



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/054976

PROPOSAL: Two Multiple Dwellings

LOCATION: 37 Dolina Drive, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 26 November 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 26 November 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 26 November 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **Unit Development**

Location: **37 Dolina Drive, Rokeby**

Current Owners **Suma Akter and Md Nadim Hossain**

Personal Information Removed



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

N/A

Current use of site: **Vacant**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Personal Information Removed

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 186347	FOLIO 117
EDITION 2	DATE OF ISSUE 26-Jul-2024

SEARCH DATE : 28-Nov-2024

SEARCH TIME : 04.28 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 117 on Sealed Plan 186347
 Derivation : Part of Lot 37617, 56.81ha Gtd. to The
 Director-General of Housing & Construction
 Prior CT 185339/504

SCHEDULE 1

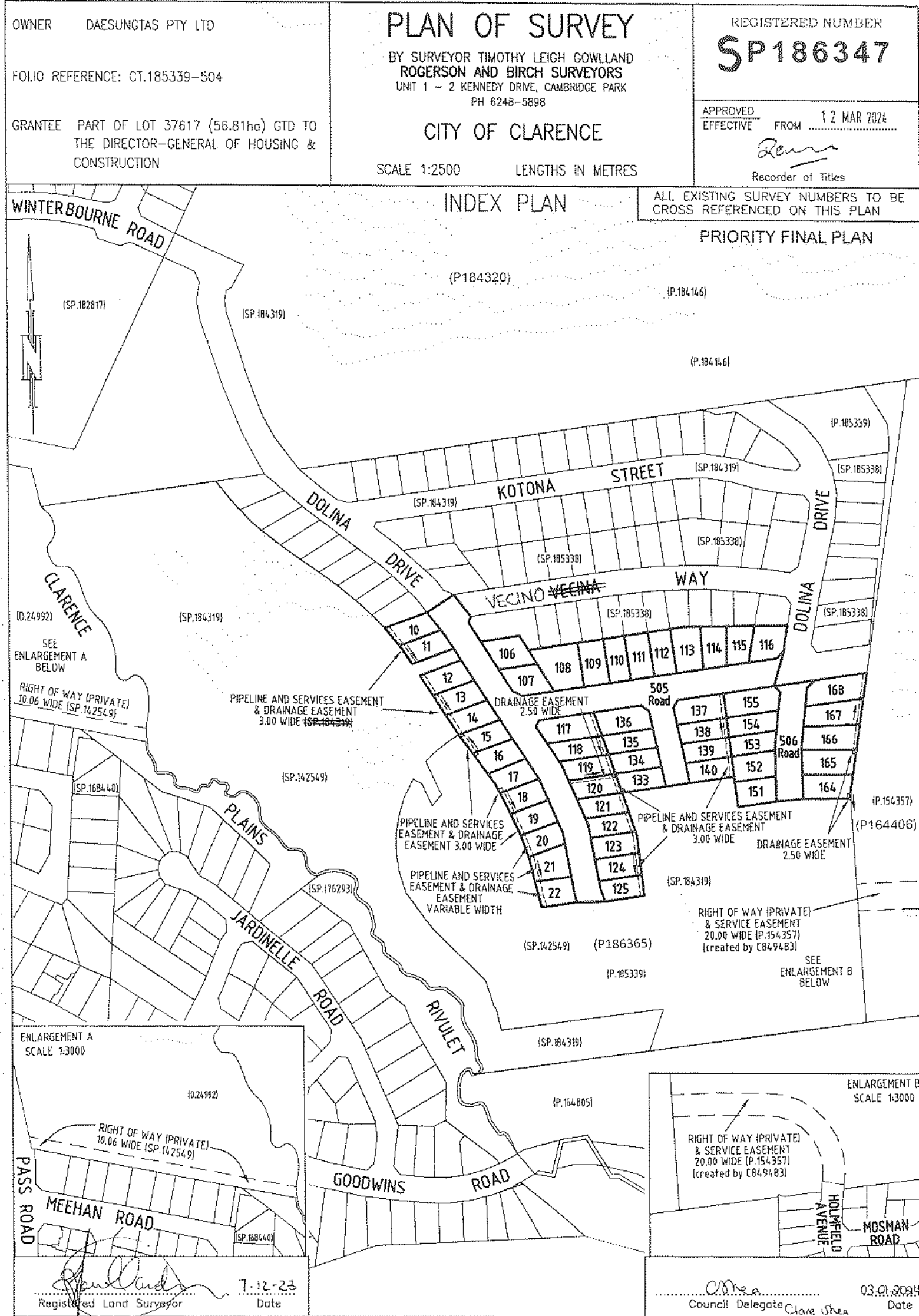
N200622 TRANSFER to MD NADIM HOSSAIN and SUMA AKTER
 Registered 26-Jul-2024 at 12.01 PM

SCHEDULE 2

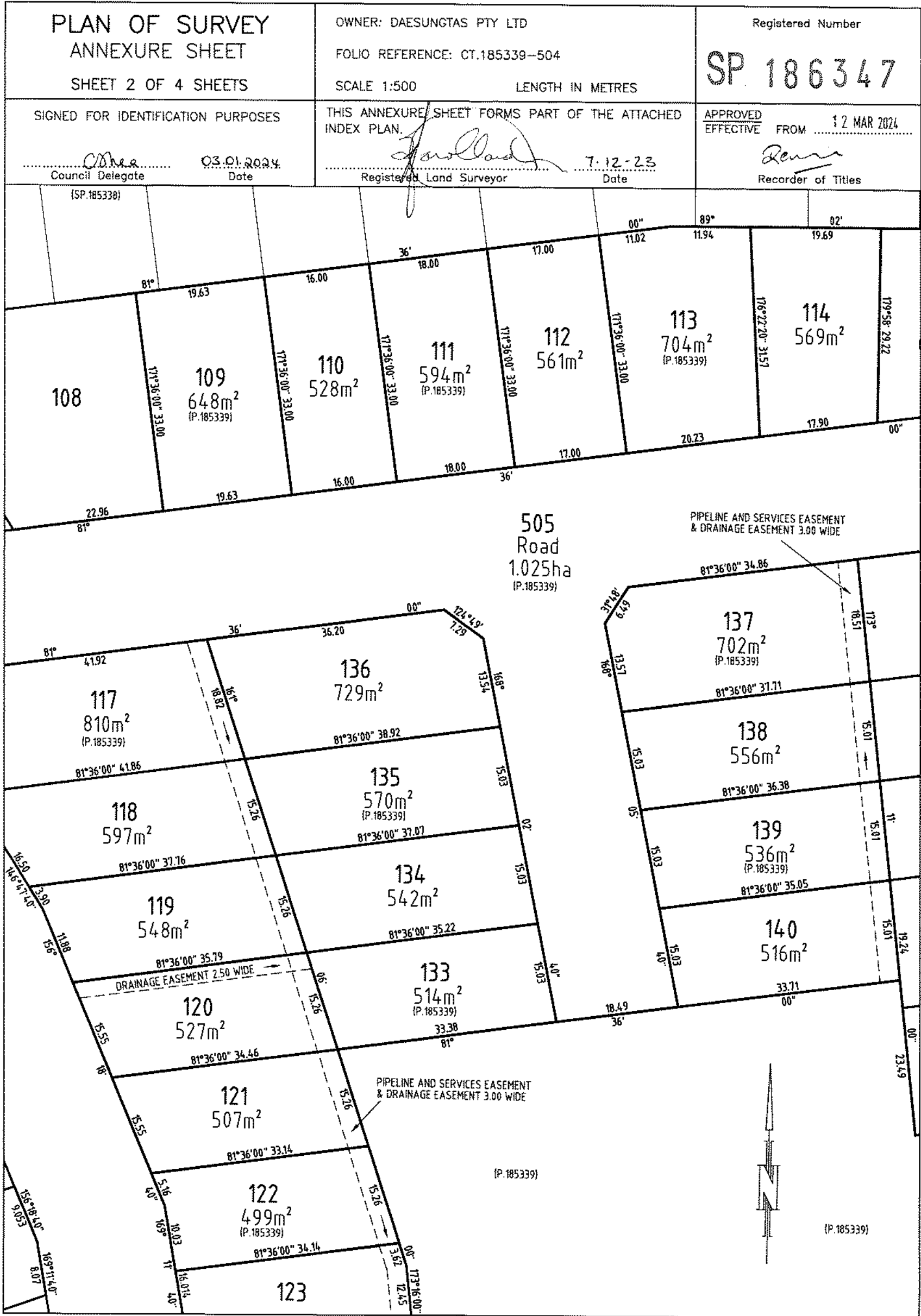
Reservations and conditions in the Crown Grant if any
 SP186347 EASEMENTS in Schedule of Easements
 SP186347 COVENANTS in Schedule of Easements
 SP186347 FENCING PROVISION in Schedule of Easements
 SP142549 & SP184319 COVENANTS in Schedule of Easements
 SP184319 FENCING PROVISION in Schedule of Easements
 SP142549 FENCING COVENANT in Schedule of Easements
 SP142549 WATER SUPPLY RESTRICTION
 SP142549 SEWERAGE AND/OR DRAINAGE RESTRICTION

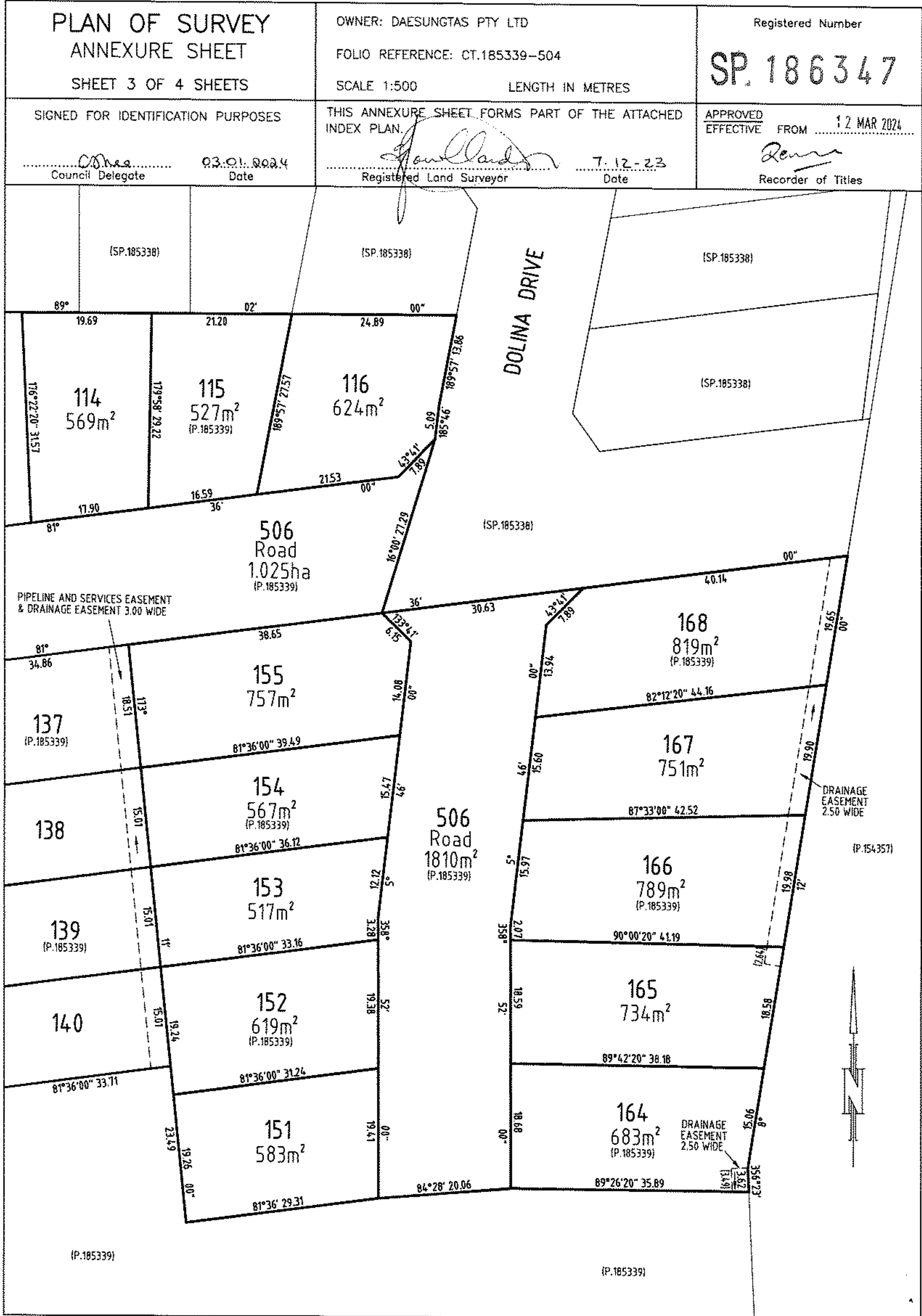
UNREGISTERED DEALINGS AND NOTATIONS

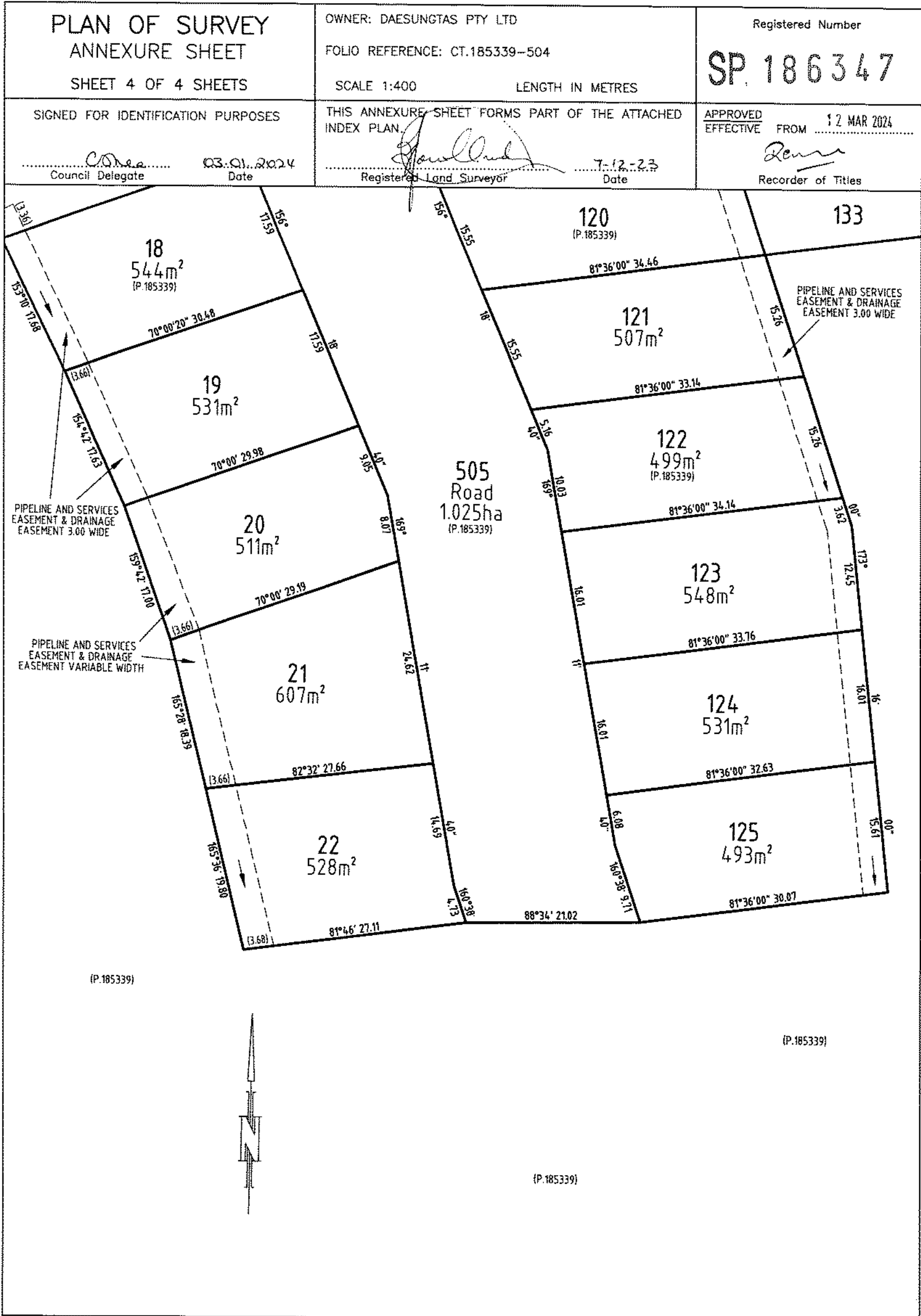
No unregistered dealings or other notations











SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 186347

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 10 to 16 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** shown on the Plan ("the Easement Land").

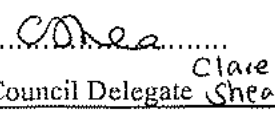
Lots 10 to 16 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP-184319)** on the Plan.

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) ("the Lots") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** shown on the Plan ("the Easement Land").

Lots 17, 18, 19, 137 – 140 (inclusive) and 117-125 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE** on the Plan.

 Director  Director/Secretary 

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DAESUNGTAS PTY LTD FOLIO REF: 185339/504 SOLICITOR & REFERENCE: Page Seager (DAS 221111)	PLAN SEALED BY: Clarence City Council DATE: 3 rd January 2024 Stage 7-10 REF NO. SD-2016/31
.....  Council Delegate <i>Clare Shea</i>	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 186347</p>
<p>SUBDIVIDER: DAESUNGTAS PTY LTD</p> <p>FOLIO REFERENCE: 185339/504</p>	

Lots 20 – 22 (inclusive) (“the Lots”) are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan (“the Easement Land”).

Lots 20 – 22 (inclusive) (“the Lots”) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT VARIABLE WIDTH** on the Plan.

Lots 120 and 164 to 168 (inclusive) on the Plan are subject to a Drainage Easement (as defined herein) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 2.50 WIDE** on the Plan.

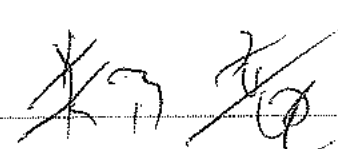

Each lot on the Plan is together with a right of way created by and fully described in the Schedule of Easements to SP 142549 over the land marked **RIGHT OF WAY (PRIVATE) 10.06 WIDE (SP.142549)** on the Plan.

Each lot on the Plan is together with a right of carriageway and service easement created by and fully described in C849483 over the land marked **RIGHT OF WAY (PRIVATE) & SERVICE EASEMENT 20.00 WIDE (P.154357) (created by C849483)** on the Plan.

COVENANTS

The owner of each Lot on the Plan covenants with the Vendor (Daesungtas Pty Ltd) and the Owner or Owners for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor’s Lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other Lot shown on the plan to observe the following stipulations:

1. Not to subdivide that Lot at any time without the prior consent in writing of the Corporation.

Director  Director/Secretary 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 186347</p>
<p>SUBDIVIDER: DAESUNGTAS PTY LTD</p> <p>FOLIO REFERENCE: 185339/504</p>	

2. Not to erect on that Lot more than a single residence, which may include an ancillary apartment together with usual outbuildings as may be permitted by the Corporation, without the consent of the Corporation.
3. Not to use the land for any purpose except as a residence or the for the purpose of house occupation without the prior consent of the Corporation in writing.
4. Not to use any engine or machinery in any trade of business, nor erect or use or permit to be used on any part of any lot shown on the Plan nor to conduct or permit to be conducted any trade or business on or from any part of the same, including but not limited to mining, quarrying, or market gardening. The leasing of the property for private residential purposes is not deemed to be a breach of this covenant.
5. Not to keep any animals other than domestic pets on any lot shown on the Plan and not to make any application for a kennel licence in respect of any lot shown on the Plan nor to keep or establish or permit to be kept or established any licensed kennel upon any lot or any part of any lot shown on the Plan nor to keep at one time more than two adult canines on any lot shown on the Plan.
6. The Vendor may, at the Vendor's absolute discretion, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot.

FENCING PROVISION


In respect of the Lots shown on the Plan, the Vendor (Daesungtas Pty Ltd) shall not be required to fence.

DEFINITIONS

“Corporation” means the Warden Councillors and Electors of the City of Clarence.

“Drainage Easement” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over

Director  Director/Secretary 

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which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“Pipeline and Services Easement” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

Director

Director/Secretary

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(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

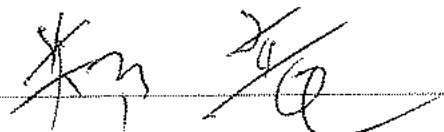
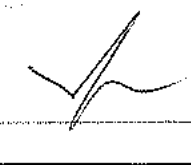
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“Infrastructure” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

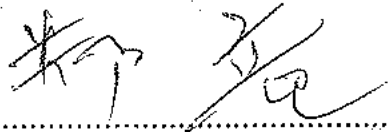
“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

 Director  Director/Secretary 

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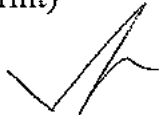
EXECUTED by DAESUNGTAS PTY LTD (ACN 607)
 472 131) as registered proprietor of the land comprised in)
 Folio of the Register Volume 185339 Folio 504 in)
 accordance with section 127 of the *Corporations Act 2001*)
 (Cth) by:)



Director Signature

YONG JUNG

Director Full Name (print)

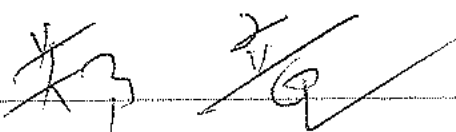


*Director/*Secretary Signature

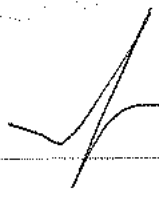
DONGKEUN YUW

*Director/Secretary Full Name (print)

(*please strike out inapplicable)



Director



Director/Secretary

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PROPOSED RES. DEVELOPMENT

37 DOLINA DRIVE, ROKEBY

MD. N. HOSSAIN & S. AKTER

PD25071



PLANNING

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	SITE LANDSCAPING PLAN
04	LOCALITY PLAN
05	PERSPECTIVES
06	SUN SHADOW DIAGRAMS
07	SUN SHADOW DIAGRAMS
08	SUN SHADOW DIAGRAMS

UNIT DRAWINGS

No	DRAWING
U01-01	GROUND FLOOR PLAN
U01-02	FIRST FLOOR PLAN
U01-03	DOOR AND WINDOW SCHEDULES
U01-04	LIVABLE HOUSING DESIGN
U01-05	ELEVATIONS
U01-06	ELEVATIONS
U01-07	ROOF PLAN
U01-08	GROUND FLOOR PLUMBING PLAN
U01-09	FIRST FLOOR PLUMBING PLAN
U01-10	GROUND FLOOR FINISHES PLAN
U01-11	FIRST FLOOR FINISHES PLAN
U01-12	ELECTRICAL/REFLECTED CEILING PLAN
U01-13	ELECTRICAL/REFLECTED CEILING PLAN

UNIT DRAWINGS

No	DRAWING
U02-01	GROUND FLOOR PLAN
U02-02	FIRST FLOOR PLAN
U02-03	DOOR AND WINDOW SCHEDULES
U02-04	LIVABLE HOUSING DESIGN
U02-05	ELEVATIONS
U02-06	ELEVATIONS
U02-07	ROOF PLAN
U02-08	GROUND FLOOR PLUMBING PLAN
U02-09	FIRST FLOOR PLUMBING PLAN
U02-10	GROUND FLOOR FINISHES PLAN
U02-11	FIRST FLOOR FINISHES PLAN
U02-12	ELECTRICAL/REFLECTED CEILING PLAN
U02-13	ELECTRICAL/REFLECTED CEILING PLAN

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 117/186347
 SITE AREA: 810m²
 DESIGN WIND SPEED: N3
 SOIL CLASSIFICATION: M
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: N/A
 BAL RATING: 12.5
 OTHER KNOWN HAZARDS: BUSHFIRE PRONE



10 Goodman Court , Invermay Launceston 7248
 p(t) +03 6332 3790
 Shop 9, 105-111 Main Road, Moonah Hobart 7009
 p(h)+03 6228 4575
 info@primedesigntas.com.au primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A



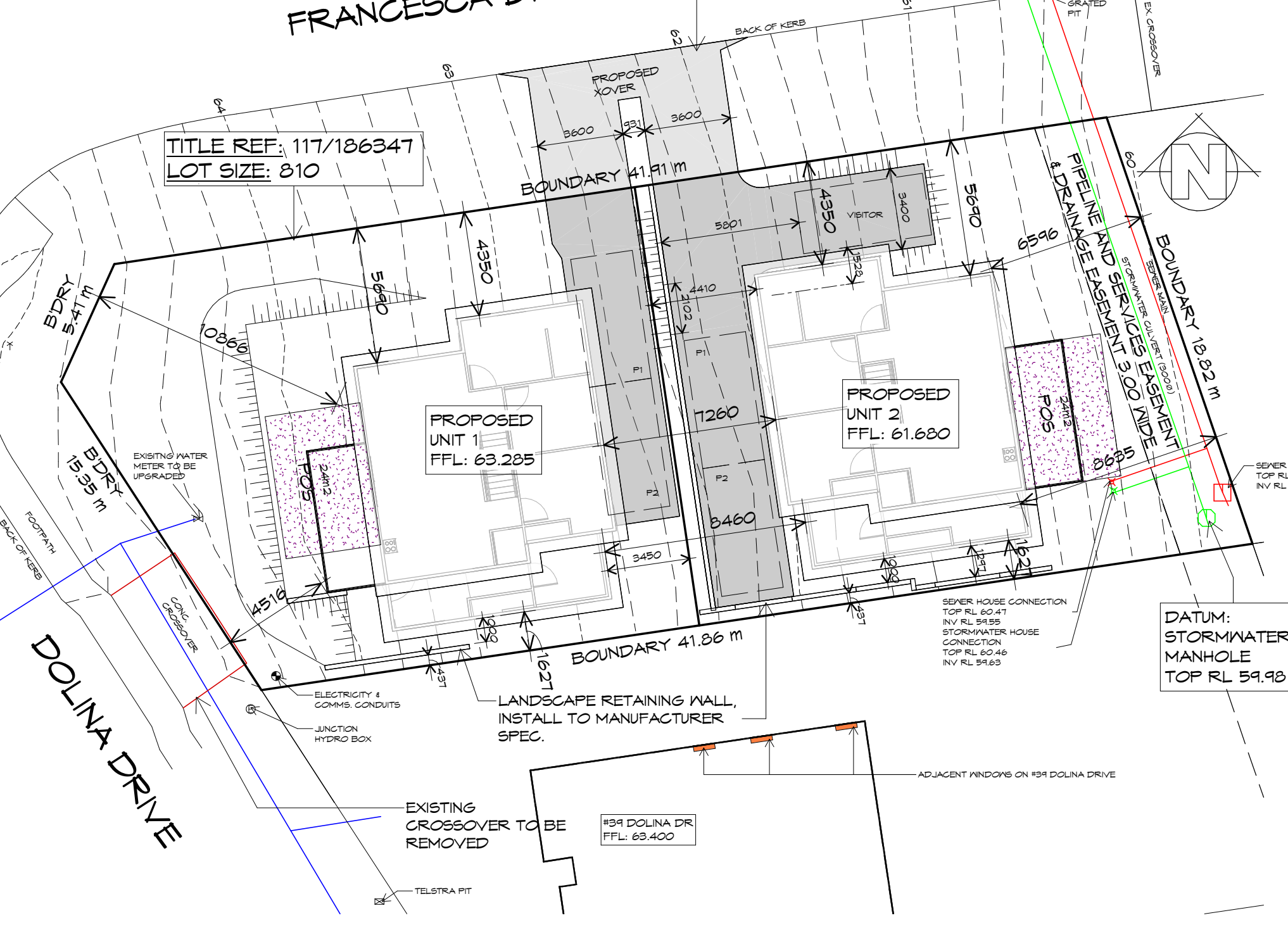
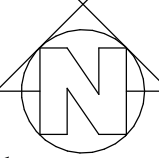
UNIT 1			
GROUND FLOOR AREA	98.21	m2	(10.57 SQUARES)
FIRST FLOOR AREA	93.54	m2	(10.07 SQUARES)
UNIT 2			
GROUND FLOOR AREA	98.21	m2	(10.57 SQUARES)
FIRST FLOOR AREA	93.54	m2	(10.07 SQUARES)
TOTAL AREA	383.50		41.28

NOVEMBER 2025

FRANCESCA DRIVE

TITLE REF: 117/186347
LOT SIZE: 810

PROPOSED CROSSOVER TO LGAT
TSD-R09-V3 STANDARD DRAWINGS.
MATCH KERB TO EXISTING.
APPLICATION BY OTHERS



GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYOR'S NOTES:

- WHILE ALL REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL VISIBLE ABOVE GROUND SERVICES, THERE MAY BE OTHER SERVICES WHICH WERE NOT LOCATED DURING THE FIELD SURVEY.
- THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY, AND AS A RESULT ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHOULD NOT BE USED FOR BUILDING TO BOUNDARY. OR TO PRESCRIBED SET-BACKS, WITHOUT FURTHER SURVEY.
- PRIOR TO ANY DEMOLITION, EXCAVATION, FINAL DESIGN OR CONSTRUCTION ON THIS SITE, A FULL SITE INSPECTION SHOULD BE COMPLETED BY THE RELEVANT ENGINEERS.
- ALL SURVEY DATA IS 3D. THE LEVEL (Z-VALUE) OF ANY SPECIFIC FEATURE CAN BE INTERROGATED WITH A SUITABLE CAD PACKAGE. SPOT HEIGHTS OF ALL FEATURES, INCLUDING PIPE INVERTS, ARE INCLUDED IN THE MODEL SPACE BUT ARE NOT DISPLAYED ON THE PDF. SPOT HEIGHTS ARE ORGANISED INTO APPROPRIATE LAYERS, AND CAN BE DISPLAYED AS REQUIRED.
- DATUM - VERTICAL : AHD PER SPM11266 WITH REPUTED AHD LEVEL OF 65.229 FROM SURCOM ON 25-3-2025
- AT THE TIME OF THIS SURVEY, C.T.186347/117 WAS OWNED BY MD NADIM HOSSAIN & SUMA AKTER
- DATE OF SURVEY : 20-3-2025

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS TO THE PROPOSED BUILDING ARE TO THE EXTERNAL CLADDING U.N.O.



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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RES. DEVELOPMENT
37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drafted by:
M.R.

Approved by:
Approver



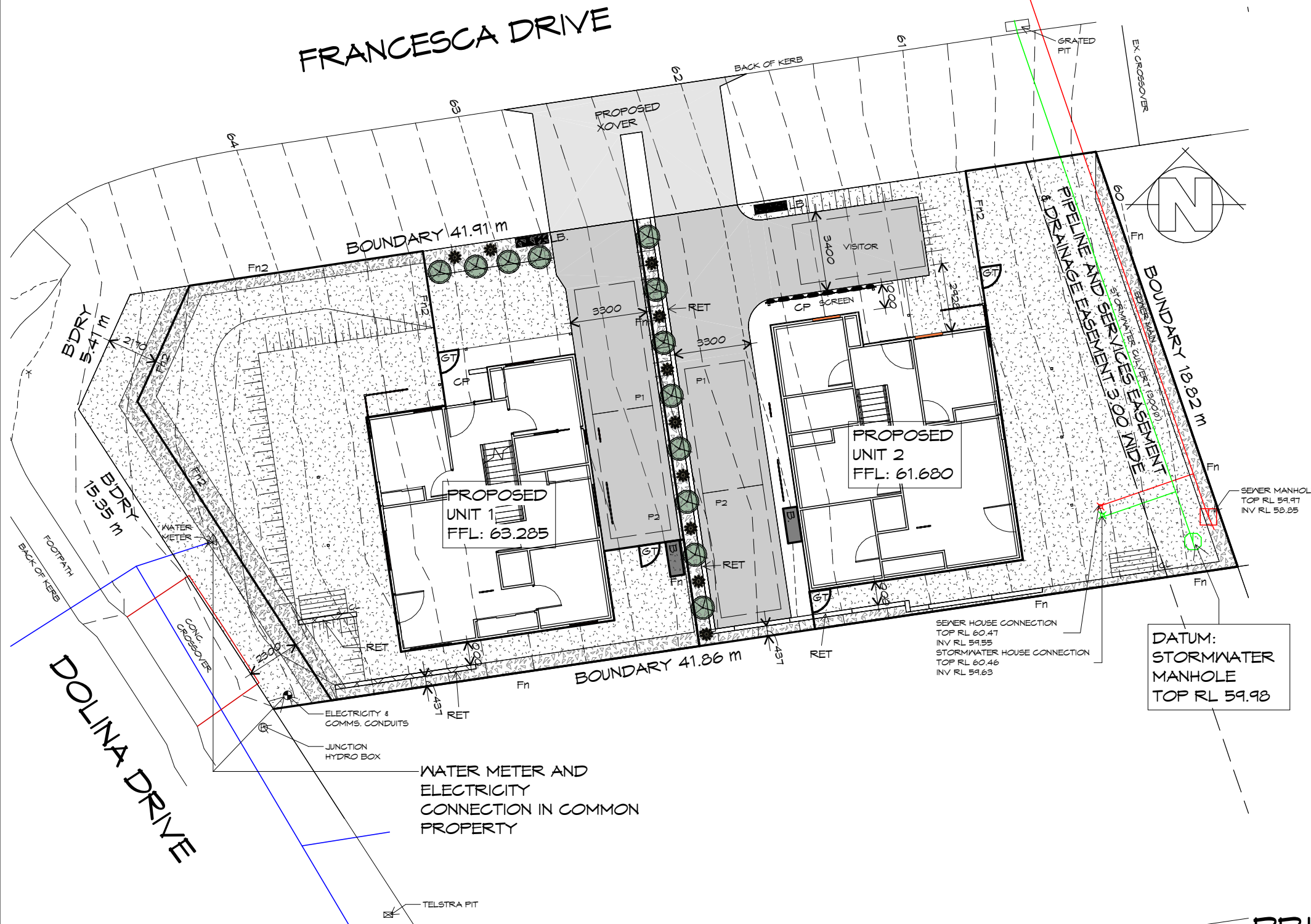
Drawing:
SITE PLAN

Date: **07.11.2025**
Scale: **1 : 200**

Project/Drawing no: **PD25071 -01**
Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A

FRANCESCA DRIVE



DOLINA DRIVE

SITE LANDSCAPING PLAN

1 : 200

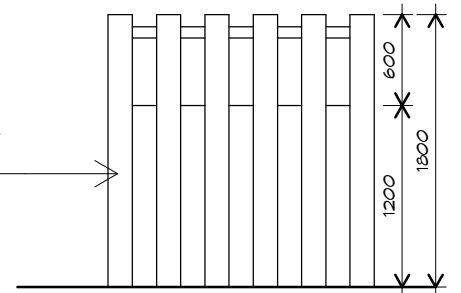
LEGEND

- PROPOSED SHRUB - Dv, P5
- PROPOSED GROUNDCOVER/GRASS - Jr, Lf, Ln, Mp
- LAWN
- MULCH OR SIMILAR
- CP. CONCRETE PATH/PAVING
- CONCRETE DRIVEWAY
- LB. LETTER BOX
- WASTE STORAGE 1.5m²
- GT GATE
- FN FENCE 1.8m HIGH
- FN2 PRIVACY FENCE 1.8m HIGH - 30% TRANSPARENCY ABOVE 1.2m
- SCREEN 1.8m HIGH PRIVACY SCREEN - 25% TRANSPARENCY
- CL CLOTHES LINES - WALL MOUNT
- RET. ISLAND BLOCK & PAVING FREESTONE ECO RETAINING WALL SYSTEM OR SIMILAR

SITE COVERAGE
 BUILDING FOOTPRINT 200 / SITE AREA 810 = 0.246
 TOTAL SITE COVERAGE 24.6%

IMPERVIOUS SURFACES
 NON-IMPERVIOUS SURFACES 474 / SITE AREA 810 = 0.585
 TOTAL SITE FREE FROM IMPERVIOUS SURFACES 58.5%

EVERY SECOND PALING MAX HEIGHT 1200mm. ENSURE MIN TRANSPARENCY 30%



PRIVACY FENCE

1 : 50

PLANNING
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Project:
PROPOSED RES. DEVELOPMENT
 37 DOLINA DRIVE,
 ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drafted by:
M.R.

Approved by:
Approver



Drawing:
SITE LANDSCAPING PLAN

Date: **07.11.2025** Scale: **As indicated**

Project/Drawing no: **PD25071 -03** Revision: **07**

Accredited building practitioner: Frank Geskus -No CC246A



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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Project:
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 37 DOLINA DRIVE,
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Client name:
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Drafted by:
M.R.

Approved by:
Approver



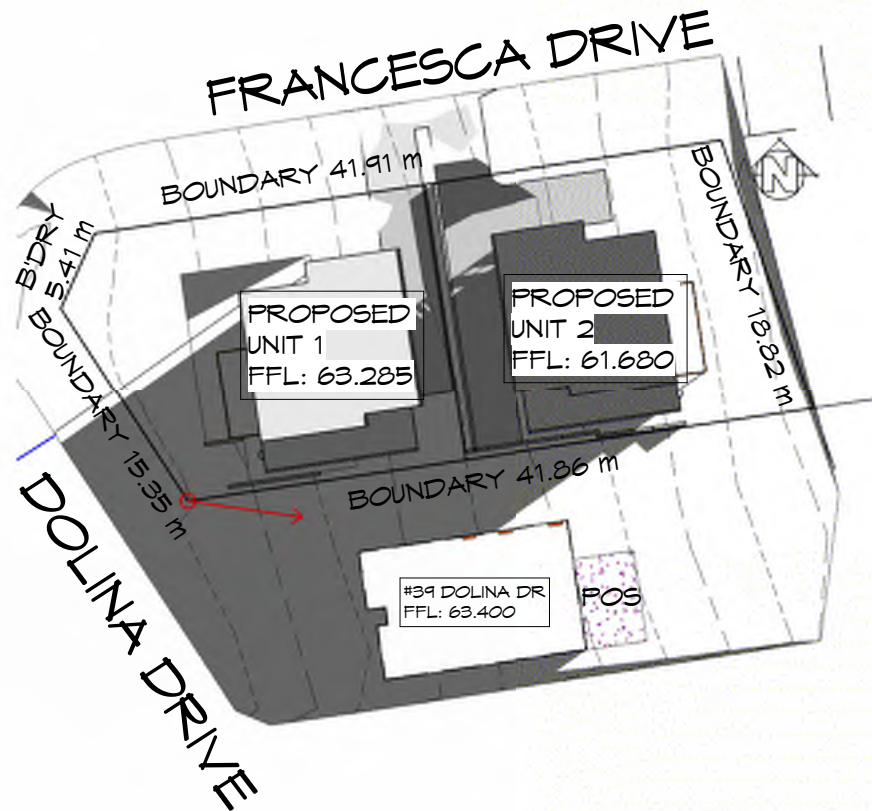
Drawing:
PERSPECTIVES

Date: Scale:
07.11.2025

Project/Drawing no:
PD25071 -05

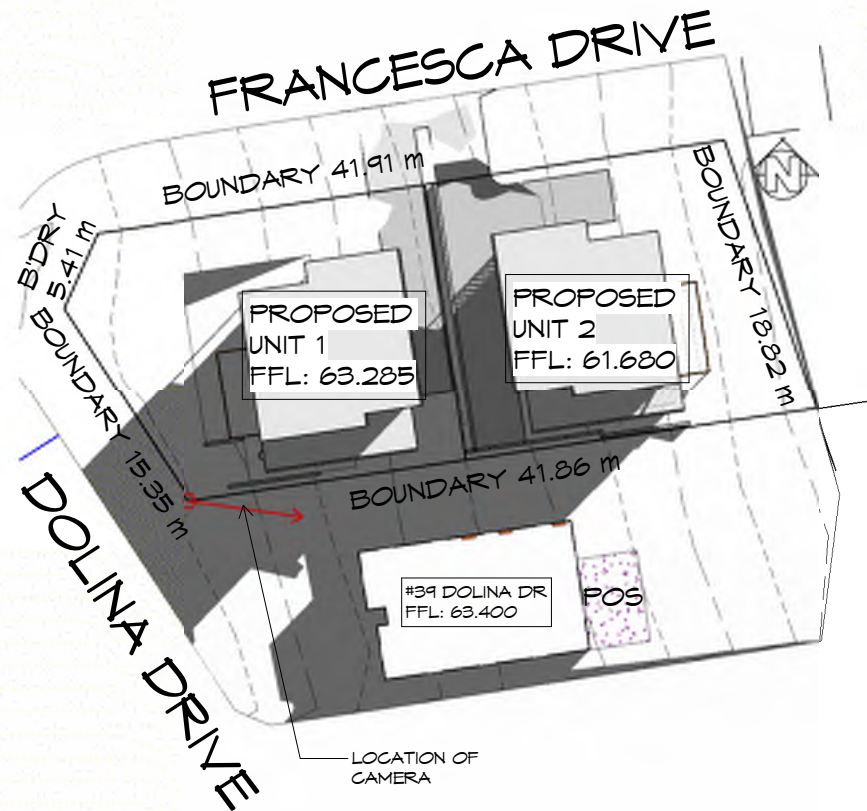
Revision:
07

Accredited building practitioner: Frank Geskus -No CC246A



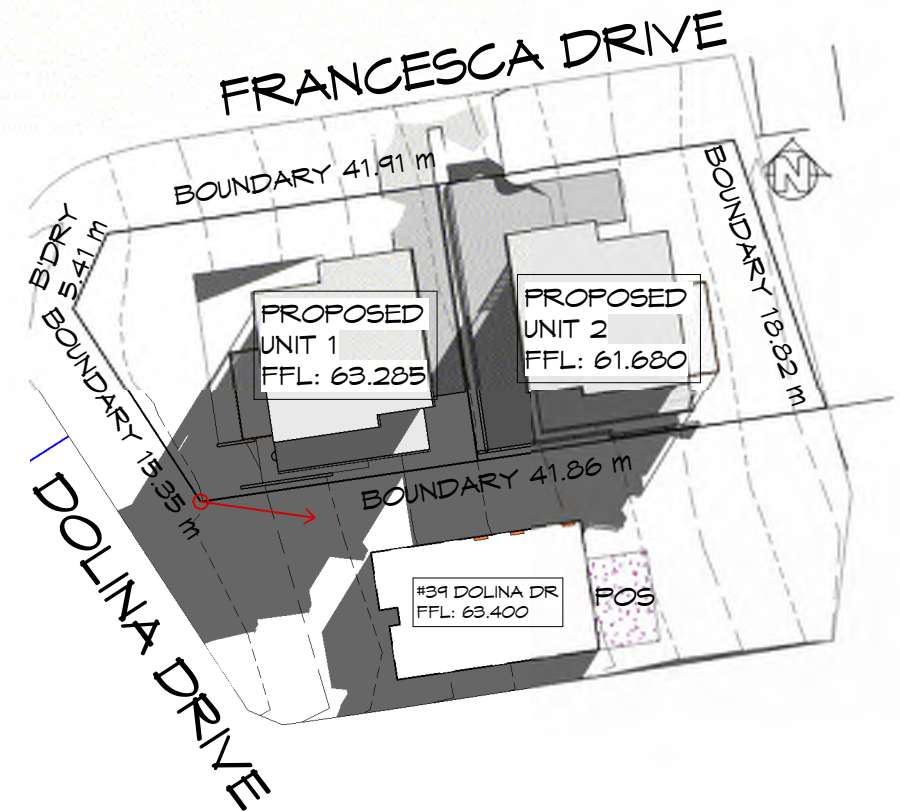
SUN SHADOW 8AM

1 : 500



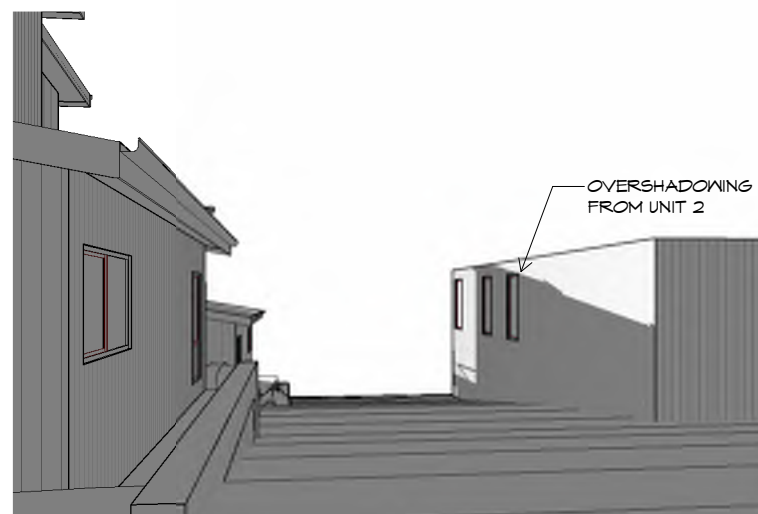
SUN SHADOW 9AM

1 : 500



SUN SHADOW 10AM

1 : 500



GENERAL INFORMATION
 NORTH: TRUE NORTH
 DAY LIGHT SAVINGS: OFF
 DATE: JUNE 21st
 TIME: AS INDICATED

- NOTE:**
- TOPOGRAPHY SURFACE HAS BEEN EXTRAPOLATED FROM LAST KNOWN POINTS ON SOUTHERN SIDE OF PROPERTY FOR ADDITIONAL CONTEXT ONLY. LEVELS IN THIS AREA ARE APPROXIMATE ONLY.
 - #39 DOLINA DRIVE HAS BEEN MODELLED BASED ON LIMITED INFORMATION AND SHOULD BE TREATED AS APPROXIMATE



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Project:
 PROPOSED RES. DEVELOPMENT
 37 DOLINA DRIVE,
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Client name:
 MD. N. HOSSAIN & S. AKTER

Drafted by:
 M.R.

Approved by:
 Approver



Drawing:
 SUN SHADOW DIAGRAMS

Date: 07.11.2025
 Scale: 1 : 500

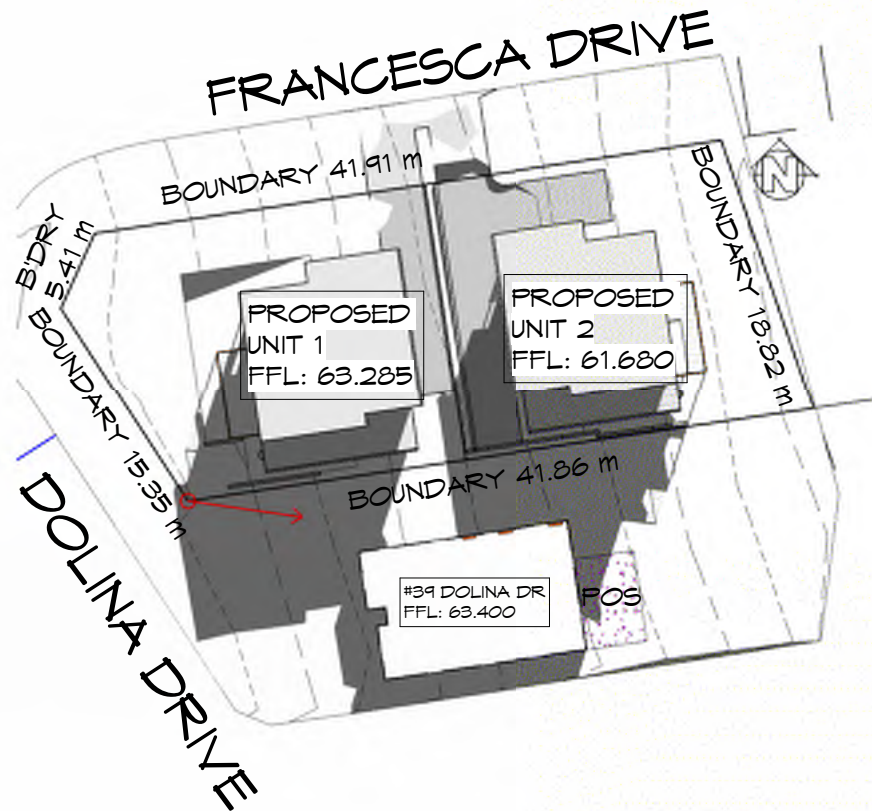
Project/Drawing no: PD25071 -06
 Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

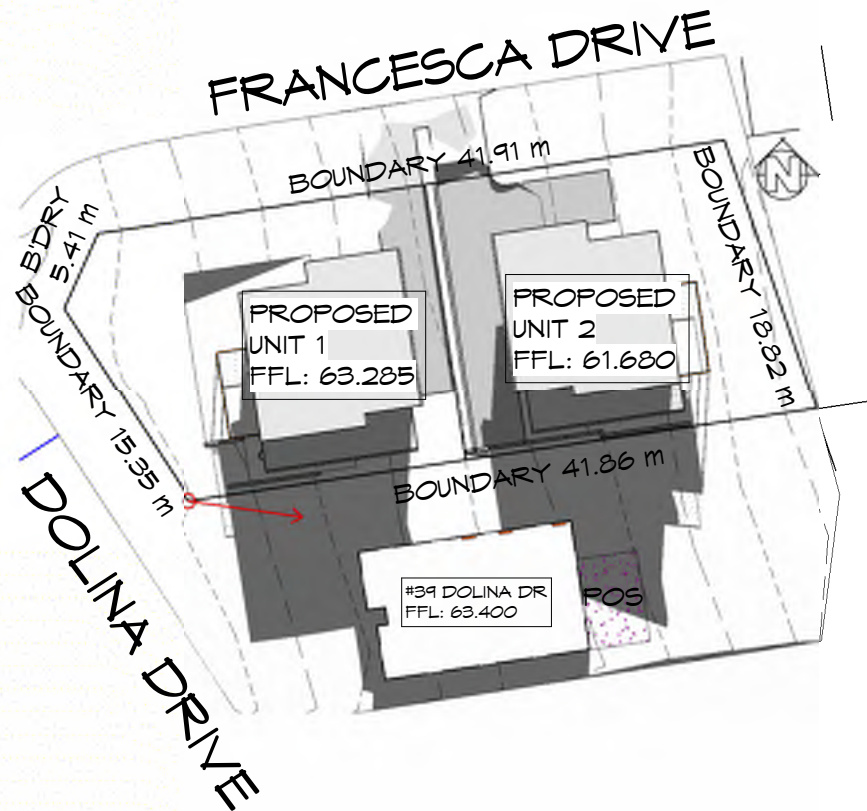
NOTE: DO NOT SCALE OFF DRAWINGS





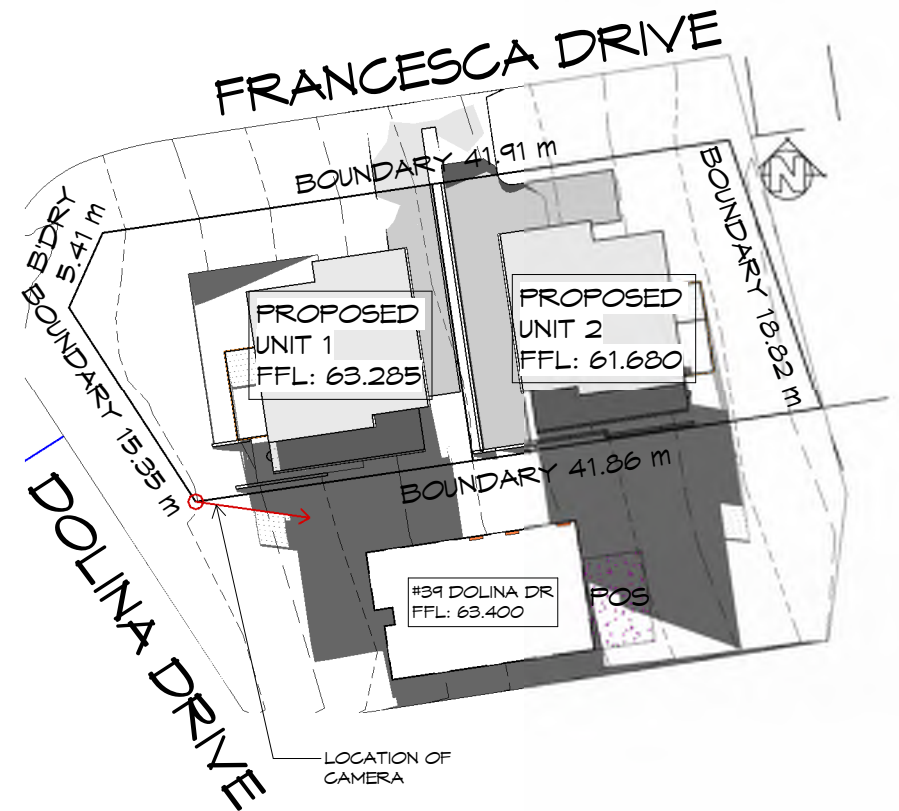
SUN SHADOW 11AM

1 : 500



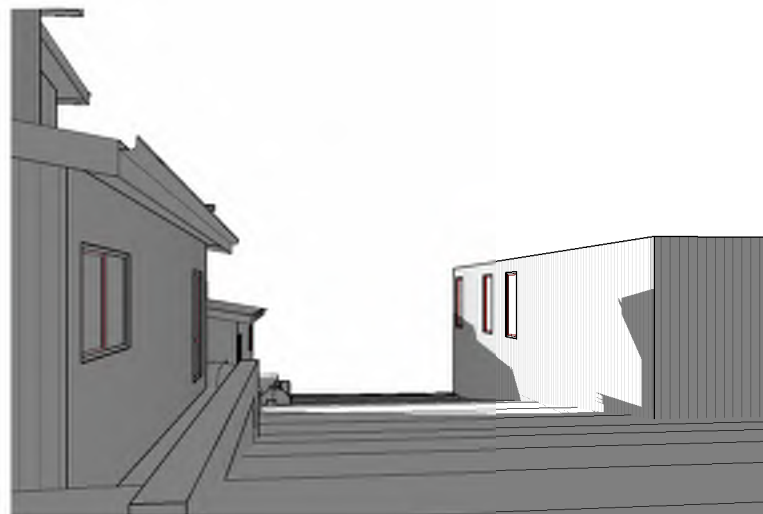
SUN SHADOW 12PM

1 : 500



SUN SHADOW 1PM

1 : 500



GENERAL INFORMATION
 NORTH: TRUE NORTH
 DAY LIGHT SAVINGS: OFF
 DATE: JUNE 21st
 TIME: AS INDICATED

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Project:
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Client name:
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Drafted by:
 M.R.

Approved by:
 Approver



Drawing:
 SUN SHADOW DIAGRAMS

Date: 07.11.2025
 Scale: 1 : 500

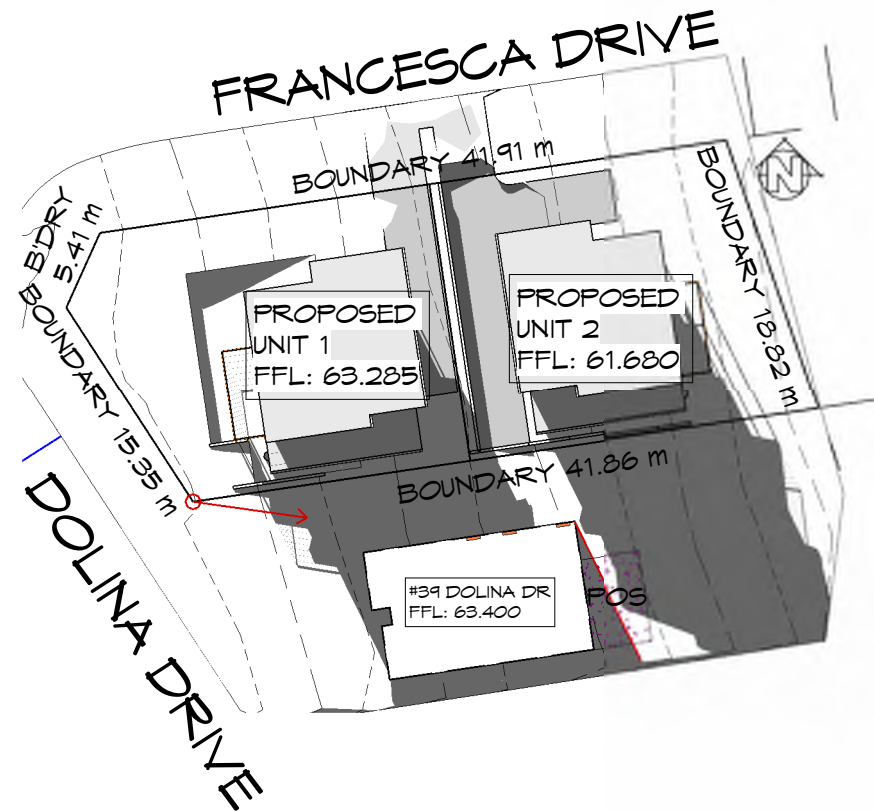
Project/Drawing no: PD25071 -07
 Revision: 07

Accredited building practitioner: Frank Geskus -No CC246A

PLANNING

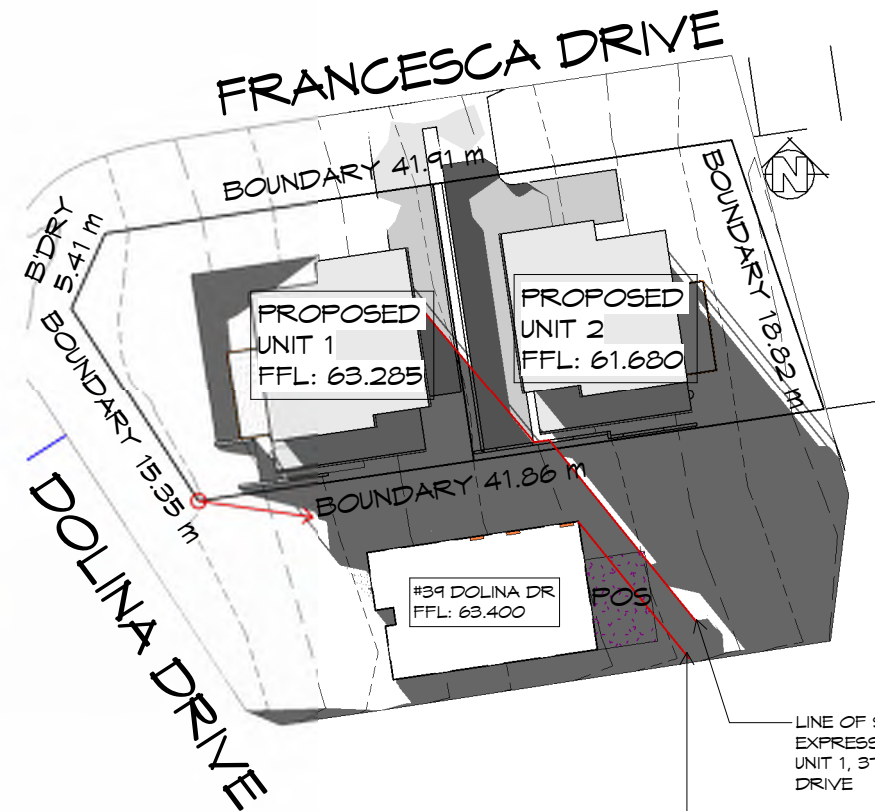
NOTE: DO NOT SCALE OFF DRAWINGS





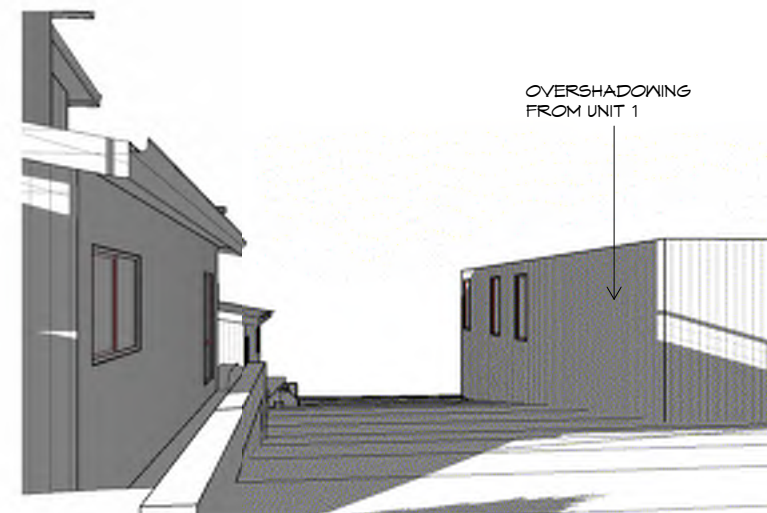
SUN SHADOW 2PM

1 : 500



SUN SHADOW 3PM

1 : 500



LINE OF SHADOW EXPRESSION FROM UNIT 1, 37 DOLINA DRIVE
LINE OF SHADOW EXPRESSION FROM #39 DOLINA DRIVE

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



GENERAL INFORMATION
NORTH: TRUE NORTH
DAY LIGHT SAVINGS: OFF
DATE: JUNE 21st
TIME: AS INDICATED

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Project:
PROPOSED RES. DEVELOPMENT
37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drafted by:
M.R.

Approved by:
Approver



Drawing:
SUN SHADOW DIAGRAMS

Date: 07.11.2025
Scale: 1 : 500

Project/Drawing no: PD25071 -08
Revision: 07

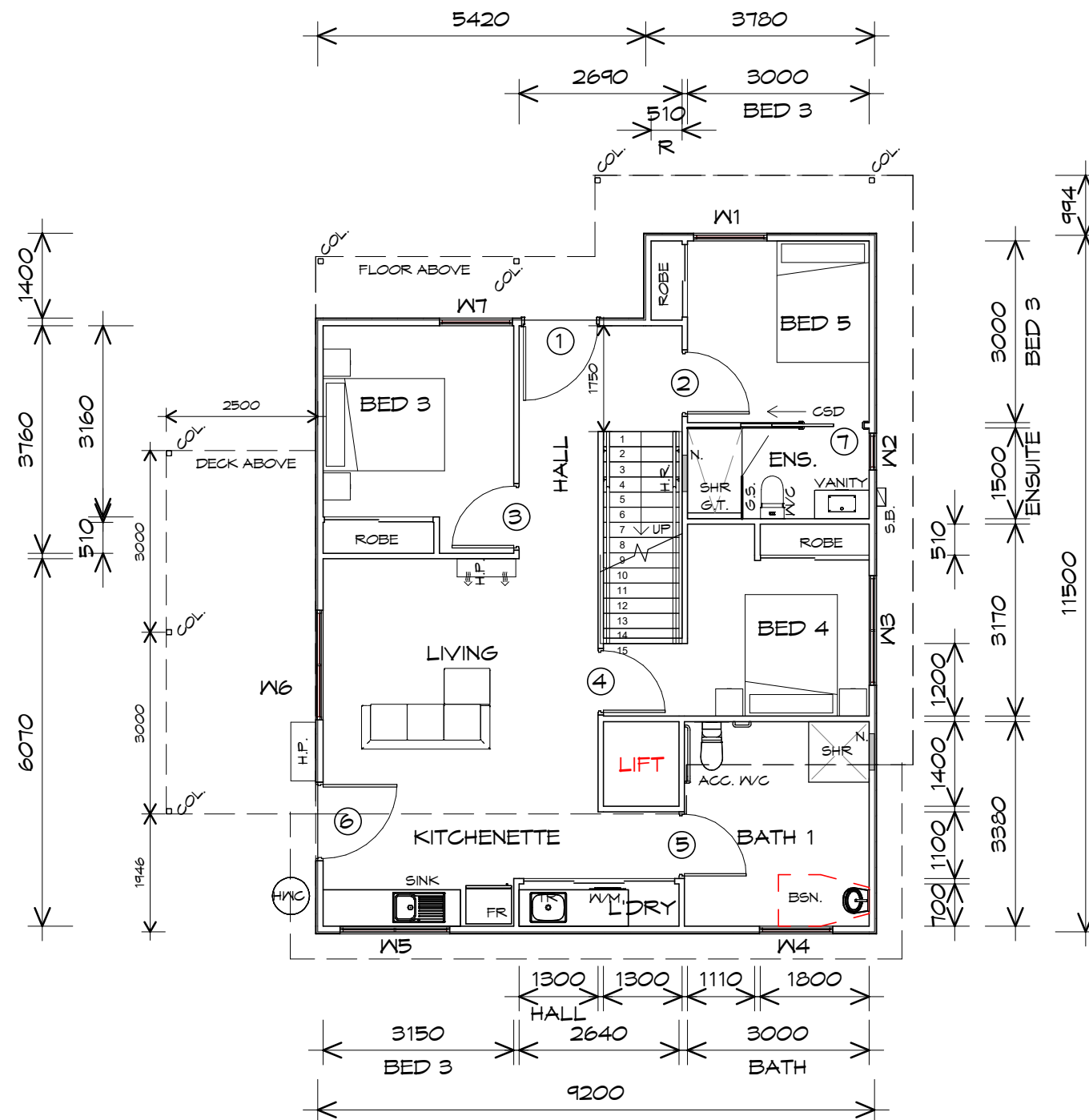
Accredited building practitioner: Frank Geskus -No CC246A

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- HWC HOT WATER CYLINDER
- G.T. GRATED TRENCH
- G.S. GLASS SCREEN
- N. 600x300 SHOWER NICHE
- H.R. HAND RAIL

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



LIFT DETAILS SUBJECT TO CONFIRMATION + MANUFACTURER SPECS.



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Project:
PROPOSED DEVELOPMENT
37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drawing:
GROUND FLOOR PLAN

Drafted by: L.L. Approved by: Approver

Date: 20.10.2025 Scale: 1 : 100

Project/Drawing no: PD25071 -U01-01 Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A

GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	98.21	m ²	(10.57 SQUARES)
FIRST FLOOR AREA	93.54	m ²	(10.07 SQUARES)
TOTAL AREA	191.75		20.64

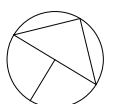
NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

NO RISERS	RISER H'T	TREAD DEPTH
15	190	250

NON SLIP TO COMPLY NCC 2022



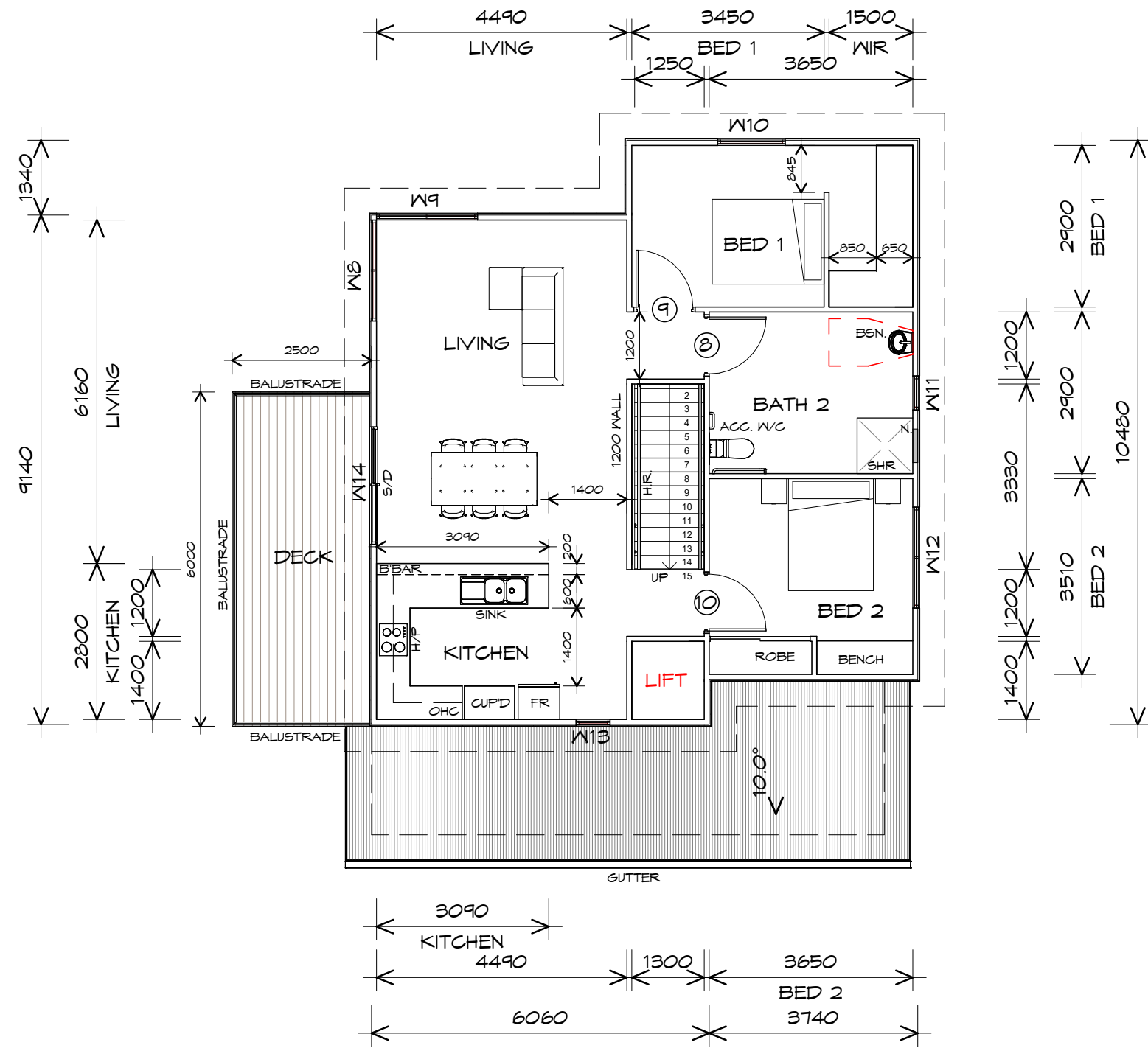
UNIT 1

LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- HWC HOT WATER CYLINDER
- G.T. GRATED TRENCH
- G.S. GLASS SCREEN
- 600x300 SHOWER NICHE
- H.R. HAND RAIL

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	98.21	m ²	(10.57 SQUARES)
FIRST FLOOR AREA	93.54	m ²	(10.07 SQUARES)
TOTAL AREA	191.75		20.64

NOTE:
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UNIT 1



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Project:
PROPOSED DEVELOPMENT
37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drawing:
FIRST FLOOR PLAN

Drafted by: L.L.	Approved by: Approver	
Date: 20.10.2025	Scale: 1 : 100	

Project/Drawing no: PD25071 -U01-02	Revision: 05
Accredited building practitioner: Frank Geskus -No CC246A	



GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	1220	ENTRY DOOR	
2	1020	INTERNAL TIMBER DOOR	
3	1020	INTERNAL TIMBER DOOR	
4	1020	INTERNAL TIMBER DOOR	
5	1020	INTERNAL TIMBER DOOR	
6	1220	GLAZED EXTERNAL DOOR	
7	1020	CAVITY SLIDING DOOR	

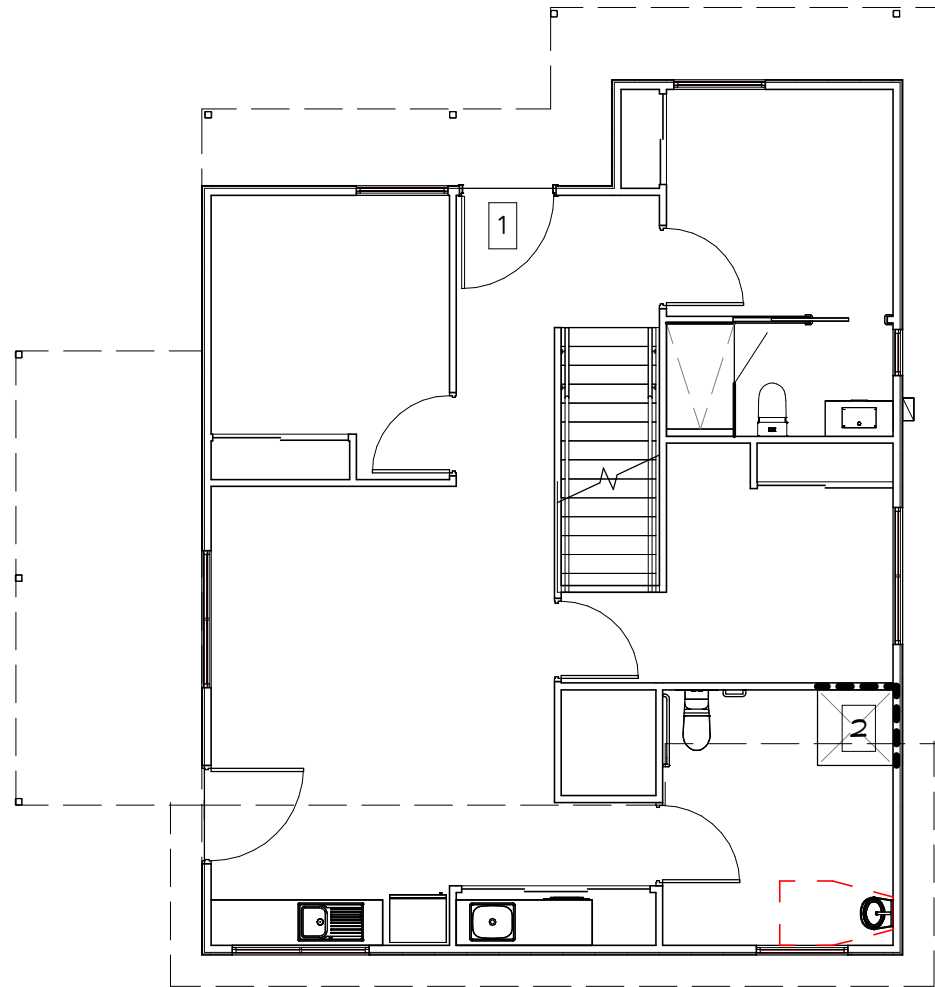
FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
8	1020	INTERNAL TIMBER DOOR	
9	1020	INTERNAL TIMBER DOOR	
10	1020	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1210	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	OPAQUE
W3	900	1810	AWNING WINDOW	
W4	1800	1210	AWNING WINDOW	OPAQUE
W5	900	1810	AWNING WINDOW	
W6	1800	1810	AWNING WINDOW	
W7	1800	1210	AWNING WINDOW	

FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W8	1800	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	
W10	1800	1210	AWNING WINDOW	
W11	1800	610	AWNING WINDOW	OPAQUE
W12	900	1810	AWNING WINDOW	
W13	1500	610	AWNING WINDOW	
W14	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: ALL GLAZING TO BE LOW REFLECTANCE GLAZING TO COMPLY WITH CLA-S4.7.1 BIRD STRIKE -A1



- 1 820 CLEAR OPENING WIDTH TO MAIN POINT OF ENTRY
 - 2 CURBLESS SHOWER
 - LINE WALL WITH 18mm PLYWOOD BEHIND PLASTER
- REFER TO DETAILS ON BD?? & BD??

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

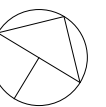
GROUND FLOOR LHDS PLAN

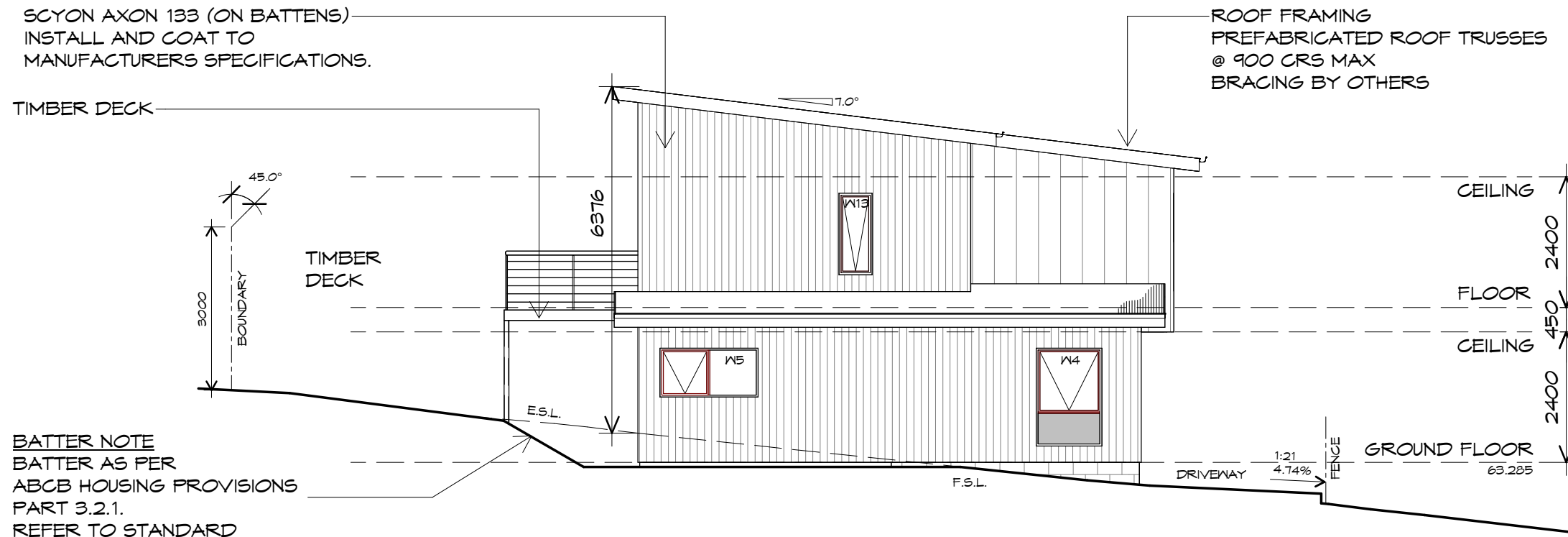
1 : 100

TO COMPLY WITH ABCB HOUSING PROVISIONS PART H8 & ABCB STANDARD FOR LIVABLE HOUSING DESIGN:

- PART 2.1
- PART 5, AND:
- PART 6.

IN ACCORDANCE WITH CBOS DIRECTORS DETERMINATION 2024





SCYON AXON 133 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.

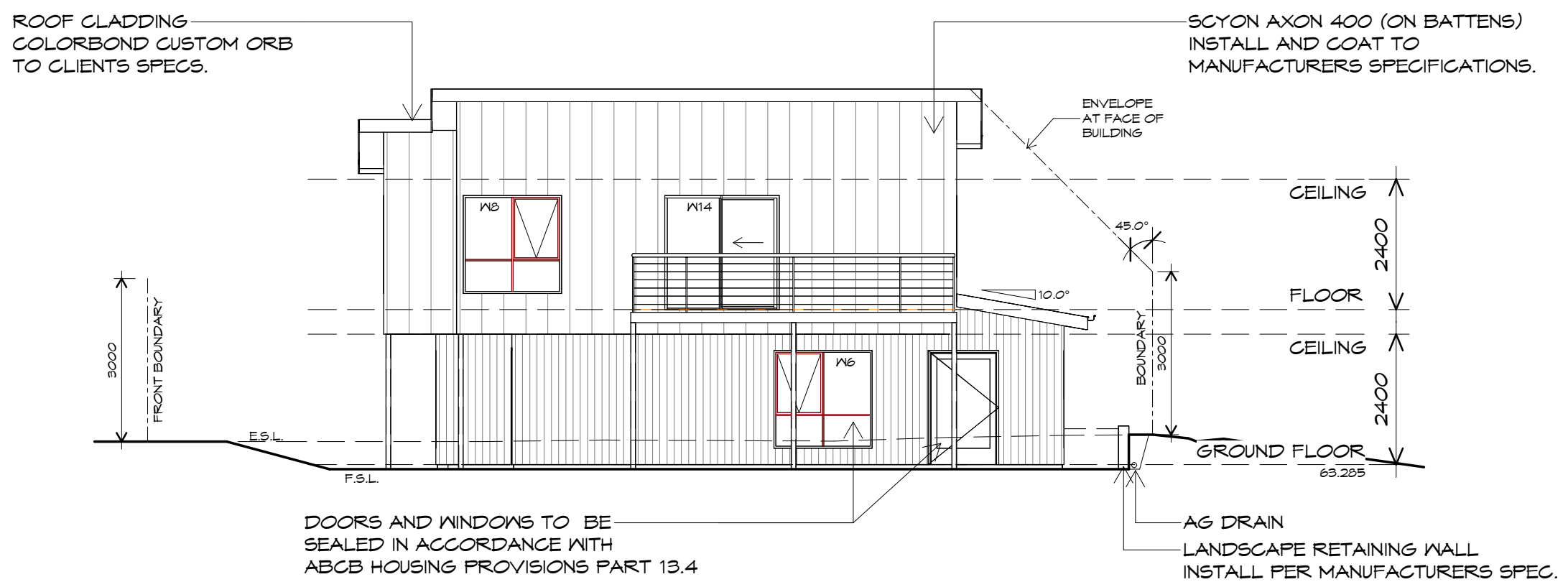
ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

TIMBER DECK

BATTER NOTE
 BATTER AS PER
 ABCB HOUSING PROVISIONS
 PART 3.2.1.
 REFER TO STANDARD
 DETAILS TABLE

SOUTHERN ELEVATION

1 : 100



ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.

SCYON AXON 400 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.

FRONT BOUNDARY

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

ENVELOPE
 AT FACE OF
 BUILDING

AG DRAIN
 LANDSCAPE RETAINING WALL
 INSTALL PER MANUFACTURERS SPEC.

WESTERN ELEVATION

1 : 100

NOTE: ALL GLAZING TO BE
 LOW REFLECTANCE GLAZING
 TO COMPLY WITH CLA-S4.7.1
 BIRD STRIKE -A1



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Project:
**PROPOSED DEVELOPMENT
 37 DOLINA DRIVE,
 ROKEBY**

Client name:
MD. N. HOSSAIN & S. AKTER

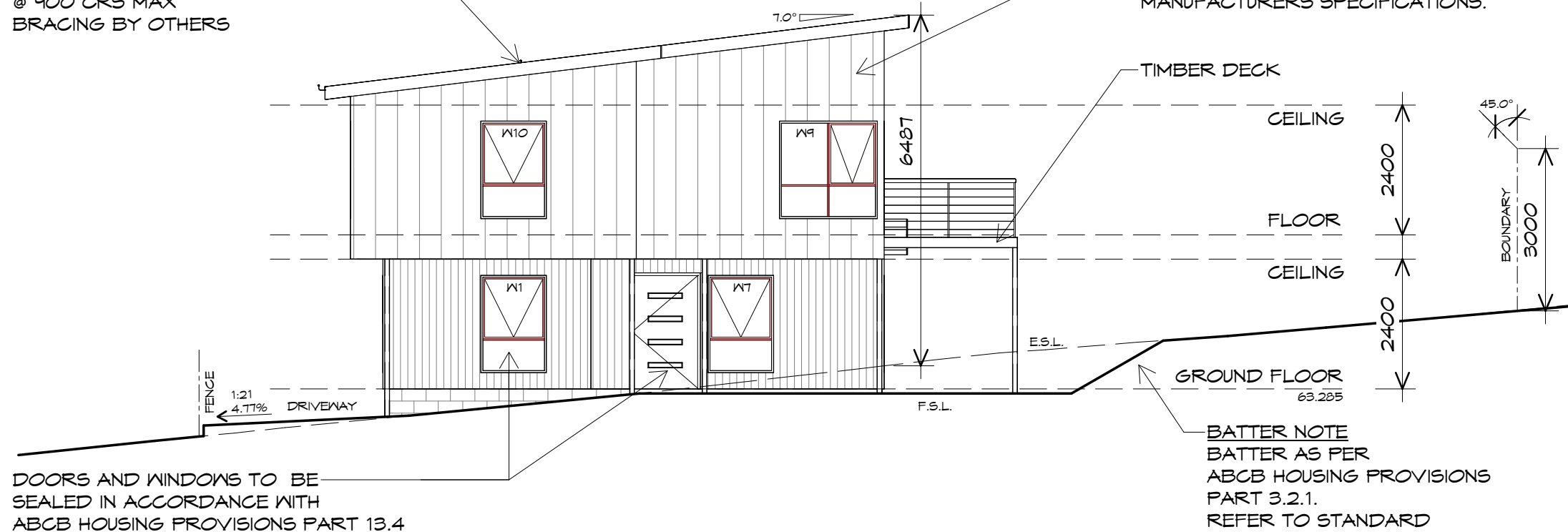
Drawing:
ELEVATIONS

Drafted by: L.L.	Approved by: Approver
Date: 20.10.2025	Scale: 1 : 100

Project/Drawing no: PD25071 -U01-05	Revision: 05
Accredited building practitioner: Frank Geskus -No CC246A	

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

SCYON AXON 400 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.



NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

BATTER NOTE
 BATTER AS PER
 ABCB HOUSING PROVISIONS
 PART 3.2.1.
 REFER TO STANDARD
 DETAILS TABLE

NOTE: ALL GLAZING TO BE
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 TO COMPLY WITH CLA-S4.7.1
 BIRD STRIKE -A1



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Client name:
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Drawing:
ELEVATIONS

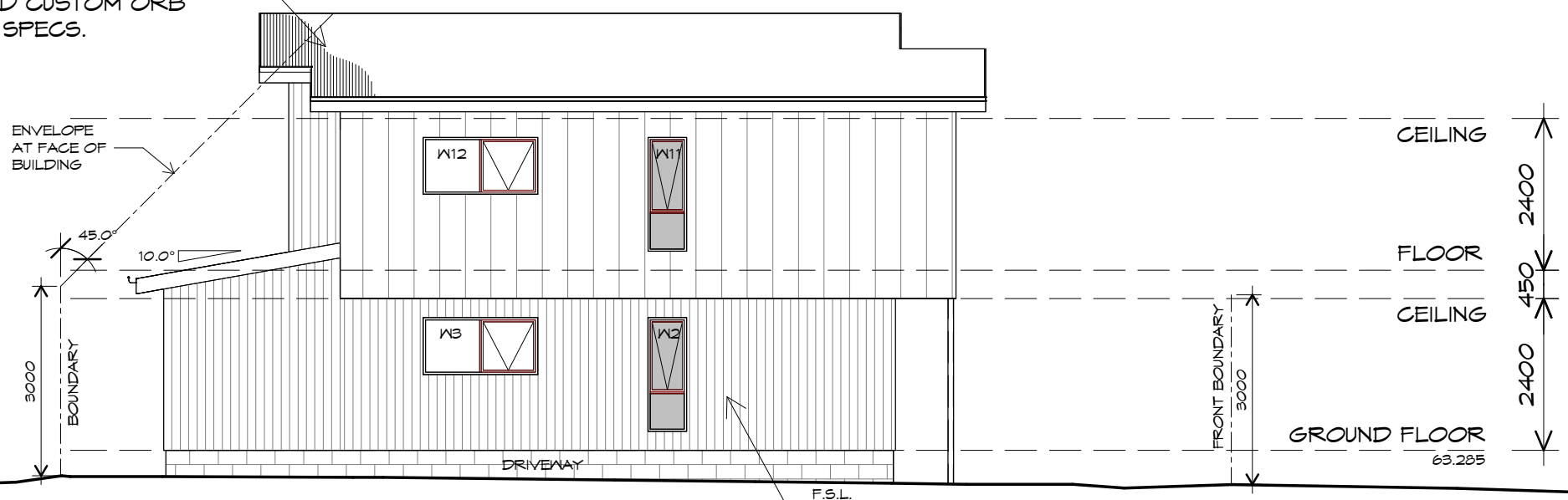
Drafted by: L.L. Approved by: Approver

Date: 20.10.2025 Scale: 1 : 100

Project/Drawing no: PD25071 -U01-06 Revision: 05

Accredited building practitioner: Frank Geskus -No CC246A

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



EASTERN ELEVATION

1 : 100

SCYON AXON 133 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.

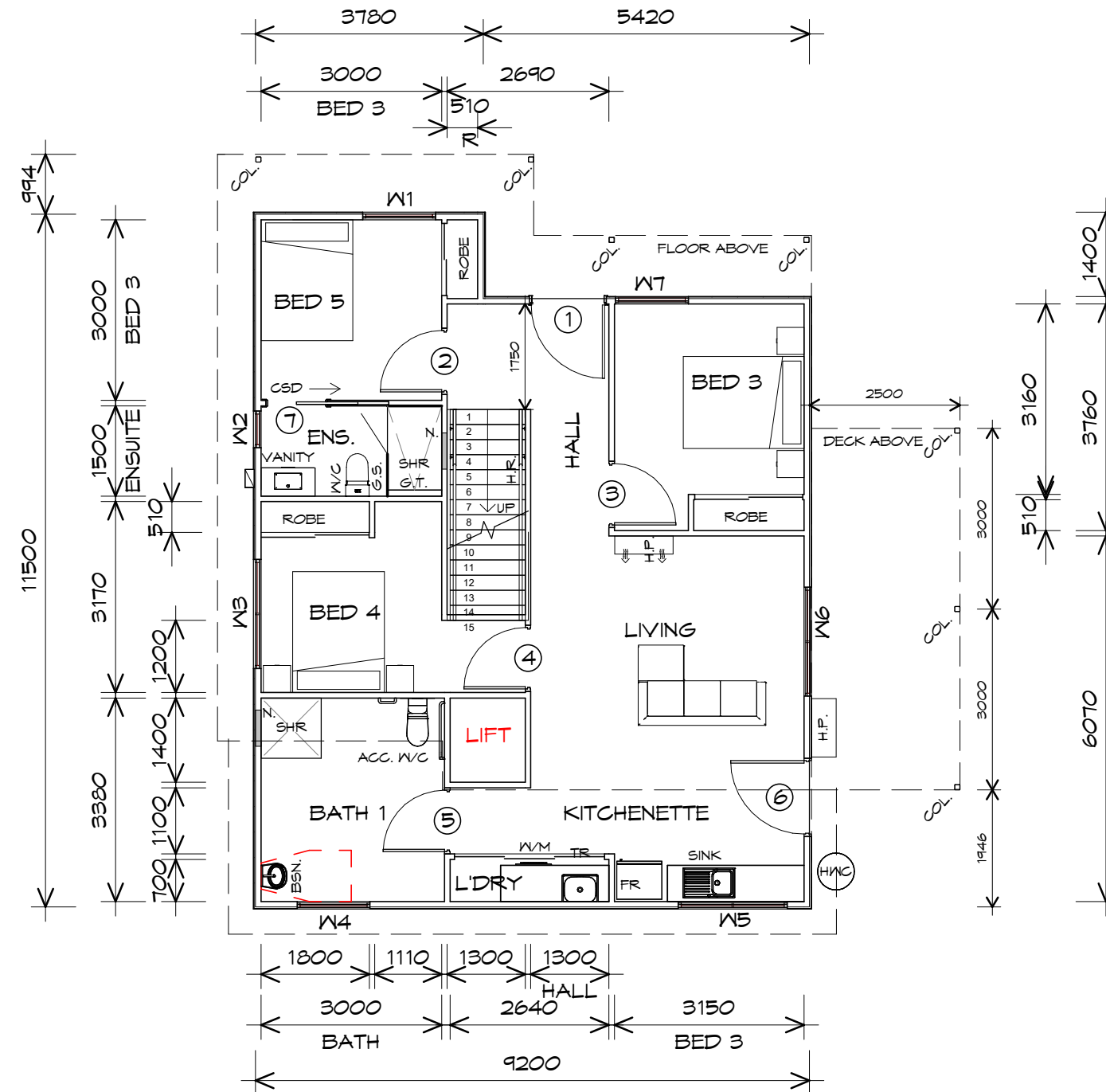
PLANNING
 NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

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- COL COLUMN
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



LIFT DETAILS SUBJECT TO CONFIRMATION + MANUFACTURER SPECS.



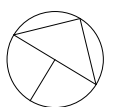
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Project:
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37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drawing:
GROUND FLOOR PLAN

Drafted by: L.L. Approved by: Approver
 Date: 20.10.2025 Scale: 1 : 100



Project/Drawing no: PD25071 -U02-01 Revision: 05
 Accredited building practitioner: Frank Geskus -No CC246A

GROUND FLOOR PLAN

1 : 100

GROUND FLOOR AREA	98.21	m ²	(10.57 SQUARES)
FIRST FLOOR AREA	93.54	m ²	(10.07 SQUARES)
TOTAL AREA	191.75		20.64

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



UNIT 2

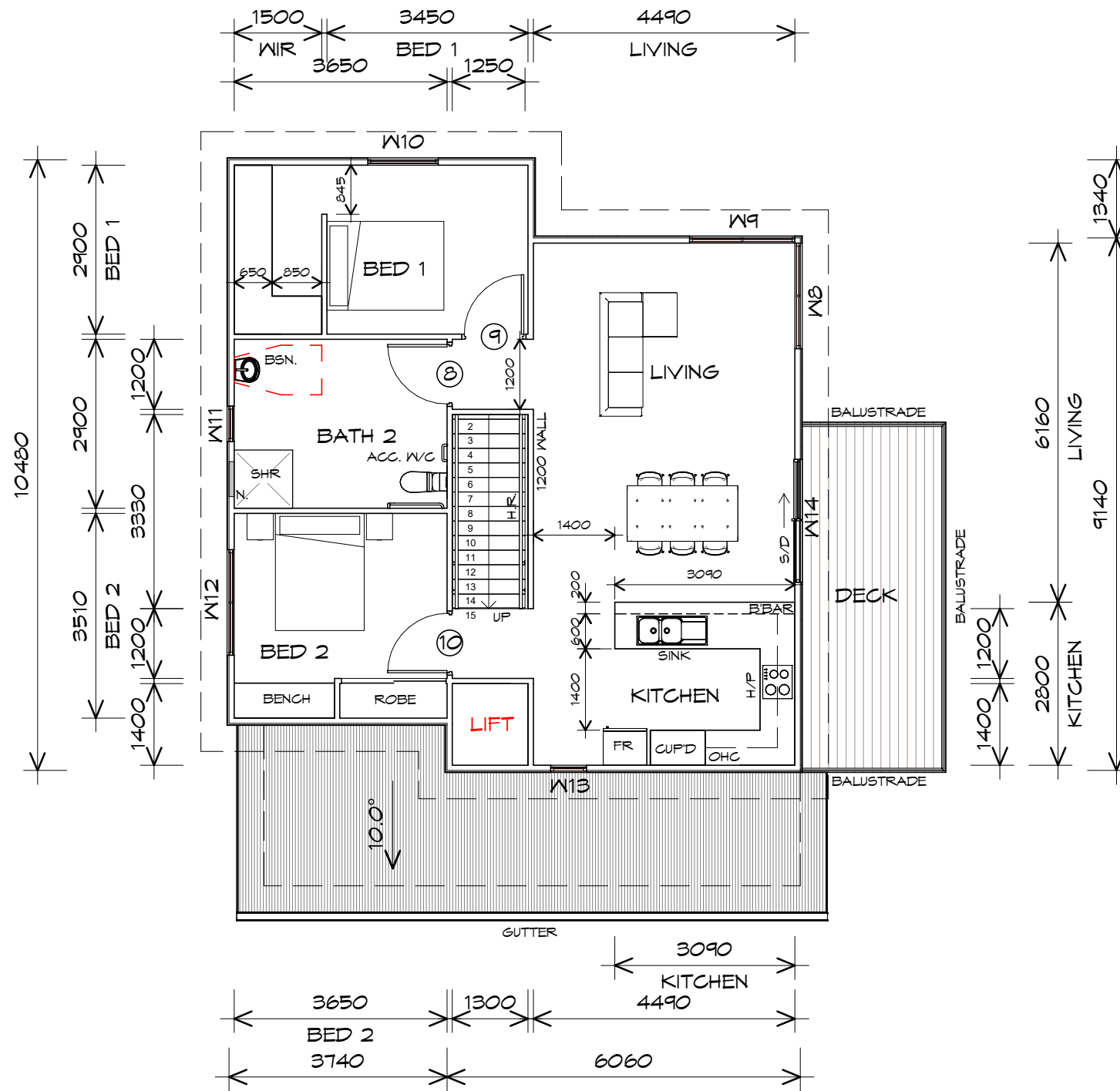


LEGEND

- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- COL COLUMN
- HWC HOT WATER CYLINDER
- G.T. GRATED TRENCH
- G.S. GLASS SCREEN
- N. 600X300 SHOWER NICHE
- H.R. HAND RAIL

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FIRST FLOOR PLAN

1 : 100

GROUND FLOOR AREA	98.21	m ²	(10.57 SQUARES)
FIRST FLOOR AREA	93.54	m ²	(10.07 SQUARES)
TOTAL AREA	191.75		20.64

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.



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Project:
PROPOSED DEVELOPMENT
37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drawing:
FIRST FLOOR PLAN

Drafted by: L.L.	Approved by: Approver
Date: 20.10.2025	Scale: 1 : 100



Project/Drawing no: PD25071 -U02-02	Revision: 05
Accredited building practitioner: Frank Geskus -No CC246A	



UNIT 2



GROUND FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	1220	ENTRY DOOR	
2	1020	INTERNAL TIMBER DOOR	
3	1020	INTERNAL TIMBER DOOR	
4	1020	INTERNAL TIMBER DOOR	
5	1020	INTERNAL TIMBER DOOR	
6	1220	GLAZED EXTERNAL DOOR	
7	1020	CAVITY SLIDING DOOR	

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
8	1020	INTERNAL TIMBER DOOR	
9	1020	INTERNAL TIMBER DOOR	
10	1020	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	1210	AWNING WINDOW	
W2	1800	610	AWNING WINDOW	OPAQUE
W3	900	1810	AWNING WINDOW	
W4	1800	1210	AWNING WINDOW	OPAQUE
W5	900	1810	AWNING WINDOW	
W6	1800	1810	AWNING WINDOW	
W7	1800	1210	AWNING WINDOW	

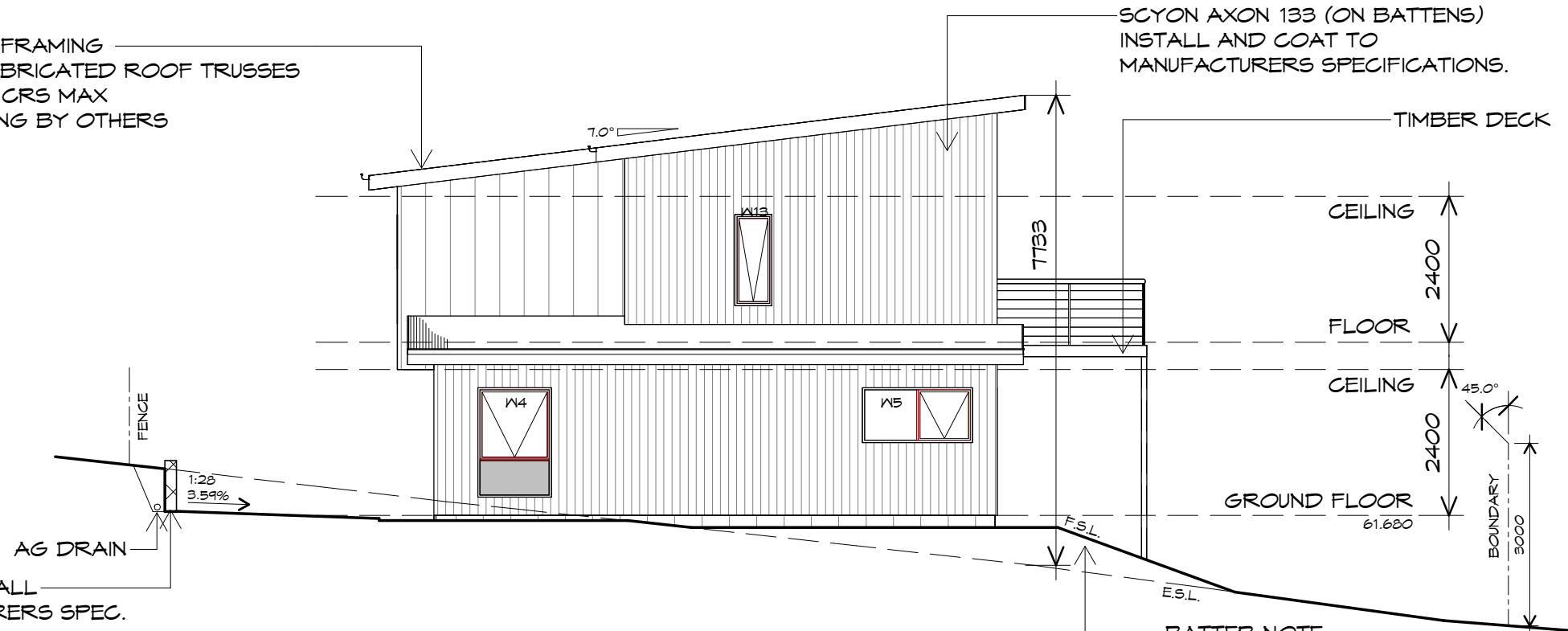
FIRST FLOOR WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W8	1800	1810	AWNING WINDOW	
W9	1800	1810	AWNING WINDOW	
W10	1800	1210	AWNING WINDOW	
W11	1800	610	AWNING WINDOW	OPAQUE
W12	900	1810	AWNING WINDOW	
W13	1500	610	AWNING WINDOW	
W14	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

NOTE: ALL GLAZING TO BE LOW REFLECTANCE GLAZING TO COMPLY WITH CLA-54.7.1 BIRD STRIKE -A1

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES
 @ 900 CRS MAX
 BRACING BY OTHERS

SCYON AXON 133 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.



LANDSCAPE RETAINING WALL
 INSTALL PER MANUFACTURERS SPEC.

SOUTHERN ELEVATION

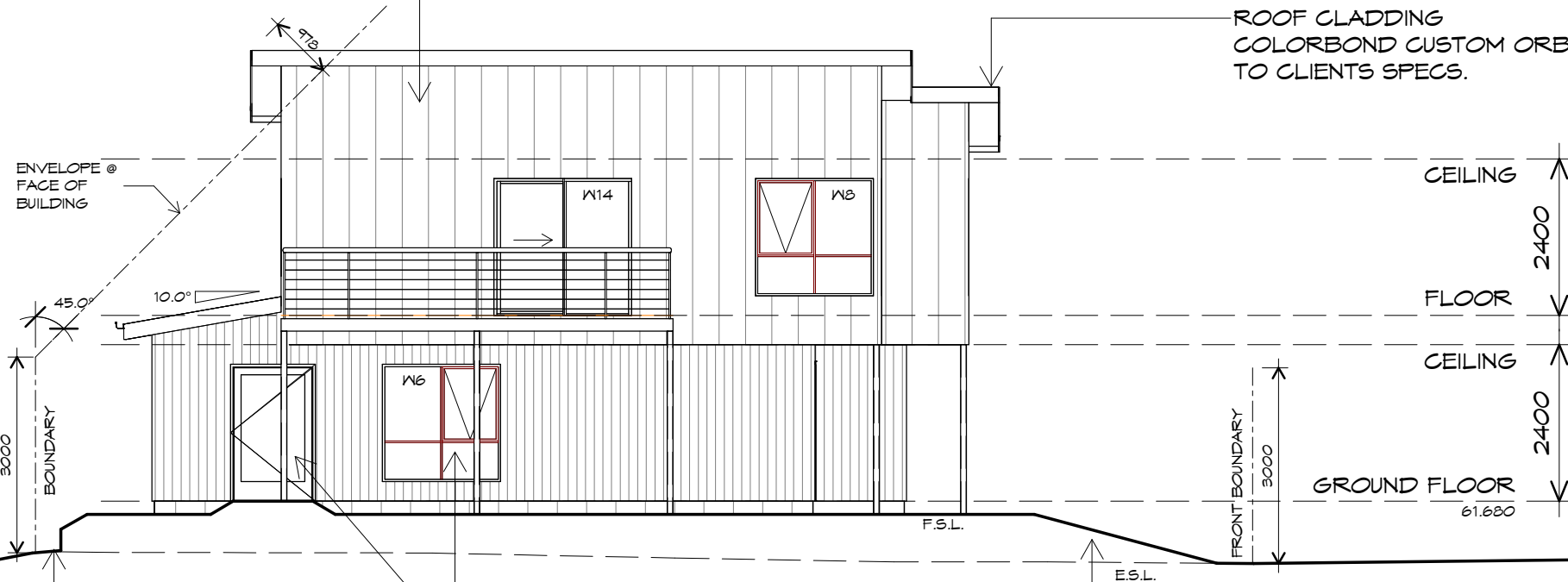
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BATTER NOTE
 BATTER AS PER
 ABCB HOUSING PROVISIONS
 PART 3.2.1.
 REFER TO STANDARD
 DETAILS TABLE

NOTE: ALL GLAZING TO BE
 LOW REFLECTANCE GLAZING
 TO COMPLY WITH CLA-S4.7.1
 BIRD STRIKE -A1

SCYON AXON 400 (ON BATTENS)
 INSTALL AND COAT TO
 MANUFACTURERS SPECIFICATIONS.

ROOF CLADDING
 COLORBOND CUSTOM ORB
 TO CLIENTS SPECS.



LANDSCAPE RETAINING WALL
 INSTALL PER MANUFACTURERS SPEC.

EASTERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE
 SEALED IN ACCORDANCE WITH
 ABCB HOUSING PROVISIONS PART 13.4

BATTER NOTE
 BATTER AS PER
 ABCB HOUSING PROVISIONS
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 REFER TO STANDARD
 DETAILS TABLE



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Project:
**PROPOSED DEVELOPMENT
 37 DOLINA DRIVE,
 ROKEBY**

Client name:
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Drawing:
ELEVATIONS

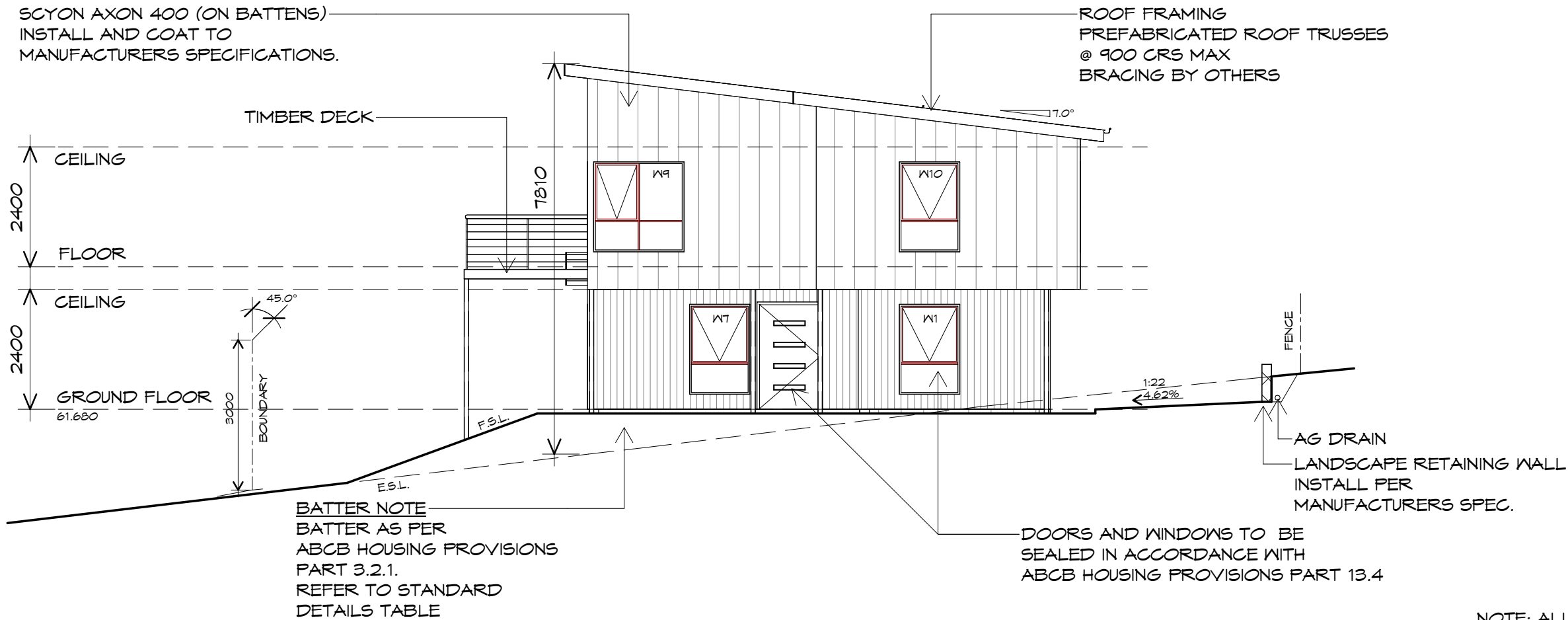
Drafted by: L.L. Approved by: Approver

Date: 20.10.2025 Scale: 1 : 100

Project/Drawing no: PD25071 -U02-05 Revision: 05

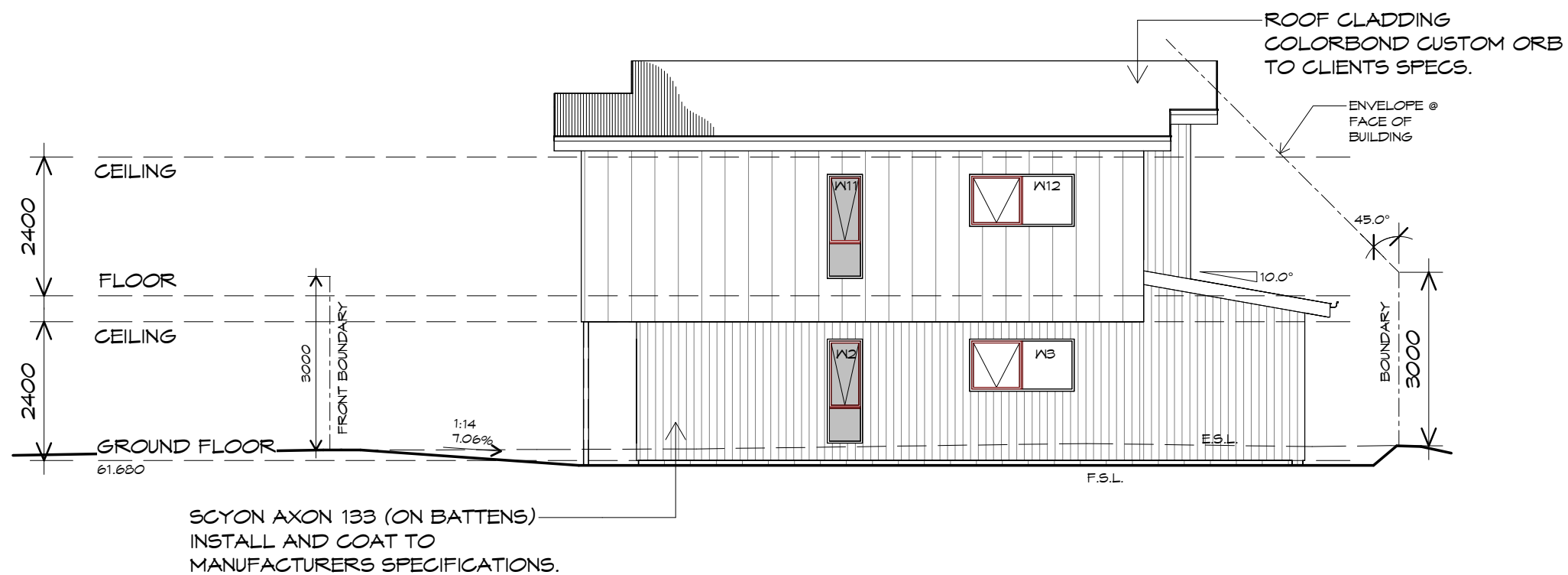
Accredited building practitioner: Frank Geskus -No CC246A

SCYON AXON 400 (ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.



NORTHERN ELEVATION

1 : 100



WESTERN ELEVATION

1 : 100

SCYON AXON 133 (ON BATTENS)
INSTALL AND COAT TO
MANUFACTURERS SPECIFICATIONS.

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

NOTE: ALL GLAZING TO BE
LOW REFLECTANCE GLAZING
TO COMPLY WITH CLA-S4.7.1
BIRD STRIKE -A1



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Project:
PROPOSED DEVELOPMENT
37 DOLINA DRIVE,
ROKEBY

Client name:
MD. N. HOSSAIN & S. AKTER

Drawing:
ELEVATIONS

Drafted by: L.L. Approved by: Approver

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Accredited building practitioner: Frank Geskus -No CC246A