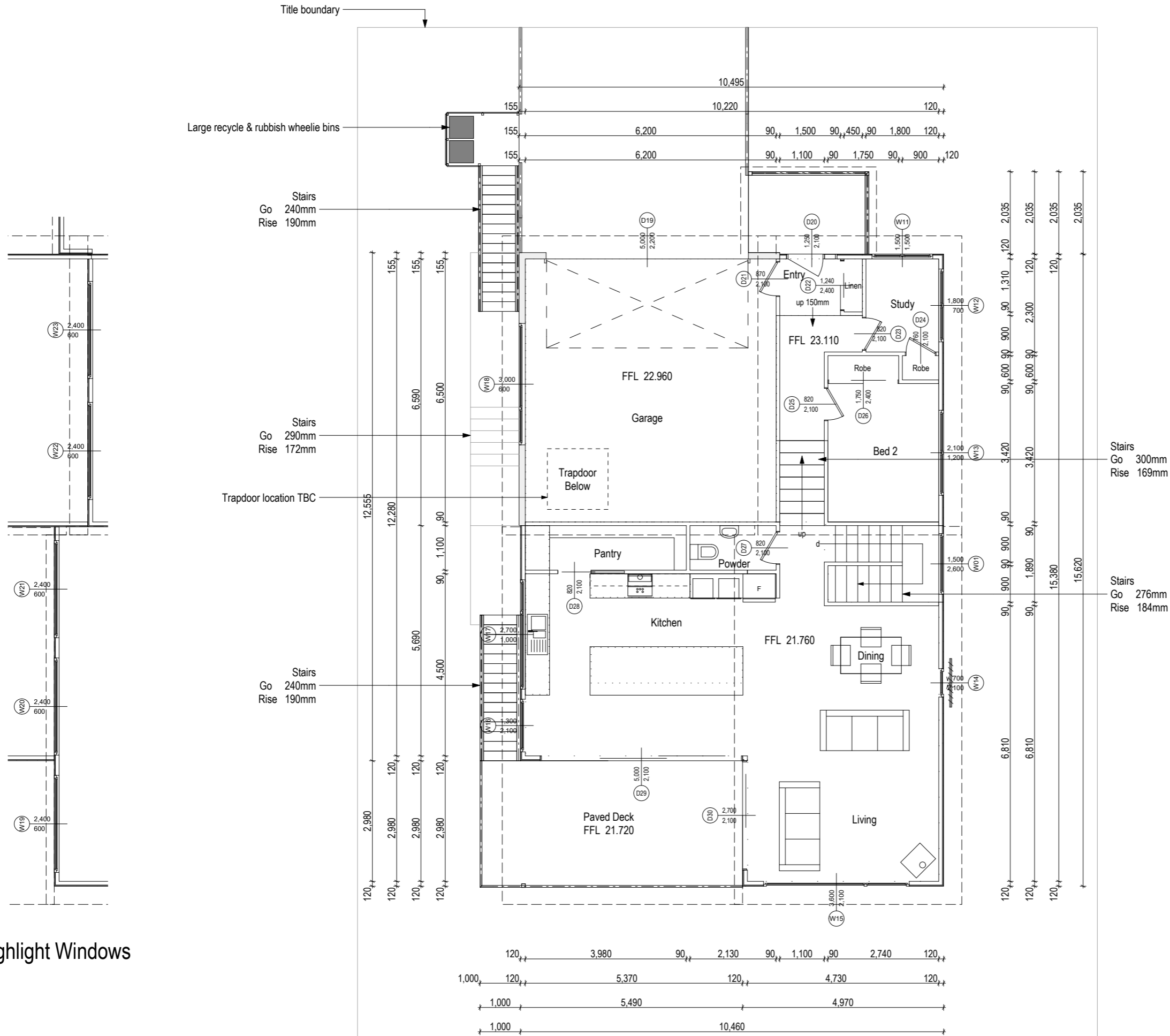
Width 1,210 Height 900

W05 Window number

Amendments	
Date	By
6-10-2025	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Floor Plan Level 2



Highlight Windows

Walls

- Existing Walls
- New Walls
- Walls to be removed

Windows

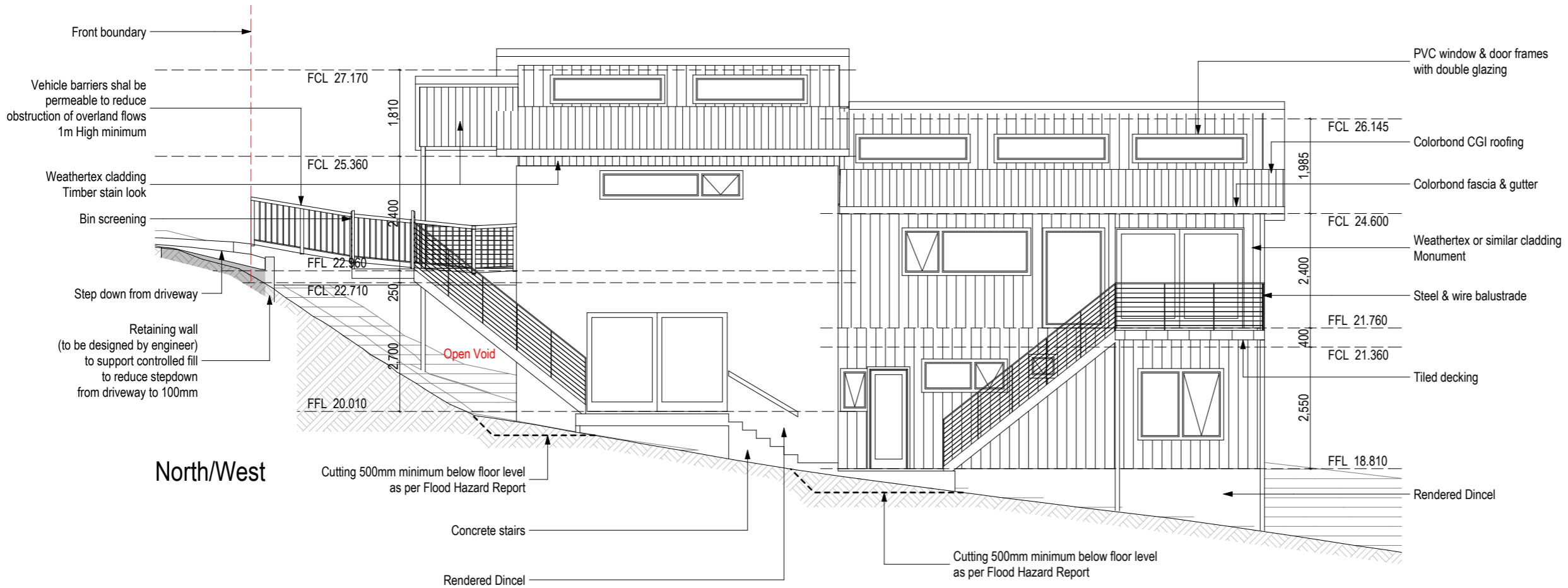
Width 1,210 Height 900

W05 Window number

Amendments	
Date	By
25-9-2025	CW
6-10-2025	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Elevations

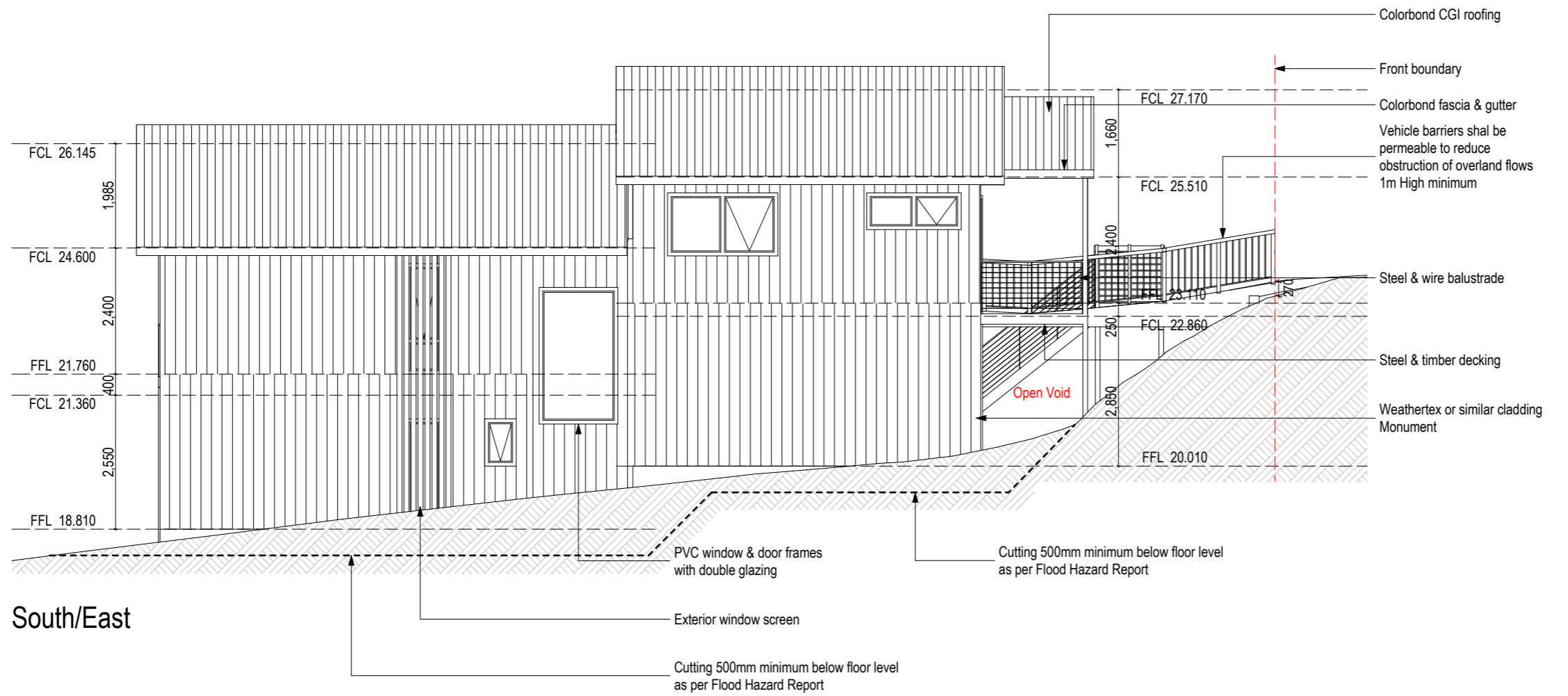


North/West

Material & Colour Schedule

Element	Material	Colour
Wall cladding	Weathertex	Timber stain look
Wall Cladding 2	Weathertex or similar	CB Monument
Masonry	Dintel rendered	CB Monument
Downpipes	uPVC	To match wall
Roof	CGI Colorbond	CB Monument
Fascia	Colorbond	CB Monument
Gutter	Colorbond	CB Monument
Windows & Doors	PVC	CB Monument
Garage Door	Steel	CB Monument

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand



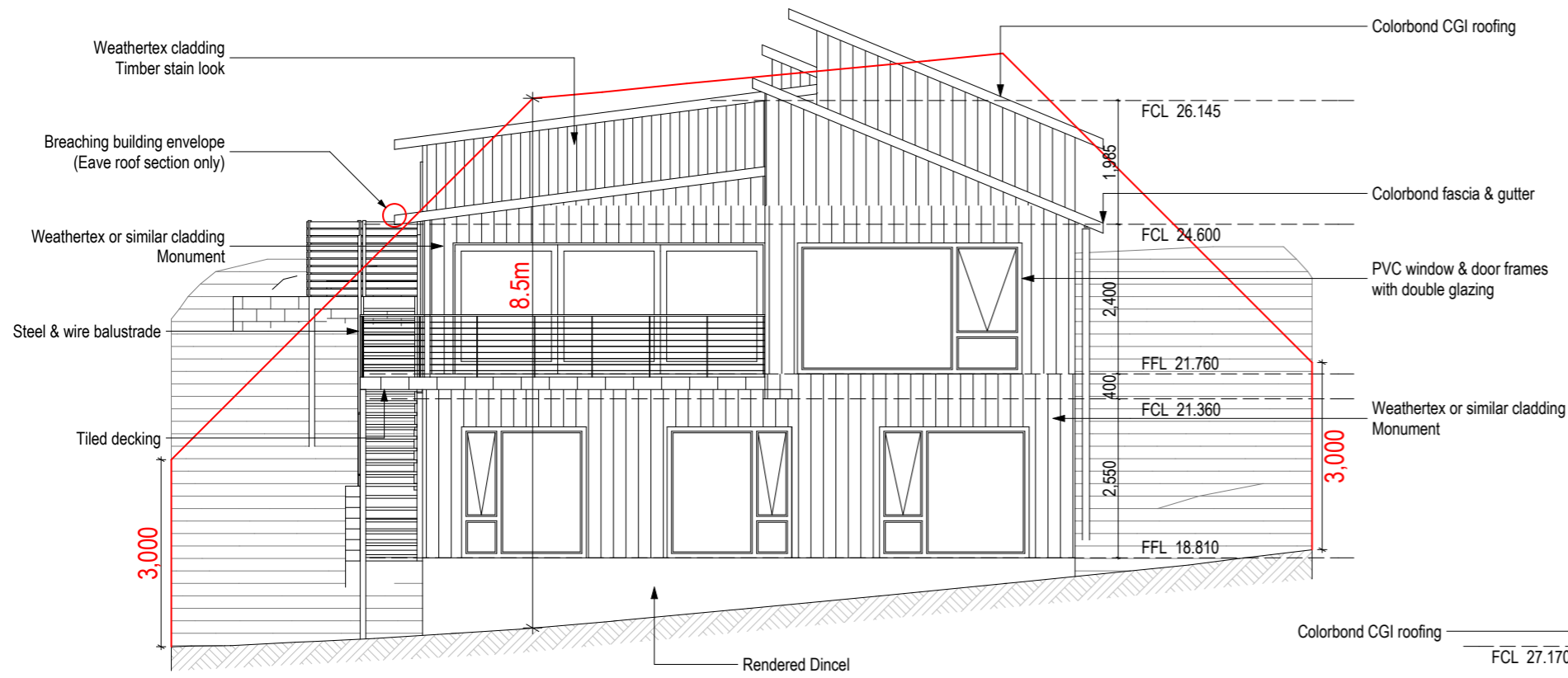
South/East

Amendments

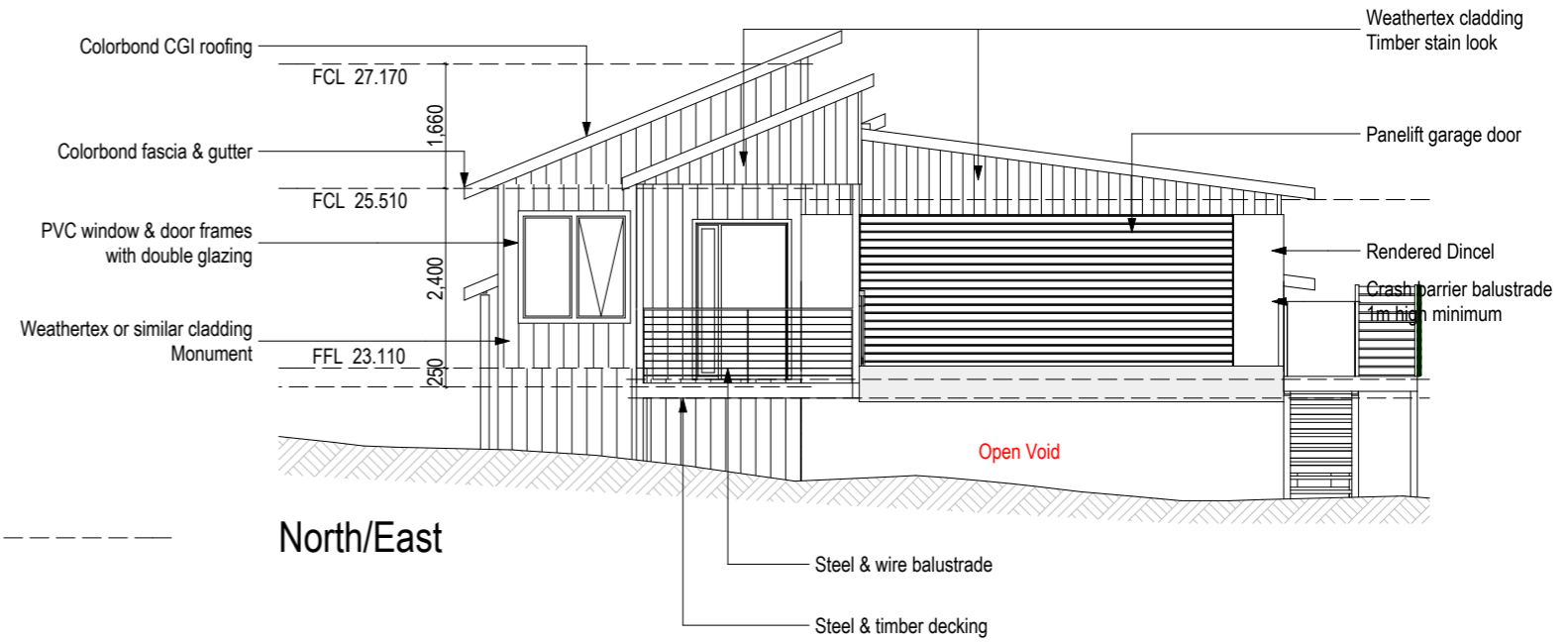
Date	By
25-9-2025	CW
6-10-2025	CW
20-10-2025	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

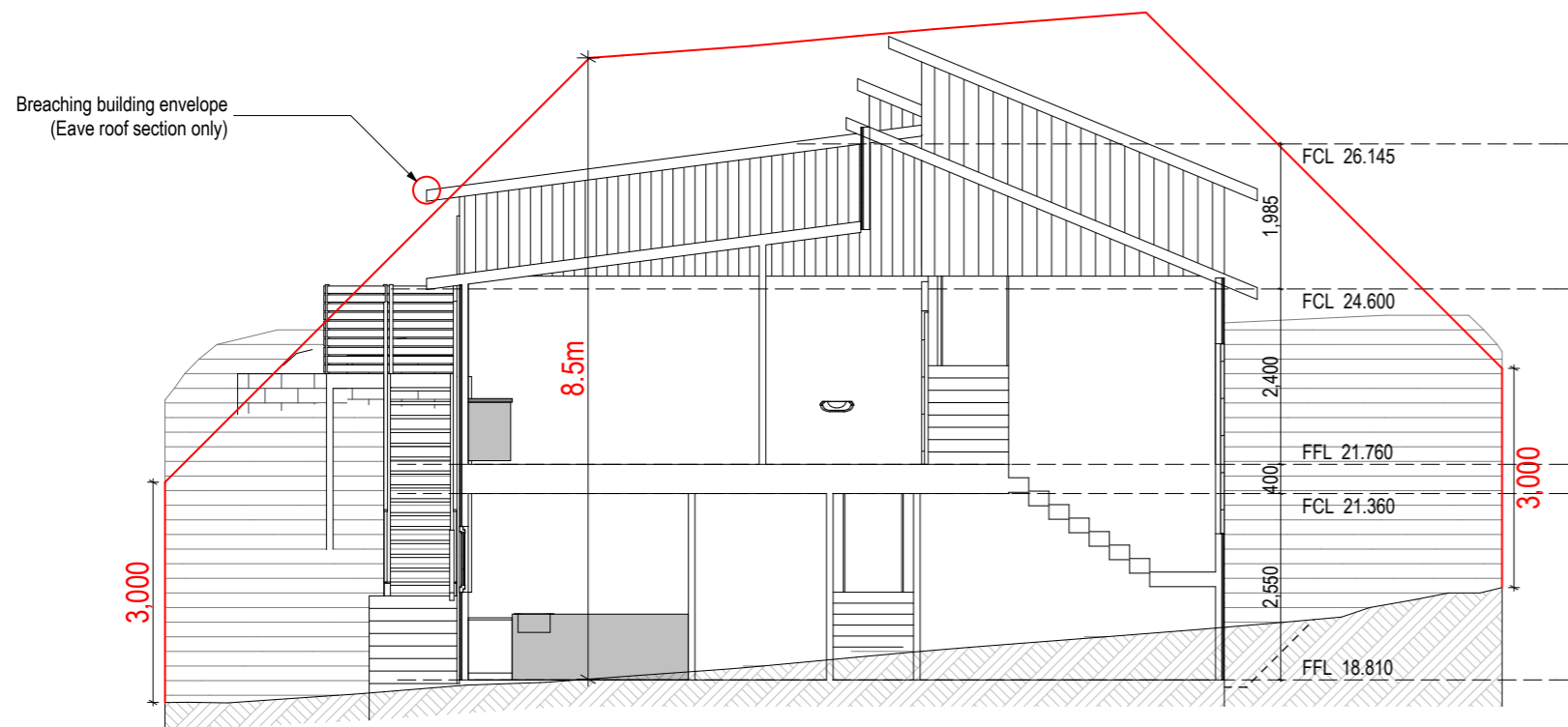
Elevations



South/West



North/East



South/West
Street Front Roofs

Material & Colour Schedule		
Element	Material	Colour
Wall cladding	Weatherdex	Timber stain look
Wall Cladding 2	Weatherdex or similar	CB Monument
Masonry	Dintel rendered	CB Monument
Downpipes	uPVC	To match wall
Roof	CGI Colorbond	CB Monument
Fascia	Colorbond	CB Monument
Gutter	Colorbond	CB Monument
Windows & Doors	PVC	CB Monument
Garage Door	Steel	CB Monument

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments	
Date	By
25-9-2025	CW
6-10-2025	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Part 7.4 Gutters and downpipes

7.4.1 Application

[New for 2022]

Table 7.4.3a: Size of gutter required to drain roof catchment area into one (1) downpipe for various rainfall intensities and roof catchment areas (A, B, C, D, E and F defined in Table 7.4.3b)

Design rainfall intensity (mm/h) (as per Table 7.4.3d)	Roof catchment area per downpipe — 30 m ²	Roof catchment area per downpipe — 40 m ²	Roof catchment area per downpipe — 50 m ²	Roof catchment area per downpipe — 60 m ²	Roof catchment area per downpipe — 70 m ²
120 mm/h	A or C	A or C	A or C	A or C	A or D
140 mm/h	A or C	A or C	A or C	A or D	B or E

Table 7.4.3b: Gutter sizes for various rainfall intensities

Gutter type	Gutter description	Minimum cross-sectional area (mm ²)
A	Medium rectangular gutter	6500
B	Large rectangular gutter	7900
C	115 mm D gutter	5200

Table 7.4.3c: Downpipe selection for gutter types (A, B, C, D, E and F defined in Table 7.4.3b)

Downpipe section	Gutter type A	Gutter type B	Gutter type C	Gutter type D	Gutter type E
75 mm dia.	Yes	Yes	Yes	Yes	No
100 mm x 50 mm	Yes	Yes	Yes	Yes	Yes

Table 7.4.3d: 5 minute duration rainfall intensities

State	Locality	Annual exceedance probability, 5% (mm/h)	Annual exceedance probability, 1% (mm/h)
TAS	Hobart	86	120

Table 7.4.4a: Overflow volume for continuous measure (L/s/m)

Design 5 minute duration rainfall intensity (mm/h) (from Table 7.4.3d)	Ridge to gutter length — 2 m	Ridge to gutter length — 4 m	Ridge to gutter length — 6 m	Ridge to gutter length — 8 m	Ridge to gutter length — 10 m	Ridge to gutter length — 12 m	Ridge to gutter length — 14 m	Ridge to gutter length — 16 m
150 mm/h	0.08 L/s/m	0.17 L/s/m	0.25 L/s/m	0.33 L/s/m	0.42 L/s/m	0.50 L/s/m	0.58 L/s/m	0.67 L/s/m
175 mm/h	0.10 L/s/m	0.19 L/s/m	0.29 L/s/m	0.39 L/s/m	0.49 L/s/m	0.58 L/s/m	0.68 L/s/m	0.78 L/s/m
200 mm/h	0.11 L/s/m	0.22 L/s/m	0.33 L/s/m	0.44 L/s/m	0.56 L/s/m	0.67 L/s/m	0.78 L/s/m	0.89 L/s/m
225 mm/h	0.13 L/s/m	0.25 L/s/m	0.38 L/s/m	0.50 L/s/m	0.63 L/s/m	0.75 L/s/m	0.88 L/s/m	1.0 L/s/m
250 mm/h	0.14 L/s/m	0.28 L/s/m	0.42 L/s/m	0.56 L/s/m	0.69 L/s/m	0.83 L/s/m	0.97 L/s/m	1.1 L/s/m

7.4.7 Acceptable dedicated overflow measure per downpipe

[2019: Table 3.5.3.4b]

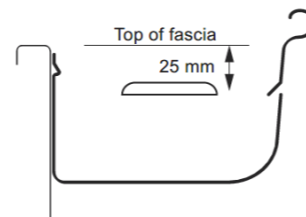
- For an end-stop weir with—
 - a minimum clear width of 100 mm; and
 - the weir edge installed a minimum 25 mm below the top of the fascia, the acceptable overflow is 0.5 L/s constructed in accordance with Figure 7.4.7a.
- An end-stop weir is not suitable where the end-stop abuts a wall.
- For an inverted nozzle installed within 500 mm of a gutter high point with—
 - a minimum nozzle size of 100 mm x 50 mm positioned lengthways in the gutter; and
 - the top of the nozzle installed a minimum of 25 mm below the top of the fascia, the acceptable overflow is 1.2 L/s constructed in accordance with Figure 7.4.7b.
- For a front face weir with—
 - a minimum clear width of 200 mm; and
 - a minimum clear height of 20 mm; and
 - the weir edge installed a minimum of 25 mm below the top of the fascia, the acceptable overflow capacity is 1.0 L/s constructed in accordance with Figure 7.4.7c.
- For a rainhead with—
 - a 75 mm diameter hole in the outward face of the rainhead; and
 - the centreline of the hole positioned 100 mm below the top of the fascia,

7.4.6 Acceptable continuous overflow measure

[2019: Table 3.5.3.4a]

- For a front face slotted gutter with—
 - a minimum slot opening area of 1200 mm² per metre of gutter; and
 - the lower edge of the slots installed a minimum of 25 mm below the top of the fascia, the acceptable overflow capacity must be 0.5 L/s/m, constructed in accordance with Figure 7.4.6a.
- For a controlled back gap with—
 - a permanent minimum 10 mm spacer installed between the gutter back and the fascia; and
 - one spacer per bracket, with the spacer not more than 50 mm wide; and
 - the back of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity must be 1.5 L/s/m, constructed in accordance with Figure 7.4.6b.
- For the controlled back gap option, the spacer can be a proprietary clip or bracket that provides the *required* offset of the gutter from the fascia.
- For controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia, the acceptable overflow capacity is 1.5 L/s/m constructed in accordance with Figure 7.4.6c.

Figure 7.4.6a: Construction of front face slotted gutter



Roof and wall cladding

7.4.6

Figure 7.4.6b: Construction of controlled back gap

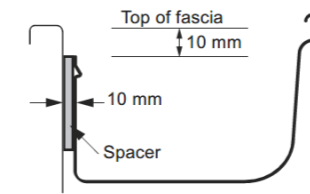


Figure 7.4.6c: Construction of controlled front bead height

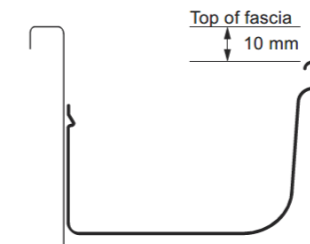
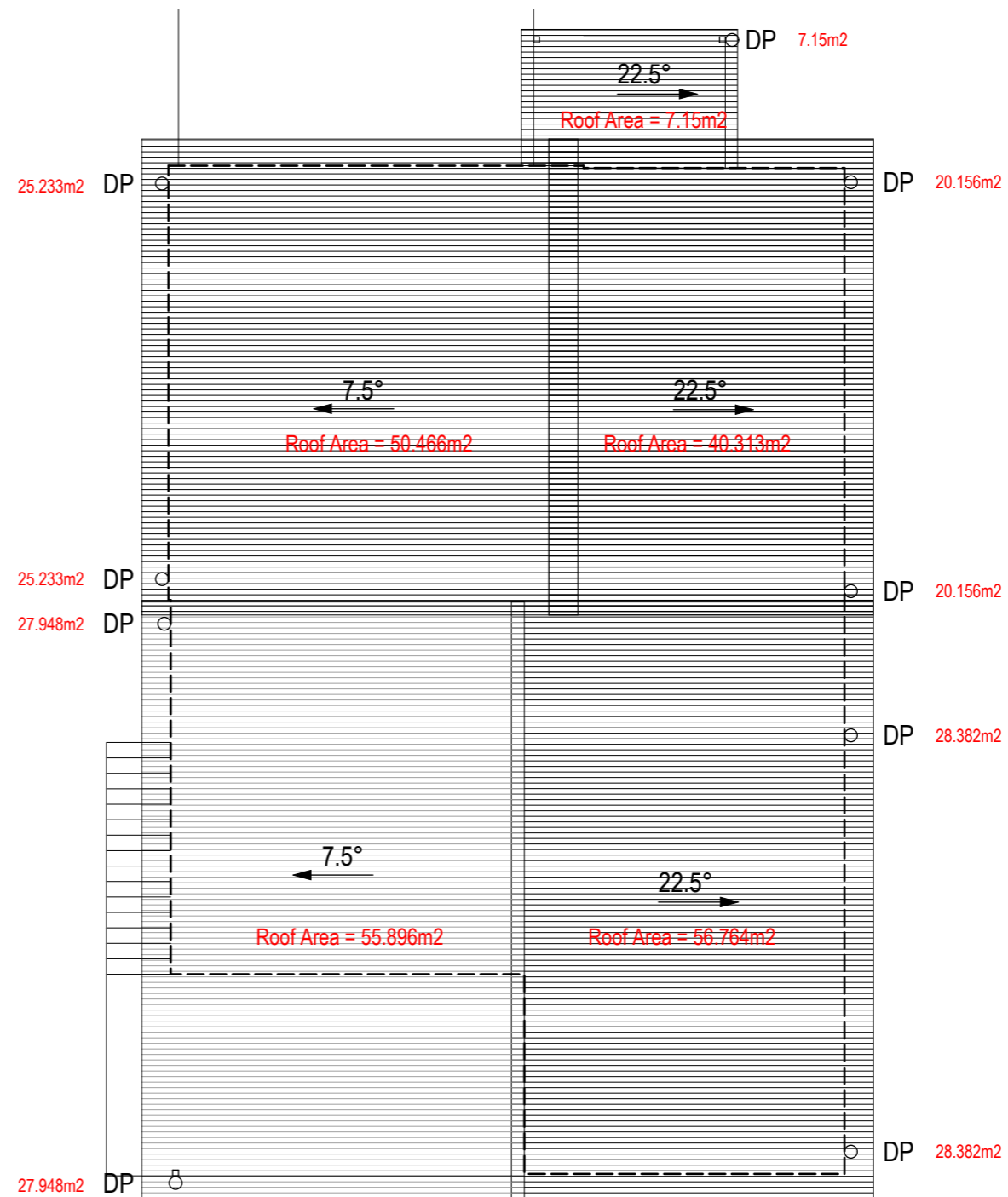


Figure Notes

Front bead of gutter to be a minimum of 10 mm below the top of the fascia.



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Job
 New Residential Home

Job address
 63 Elinga Street,
 Howrah

Drawing
 Scale: A3 - 1:100
 DWG: 8 of 14
 Date: 20 October 2025
 Job No: 2025-01

Roof Plan



Amendments	
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
















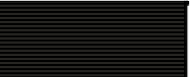


Drawing
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Window Schedule

Window List								
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing	Notes
W01		2,600	1,500	4,600	Fixed	PVC	Obscure Double	
W02		900	600	2,100	Top Hung	PVC	Obscure Double	
W03		2,100	700	2,100	Fixed	PVC	Clear Double	
W04		2,100	2,400	2,100	Top Hung	PVC	Clear Double	
W05		2,100	2,000	2,100	Top Hung	PVC	Clear Double	
W06		2,100	2,000	2,100	Top Hung	PVC	Clear Double	
W07		1,500	1,800	2,100	Top Hung	PVC	Clear Double	
W08		500	600	2,400	Top Hung	PVC	Obscure Double	
W09		700	1,800	2,300	Top Hung	PVC	Clear Double	
W10		900	600	2,100	Top Hung	PVC	Obscure Double	
W11		1,500	1,500	2,100	Top Hung	PVC	Clear Double	
W12		700	1,800	2,100	Top Hung	PVC	Clear Double	
W13		1,200	2,100	2,100	Top Hung	PVC	Clear Double	
W14		2,100	700	2,100	Top Hung	PVC	Clear Double	
W15		2,100	3,600	2,100	Top Hung	PVC	Clear Double	
W16		2,100	1,300	2,100	Fixed	PVC	Clear Double	
W17		1,000	2,700	2,100	Top Hung	PVC	Clear Double	
W18		600	3,000	2,100	Top Hung	PVC	Clear Double	
W19		600	2,400	1,363	Fixed	PVC	Clear Double	
W20		600	2,400	850	Fixed	PVC	Clear Double	
W21		600	2,400	850	Fixed	PVC	Clear Double	
W22		600	2,400	800	Fixed	PVC	Clear Double	
W23		600	2,400	800	Fixed	PVC	Clear Double	

Amendments	
Date	By

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Door List							
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing
D01		2,100	820	2,100	Hinged	PVC	Obscure Double
D02		2,100	820	2,100	Hinged	Timber	
D03		2,100	1,640	2,100	Hinged	Timber	
D04		2,100	820	2,100	Hinged	Timber	
D05		2,100	820	2,100	Hinged	Timber	
D06		2,100	820	2,100	Hinged	Timber	
D07		2,100	820	2,100	Hinged	Timber	
D08		2,100	3,000	2,100	Sliding	PVC	Clear Double
D09		2,100	820	2,100	Hinged	Timber	
D10		2,100	820	2,100	Hinged	Timber	
D11		2,100	870	2,100	Hinged	Timber	
D12		2,100	820	2,100	Hinged	Timber	
D13		2,100	820	2,100	Hinged	Timber	
D14		2,100	1,440	2,100	Hinged	Timber	
D15		2,100	820	2,100	Hinged	Timber	
D16		2,400	1,920	2,400	Sliding	Timber	
D17		2,100	820	2,100	Hinged	Timber	
D18		2,100	820	2,100	Hinged	Timber	
D19		2,200	5,000	2,200	Panel Lift	Steel	
D20		2,100	1,250	2,100	Hinged	PVC	Obscure Double
D21		2,100	870	2,100	Hinged	Timber	

Door List							
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing
D22		2,400	1,240	2,400	Sliding	Timber	
D23		2,100	820	2,100	Hinged	Timber	
D24		2,100	760	2,100	Hinged	Timber	
D25		2,100	820	2,100	Hinged	Timber	
D26		2,400	1,750	2,400	Sliding	Timber	
D27		2,100	820	2,100	Hinged	Timber	
D28		2,100	820	2,100	Sliding	Timber	
D29		2,100	5,000	2,100	Sliding	PVC	Clear Double
D30		2,100	2,700	2,100	Sliding	PVC	Clear Double



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Client
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Job
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Job address
 63 Elinga Street,
 Howrah

Drawing
 Scale: A3
 DWG: 10 of 14
 Date: 20 October 2025
 Job No: 2025-01

Door Schedule

Amendments	
Date	By

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Part 2 Dwelling entrance

2.1 Clear opening width

- (1) At least one entrance door to the dwelling must have a minimum clear opening width of 820 mm.
- (2) The minimum clear opening width required by (1) must be measured in accordance with Figure 2.1.

Figure 2.1: Measurement of clear opening width

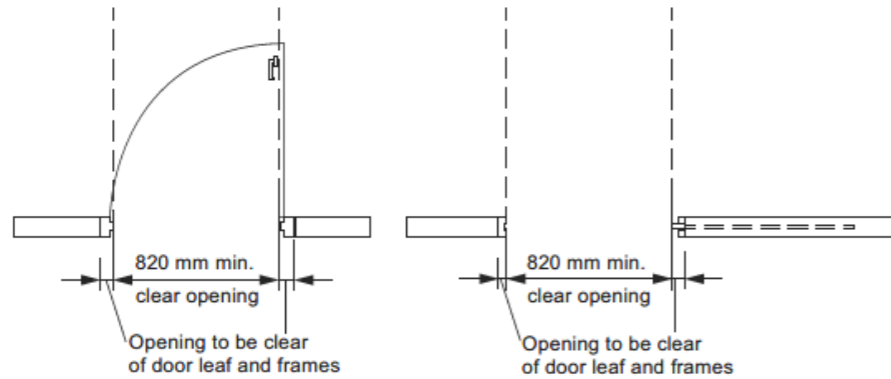


Figure Notes

- (1) Double doors, bi-fold doors, stacking doors, multiple sliding door panels and other types of hinged door sets may use a smaller leaf provided the overall clear opening width with the doors fully open is not less than 820 mm.
- (2) Clear opening width for sliding doors must be measured with the door panel(s) installed and in the fully open position.
- (3) The door handle may encroach the required minimum clear opening width.

Information: Door leaf dimensions

An 820 mm clear opening width, for a single swinging door, can generally be achieved using an 870 mm door leaf.

Information: Meaning of 'entrance door'

An entrance door for the purposes of 2.1 may be a door other than the front door, provided that the door connects to the step-free access path in accordance with Clause 1.1(2). For example, compliance with 2.1 could be achieved via a side door that is connected to the garage via a step-free path.

2.2 Threshold

The threshold of an entrance door that is subject to Clause 2.1 must—

- be level; or
- have a sill height not more than 5 mm if the lip is rounded or bevelled; or
- have a ramped threshold that—
 - does not extend beyond the depth of the door jamb; and
 - has a gradient not steeper than 1:8; and
 - is at least as wide as the minimum clear opening width of the entrance door; and
 - does not intrude into the minimum dimensions of a landing area that is required by Clause 2.3; or

- where the requirements of (a), (b) or (c) cannot meet the weatherproofing requirements of the NCC, for external entrance doors containing a raised door or sill—

- have no lip or upstand greater than 15 mm within the sill profile; and
- have no more than 5 mm height difference between the edge of the top surface of the sill and the adjoining finished surface.

Information: Termite management

For termite management, where *required* by the NCC, the NCC referenced document AS 3660.1 includes solutions for termite management in cases where there is no step-up into a dwelling; see clauses 2.2, 2.3, 4.4 and 6.5 of AS 3660.1.

AS 3660.1 is referenced in the NCC, therefore an appropriate solution for termite management that complies with AS 3660.1 can be used as part of a *Deemed-to-Satisfy Solution* under the NCC.

Information: Damp-proof course

For masonry construction, a *damp-proof course* is to be located above the external finished surface (e.g. clause 5.7.4 of the ABCB Housing Provisions). Therefore, the construction of a ramp, threshold or the like is to maintain compliance with this requirement.

Information: Finished surface

The finished surfaces abutting a door sill will involve the external surface on one side and the internal floor finish on the other side. Finished surfaces may include a carpet or tiled finish internally, or decking, paving or the like externally. Door mats should not be counted as forming a finished surface either side of the door sill.

2.3 Landing area

An entrance door that is subject to Clause 2.1 must have a space of at least 1200 mm x 1200 mm on the external (arrival) side of the door that is—

- unobstructed (other than by a gate or a screen door); and
- level, or has a gradient not more than 1:40 if a gradient is necessary to allow for drainage.

Applications

- (1) Clause 2.3 only applies to a Class 1a building.
- (2) Clause 2.3 does not apply to a dwelling that is exempt from compliance with Clause 1.1.
- (3) Clause 2.3 does not apply to an entrance door that serves an appurtenant Class 10a garage or carport in accordance with 1.1(b).

Information: Entrance doors to Class 2 sole-occupancy units

Requirements for landing areas outside the entrance door to a Class 2 *sole-occupancy unit* located on an *accessible* floor are set out in Section D of NCC Volume One and the Disability (Access to Premises — Buildings) Standards 2010.

2.4 Weatherproofing for external step-free entrance

Weatherproofing for an external step-free entrance must be provided in accordance with one or a combination of the following:

- Where the external surface is concrete or another impermeable surface, a channel drain that meets the requirements of Volume Two H2D2 is to be provided for the width of the entrance.
- Where the external trafficable surface is decking or another raised permeable surface, a drainage surface below the trafficable surface is to be provided that meets the requirements of Volume Two H2D2, and drainage gaps in the trafficable surface, such as those between decking boards, are to be no greater than—
 - 8 mm; or
 - in a *designated bushfire prone area*, that permitted by AS 3959.
- A roof covering an area no smaller than 1200 mm by 1200 mm, where the area is provided with a fall away from the building not greater than 1:40.

Applications

- (1) The provisions of 2.4 do not apply to an entrance door that is provided through an interconnected garage.
- (2) A channel drain provided in accordance with (a) can also act as an inspection zone for the purposes of termite management provisions provided the inspected zone required by AS 3660.1 can be accessed.
- (3) Consideration should be given to the ability for cleaning drains in (a), particularly in bushfire prone areas.
- (4) For the purposes of (c), any posts, columns, or structural supports for the roof cover, must not encroach the clear space required by 1.1(4) for a landing or entrance path provided under 1.1.

Client

Geoff Hudson & Cindy Lewis-Bryan

Job

New Residential Home

Job address

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Drawing

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Job No: 2025-01

Livable Housing Part 2

Amendments

Date	By

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Part 5 Shower

5.1 Application

At least one shower must comply with Clause 5.2.

Information

"At least one shower" means that in a dwelling with two or more showers, only one of the showers needs to comply with the requirements of this Part.

A shower subject to this Part is not required to be located on the ground or entry level of the dwelling.

5.2 Hobless and step-free entry

- (1) At least one shower must have a hobless and step-free entry.
- (2) A lip not more than 5 mm in height may be provided for water retention purposes.

Applications

For the purposes of 5.2, a lip meeting the requirements of 5.2(2) is not a step.

Information: Hobless and step-free

Clause 5.2(1) refers to a shower entry being 'hobless' and 'step-free' because those two terms have different meanings. A shower where the floor within the shower compartment is level with the floor adjacent to its entry would be 'step-free' but could still have a hob. Conversely, a shower with a step-down into the shower recess does not have a 'hob' (i.e. 'hobless'), but would not be 'step-free'. Therefore, to achieve the intent of Clause 5.2(1), it is necessary to specify that the shower is both 'hobless' and 'step-free'.

Information: Waterproofing

AS 3740 and Part 10.2 of the ABCB Housing Provisions include specific requirements for waterproofing a hobless, step-free shower area. Both are referenced in the NCC *Deemed-to-Satisfy Provisions* for general waterproofing of *wet areas* (note that Part 10.2 of the ABCB Housing Provisions only applies to Class 1 and 10 buildings).

Part 6 Reinforcement of bathroom and sanitary compartment walls

6.1 Location

- (1) Reinforcing in accordance with Clause 6.2 must be provided to any—
 - (a) *sanitary compartment* that is subject to Part 4; and
 - (b) bathroom containing a—
 - (i) shower that is subject to Part 5; or
 - (ii) bath (if provided), other than a freestanding bath where the bath is located in a room that also contains a shower that is subject to Part 5.
- (2) The requirements of (1) need not be complied with if the walls of the room are constructed of concrete, masonry or another material capable of supporting grabrails without additional reinforcement.
- (3) Where the wall supporting the reinforcement includes a cavity slider, it must be designed and constructed in way to support loads imposed by reinforcement, linings and the future provision of handrails and provided for the extent *required* by Figures 6.2a, 6.2b, 6.2c, 6.2d, 6.2e, 6.2f and 6.2g.

Information: Intent of Part 6

The intent of this Part is to ensure that walls adjacent to toilet pans, showers and baths provide a fixing surface able to support the future installation of grabrails, if needed. This Part does not require the installation of grabrails at the time of construction.

A freestanding bath is excluded from Clause 6.1(1)(b)(ii) because it does not have any adjoining walls to which grabrails could be fixed.

A bath with only one adjoining wall need only have reinforcing provided in the adjoining wall (unless exempted by Clause 6.1(2)). Care is required when locating a cavity sliding door adjacent to a fixture which requires reinforcement to 6.1(1) as the framing that surrounds the cavity into which the door retracts demands careful consideration of fixings and members that will safely support a grabrail and not impede the operation of the door.

Information: Non-combustibility of walls

Where noggings are *required* to achieve compliance with this Part, provided they do not extend further than necessary, these noggings may be installed within an *external wall* that is *required* to be *non-combustible* under C2D10(4)(i)(ii) of NCC Volume One.

6.2 Construction

- (1) Reinforcing constructed in accordance with the requirements of (3) must be provided in the locations depicted in—
 - (a) Figures 6.2a or 6.2b for walls surrounding a bath; and
 - (b) Figures 6.2c or 6.2d for shower walls; and
 - (c) Figure 6.2e for a wall adjacent to and within 460 mm of the centreline of a toilet pan; and
 - (d) Figures 6.2f or 6.2g for a wall behind a toilet pan where a wall described in (c) is not provided or a window sill or a door encroaches on the area *required* to be provided with reinforcing or where the toilet pan is not provided in a corner of the bathroom.
- (2) Reinforcing need only be provided across the available width of the wall where a wall referred to in (1)(a) or (b)—
 - (a) is narrower than the width of the area *required* to be provided with reinforcing; or
 - (b) terminates at a window sill lower than the height or the area required to be provided with reinforcing.
- (3) Reinforcing required by (1) must be constructed using one of the following materials:
 - (a) A minimum of 12 mm thick structural grade plywood, or similar.
 - (b) Timber noggings with a minimum thickness of 25 mm.

Client

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Job

New Residential Home

Job address

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Livable Housing Part 5-6

Amendments

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(c) Light gauge steel framing noggings or metal plate in accordance with the NASH Standard.

Figure 6.2a: Location of noggings for walls surrounding a bath

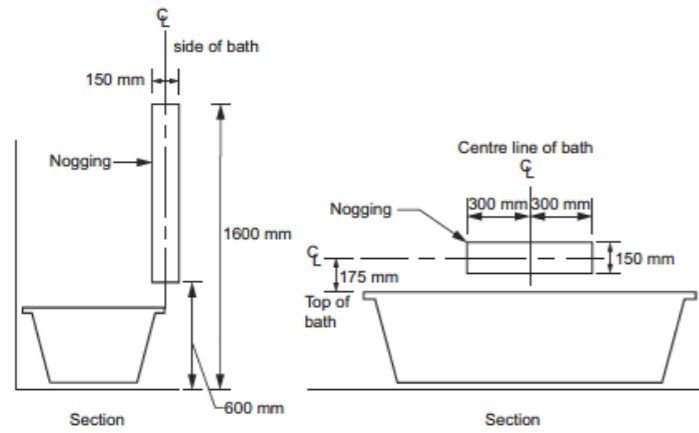


Figure Notes

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bathtub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure 6.2b: Location of sheeting for walls surrounding a bath

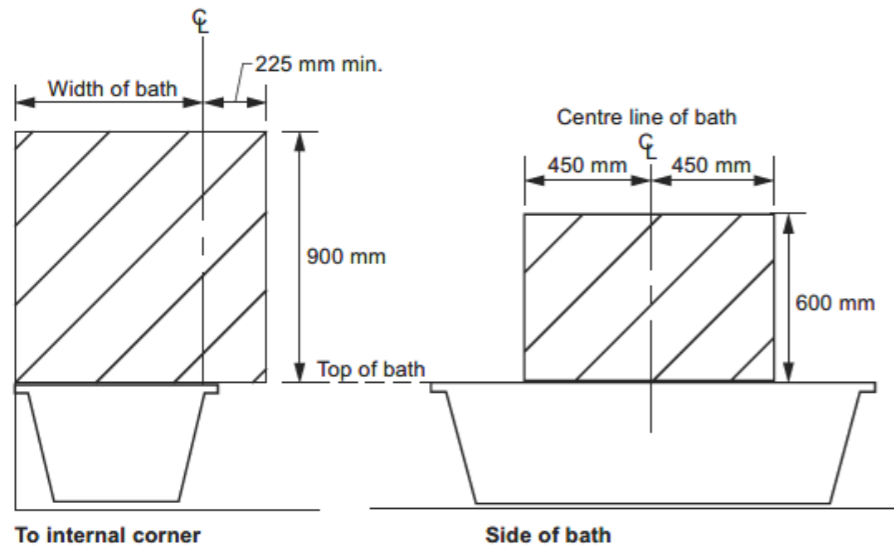


Figure Notes

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

(2) Where the height of the bath tub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure 6.2c: Location of noggings for shower walls

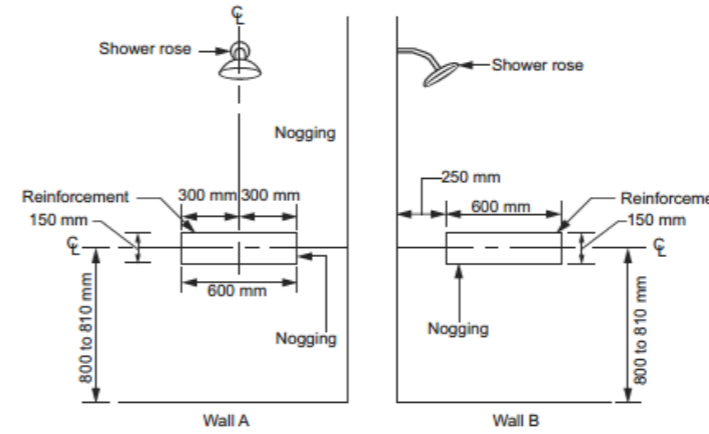


Figure Notes

Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Figure 6.2d: Location of sheeting for shower walls

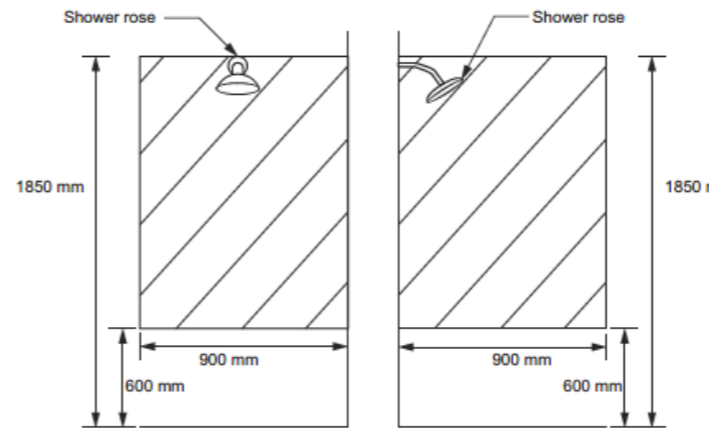


Figure Notes

Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

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DWG: 13 of 14
Date: 20 October 2025
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Liveable Housing Part 6

Amendments	
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(2) Where the height of the bath tub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure 6.2c: Location of noggings for shower walls

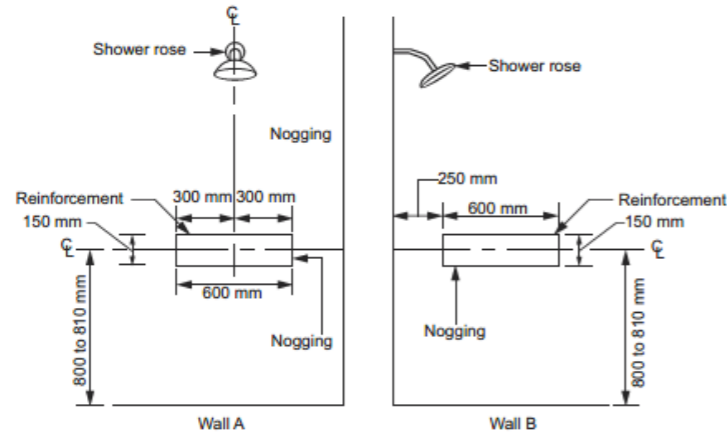


Figure Notes

Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Figure 6.2d: Location of sheeting for shower walls

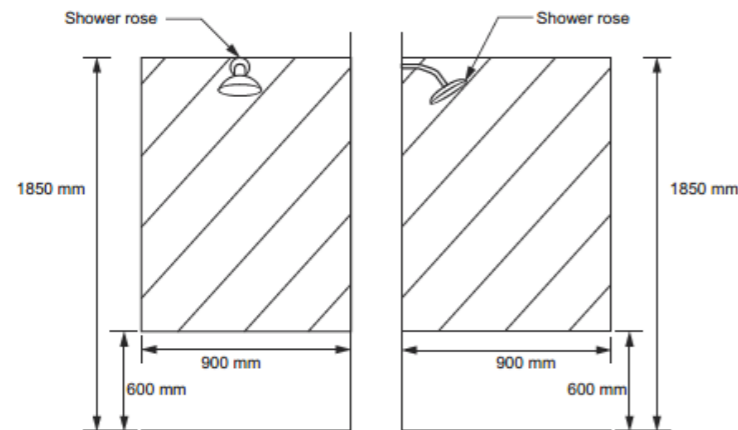


Figure Notes

Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

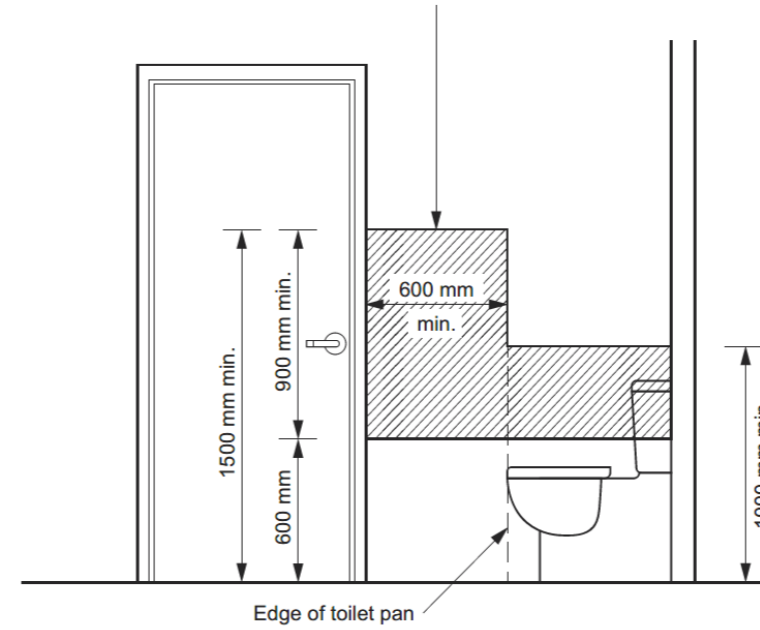


Figure 6.2f: Location of noggings for a wall behind a toilet pan

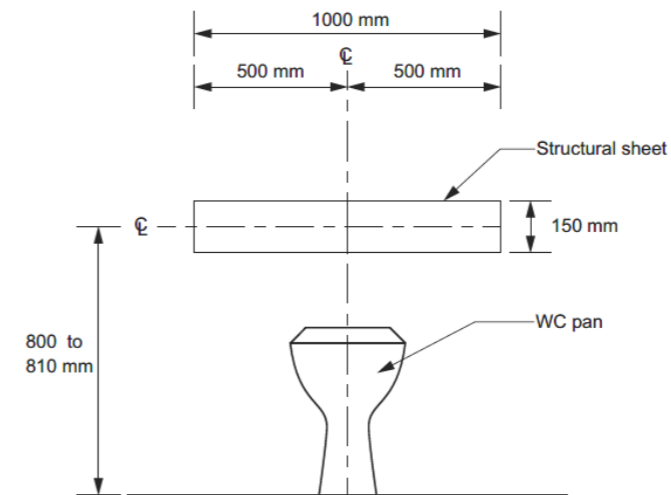
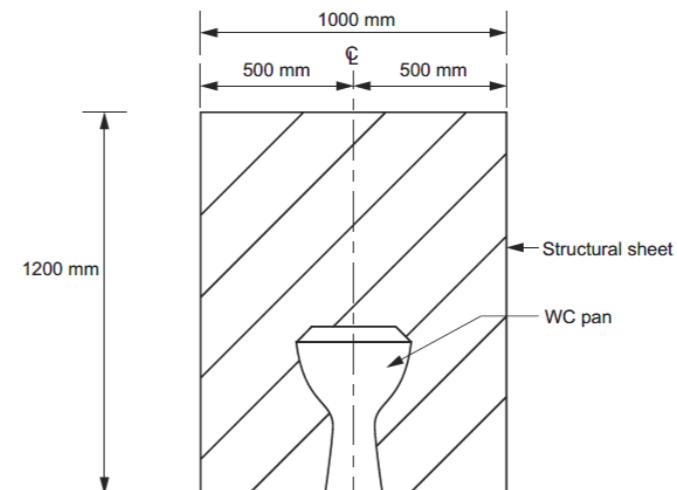


Figure 6.2g: Location of sheeting for a wall behind a toilet pan



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Utility Locating Report

Steve Archer
 Created Mon, 23 May 2022, 7:47 PM (UTC+10)

Date Mon, 23 May 2022

UDM Job Number 22048

DBYD Reference Number 31995141

Job Address 63/65 Elinga st Howrah


Assets Located

Assets	Located	Quality Level	Notes
Telstra	Yes	D	Overhead to existing house
TasNetworks	Yes	D	Connection for existing house is overhead
TasWater Sewer	Yes	B	Sewer main located with cctv from boundary to boundary; there is no property connection for #63 Elinga. 2 sewer pits inside #65 on plan are not accessible, one is buried and the other has a garden shed on top of it.
Taswater Water	Yes	C	Ac100 main is in road; connection from main to meter located to level "B". Appears connection from meter to house is poly, and not traceable.
Stormwater	No	D	Cannot find manhole supposedly in the northwest corner of #63, concrete block structure and rubbish possibly on top of manhole.

Yes/No Have you checked all DBYD plans? Yes

Yes/No Have you located the right area? Yes

Locator Name/Signature  Steve Archer , UDM Group , Mon, 23 May 2022, 8:06 pm

Client Name/Signature  Alistair & Madison Williams & Killer, Property owners, Mon, 23 May 2022, 8:08 pm



See full page photos attached at end of PDF



No GPS information available
Captured by: Steve Archer
Captured on: Mon, 23 May
2022, 3:07 pm

Tags:

Description:

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:07 pm

Tags:

Description:

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:07 pm

Tags:

Description:

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:07 pm

Tags:

Description:

Comments:



May 23, 2022
3:07 PM UTC +10:00
Utility Detection & Map.
Teams



No GPS information available

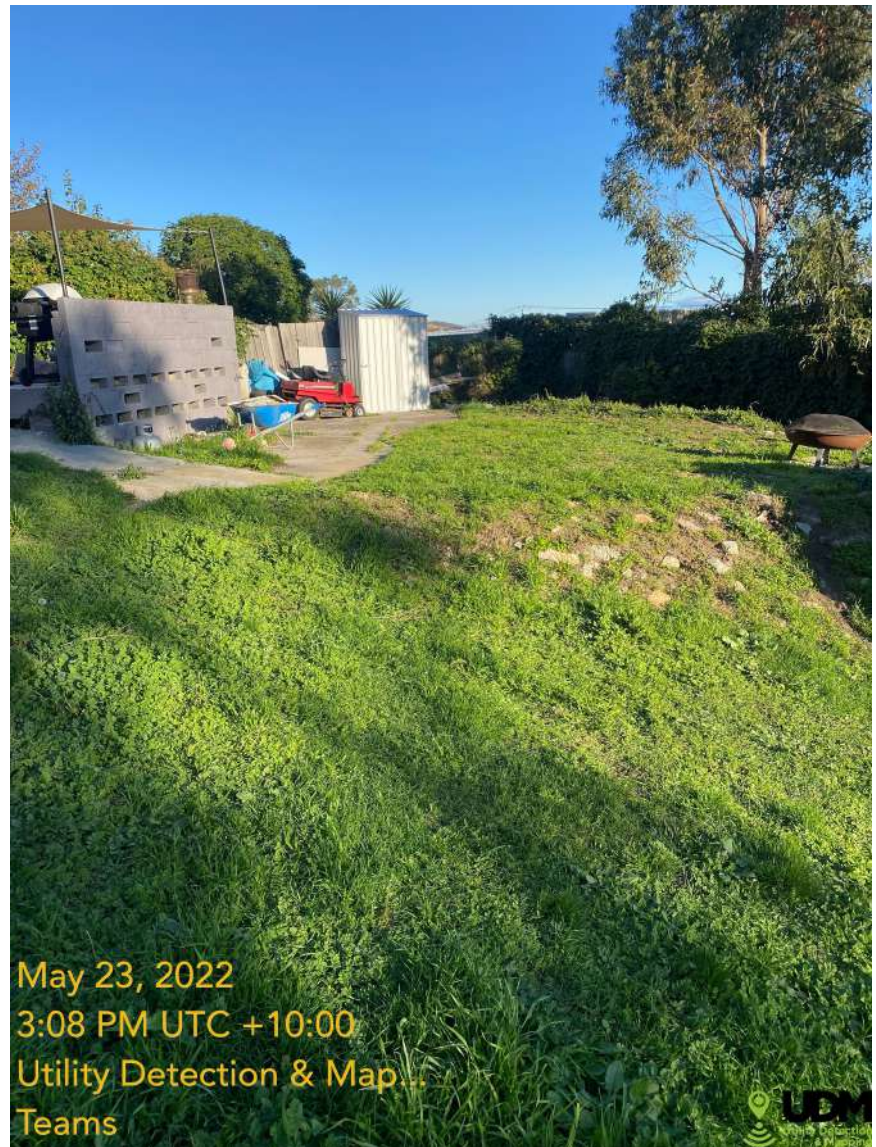
Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:08 pm

Tags:

Description: Suspect 2nd
sewer manhole in #65 is buried
beneath this filled area, tractor
camera with sonde would be
required to successfully locate
this manhole

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May 2022, 3:08 pm

Tags:

Description: Sewer manhole in #65 under garden shed

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:09 pm

Tags:

Description:

Comments:



No GPS information available

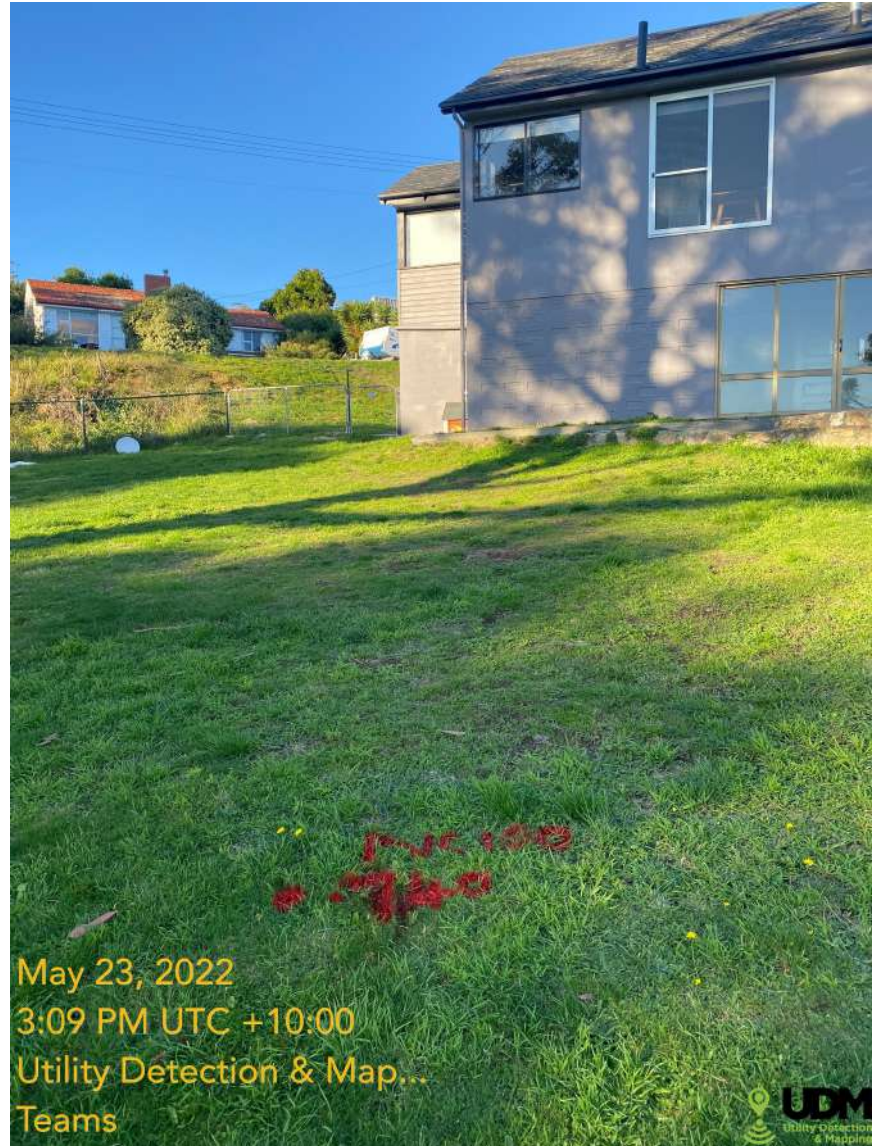
Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:09 pm

Tags:

Description:

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:09 pm

Tags:

Description:

Comments:



No GPS information available

Captured by: Steve Archer

Captured on: Mon, 23 May
2022, 3:09 pm

Tags:

Description:

Comments:



No GPS information available
Captured by: Steve Archer
Captured on: Mon, 23 May 2022, 3:09 pm

Tags:

Description: Suspect Stormwater manhole is under the structure/rubble in this corner of #63

Comments:





Asset Colours

White-Communications
Orange-Power
Blue-Water

Red-Sewer
Green-Stormwater
Pink-Unknown



UDM
Utility Detection
& Mapping



17th September 2025

Draftone
217 Derwent Ave
Lindisfarne TAS 7015
Email: clint.draftone@bigpond.com

Att: Clint Wills

Re: Floor Hazard Report - 63 Elinga Street Howrah

Dear Clint,

Thank you for engaging the services of AssetSafe to provide a Flood Risk Assessment on the proposed new residential dwelling at 63 Elinga Street Howrah.

AssetSafe undertook an inspection on the current vacant property at 63 Elinga Street Howrah on the 16th of September 2025.

The inspection was undertaken by George Severini a Principal Civil Engineer with over 30 years' experience.

Limitation of this report

This report is based on a visual level 1 inspection and information provided by the Clarence City Council Flood Data. AssetSafe have not verified this data.

References

1. Drawings Prepared by Draftone Drawing No. 2025-01
2. Tasmanian Planning Scheme - Clarence, Tasmanian Government.
3. Director of Building Control, Director's Determination - Riverine Inundation Hazard Areas, Consumer, Building and Occupational Services, Department of Justice, 2021.
4. City of Clarence, "Flood Mapping CCC," 2020.
<https://enterprise.mapimage.net>
5. Land Tasmania, "LISTmap," .
<http://maps.thelist.tas.gov.au/listmap/app/list/map>.

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ABN 47 111 958 608

GPO Box 1855
Hobart TAS 700`

m: +61 0 413 272 057
e: gseverini@assetsafe.com.au
w: www.assetsafe.com.au

George Severini

BE Civil MIEAust CPEng NPER AIPM
Registered Building Practitioner
Tas Reg No: CC1822J
QLD Reg No: 9359

Services

- Project Management
- Contract Administration
- Site Supervision
- Quality Control
- OH & S Assessment
- Project Risk Assessment
- Project Due-Diligence
- Property Development
- Infrastructure Planning & Design
- Structural Engineering
- Civil Engineering
- Pre-purchase Inspections
- Building Condition Reports
- Expert Witness
- Building Insurance Reports
- Construction Defects
- Compliance Auditing

Service Sectors

- Energy
- Forestry
- Tourism
- Infrastructure
- Manufacturing
- Mining & Industry
- Food & Beverage
- Marine
- Residential
- Commercial
- Industrial

Membership



ENGINEERS
AUSTRALIA
41221

1. Introduction

This report summarises the flood hazard assessment for the proposed single residential dwelling at 63 Elinga Street, Howrah, and addresses the requirements of C12.0 Flood Prone Areas Hazard Code of the Tasmanian Planning Scheme and the Director's Determination – Riverine Inundation Hazard Areas.

The flood hazard for the site is based on 1% AEP flood modelling provided by Clarence City Council online information data and the corresponding flood hazard planning overlay.

An assessment of the flood hazard including a review of the Council's flood model and overlays relative to the development, and the engineer's on-site assessment.

A response to the acceptable solutions and performance criteria of C12.0 Flood Prone Areas Hazard Code of the Tasmanian Planning Scheme.

A summary of the conclusions and design recommendations for the development.

2. Site Description

The site is located at 63 Elinga Street, Howrah and is currently vacant residential lot located in a General Residential area, refer to Figure 1.0. The adjacent property to the north-west of 63 Elinga St (61A Elinga St) and the opposite property to the north-east (62A Elinga St) are Council owned Open Space lots and feature an existing open channel.



Figure 1: Location of 63 Elinga Street, Howrah, adjacent open channel, and flood-prone areas overlay under the Clarence Local Provisions Schedule of the Tasmanian Planning Scheme

Address: 63 Elinga Street, Howrah, TAS 7018

Zoning: General Residential Zone

Land Area: Approx. 657 m²

Topography: Steeply sloping towards the West

Flood Overlay: Identified in Clarence City Council's flood hazard mapping.

Flood-prone Areas Overlay and Inundation Mapping

The majority of the property 63 Elinga Street, Howrah is located within a flood-prone area (Figure 2) under the Clarence Local Provisions Schedule of the Tasmanian Planning Scheme, which corresponds to the 1%AEP riverine inundation extent (Figure 3) based on Clarence City Council flood mapping.

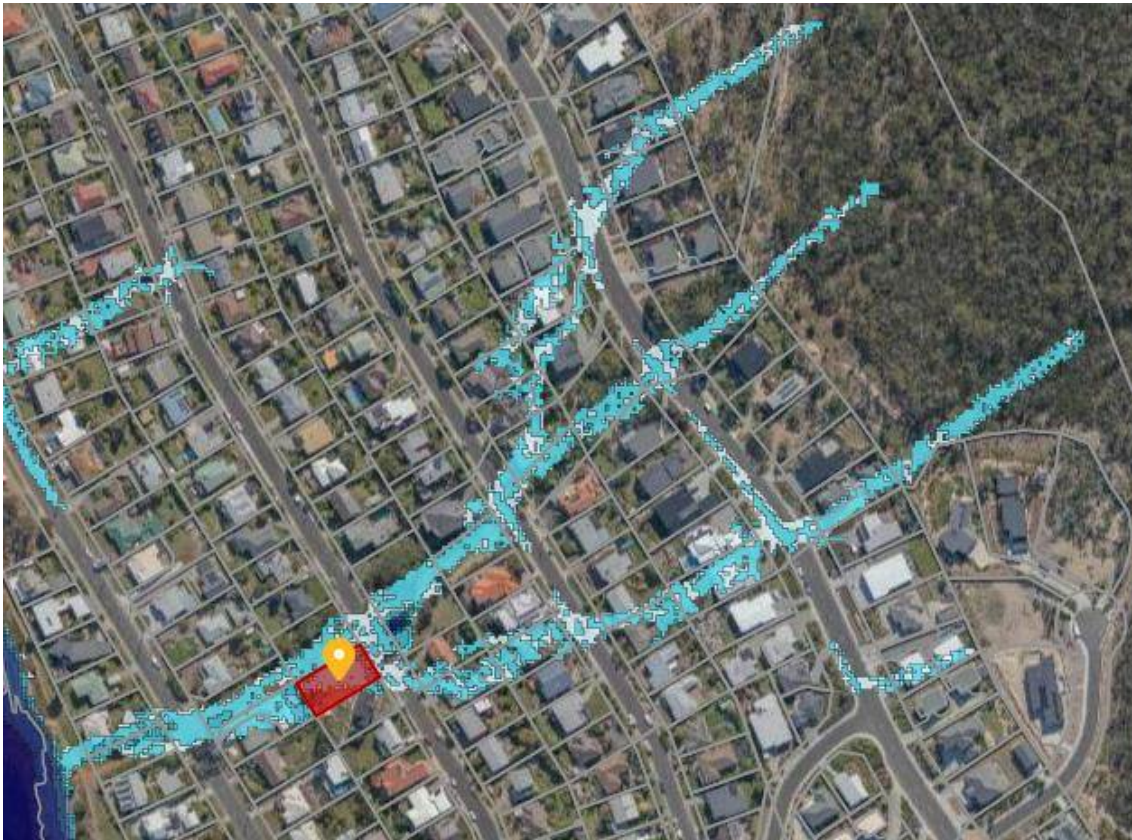


Figure 2: Council flood modelling in catchment pertinent to 63 Elinga St

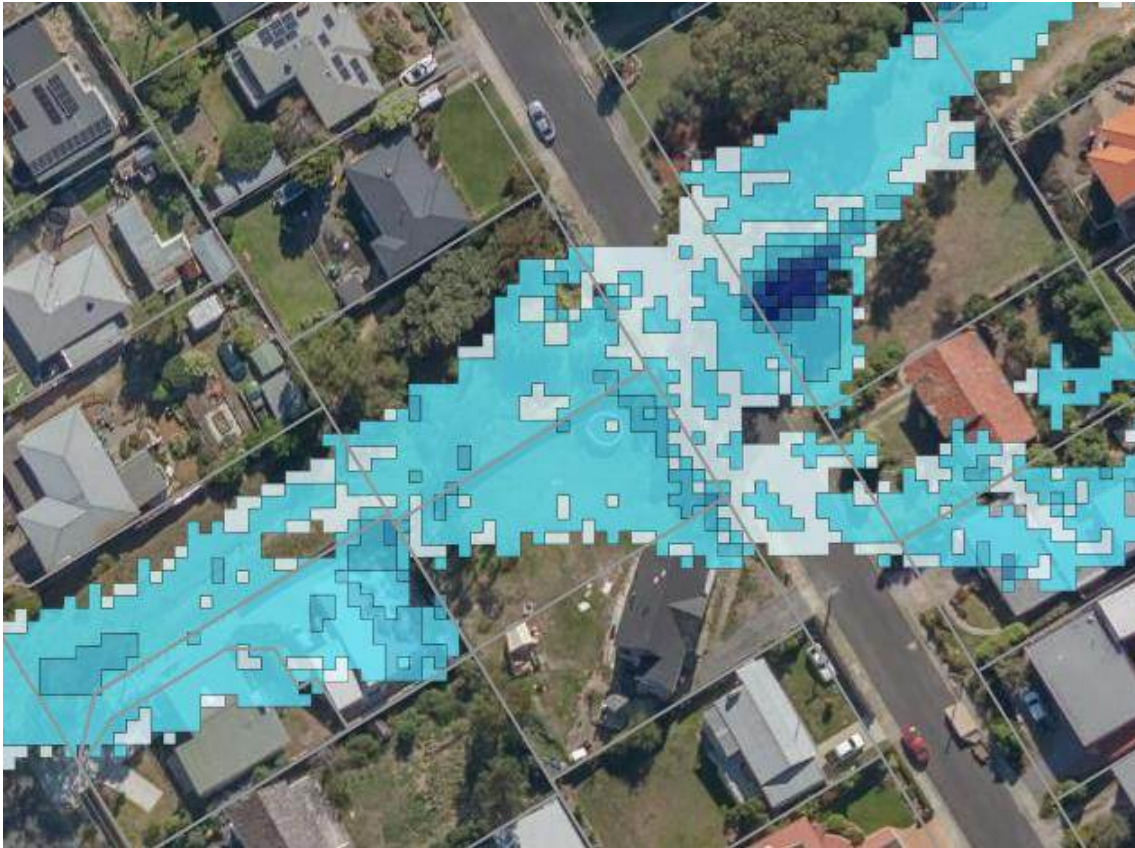


Figure 3: Council flood model depths at 63 Elinga St

^ Legend

- ∨ Land Parcels
- Flood Depth 1% AEP + Climate Change
 - <=0.05m
 - 0.05 - 0.2m
 - 0.2 - 0.4m
 - 0.4 - 0.6m
 - 0.6 - 0.8m
 - 0.8 - 1.0m
 - 1.0 - 1.5m
 - 1.5 - 2.0m
 - >2.0m
- Future modelling area - no data available

3.0 Hazard Assessment

The site is located in a relatively steep catchment, averaging approximately 17% grade across the residential area from Oceana Drive to the River Derwent.

The roads cross relatively level along the contours, with a low point of Elinga St in the vicinity of 61A and 63 Elinga St. There is a side entry pit located in front of 61A Elinga St to collect stormwater runoff from the road.

The flood mapping indicates that 63 Elinga St is located at a convergence of two overland flow routes in a 1% AEP flood event (Figure 2).

The northern overland flow pathway travels through Council's Open Green Space consisting of an open channel on the north-eastern and south-western sides of the road, with a DN450 concrete culvert crossing underneath the road in front of 61A Elinga St.

The model shows water topping onto the road to depths of up to 0.2m in the 1% AEP event (Figure 3). The water depth in this area is limited by the height of the footpath above the road. The model indicates that water spills from the kerb onto the footpath and continues downhill.

There is a fence along the south-western side of the road in front of 61A Elinga St which has vegetation behind the fence, which will partially obstructing overland flow off the road.

The southern overland flow route travels through multiple developed residential properties before it reaches 63 Elinga St.

The model indicates that most of the overland flows enters the site from the road by topping over the footpath, however some overland flow can enter the site across 65 Elinga St.

The model shows depths up to 0.4m across the front of the property, indicating a channel along the front of the property. There was no evidence of this channel on site, but there is a wire fence partially covered with vegetation.

The model doesn't account for the depth of the channel in 61A Elinga St. While the channel is filled with vegetation, it is also deeper than is indicated in the flood model; the depth varies up to over 1m in places.

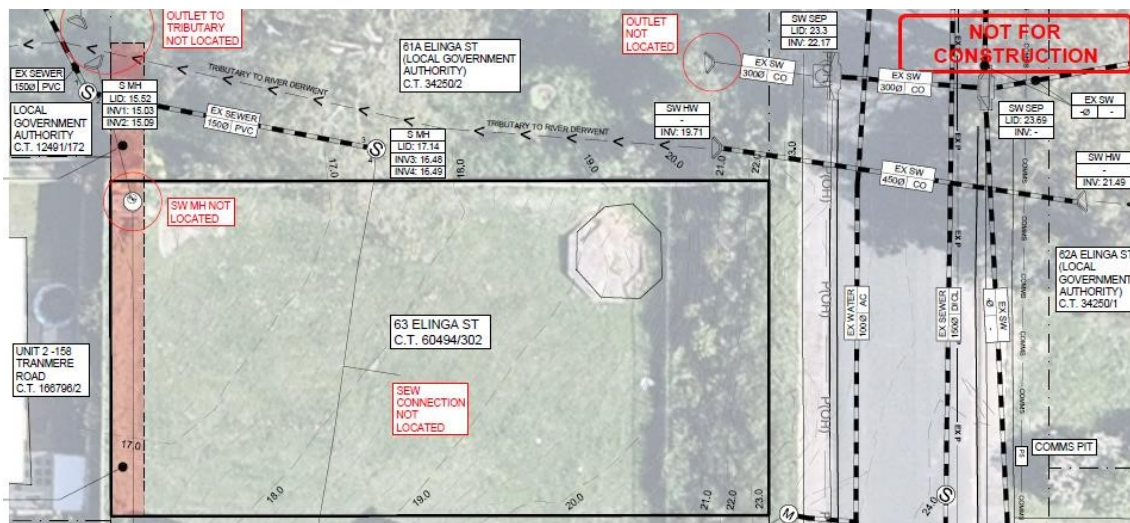


Figure 4: Part of existing site plan showing stormwater culverts underneath the road discharging to 61A Elinga St

5. C12.0 Flood-Prone Area Hazard Code

The site is within a designated flood-prone area based on Clarence City Council's flood modelling, which includes:

- 1% Annual Exceedance Probability (AEP) flood event
- Climate change and sea level rise allowances
- Overland flow paths and stormwater surcharge zones

Flood modelling indicates potential inundation depths of up to 200mm metres during a 1% AEP event.

5.1 C12.2 Application of this Code

5.1.1 C12.2.1

This code applies to development of land within a flood-prone hazard area.

Response: The proposal includes development of land within a flood-prone area, as shown on an overlay map in the Clarence Local Provisions Schedule of the Tasmanian Planning Scheme [1] [4]. Therefore, this code applies to development.

5.1.2 C12.2.2

This code applies to use of land within a flood-prone hazard area if for:

(a) a change of use that converts a non-habitable building to a habitable building; or (b) a new habitable room within an existing building.

Response: Does not apply.

5.1.3 C12.2.3

This code applies to use in a habitable building, or development of land, identified in a report prepared

by a suitably qualified person, that is lodged with an application for a permit, or required in response to a request under section 54 of the Act, as subject to risk from flood or that has the potential to cause increased risk from flood.

Response: Does not apply.

5.1.4 C12.2.4

The planning authority may only make a request under clause C12.2.3 where it reasonably believes,

based on information in its possession, that the land is subject to risk from flood or has the potential to cause increased risk from flood.

Response: Does not apply.

5.1.5 C12.2.5

This code does not apply to land subject to the Coastal Inundation Hazard Code.

Response: Does not apply.

5.2 C12.4 Use or Development Exempt from this Code

C12.4.1 The following use or development is exempt from this code:

(a) alterations or extensions to an existing building if:

(i) the site coverage is not increased by more than 20m² from that existing at the effective date; and

- (ii) not for a critical, hazardous, or vulnerable use;
- (b) use or development of land for:
 - (i) Natural and Cultural Values Management;
 - (ii) Passive Recreation;
 - (iii) Port and Shipping in a proclaimed wharf area;
 - (iv) Resource Development, excluding a habitable building;
 - (v) minor utilities;
 - (vi) infrastructure for the generation of hydro-electricity;
 - (vii) and outbuildings;
- (c) planting or disturbance of vegetation on existing pasture or crop production land; and
- (d) consolidation of lots.

Response: The proposed development is not exempt from this code.

5.3 C12.5 Use Standards

5.3.1 C12.5.1 Uses within a flood-prone hazard area

Under clause C12.2.2, this code does not apply for the proposed use of land.

5.3.2 C12.5.2 Critical use, hazardous use or vulnerable use

The proposed development is not a critical, hazardous or vulnerable use.

5.4 C12.6 Development Standards for Buildings and Works

Under clause C12.2.1, this code applies for the proposed development of land.

5.4.1 C12.6.1 Buildings and works within a flood-prone hazard area Clause C12.6.1 of the Tasmanian Planning Scheme – Clarence states:

Objective: That:

(a) building and works within a flood-prone hazard area can achieve and maintain a tolerable risk from

flood; and

(b) buildings and works do not increase the risk from flood to adjacent land and public infrastructure.

5.4.1.1 C12.6.1 Acceptable Solution A1

No Acceptable Solution.

Response: Performance criteria area considered.

5.4.1.2 C12.6.1 Performance Criteria P1.1

Buildings and works within a flood-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to:

- (a) the type, form, scale and intended duration of the development;
- (b) whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures;
- (c) any advice from a State authority, regulated entity or a council; and
- (d) the advice contained in a flood hazard report.

Response:

Flood hazard mitigation for the proposed development is incorporated in the site design and is predominantly concerned with managing and redirecting the overland flow away from structures.

The footpath and crossover shall be designed to fall back into the road to prevent water from running down the driveway off the road. The driveway will be designed to direct water away from the garage to the north away from the building, with the edge of the driveway open to allow water to pass through, in the event that any water enters the driveway from the road. The driveway immediately across the garage door threshold shall be sloped away from the dwelling 50mm over 1m. A high flow trench grate shall be installed 200mm wide x 150mm deep.

Removal of vegetation build up in the fence in front of 61A Elinga St will allow more of the overland flow to enter 61A Elinga St, rather than backing up across the road in front of 63 and 65 Elinga St.

The proposed driveway shall remain open and void under along the proposed driveway so that any surface water entering the property across the front boundary will be directed towards the open channel in 61A Elinga St and away from the proposed dwelling.

Any proposed boundary fence at the property frontage is recommended to be permeable at the base to allow free flow of water.

Some water may still enter 63 Elinga St by crossing the front of 65 Elinga St. This portion of overland flow will be relatively minor compared to the majority of water at the front of the property.

Any proposed boundary fence between 63 and 65 Elinga St is recommended to be permeable at the base to allow free flow of water across the properties. The ground surface adjacent to the proposed building shall fall away from the building in accordance with the NCC Volume 2, to direct surface water away from the building. Some land shaping will be required near the southern corner of the proposed building to prevent the water damming in this location.

Proposed dwelling and surrounding works within the flood-prone hazard area achieve and maintain a tolerable risk from a flood event.

There is no increase in the level of risk from flood due to the proposed works to adjoining dwellings or property.

5.4.1.3 C12.6.1 Performance Criteria P1.2

A flood hazard report also demonstrates that the building and works:

- (a) do not cause or contribute to flood on the site, on adjacent land or public infrastructure; and
- (b) can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for

the intended life of the use without requiring any flood protection measures.

Response:

This flood hazard report demonstrates that the proposed works within the flood-prone hazard area:

- a) do not cause or contribute to flood on the site, on adjacent land or public infrastructure; and
- b) can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures.

5.5 C12.7 Development Standards for Subdivision

Not applicable, there is no subdivision proposed.

6. Conclusion & Recommendations

The Flood Hazard Risk Assessment Report provides responses to the relevant acceptable solutions and performance criteria under C12.0 Flood Prone Areas Code of the Tasmanian Planning Scheme.

- Flood hazard mitigation for the proposed development is incorporated in the site design and is predominantly concerned with managing and redirecting the overland flow away from dwelling.
- The driveway crossover and footpath shall be designed to fall back into the road to prevent surface water from running down the driveway off the road.
- The driveway will be designed to direct water away from the garage to the north away from the dwelling, with the edge of the driveway open to allow water to pass through, in the event that any water enters the driveway from the road. The ground surface immediately across the garage threshold shall be sloped away from the dwelling into a 200mm wide x 150mm deep trench drain.
- Removal of vegetation build up in the fence in front of 61A Elinga St will allow more of the overland flow to enter 61A Elinga St, rather than backing up across the road in front of 63 and 65 Elinga St.
- The proposed driveway will be elevated along the proposed driveway which will direct surface water entering the property across the front boundary towards the open channel in 61A Elinga St and away from the proposed dwelling.
- Any proposed boundary fence at the property frontage is recommended to be permeable at the base to allow free flow of water.
- Some water may still enter 63 Elinga St by crossing the front of 65 Elinga St. This portion of overland flow will be relatively small compared to the majority of water at the front of the property.
- Any proposed boundary fence between 63 and 65 Elinga St is recommended to be permeable at the base to allow free flow of water across the properties. The ground surface adjacent to the proposed dwelling shall fall away from the building in accordance with the NCC Volume 2, to direct surface water away from the dwelling.
- Some ground surface shaping around the lower level may be required near the southern corner of the proposed building to prevent the water ponding in this location.

If the mitigation elements detailed in this report are implemented, we can conclude that the proposed residential development can achieve and maintain a tolerable risk for the intended life of the development and minimise the risk to adjoining properties.



7. Declaration

This report has been prepared to support a development application under the Tasmanian Planning Scheme.

All information is based on available flood modelling and site inspection.

We trust that the above information is to your satisfaction. If you have any questions or require further clarification on this report, please do not hesitate to contact me on 0413 272 057 or via email gseverini@assetsafe.com.au .

Yours Sincerely

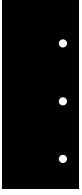
AssetSafe

A handwritten signature in blue ink, appearing to read 'George Severini'.

George Severini, *BE Civil, MIE Aust, CPEng NER*

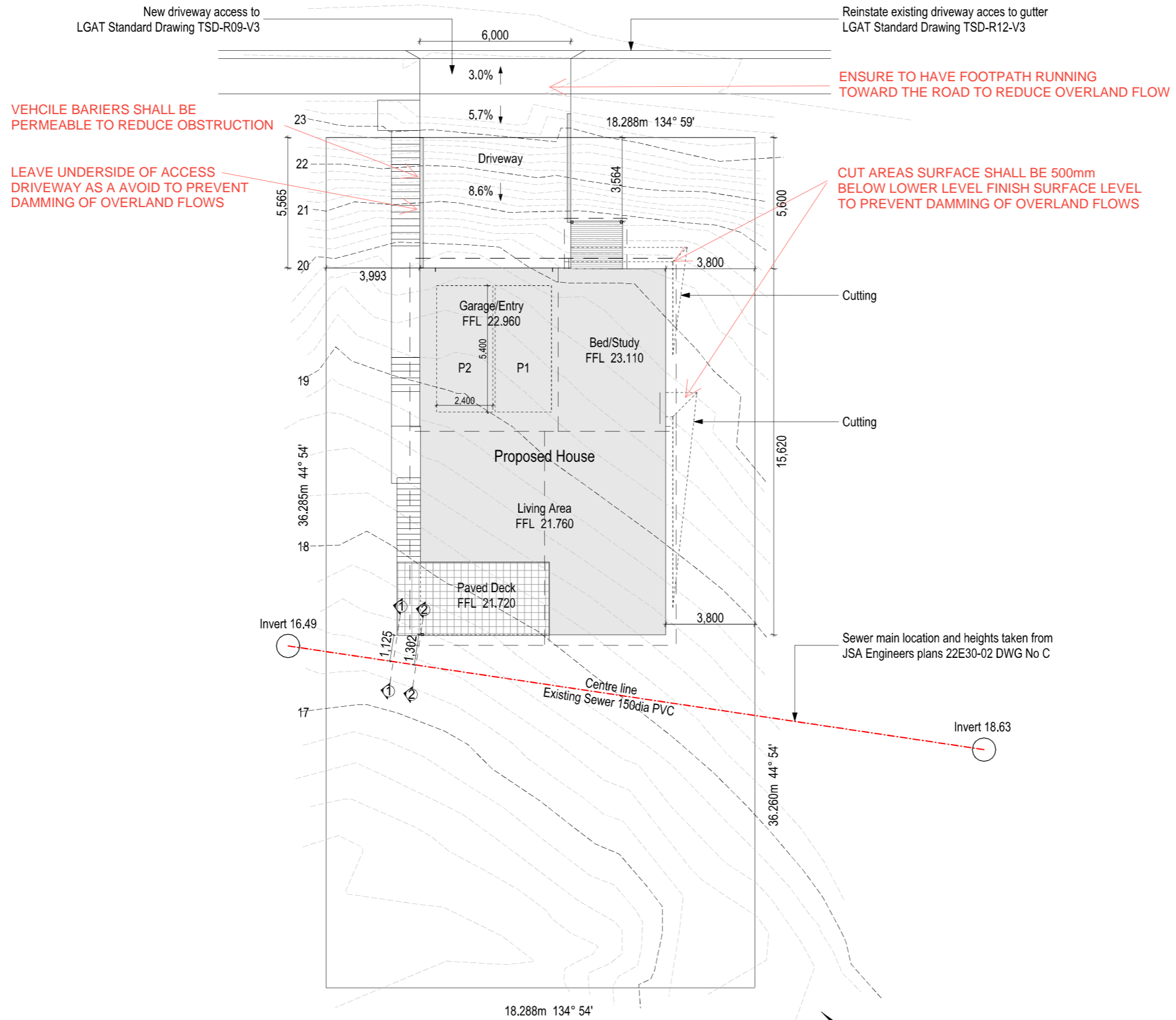
EA Reg No. 412110

Tas Practitioner No. CC1822J



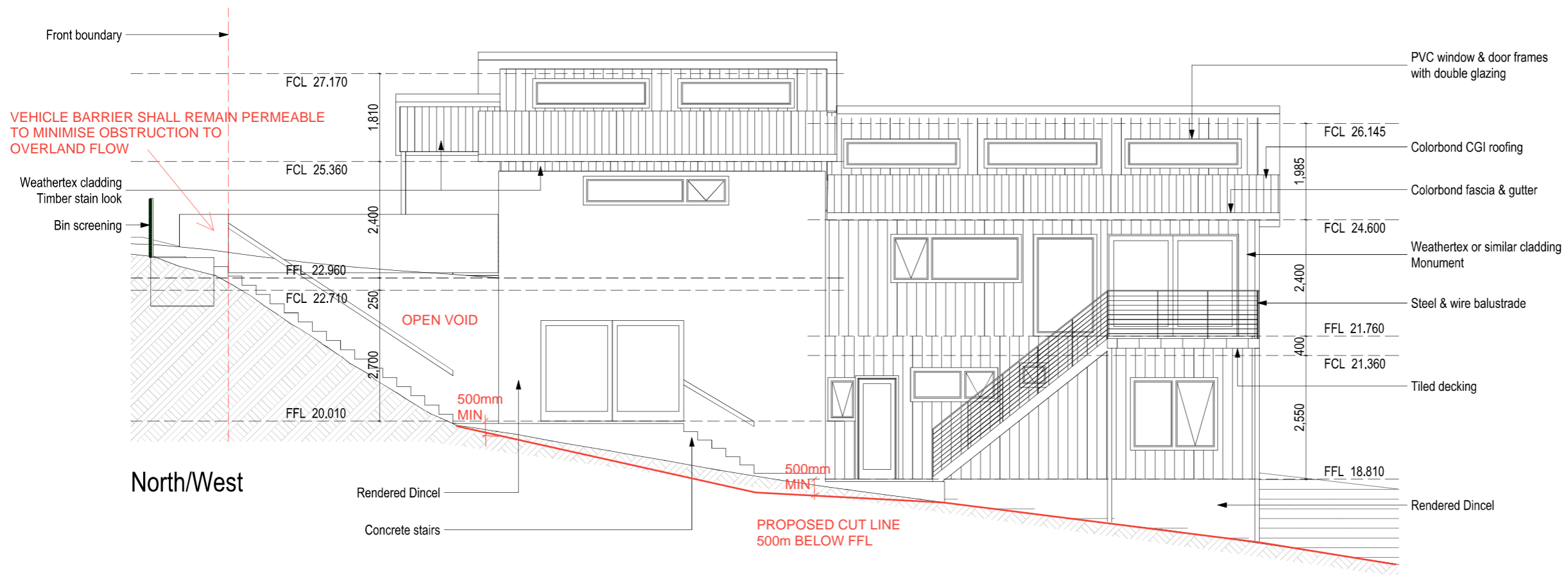
APENDIX A – SITE PLAN< ELEVATIONS & SECTION

Elinga Street



01

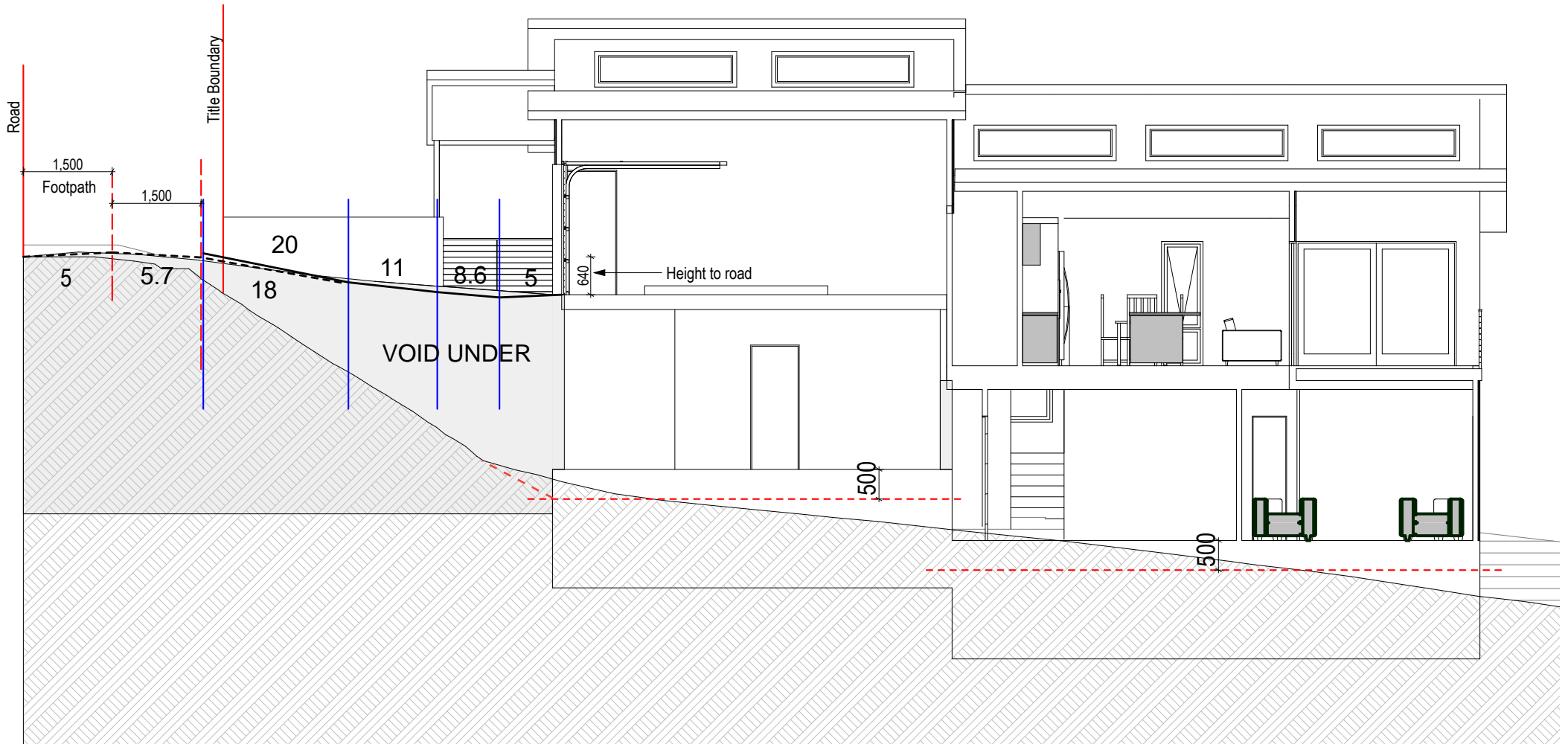
SITE PLAN
63 ELINGA STREET HOWRAH



North/West

South/East

**DWELLING ELEVATIONS
63 ELINGA STREET HOWRAH**



**SECTION THROUGH DRIVEWAY & DWELLING
63 ELINGA STREET HOWRAH**