



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

Application Number:	PA2025.0144
Proposed Use or Development:	Residential (single dwelling and secondary residence)
Address of the Land:	13a Forest Heights Drive, Tugrah
Date of Notice:	25/10/2025

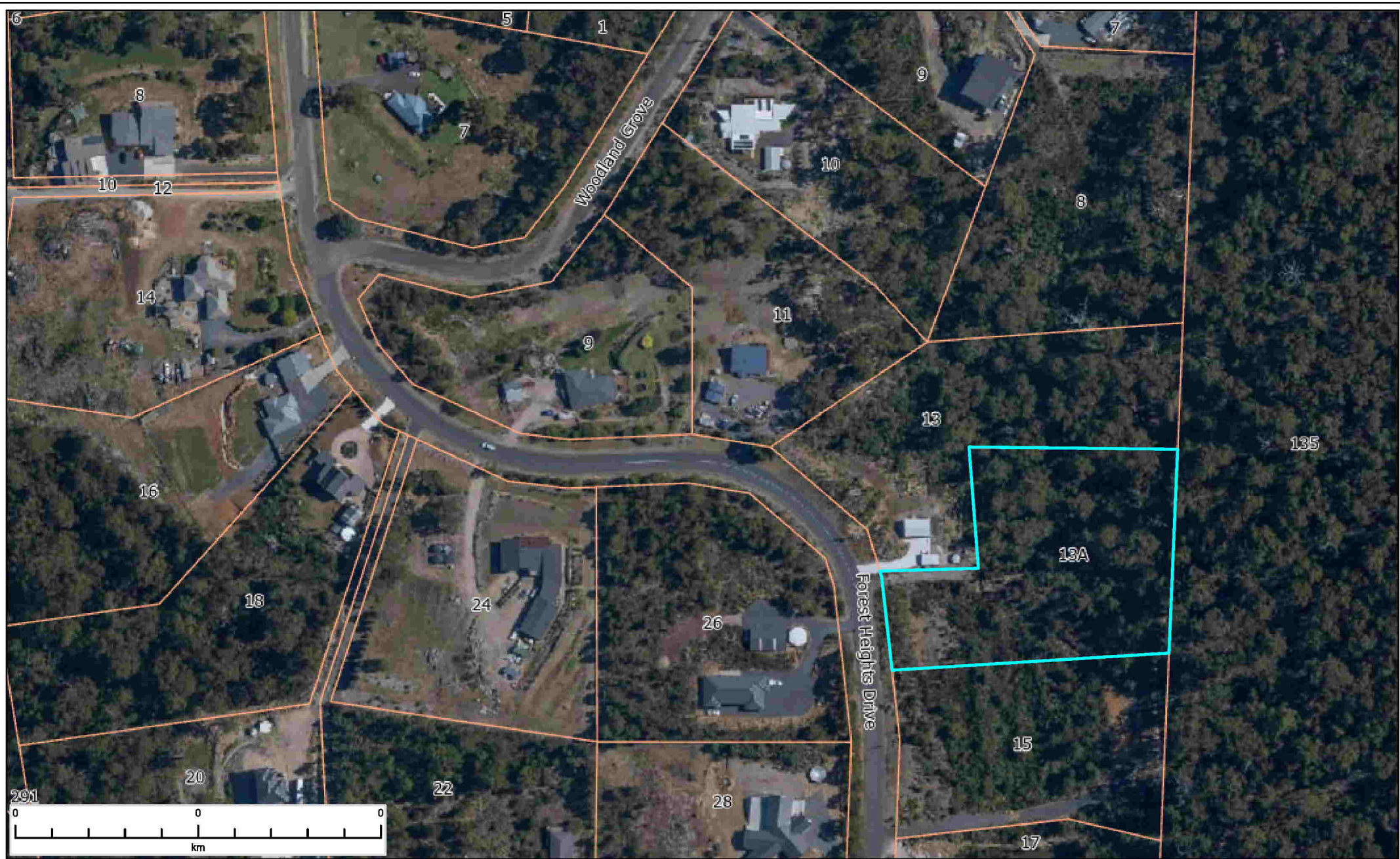
You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **10/11/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.



13a Forest Heights Drive, Tugrah



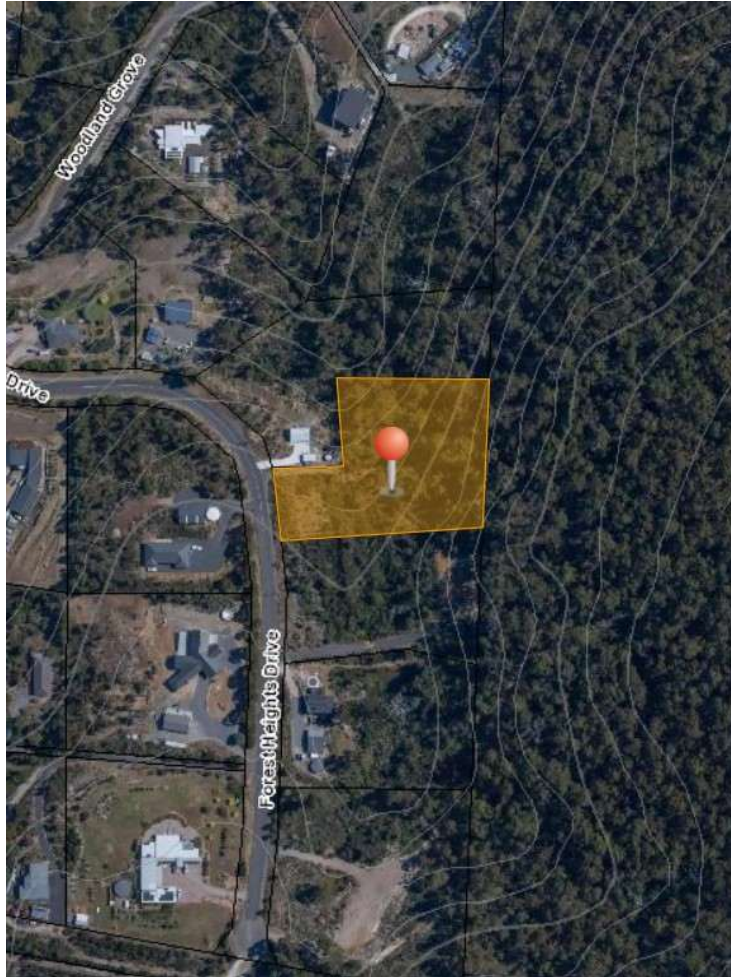
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Created: 22-10-2025 13:17:23



**Devonport
City Council**



BUSHFIRE HAZARD REPORT

The information in this report is based on the instructions of AS 3959:2018 - Construction of Buildings in Bushfire Prone Areas and the Directors Determination – Bushfire Hazard Areas.

13A
FOREST HEIGHTS DR
TUGRAH 7310

Prepared by: **Tas Bushfire Consulting**
7/10/2025

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Associated Documents:

- Bushfire Hazard Management Plan
- Form 55
- Site Photos

DISCLAIMER

Please remember that the measures contained in this report cannot guarantee that a building will survive in the event of a bushfire on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire and extreme weather conditions.

In preparation of this document, all reasonable steps have been taken to ensure that the information in this report is correct and accurately reflects, both the conditions of the considered allotment and its surroundings on the date of this assessment.

EXECUTIVE SUMMARY

This Bushfire Hazard Report is prepared for the proposed Dwellings at 13A Forest Heights Dr Tugrah 7310 (C.T. 185693/39). This report is prepared as part of the document for Building Approval.

The property is considered as being bushfire prone being mapped within the Bushfire-Prone Areas overlay of the Tasmanian Planning Scheme.

The report will define the bushfire attack level classification of the lot and determine its compliance with relevant bushfire building requirements, legislation and guidelines.

Using AS 3959:2018 simplified procedure, method 1, the bushfire attack level of the site and the construction requirements will be classified as BAL 29.

The site is to be maintained to the level set out in this report and the proposed Dwellings are to be constructed and maintained in accordance with the Directors Determination - Bushfire Hazard Areas (Version 1.2) as well as the construction sections 3 and 7 of AS3959:2018 Construction of Buildings in Bushfire Prone Areas for BAL 29.

DESCRIPTION OF PROPOSAL

Location	13A Forest Heights Dr Tugrah 7310
Title Reference	185693/39
Property ID	9913224
Lot Size	8573m ²
Zoning	Rural Living
Council	Devonport City Council
Development Type	Dwelling & Ancillary Dwelling
Environs	Mix of developed and undeveloped bush blocks that are surrounded by dense forest.
Access	Forest Heights Drive is sealed and provides good access. Property driveway to access firefighting water point, to comply with Table 2 Part B of the Directors Determination - Bushfire Hazard Areas. Refer BHMP.
Water Supply	Static water supply and hardstand required to comply with Table 3B Requirements for Static Water supply for firefighting of the Directors Determination - Bushfire Hazard Areas. Refer BHMP.

Assessed by:

Jake Bell
 Tas Bushfire Consulting
 admin@tasbushfire.com.au

Accredited person under part 4a of the Fire Service Act 1979
 BFP-154



BUSHFIRE SITE ASSESSMENT

The property is considered to be within a bushfire prone area due to the proximity of vegetation greater than 1ha in area.

The proposed buildings are located in a bush setting and the risk of bushfire attack is considered to be a realistic outcome. Using AS 3959:2018 simplified procedure (method 1) the bushfire attack level of the allotment and the associated construction requirements will be classified as BAL 29. BAL 29 is described as being exposed to increasing levels of ember attack with radiant heat less than 29kW/m².

Please see table 1 below for results. These results were calculated on Tasmania’s FDI of 50.

	North	East	South	West
Veg <100m	0-100m forest	0-100m forest	0-100m scrub	0-100m scrub
Slope (degrees over 100m)	Level/Upslope	Level/Upslope	Level/Upslope	Level/Upslope
Min. req. Defendable space - BAL 29	<i>16m</i>	<i>16m</i>	<i>13m</i>	<i>13m</i>

The defendable space requirement listed in the above table is the minimum distance required for a BAL 29 rating as per AS 3959 table 2.6. To achieve a BAL 29 and ensure ongoing compliance the allotment will need to meet the required defendable space distances as outlined in the associated Bushfire Hazard Management Plan.

This hazard management zone of defendable space area will need fuel reduction carried out to ensure compliance with low threat vegetation classification. This single zone hazard management area must be managed and kept at a minimum fuel condition at all times “where fine fuels are minimized to the extent that the passage of fire will be restricted, e.g. short green lawns, paths, driveways etc.”. All grassed areas within this zone need to be kept to a nominal height of 100mm.

The main design principles for this zone are to; create space, remove flammable objects or materials, separate fuel & influence the selection, location and maintenance of trees.

For more information, refer the “fire resisting garden plants” booklet produced by the Tasmanian Fire Service.

OBJECTIVES & REQUIREMENTS

Directors Determination - Bushfire Hazard Areas (V1.2) - Construction Requirements

Table 1 - Construction Requirements & Construction Variations		
Element	Applicability	Requirement
A.	N/A	N/A
B.	N/A	N/A
Table 2 - Requirements for Property Access		
Element	Applicability	Requirement
A.	N/A	N/A
B.	Yes	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> (a) All-weather construction; (b) Load capacity of at least 20 tonnes, including for bridges and culverts; (c) Minimum carriageway width of 4 metres; (d) Minimum vertical clearance of 4 metres; (e) Minimum horizontal clearance of 0.5 metres from the edge of the carriageway; (f) Cross falls of less than 3° (1:20 or 5%); (g) Dips less than 7° (1:8 or 12.5%) entry and exit angle; (h) Curves with a minimum inner radius of 10 metres; (i) Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and (j) Terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> (i) A turning circle with a minimum outer radius of 10 metres; (ii) A property access encircling the building; or (iii) A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long
C.	N/A	N/A
D.	N/A	N/A
Table 3A - Requirements for Reticulated Water Supply for Firefighting		
Element	Applicability	Requirement
A.	N/A	N/A
B.	N/A	N/A
C.	N/A	N/A
Table 3B - Requirements for Static Water Supply for Firefighting		
Element	Applicability	Requirement
A.	Yes	<p>The following requirements apply:</p> <ul style="list-style-type: none"> (a) The building area to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) The distance must be measured as a hose lay, between the firefighting water point and the furthest part of the building area.

B.	Yes	<p>A static water supply:</p> <p>(a) May have a remotely located offtake connected to the static water supply;</p> <p>(b) May be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must be available at all times;</p> <p>(c) Must be a minimum of 10,000 litres per building area to be protected. This volume of water must not be used for any other purpose including firefighting sprinkler or spray systems;</p> <p>(d) Must be metal, concrete or lagged by non-combustible materials if above ground; and</p> <p>(e) If a tank can be located so it is shielded in all directions in compliance with Section 3.5 of AS 3959:2018, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by:</p> <p>(i) metal;</p> <p>(ii) non-combustible material; or</p> <p>(iii) fibre-cement a minimum of 6 mm thickness.</p>
C.	Yes	<p>Fittings and pipework associated with a firefighting water point for a static water supply must:</p> <p>(a) Have a minimum nominal internal diameter of 50mm;</p> <p>(b) Be fitted with a valve with a minimum nominal internal diameter of 50mm;</p> <p>(c) Be metal or lagged by non-combustible materials if above ground;</p> <p>(d) Where buried, have a minimum depth of 300mm;</p> <p>(e) Provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment;</p> <p>(f) Ensure the coupling is accessible and available for connection at all times;</p> <p>(g) Ensure the coupling is fitted with a blank cap and securing chain (minimum 220 mm length);</p> <p>(h) Ensure underground tanks have either an opening at the top of not less than 250 mm diameter or a coupling compliant with this Table; and</p> <p>(i) Where a remote offtake is installed, ensure the offtake is in a position that is:</p> <p>(i) Visible;</p> <p>(ii) Accessible to allow connection by firefighting equipment;</p> <p>(iii) At a working height of 450 – 600mm above ground level; and</p> <p>(iv) Protected from possible damage, including damage by vehicles.</p>
D.	Yes	<p>The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:</p> <p>(a) comply with water tank signage requirements within AS 2304:2019; or</p> <p>(b) comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.</p>

E.	Yes	A hardstand area for fire appliances must be provided: (a) No more than three metres from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) No closer than six metres from the building area to be protected; (c) With a minimum width of three metres constructed to the same standard as the carriageway; and (d) Connected to the property access by a carriageway equivalent to the standard of the property access.
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Table 4 - Requirements for Hazard Management Area

Element	Applicability	Requirement
A.	N/A	N/A
B.	Yes	BAL 29 HMA identified and to be provided.
C.	N/A	N/A
D.	N/A	N/A
E.	N/A	N/A
F.	N/A	N/A

Table 5 - Requirements for Emergency Planning

Element	Applicability	Requirement
A.	N/A	N/A

The proposed Dwellings are to be constructed to comply with BAL 29 requirements in accordance with AS 3959 and the deemed to satisfy requirements outlined in this report and associated BHMP.

No natural or cultural values were identified on site or through desktop assessment which would prevent the clearing of vegetation communities present on site required for achieving BAL 29.

No other environmental or planning issues were identified on site or through desktop assessment, including review of the Tasmanian Planning Scheme zoning and overlay maps.

CONCLUSION

The site was assessed as having a bushfire attack level of 29. The defensible space required to meet BAL 29 is specified in the associated Bushfire Hazard Management Plan and the ongoing maintenance of this defensible space area in a low fuel state as prescribed in this plan is of utmost priority in regards to bushfire risk.

Proposed development should be constructed to comply with all construction requirements of AS 3959 and other recommendations outlined in this report. These measures will need to be undertaken to avoid increasing risk from a bushfire.

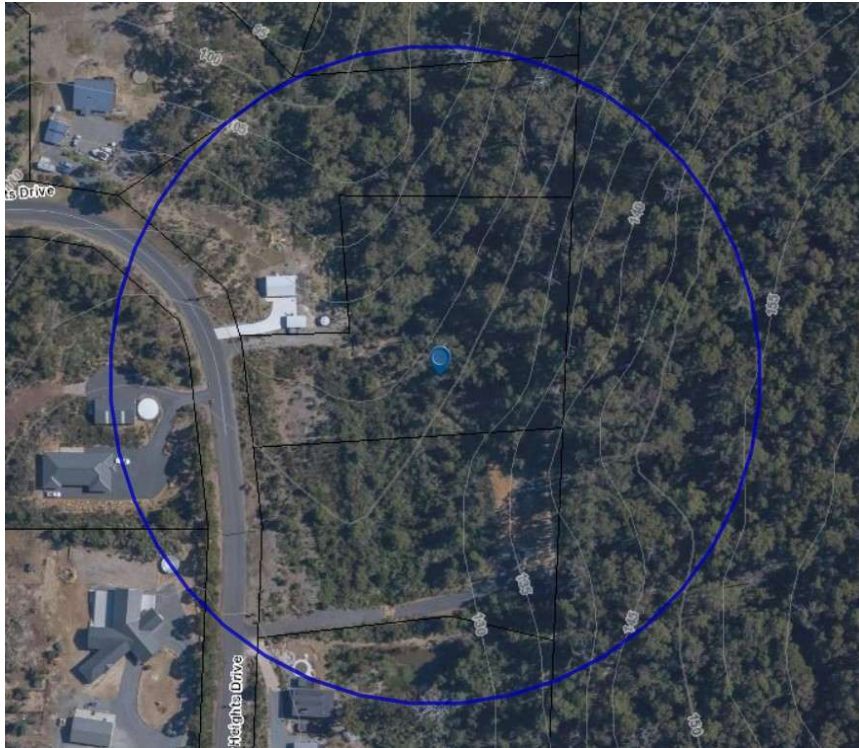
This report should be considered in conjunction with all other design documents for this proposal in case of conflict. Therefore, it is the responsibility of the client to provide this report to all relevant parties involved in the future planning and construction at the property.

For other valuable resources in regards to building for bushfires and bushfires in general see the Tasmanian fire service website: www.fire.tas.gov.au

REFERENCES

- Directors Determination – Bushfire Hazard Areas (V1.2)
- Standards Australia Limited. AS 3959 – Construction of Buildings in Bushfire Prone Areas
- Tasmanian Planning Scheme
- Australian Building Codes Board. 2022 National Construction Code – volume two
- Tasmanian government DPIPW - LISTmap & TASVEG Live map

AERIAL IMAGERY



120m radius from development site. Forest on upslope to the North and East. Scrub on neighbouring undeveloped lot to the South.

SITE PHOTOS



Above: Driveway entry from Forest Heights Drive looking East. Scrub at front of property at site of ancillary dwelling with Forest on upslope to further East at site of proposed main dwelling.

Below: Neighbouring dwelling with hazard management area to the North.





Above: Scrub around site of proposed ancillary dwelling.
Below: Forest on site of proposed main dwelling



NOTE:
 TO BE READ IN CONJUNCTION WITH THE BUSHFIRE HAZARD REPORT.
 THE HAZARD MANAGEMENT AREA (SHOWN IN ORANGE) MUST BE MANAGED AND KEPT AT A MINIMUM FUEL CONDITION AT ALL TIMES WHERE FINE FUELS ARE MINIMIZED TO THE EXTENT THAT THE PASSAGE OF FIRE WILL BE RESTRICTED, E.G. SHORT GREEN LAWNS, PATHS, DRIVEWAYS ETC. ALL GRASSED AREAS WITHIN THIS ZONE NEED TO BE KEPT TO A NOMINAL HEIGHT OF 100MM.



DIRECTORS DETERMINATION - BUSHFIRE HAZARD AREAS - V1.2
 THE FOLLOWING REQUIREMENTS ARE RELEVANT TO THIS DESIGN:

TABLE 2 REQUIREMENTS FOR PROPERTY ACCESS

PART B - Access required for a fire appliance to access firefighting water point

The following design and construction requirements apply to property access:

- (a) all-weather construction;
- (b) load capacity of at least 20t, including for bridges and culverts;
- (c) minimum carriageway width of 4m;
- (d) minimum vertical clearance of 4m;
- (e) minimum horizontal clearance of 0.5m from the edge of the carriageway;
- (f) cross falls of less than 3 degrees (1:20 or 5%);
- (g) dips less than 7 degrees (1:8 or 12.5%) entry and exit angle;
- (h) curves with a minimum inner radius of 10m;
- (i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and
- (j) terminate with a turning area for fire appliances provided by one of the following:
 - (i) a turning circle with a minimum outer radius of 10m; or
 - (ii) a property access encircling the building; or
 - (iii) a hammerhead "T" or "Y" turning head 4m wide and 8m long.

TABLE 3B REQUIREMENTS FOR STATIC WATER SUPPLY FOR FIREFIGHTING

The following requirements apply:

- (a) the building area to be protected must be located within 90m of the fire fighting water point of a static water supply; and
- (b) the distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.

A static water supply:

- (a) may have a remotely located offtake connected to the static water supply;
- (b) may be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;
- (c) must be a minimum of 10,000L per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;
- (d) must be metal, concrete or lagged by non-combustible materials if above ground; and
- (e) if a tank can be located so it is shielded in all directions in compliance with section 3.5 of Australian Standard AS 3959-2009 Construction of buildings in bushfire-prone areas, the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by:
 - (i) metal;
 - (ii) non-combustible material; or
 - (iii) fibre-cement a minimum of 6mm thickness.

Fittings and pipework associated with a fire fighting water point for a static water supply must:

- (a) have a minimum nominal internal diameter of 50mm;
- (b) be fitted with a valve with a minimum nominal internal diameter of 50mm;
- (c) be metal or lagged by non-combustible materials if above ground;
- (d) if buried, have a minimum depth of 300mm²;
- (e) provide a DIN or NEN standard forged Storz 65mm coupling fitted with a suction washer for connection to fire fighting equipment;
- (f) ensure the coupling is accessible and available for connection at all times;
- (g) ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length);
- (h) ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and
- (i) if a remote offtake is installed, ensure the offtake is in a position that is:
 - (i) visible;
 - (ii) accessible to allow connection by fire fighting equipment;
 - (iii) at a working height of 450 – 600mm above ground level; and
 - (iv) protected from possible damage, including damage by vehicles.

The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:

- (a) comply with water tank signage requirements within Australian Standard AS 2304-2011 Water storage tanks for fire protection systems; or
- (b) comply with the Tasmania Fire Service Water Supply Guideline published by the Tasmania Fire Service.

A hardstand area for fire appliances must be:

- (a) no more than 3m from the fire fighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like);
- (b) no closer than 6m from the building area to be protected;
- (c) a minimum width of 3m constructed to the same standard as the carriageway; and
- (d) connected to the property access by a carriageway equivalent to the standard of the property access.



CLIENT:	BILLY & KATE TARRANT	13A FOREST HEIGHTS DRIVE TUGRAH 7310	M: 0407 167 231 E: admin@tasbushfire.com.au
	PRINT REDUCTION BAR A3 SHEET	BUSHFIRE HAZARD MANAGEMENT PLAN	
	10 20 30 40 50mm	DATE: 7/10/2025 SCALE: As indicated	
		DRAWN: JAKE BELL BFP 154 ACCREDITED: 1, 2, 3A	

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode^o

Qualified person details:

Qualified person:
Address: Phone No: Fax No:
Licence No: Email address:

Qualifications and Insurance details: (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Details of work:

Address: Lot No: Certificate of title No:
The assessable item related to this certificate: (description of the assessable item being certified)
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

Bushfire Hazard Report (Dated 7/10/2025)
&
Bushfire Hazard Management Plan (Dated 7/10/2025)

Relevant
calculations:

References:

AS 3959:2018 Construction of Buildings in Bushfire-prone Areas
Directors Determination – Building Hazard Areas (v1.2)

Substance of Certificate: (what it is that is being certified)

The Bushfire Attack Level is assessed for the site.
The proposed dwelling and ancillary dwelling were assessed as having a Bushfire Attack Level of 29.
Separation distances to meet BAL 29 requirements have been specified and shown on the BHMP.

Scope and/or Limitations

I certify the matters described in this certificate.

Qualified person:

Signed:

Jake Bell



Certificate No:

BFP-154

Date:

7/10/2025

BILLY & KATE TARRANT

PROPOSED RESIDENCE & ANCILLARY DWELLING

13A FOREST HEIGHT, TUGRAH

Drawing Schedule

SHEET	DESCRIPTION	REV	ISSUE DATE
A100	COVER PAGE	A	14/08/25
A101	SITE PLAN	A	14/08/25
A102	ELEVATIONS 1 OF 2	A	14/08/25
A103	ELEVATIONS 2 OF 2	A	14/08/25
A104	FLOOR PLAN	A	14/08/25
A106	ANCILLARY ELEVATIONS 1 OF 2	A	14/08/25
A107	ANCILLARY ELEVATIONS 2 OF 2	A	14/08/25
A108	ANCILLARY FLOOR PLAN	A	14/08/25
A109	WINDOW & DOOR SCHEDULE	A	14/08/25
A110	SETOUT PLAN	A	14/08/25
A111	DRAINAGE PLAN	A	14/08/25
A112	WALL FRAMING PLAN	A	14/08/25
A113	ELECTRICAL PLAN	A	14/08/25
A114	REFLECTED CEILING PLAN	A	14/08/25
A115	ROOF FRAMING PLAN	A	14/08/25
A116	ROOF PLAN	A	14/08/25
A117	SECTION A-A	A	14/08/25
A118	DETAILS	A	14/08/25
A119	WALL TYPES	A	14/08/25
A120	WATERPROOFING 1 OF 2	A	14/08/25
A121	WATERPROOFING 2 OF 2	A	14/08/25
A122	LIGHTING CALCULATOR	A	14/08/25
A123	CONSTRUCTION NOTES 1 OF 2	A	14/08/25
A124	CONSTRUCTION NOTES 2 OF 2	A	14/08/25
A125	BAL CONSTRUCTION NOTES	A	14/08/25
A126	ENGINEERING NOTES	A	14/08/25
A127	SLAB & FOOTING LAYOUT PLAN	A	14/08/25
A128	SLAB & FOOTING DETAILS	A	14/08/25
A129	WIND BRACING LAYOUT PLAN	A	14/08/25
A130	BRACING & TIEDOWN DETAILS	A	14/08/25

GENERAL INFORMATION

ACCREDITED DESIGNER:
ACCREDITATION NUMBER:
LAND TITLE REFERENCE NUMBER:
ENERGY ASSESSMENT:
COUNCIL ZONE:
COUNCIL:

NICHOLAS BRANDSEMA
047538582
PID9913224, REF 185693/39
TBA
RURAL LIVING
DEVONPORT

FLOOR AREAS

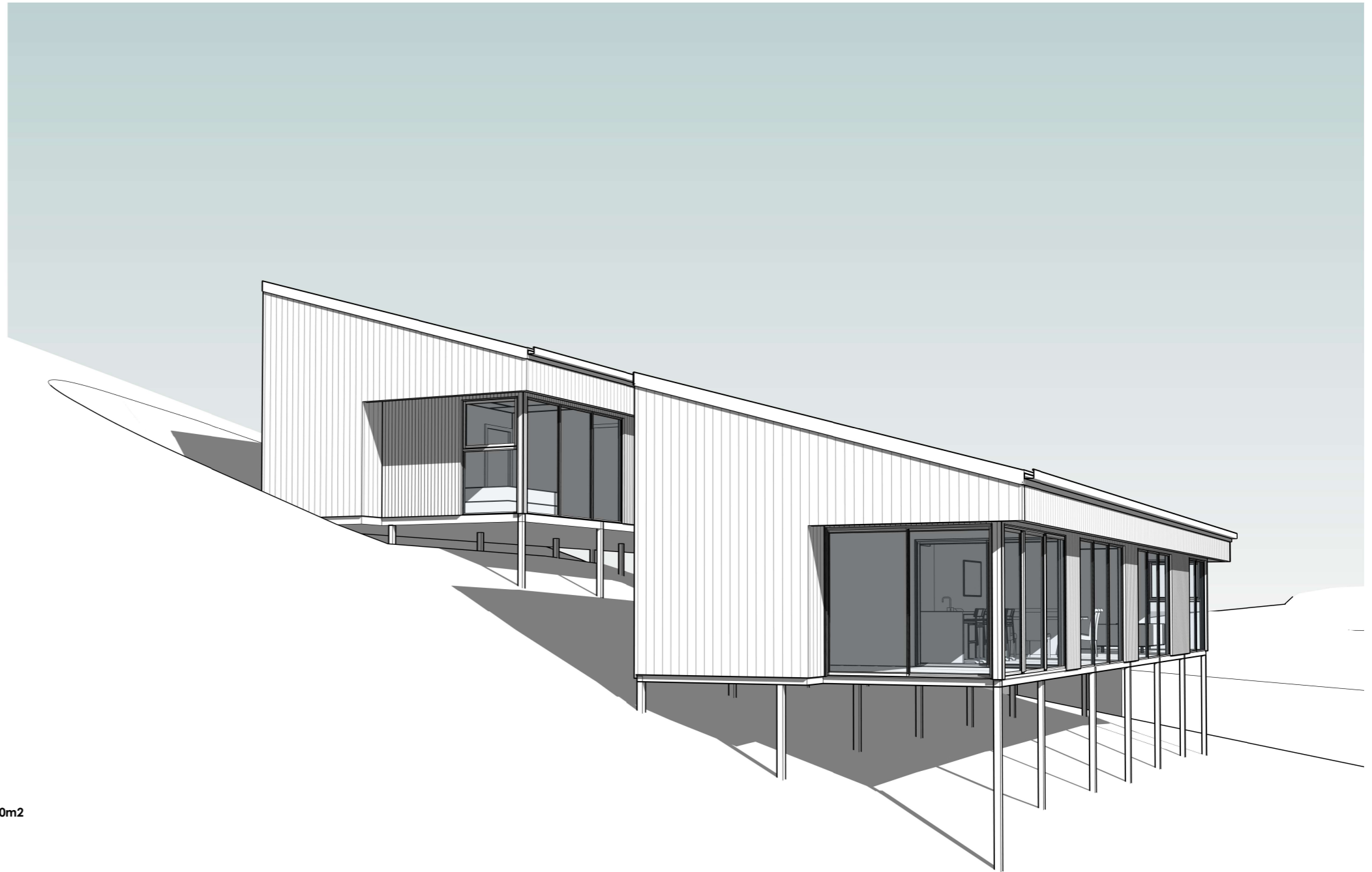
RESIDENCE FLOOR AREA:
ANCILLARY FLOOR AREA:

191m2 (20 SQUARES)
140m2 (15 SQUARES) HABITABLE AREA 60m2

SITE INFORMATION

SITE AREA:
DESIGN WIND SPEED:
SOIL CLASSIFICATION:
ALPINE AREA:
CORROSION ENVIRONMENT:
BUSHFIRE ATTACK LEVEL:
CLIMATE ZONE:

8573m2
N3
CLASS H1 (RESIDENCE) CLASS P (ANCILLARY)
N/A
N/A
TBA
7



n+b
22 Fieldings Way
Ulverstone, Tasmania
Australia
7315
m 0417 134 369 e nick@nplusb.com.au
License No. 047538582 ABN 946 222 219 16

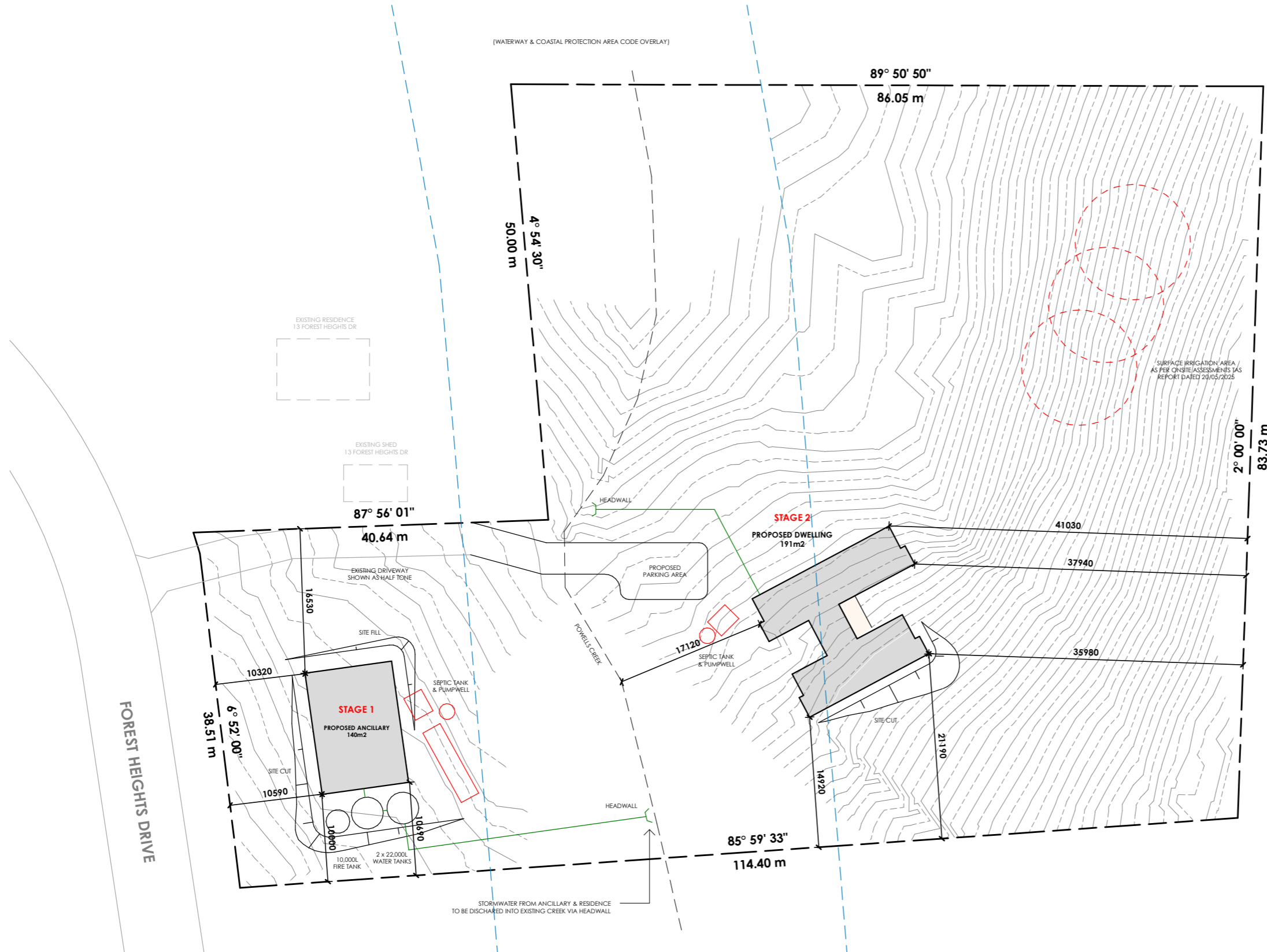
Issued As
PRELIMINARY
Scale A3
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Revision
No. Date Description
A 14/08/25 Issued as PRELIMINARY
do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant NCC & AS

Project
PROPOSED RESIDENCE & ANCILLARY
Location
13A FOREST HEIGHTS DRIVE, TUGRAH
Client
BILLY & KATE TARRANT

Sheet Title
COVER PAGE
Drawn Issue Date Project No. Revision
NJB 14/08/25 TBA A

Sheet Number
A100
/A121



SITE PLAN
PRIMARY CONTOUR LINES SHOWN AT 1000mm INTERVALS
SECONDARY CONTOURS SHOWN AT 500mm INTERVALS

ALL RL LEVELS REFER TO AHD, SITE DATUM POINT
TBA

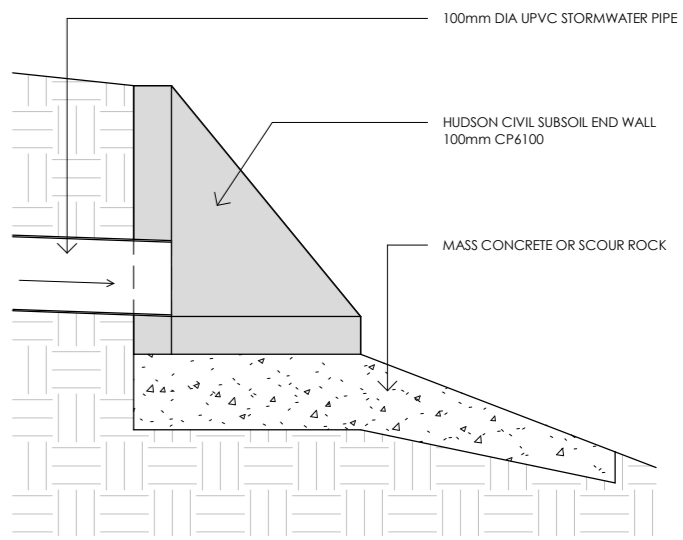
DRIVEWAY
EXPOSED AGGREGATE 120mm THICK 25MPa CONCRETE
WITH SAW CUTS AT 4000mm CRS, 24 HOURS AFTER POURING.
AGGREGATE STYLE AND FINISH TO BE CONFIRMED BY OWNER.

GENERAL NOTES:
DURING CONSTRUCTION SOIL AND WATER IS TO BE APPROPRIATELY MANAGED. THIS INCLUDES THE PROVISION OF SILT FENCING, FILTER SCREENS OR DEDICATED SILT TRAPS TO PREVENT THE DISCHARGE OF GRAVEL, SOIL OR OTHER DEBRIS TO ANY EXISTING WATER COURSE OR ADJOINING PROPERTY DURING THE COSTRUCTION PROCESS.

EXCAVATION:
ALLOW FOR BULK EXCAVATION WHERE REQUIRED AND ALL EXCAVATION, FILLING, BACK FILLING AND CONSOLIDATION REQUIRED FOR THE FOOTINGS AND SLAB. RETAIN ALL ACCESSES AND SERVICES AS INDICATED. MAKE GOOD.

SETTING OUT:
THE BUILDER SHALL ACCURATELY SET-OUT THE WORKS AND VERIFY ALL DIMENSIONS AND LEVELS BEFORE COMENCING ANY WORKS, AND SHALL MAKE GOOD AT HIS OWN EXPENSE ANY ERRORS ARISING FROM INACCURACIES OF THE SETOUT.

PROTECTION WORK
(PART 6 - PROTECTION WORK OF THE BUILDING ACT 2016)
IF EXCAVATION IS TO A LEVEL BELOW THAT OF THE ADJOINING OWNER'S FOOTINGS, ALONG THE TITLE BOUNDARY OR WITHIN 3 METRES OF A BUILDING BELONGING TO AN ADJOINING OWNER, THE BUILDER MUST (AS A MINIMUM) PROVIDE AND MAINTAIN A SUPPORT. ADJOINING OWNER TO BE NOTIFIED USING FORM 6 (NOTICE FOR PROPOSED PROTECTION WORK).



STORMWATER HEADWALL DETAIL
Scale 1 : 10

SITE PLAN
Scale 1 : 500

n+b

22 Fieldings Way
Ulverstone, Tasmania
Australia
7315

m 0417 134 369 e nick@nplusb.com.au
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PRELIMINARY

Scale A3
As
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Revision

No.	Date	Description
A	14/08/25	Issued as PRELIMINARY

do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant NCC & AS

Project
PROPOSED RESIDENCE & ANCILLARY

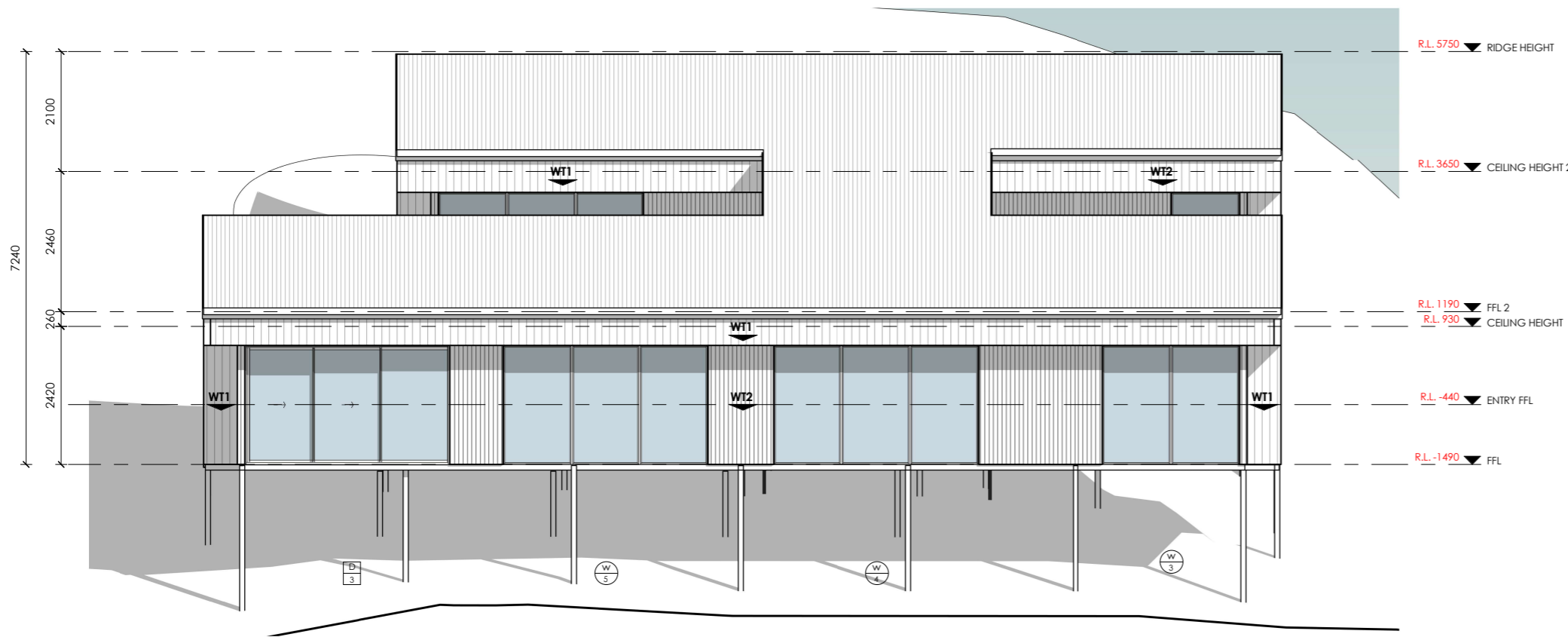
Location
13A FOREST HEIGHTS DRIVE, TUGRAH

Client
BILLY & KATE TARRANT

Sheet Title
SITE PLAN

Drawn	Issue Date	Project No.	Revision
NJB	14/08/25	TBA	A

Sheet Number
A101
/A121



WALL | FACADE MATERIALS & FINISHES

WT-1 LYSAGHT ZINCALUME CLADDING, RUN VERTICALLY
INSTALLED AS PER MANUFACTURERS SPECIFICATION

WT-2 SPOTTED GUM TIMBER CLADDING OR SIMILAR
SELECTED BY CLIENT



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

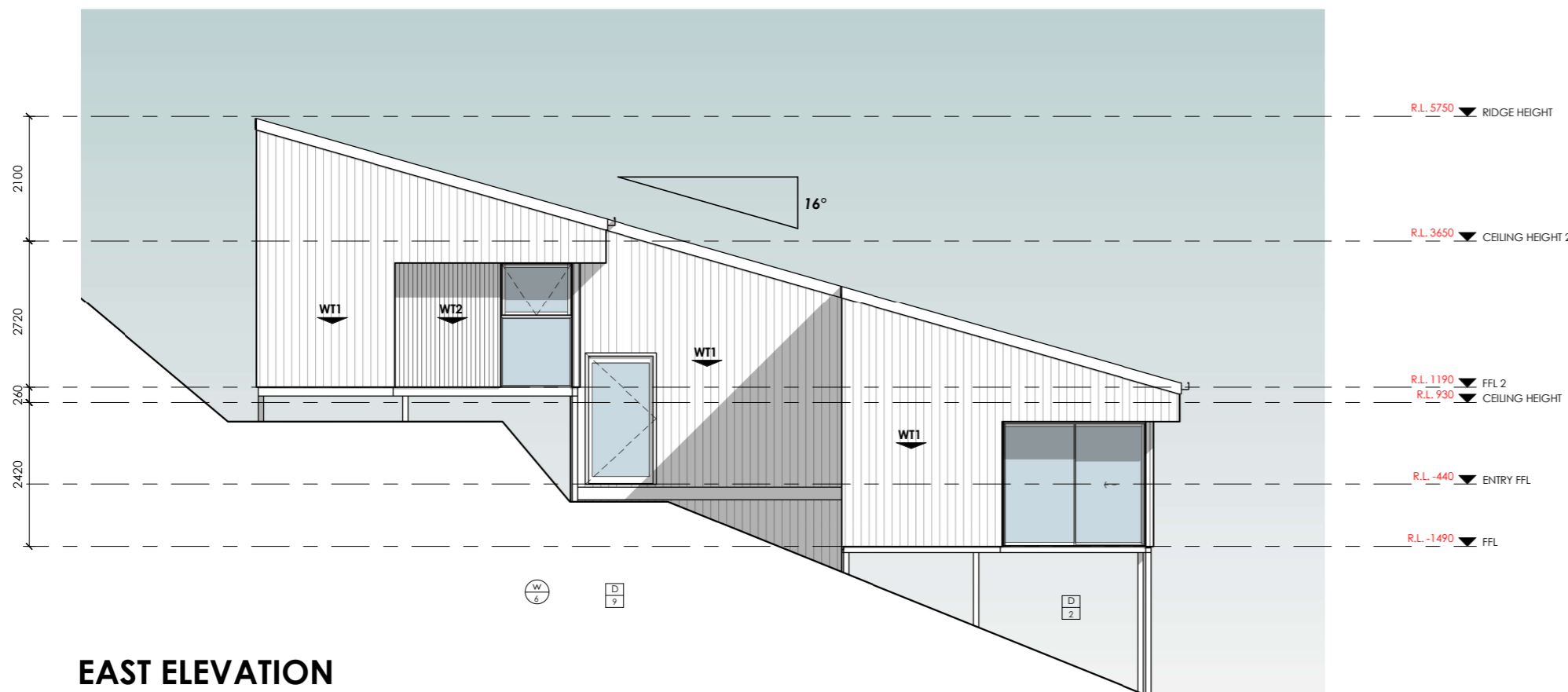
LYSAGHT ZINCALUME CLADDING ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS

NORTH ELEVATION

Scale 1 : 100



EAST ELEVATION

Scale 1 : 100

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No.	Date	Description
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do not scale off plans
all dimensions are in millimeters
confirm all dimensions on site
all work relevant NCC & AS

Project
PROPOSED RESIDENCE & ANCILLARY
Location
13A FOREST HEIGHTS DRIVE, TUGRAH
Client
BILLY & KATE TARRANT

Sheet Title
ELEVATIONS 1 OF 2

Drawn	Issue Date	Project No.	Revision
NJB	14/08/25	TBA	A

Sheet Number

A102

/A121

WALL | FACADE MATERIALS & FINISHES

WT-1 LYSAGHT ZINCALUME CLADDING, RUN VERTICALLY
INSTALLED AS PER MANUFACTURERS SPECIFICATION

WT-2 SPOTTED GUM TIMBER CLADDING OR SIMILAR
SELECTED BY CLIENT



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

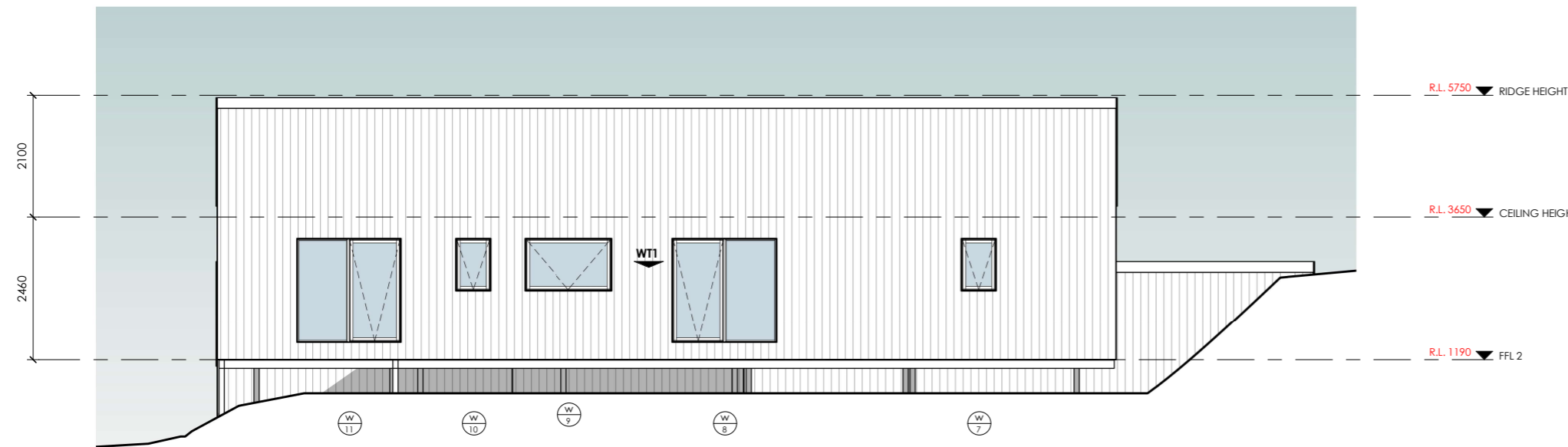
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm OF
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

LYSAGHT ZINCALUME CLADDING ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562

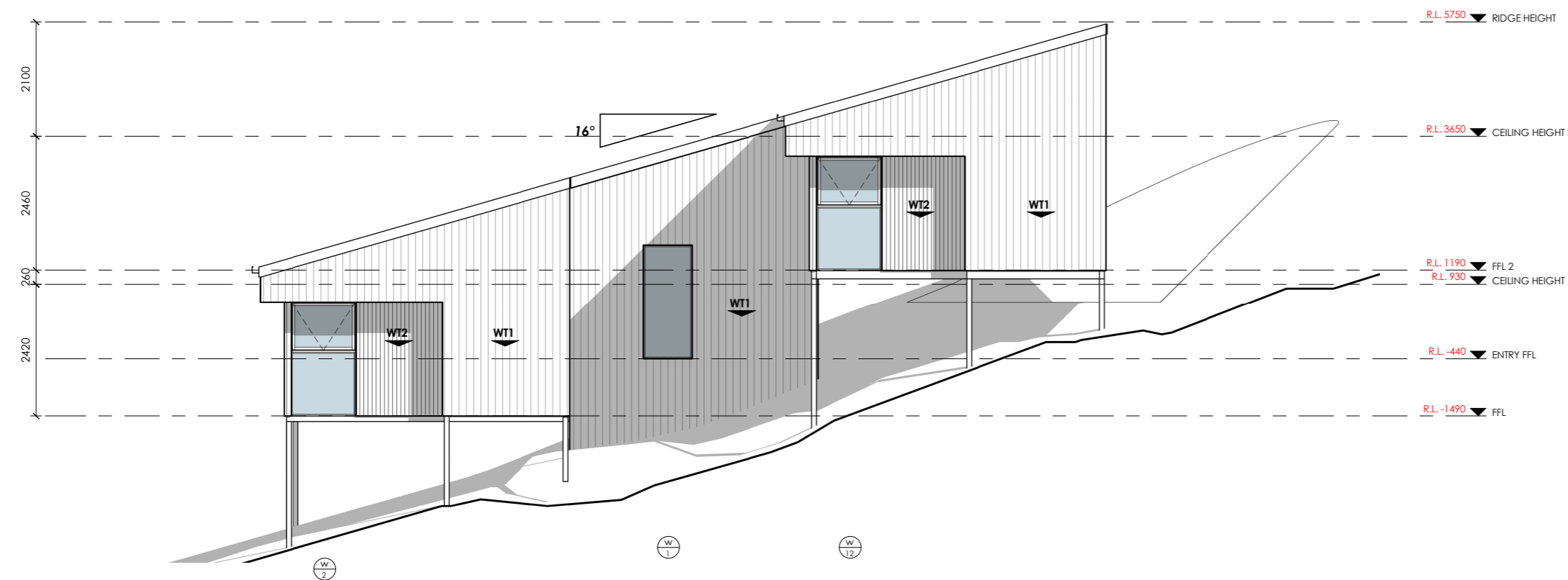
SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



SOUTH ELEVATION

Scale 1 : 100



WEST ELEVATION

Scale 1 : 100

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Project
PROPOSED RESIDENCE & ANCILLARY
Location
13A FOREST HEIGHTS DRIVE, TUGRAH
Client
BILLY & KATE TARRANT

Sheet Title
ELEVATIONS 2 OF 2

Drawn	Issue Date	Project No.	Revision
NJB	14/08/25	TBA	A

Sheet Number

A103

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FLOOR AREAS & FINISHES

FLOOR AREA - 191.4m²
DECK AREA - 21m²

VINYL
FLOOR AREA APPROX - 94m²
 5mm SELECTED VINYL PLANK FLOORING

CARPET
FLOOR AREA APPROX - 48m²
 SELECTED CARPET AND UNDERLAY

TILES
FLOOR AREA APPROX - 13m²
 SELECTED TILES, GROUT, SEALANT, TRIMS
 SEALED PRIOR WITH A WATERPROOF
 MEMBRANE SYSTEM

SKIRTING 66x18 PRE PRIMED BEVELLED
 SKIRTINGBOARD, PAINT TO FINISH.

NOTES
 ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH
 CLIENT PRIOR TO CONSTRUCTION BEGINNING.

ALL GLAZING TO COMPLY WITH WITH NCC PART 8.2 & AS1288 & AS2047
 ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & AS3740
 ALL TIMBER FRAMING TO COMPLY WITH NCC PART 6 & AS1684
 ALL WORKS TO BE IN COMPLIANCE WITH NCC PART 13 & ENERGY EFFICIENCY

FLOOR PLAN
 Scale 1 : 100

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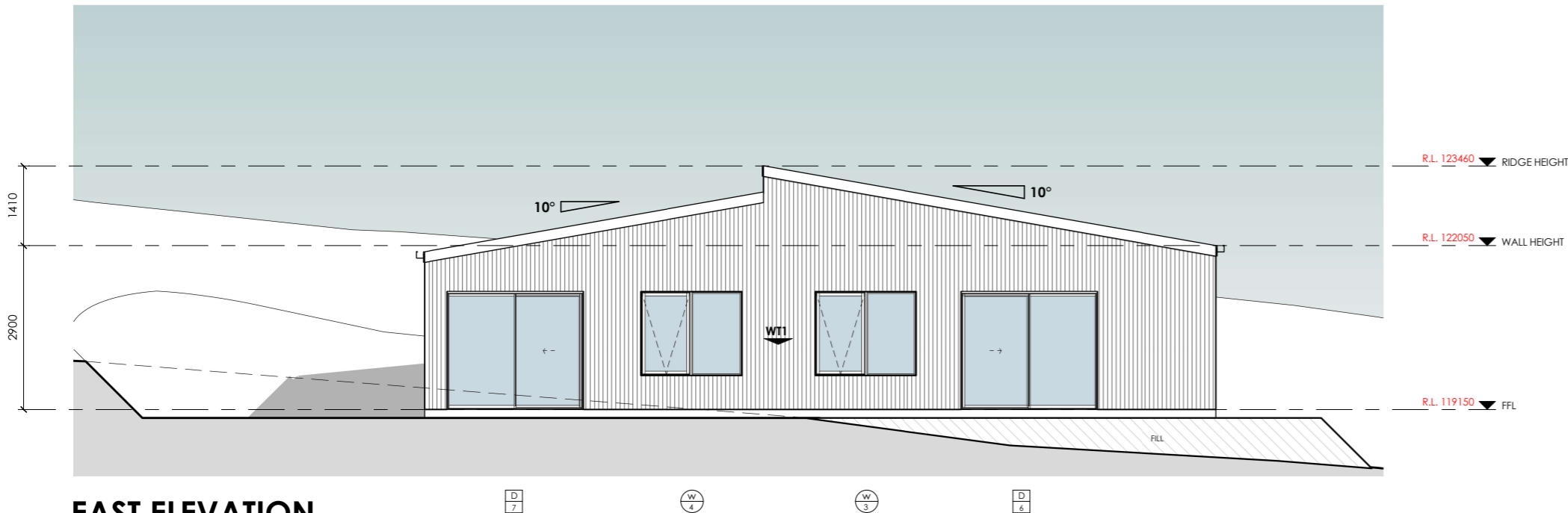
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 No. Date Description
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Project
PROPOSED RESIDENCE & ANCILLARY
Location
13A FOREST HEIGHTS DRIVE, TUGRAH
Client
BILLY & KATE TARRANT

Sheet Title
FLOOR PLAN
 Drawn Issue Date Project No. Revision
 NJB 14/08/25 TBA A

Sheet Number
A104
 /A121



EAST ELEVATION
Scale 1 : 100

WALL | FACADE MATERIALS & FINISHES

WT-1 COLORBOND CUSTOM ORB CLADDING, COLOUR BY OWNER
INSTALLED AS PER MANUFACTURERS SPECIFICATION.



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

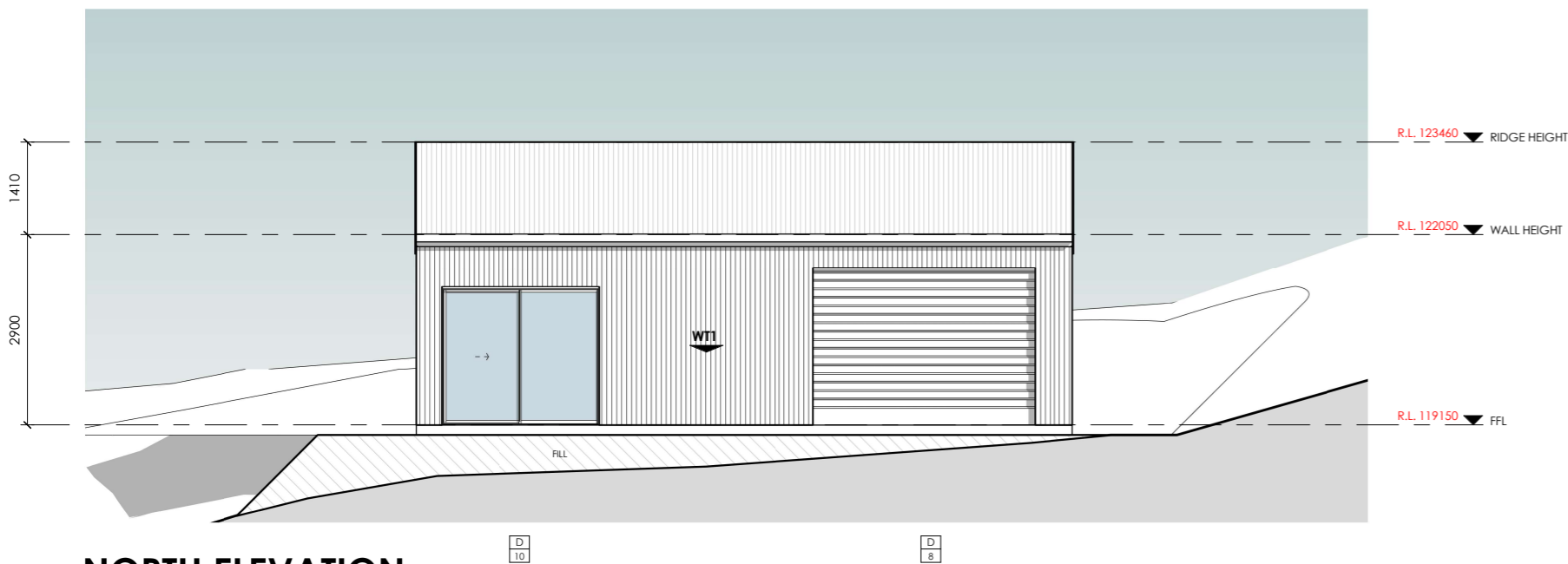
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm of
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

COLORBOND CUSTOM ORB ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562
COLOUR BY OWNER, COLOUR TO BE "MONUMENT"

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
NCC PART 8.2 POWDER COATED ALUMINIUM WINDOW &
DOOR FRAMES, UNLESS OTHERWISE NOTED. REVEALS AS SELECTED.
ALL FLASHING & FIXINGS TO MANUFACTURERS SPECIFICATIONS

GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



NORTH ELEVATION
Scale 1 : 100

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Project
PROPOSED RESIDENCE & ANCILLARY
Location
13A FOREST HEIGHTS DRIVE, TUGRAH
Client
BILLY & KATE TARRANT

Sheet Title
ANCILLARY ELEVATIONS 1 OF 2

Drawn	Issue Date	Project No.	Revision
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A106

/A121

WALL | FACADE MATERIALS & FINISHES

WT-1 COLORBOND CUSTOM ORB CLADDING, COLOUR BY OWNER
INSTALLED AS PER MANUFACTURERS SPECIFICATION.



EAVE CONSTRUCTION NCC VOLUME 2 PART 7.5.5
EAVE WIDTH OVERHANG - 600mm

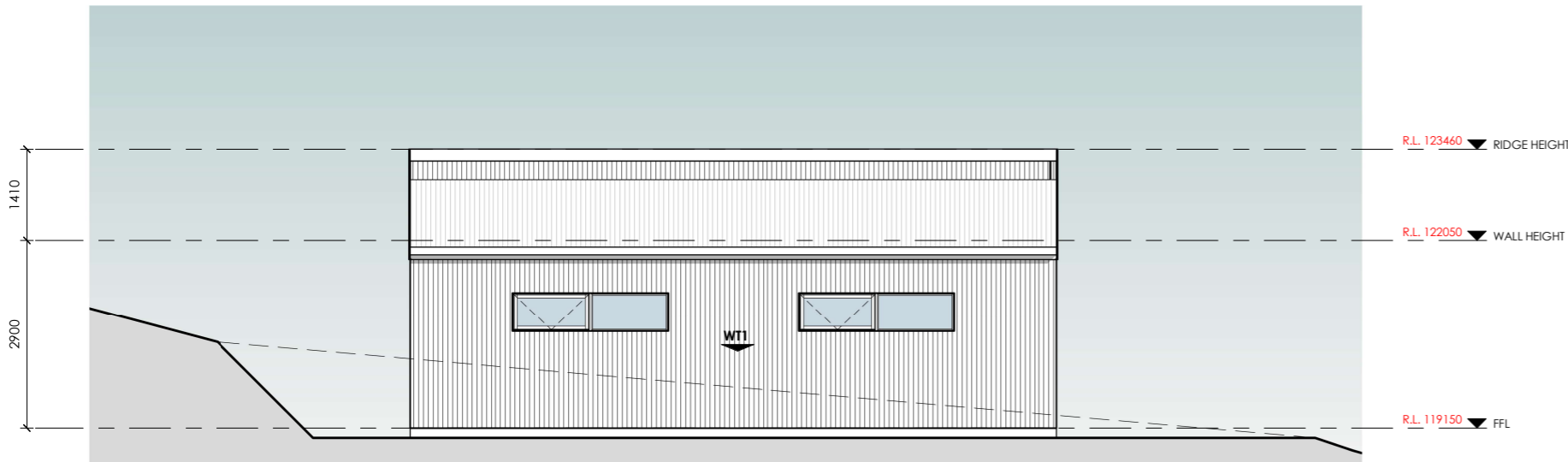
EAVES LINED WITH 'HARDIFLEX' CEMENT SHEET
TRIMMERS LOCATED WITHIN 1200mm of
EXTERNAL CORNERS TO BE SPACED @ 500mm
CENTERS. REMAINDER OF SHEET - 700mm CENTERS

FASTENER / FIXINGS WITHIN 1200mm OF
EXTERNAL CORNERS @ 200mm CENTERS,
REMAINDER OF SHEET - 300mm CENTERS

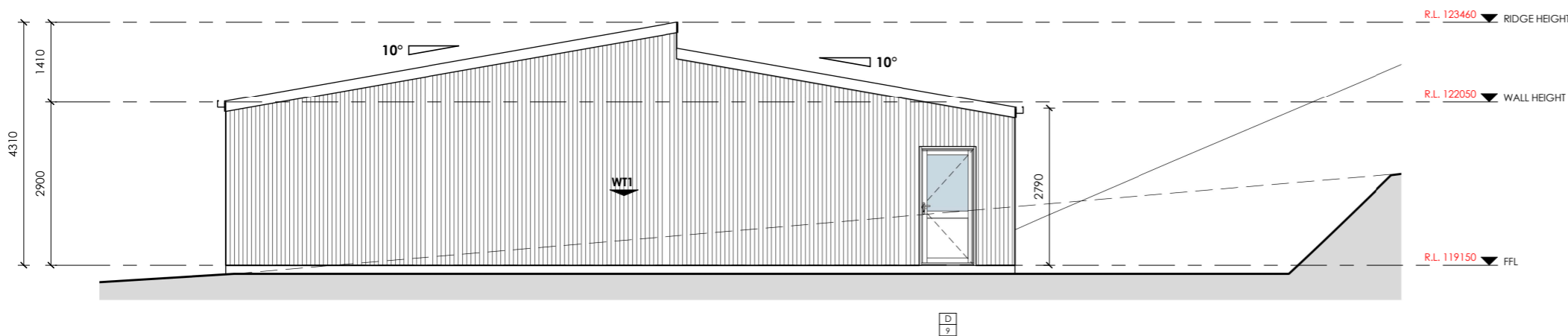
COLORBOND CUSTOM ORB ROOF CLADDING
INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & AS1562
COLOUR BY OWNER, COLOUR TO BE "MONUMENT"

SELECTED ALUMINIUM FRAMED WINDOWS & DOORS
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GLAZING & FRAME CONSTRUCTION TO AS2047 & AS1288
ALL FIXINGS & FLASHINGS TO MANUFACTURERS REQUIREMENTS



SOUTH ELEVATION
Scale 1 : 100



WEST ELEVATION
Scale 1 : 100

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Project
PROPOSED RESIDENCE & ANCILLARY
Location
13A FOREST HEIGHTS DRIVE, TUGRAH
Client
BILLY & KATE TARRANT

Sheet Title
ANCILLARY ELEVATIONS 2 OF 2

Drawn	Issue Date	Project No.	Revision
NJB	14/08/25	TBA	A

Sheet Number

A107

/A121



FLOOR AREAS & FINISHES

TOTAL AREA - 140m²
HABITABLE AREA - 60m²

VINYL
FLOOR AREA APPROX - 29m²
 5mm SELECTED VINYL PLANK FLOORING

CARPET
FLOOR AREA APPROX - 18m²
 SELECTED CARPET AND UNDERLAY

TILES
FLOOR AREA APPROX - 6m²
 SELECTED TILES, GROUT, SEALANT, TRIMS
 SEALED PRIOR WITH A WATERPROOF
 MEMBRANE SYSTEM

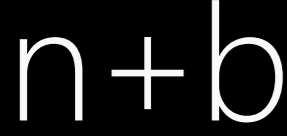
CONCRETE
FLOOR AREA APPROX - 77m²
 NO SURFACE FINISH REQUIRED.

SKIRTING 66x18 PRE PRIMED BEVELLED
 SKIRTINGBOARD, PAINT TO FINISH.

NOTES
 ALL WINDOW DIMENSIONS TO BE CONFIRMED WITH
 CLIENT PRIOR TO CONSTRUCTION BEGINNING.

ALL GLAZING TO COMPLY WITH WITH NCC PART 8.2 & AS1288 & AS2047
 ALL WET AREAS TO COMPLY WITH NCC PART 10.2 & AS3740
 ALL TIMBER FRAMING TO COMPLY WITH NCC PART 6 & AS1684
 ALL WORKS TO BE IN COMPLIANCE WITH NCC PART 13 & ENERGY EFFICIENCY

FLOOR PLAN
 Scale 1 : 100

 <p>22 Fieldings Way Ulverstone, Tasmania Australia 7315</p> <p>m 0417 134 369 e nick@nplusb.com.au License No. 047538582 ABN 946 222 219 16</p>	<p>Issued As PRELIMINARY</p> <p>Scale A3 1 : 100</p>	<p>Revision</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>14/08/25</td> <td>Issued as PRELIMINARY</td> </tr> </tbody> </table> <p>do not scale off plans all dimensions are in millimeters confirm all dimensions on site all work relevant NCC & AS</p>	No.	Date	Description	A	14/08/25	Issued as PRELIMINARY	<p>Project PROPOSED RESIDENCE & ANCILLARY</p> <p>Location 13A FOREST HEIGHTS DRIVE, TUGRAH</p> <p>Client BILLY & KATE TARRANT</p>	<p>Sheet Title ANCILLARY FLOOR PLAN</p> <table border="1"> <thead> <tr> <th>Drawn</th> <th>Issue Date</th> <th>Project No.</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>NJB</td> <td>14/08/25</td> <td>TBA</td> <td>A</td> </tr> </tbody> </table>	Drawn	Issue Date	Project No.	Revision	NJB	14/08/25	TBA	A	<p>Sheet Number A108 /A121</p>
	No.	Date	Description																
A	14/08/25	Issued as PRELIMINARY																	
Drawn	Issue Date	Project No.	Revision																
NJB	14/08/25	TBA	A																