



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2025/055284**

**PROPOSAL:** Single Dwelling including Outbuilding

**LOCATION:** 13 Toronto Drive, Seven Mile Beach

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 01 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 01 December 2025. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 01 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.



Clarence... a brighter place

# Clarence City Council

## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

New Dwelling & Shed

Location:

Address 13 Toronto Drive

Suburb/Town Seven Mile Beach Postcode 7170

Current Owners/s:

Applicant:

**Personal Information Removed**

Tax Invoice for application fees to be in the name of: (if different from applicant)

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

N/A

Current Use of Site:

Empty Lot

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's  
Signature:

**Personal Information Removed**

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST  
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST  
BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.  
*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

*Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.*

### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- Site analysis plan and site plan**, including where relevant:
  - *Existing and proposed use(s) on site.*
  - *Boundaries and dimensions of the site.*
  - *Topography, including contours showing AHD levels and major site features.*
  - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
  - *Soil type.*
  - *Vegetation types and distribution, and trees and vegetation to be removed.*
  - *Location and capacity of any existing services or easements on/to the site.*
  - *Existing pedestrian and vehicle access to the site.*
  - *Location of existing and proposed buildings on the site.*
  - *Location of existing adjoining properties, adjacent buildings and their uses.*
  - *Any natural hazards that may affect use or development on the site.*
  - *Proposed roads, driveways, car parking areas and footpaths within the site.*
  - *Any proposed open space, communal space, or facilities on the site.*
  - *Main utility service connection points and easements.*
  - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*

SEARCH OF TORRENS TITLE

VOLUME 188834	FOLIO 46
EDITION 1	DATE OF ISSUE 09-Jul-2025

SEARCH DATE : 02-Sep-2025

SEARCH TIME : 11.07 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 46 on Sealed Plan [188834](#)

Derivation : Part of 97 Acres Gtd. to William Garlick

Prior CT [188364/250](#)

SCHEDULE 1

TORONTO PASTORAL COY. PTY. LTD.

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

[SP188834](#) COVENANTS in Schedule of Easements

[SP188834](#) FENCING PROVISION in Schedule of Easements

[SP188834](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP188834](#) SEPTIC TANK NOTIFICATION

[SP172346](#), [SP181390](#) & [SP182879](#) FENCING PROVISION in Schedule of Easements

[SP172346](#), [SP181390](#) & [SP182879](#) SEWERAGE AND/OR DRAINAGE RESTRICTION

[SP172346](#), [SP181390](#) & [SP182879](#) SEPTIC TANK NOTIFICATION

[C403611](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 03-Sep-2002 at noon

[E38838](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 21-Apr-2016 at noon


[E61128](#) AGREEMENT pursuant to Section 71 of the Land Use Planning and Approvals Act 1993 Registered 29-Sep-2016 at noon

[E236437](#) AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 12-Nov-2020 at noon

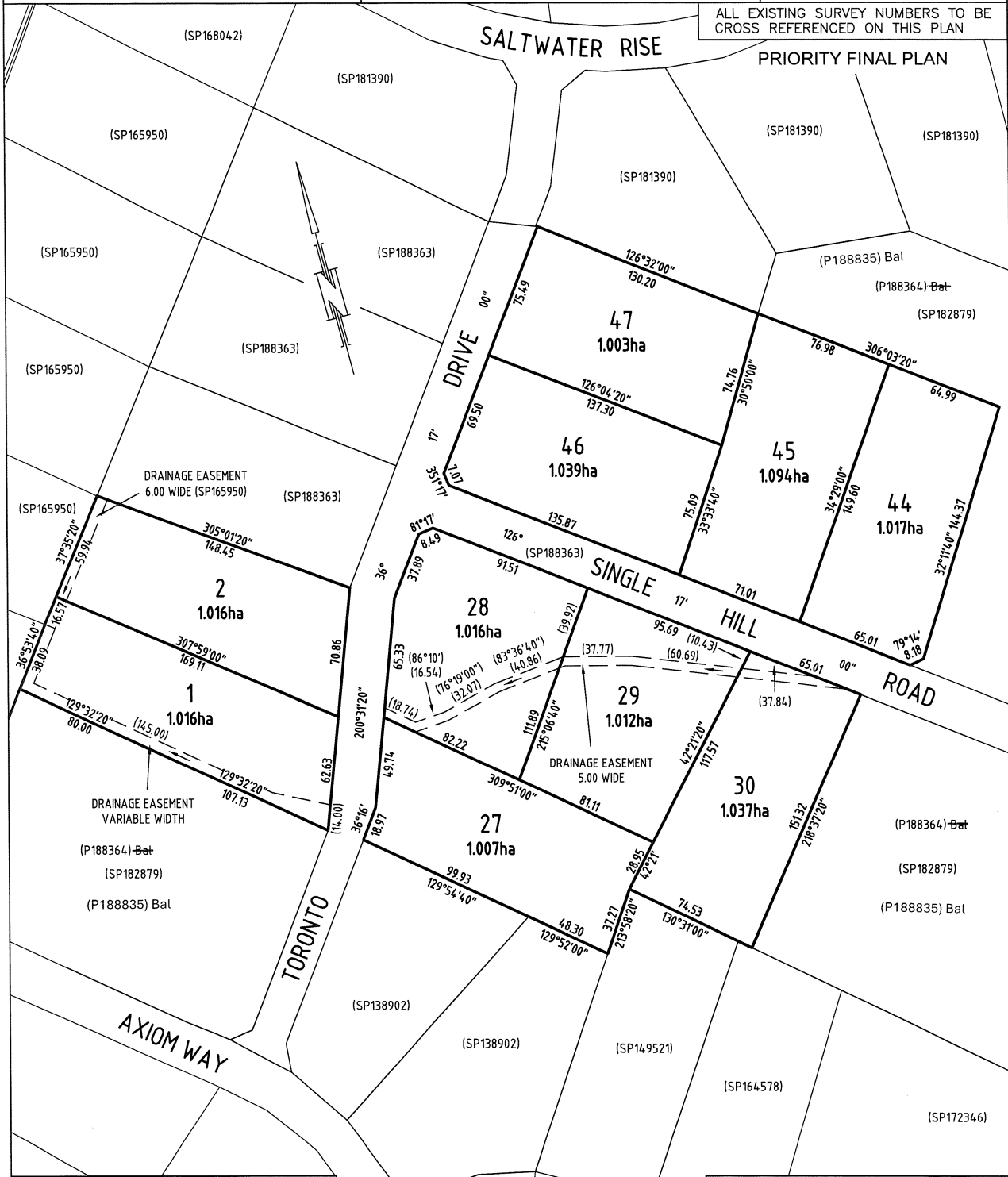
[E247637](#) AGREEMENT pursuant to Section 78 of the Land Use Planning and Approvals Act 1993 Registered 16-Mar-2021 at noon

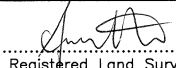
UNREGISTERED DEALINGS AND NOTATIONS

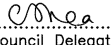
N282618 PRIORITY NOTICE reserving priority for 90 days  
TRANSFER PASTORAL COY.PTY.LTD TO LIAM MARK JOHNSTON  
AND MOLLY KATHLEEN JOHNSTON  
MORTGAGE LIAM MARK JOHNSTON AND MOLLY KATHLEEN  
JOHNSTON TO COMMONWEALTH BANK OF AUSTRALIA Lodged by  
G WOODHOUSE CONVEYAN on 18-Aug-2025 BP: N282618

OWNER TORONTO PASTORAL COY. PTY. LTD.  FOLIO REFERENCE C.T.188364/250  GRANTEE PART OF 97 ACRES GRANTED TO WILLIAM GARLICK, PART OF 1000 ACRES LOCATED TO JOHN JEWELL	<b>PLAN OF SURVEY</b>  BY SURVEYOR SAMUEL FRANKLIN HARVEY <b>ROGERSON AND BIRCH SURVEYORS</b> UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0402-476-360  <b>CITY OF CLARENCE</b>  SCALE 1: 2,000      LENGTHS IN METRES	REGISTERED NUMBER <h1 style="margin: 0;">SP188834</h1>  APPROVED EFFECTIVE FROM 09 JUL 2025   Recorder of Titles
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



  
 Registered Land Surveyor      09/05/2025  
 Date

  
 Council Delegate      27.06.2025  
 Date

<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 188834

PAGE 1 OF 2 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**Drainage easement**

Lot 1 on the plan is SUBJECT TO a right of drainage over that part of Lot 1 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (~~subject to conditions more fully set forth in Sealed Plan 165950 (if any)~~)

Lot 2 on the plan is SUBJECT TO a right of drainage over that part of Lot 2 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (~~subject to conditions more fully set forth in Sealed Plan 165950 (if any)~~)

**Drainage easement in gross**

Lot 1 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 1 shown on the plan as "DRAINAGE EASEMENT VARIABLE WIDTH" in favour of the Council

Lot 28 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 28 shown on the plan as "DRAINAGE EASEMENT 5.00 WIDE" in favour of the Council

Lot 29 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 29 shown on the plan as "DRAINAGE EASEMENT 5.00 WIDE" in favour of the Council

Lot 30 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 30 shown on the plan as "DRAINAGE EASEMENT 5.00 WIDE" in favour of the Council



3471-5014-8147, v. 4 (USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Toronto Pastoral Coy Pty Ltd	PLAN SEALED BY: Clarence City Council
FOLIO REF: CT 188364/250	DATE: 27 <sup>th</sup> June 2025
SOLICITOR & REFERENCE: Dobson Mitchell Allport James Ramsay	REF NO. SD-2003/18
	C. Shea Council Delegate Clare Shea
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 2 PAGES	Registered Number <b>SP 188834</b>
SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 188364/250	

**Restrictive covenants**

The owners of each Lot on the plan each covenant with the Vendor, the Council (~~in respect of restrictive covenants 12 to 16~~) and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantor's lot, and every part of it, and that the benefit of it may be annexed to and devolve with each and every part of every other lot shown on the plan, to observe the following stipulations:

1. NOT TO, without the consent of Council, erect or permit to be erected or permit to remain on a Lot any advertising signs of any type whatsoever PROVIDED THAT a sign indicating that a Lot is for sale will be permitted for a limited period;
2. NOT TO use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on a Lot; and
3. NOT TO store or allow to remain on a Lot any construction plant and equipment, transport equipment or salvage or building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on a Lot.

**Fencing provision**

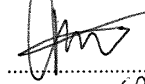
In respect of each lot shown on the plan the Vendor will not be required to fence

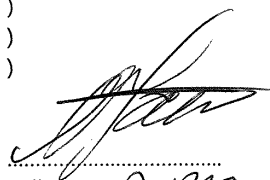
**Definitions**

**Council** means the Clarence City Council or its legal successors from time to time

**Vendor** means Toronto Pastoral Coy Pty Ltd ACN 009 480 086 or its legal successors from time to time

Executed by Toronto Pastoral Coy Pty Ltd in accordance with section 127(1) of the Corporations Act 2001 ) ) )

  
 Full name: CRAIL BRADLET ROGERSON  
 Position held: DIRECTOR

  
 Full name: ANDREW JOHN FARRELL  
 Position held: Director

3471-5014-8147, v. 4  
**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

8

P I N N Δ C L E

# PINNACLE

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	Window types updated	29.09.2025	JD
Ch - 02	DA-03: Relocate dwelling and shed. Revise levels. Change from concrete to timber floor. Add notes regarding stormwater	05/11/2025	MM



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.












## 13 Toronto Drive, Acton Park 7170

Owner(s) or Clients	Liam & Molly Johnston	Title Reference	188834/46
Building Classification	1a	Zoning	Rural Living 'B'
Designer	Jason Nickerson CC6073Y	Land Size	10380m <sup>2</sup>
Total Floor Area (Combined)	319.57m <sup>2</sup> Deck 86.94m <sup>2</sup>	Design Wind Speed	N2
Alpine Area	N/A	Soil Classification	M
Other Hazards	Bushfire-prone Areas Code, Safeguarding of Airports Code	Climate Zone	7
		Corrosion Environment	Medium
		Bushfire Attack Level (BAL)	TBA

(e.g. High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)

ID	Sheet Name	Issue
A.01	Location Plan	DA - 03
A.02	Site Plan	DA - 03
A.03	Floor Plan	DA - 03
A.04	Elevations	DA - 03
A.05	Elevations	DA - 03
A.06	Shed Plans	DA - 03
A.07	Roof Plan	DA - 03
A.08	Electrical Plan	DA - 03
A.09	Electrical Plan	DA - 03
A.10	Door & Window Schedule	DA - 03

**Legend**

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

**Surface Water Drainage**

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
- (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

**Subsoil Drainage**

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

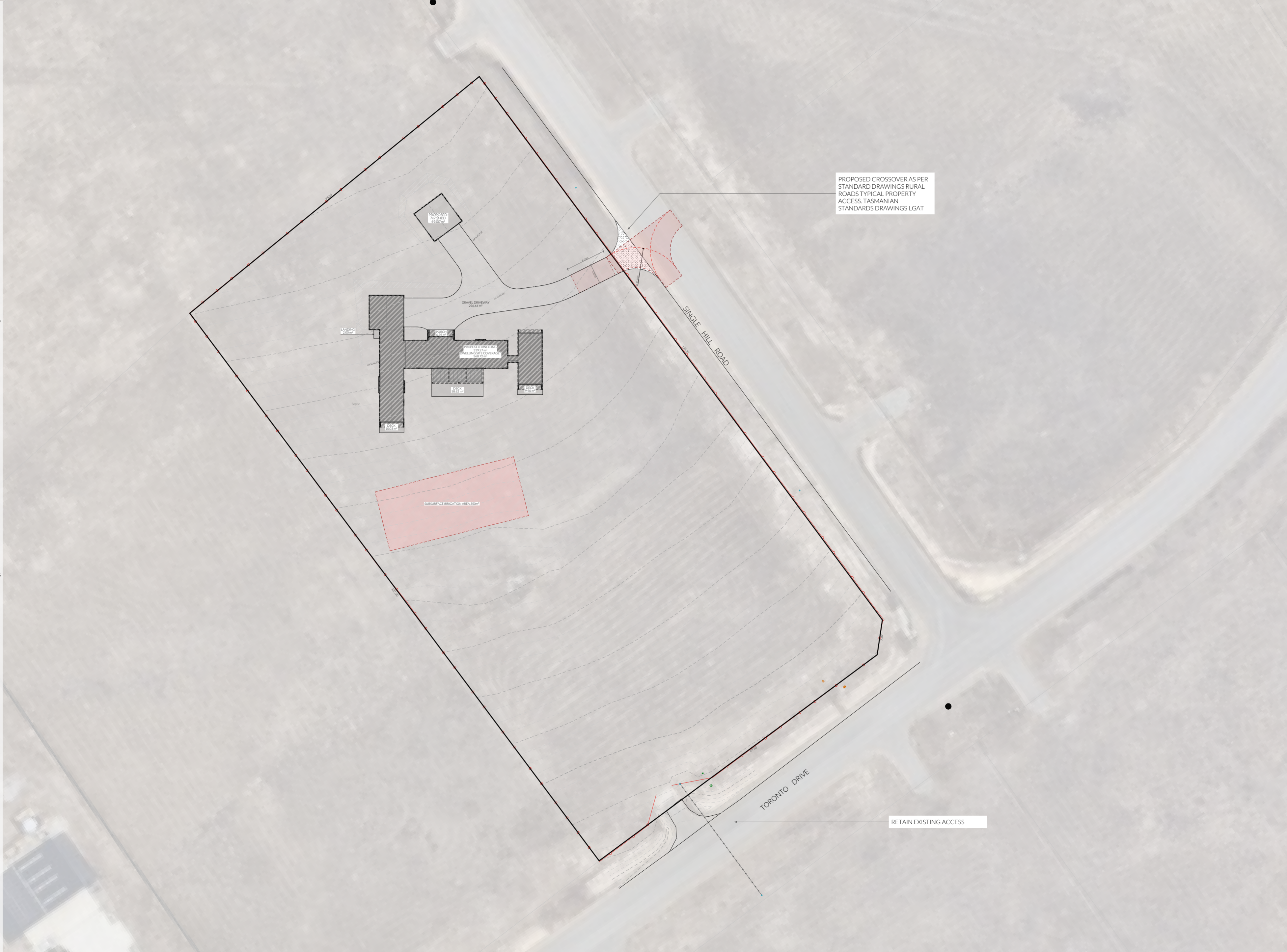
**Note**

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

**Important Note**

Refer to report completed by GES dated September 2025 for details on Wastewater Design.



**Legend**

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
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**Note**

All driveway pits and grate drains to be **Class B**.

Stormwater pits are indicative. Location may vary depending on site conditions.

**Important Note**

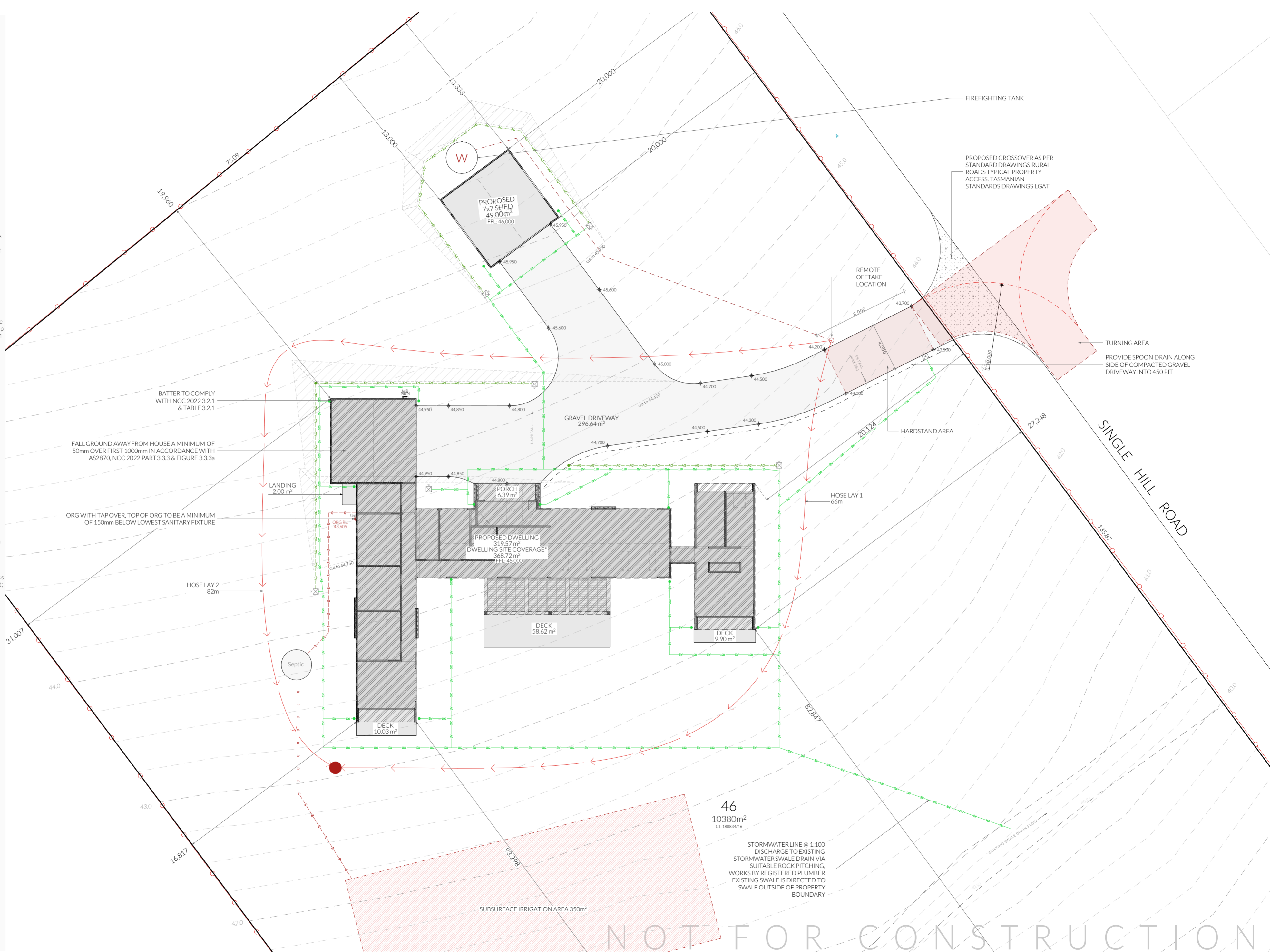
Refer to report completed by GES dated September 2025 for details on Wastewater Design.

**\*SITE COVERAGE NOTE:**

means the proportion of a site, excluding any access strip, covered by roofed buildings.

**Site Areas**

Site Area	10380 m <sup>2</sup>
Building Footprint	368.63 m <sup>2</sup>
Total Site Coverage	3.55%



NOT FOR CONSTRUCTION



PINNACLE DRAFTING & DESIGN  
 7/3 Abernant Way, Cambridge 7170  
 03 6248 4218  
 admin@pinnacle drafting.com.au  
 www.pinnacle drafting.com.au  
 Licence: CC6073Y

**Site Plan**

Revision: DA - 03  
 Approved by: JD

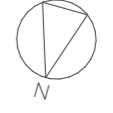
Scale: 1:200 @ A2  
 Pg. No: A.02

Proposal: New Dwelling & Shed  
 Client: Liam & Molly Johnston  
 Address: 13 Toronto Drive, Acton Park 7170

Date: 21/07/2025  
 Drawn by: JD  
 Job No: Pinn 051-2025  
 Engineer: TBA  
 Building Surveyor: TBA

Issue	Date	Designer
CH - 02	05/11/2025	MM

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**ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING & DESIGN PTY LTD AS SOON AS PRACTICABLE.** This document must be printed in colour. Pinnacle Drafting & Design Pty Ltd. is not responsible for any errors, omissions, or omissions caused by contractors and builders not following colour printed plans.



- Access Panel
- Articulation Joint
- Smoke Alarm

**Construction of sanitary compartments 10.4.2 of NCC 2022**  
 The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

**Note: Safe Movement & Egress**  
 Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

**Note: Paved Areas**  
 All paths and patios to fall away from dwelling.

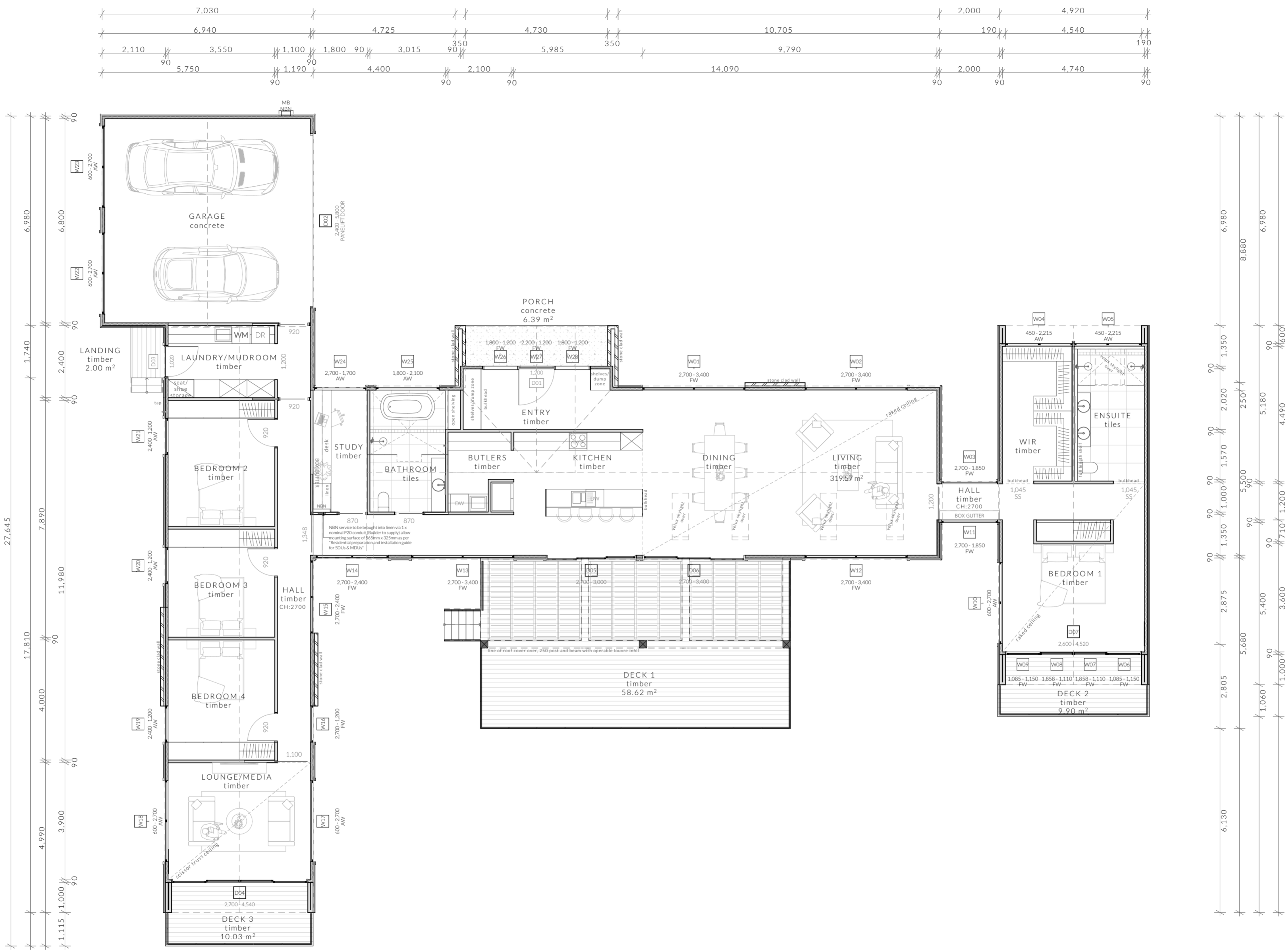
**Note: Stair Construction**  
 All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:  
 Riser: Min 115mm - Max 190mm  
 Going: Min 240mm - Max 355mm  
 Slope (2R+G): Max 550 - Min 700  
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.  
 Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

**Heights of rooms & other spaces 10.3.1 of NCC 2022**

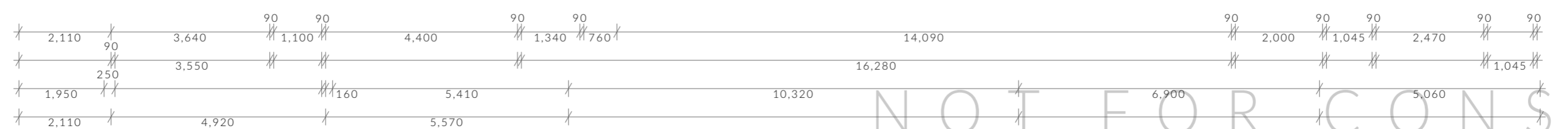
Heights of rooms and other spaces must not be less than:  
 (a) in a habitable room excluding a kitchen - 2.4 m; and  
 (b) in a kitchen - 2.1 m; and  
 (c) in a corridor, passageway or the like - 2.1 m; and  
 (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and  
 (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items  
 (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.



**Floor Areas**

Total Floor Area	319.57m <sup>2</sup>
Total Deck Area	86.94m <sup>2</sup>



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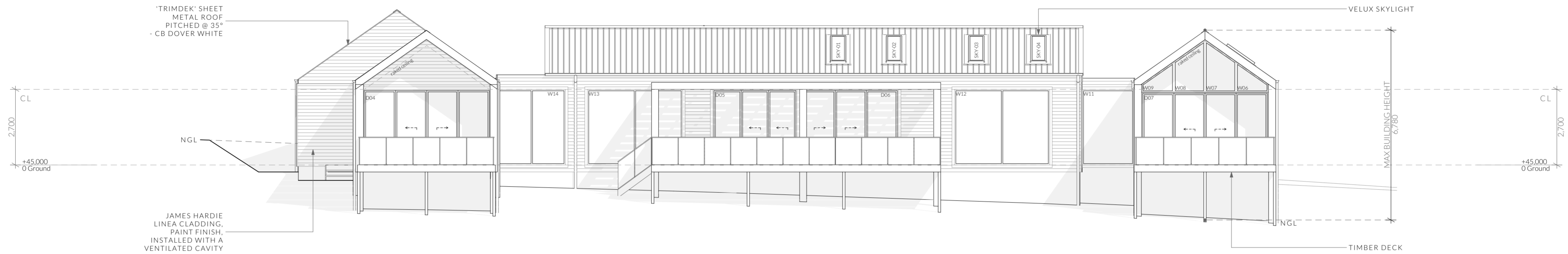
**Floor Plan**  
 Revision: DA -03  
 Approved by: JD

Scale: 1:100 @ A2  
 Pg. No: A.03  
 Proposal: New Dwelling & Shed  
 Client: Liam & Molly Johnston  
 Address: 13 Toronto Drive, Acton Park 7170

Date: 21/07/2025  
 Drawn by: JD  
 Job No: Pinn 051-2025  
 Engineer: TBA  
 Building Surveyor: TBA

Issue	Date	Designer
CH-02	05/11/2025	MM

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North Elevation

1:100



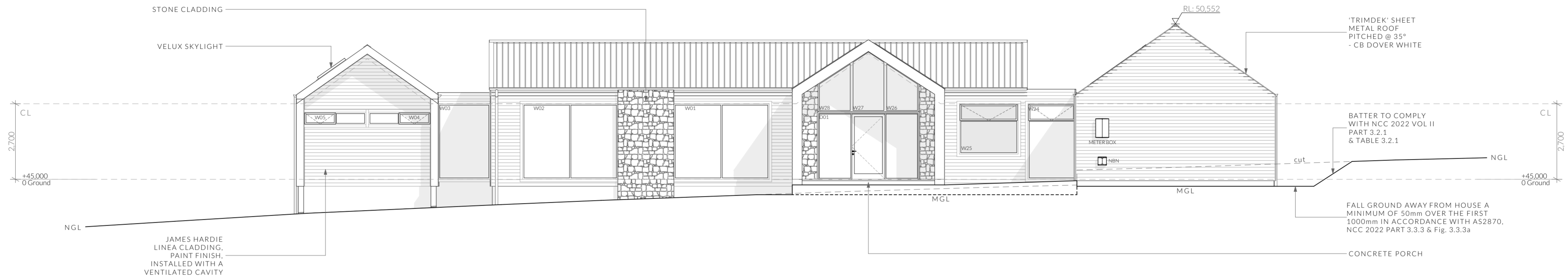
East Elevation

1:100

**NOTE**  
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:  
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.  
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.  
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.  
As per NCC parts 11.3.7 and 11.3.8,  
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.  
All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2  
Riser: Min 115mm - Max 190mm    Going: Min 240mm - Max 355mm    Slope (2R+G): Max 550 - Min 700

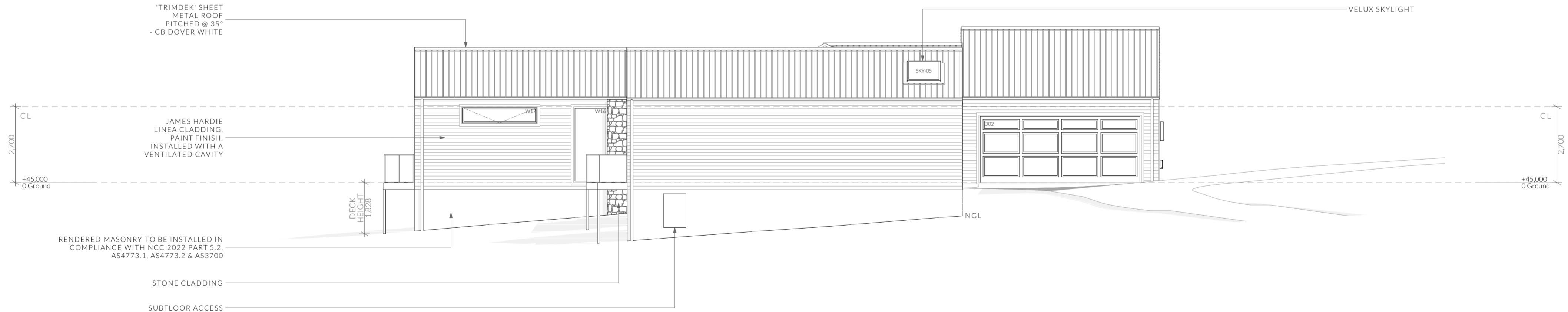
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	<b>PINNACLE DRAFTING &amp; DESIGN</b> 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacle drafting.com.au www.pinnacle drafting.com.au Licence: CC6073Y	<b>Elevations</b>  Revision: DA - 03 Approved by: JD	Scale: <b>1:100</b> @ A2  Pg. No: <b>A.04</b>	Proposal: New Dwelling & Shed Client: Liam & Molly Johnston Address: 13 Toronto Drive, Acton Park 7170	Date: 21/07/2025 Drawn by: JD Job No: Pinn 051-2025 Engineer: TBA Building Surveyor: TBA	<b>Issue</b> CH - 02	<b>Date</b> 05/11/2025	<b>Designer</b> MM	<small>These drawings are the property of Pinnacle Drafting &amp; Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likelihood of Compliance and/or permit documentation. DO NOT SCALE FROM DIMENSIONS. All Contractors are to verify dimensions on site before commencing any orders, works or requirements including shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD. AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting &amp; Design Pty Ltd. is not responsible for any errors, omissions, or omissions caused by contractors and builders not following colour printed plans.</small>	
						<small>NOTE: Refer to cover page for further details on changes.</small>				



South Elevation

1:100



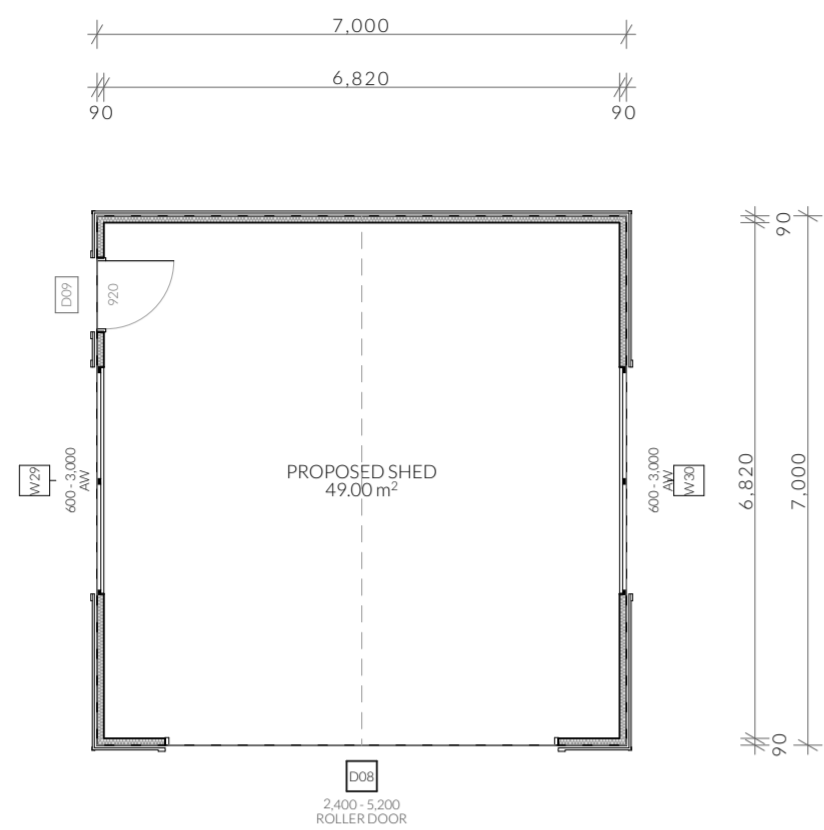
West Elevation

1:100

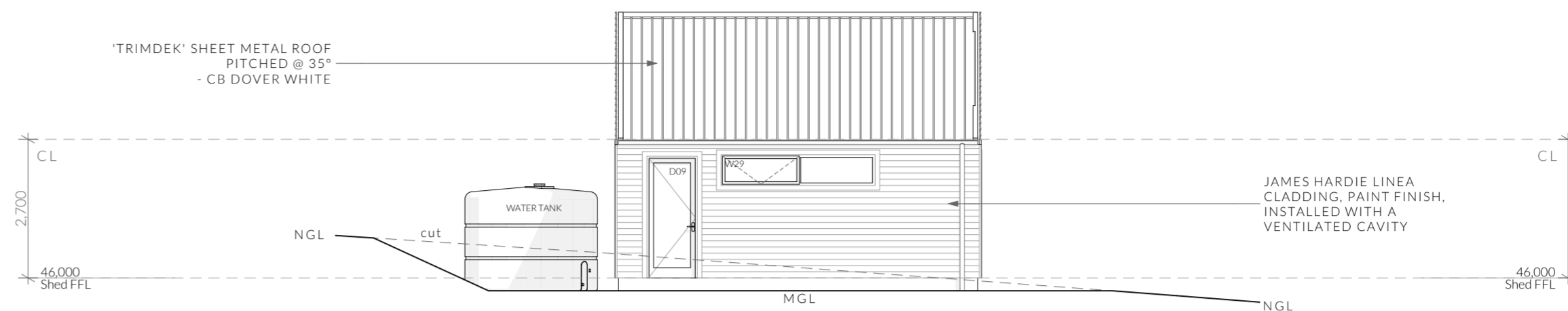
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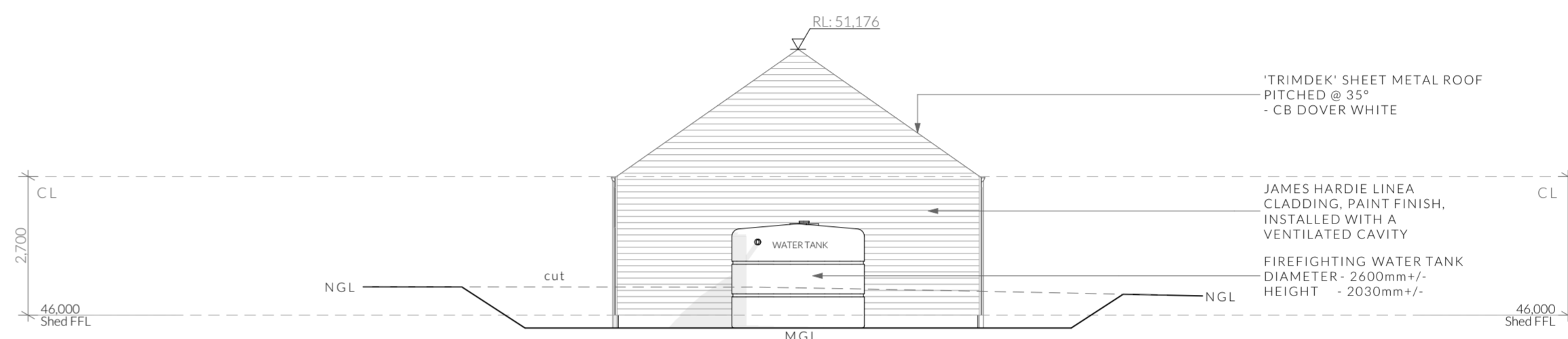
	<b>PINNACLE DRAFTING &amp; DESIGN</b> 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacle drafting.com.au www.pinnacle drafting.com.au Licence: CC6073Y	<b>Elevations</b>  Revision: DA - 03 Approved by: JD	Scale: <b>1:100</b> @ A2  Pg. No: <b>A.05</b>	Proposal: New Dwelling & Shed Client: Liam & Molly Johnston Address: 13 Toronto Drive, Acton Park 7170	Date: 21/07/2025 Drawn by: JD Job No: Pinn 051-2025 Engineer: TBA Building Surveyor: TBA	<b>Issue</b> CH - 02	<b>Date</b> 05/11/2025	<b>Designer</b> MM	These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Licensure and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any work or requesting building stop if any. <b>ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE.</b> This document must be printed in colour. Pinnacle Drafting & Design Pty Ltd is not responsible for any errors, omissions, or omissions caused by contractors and builders not following colour printed plans.	
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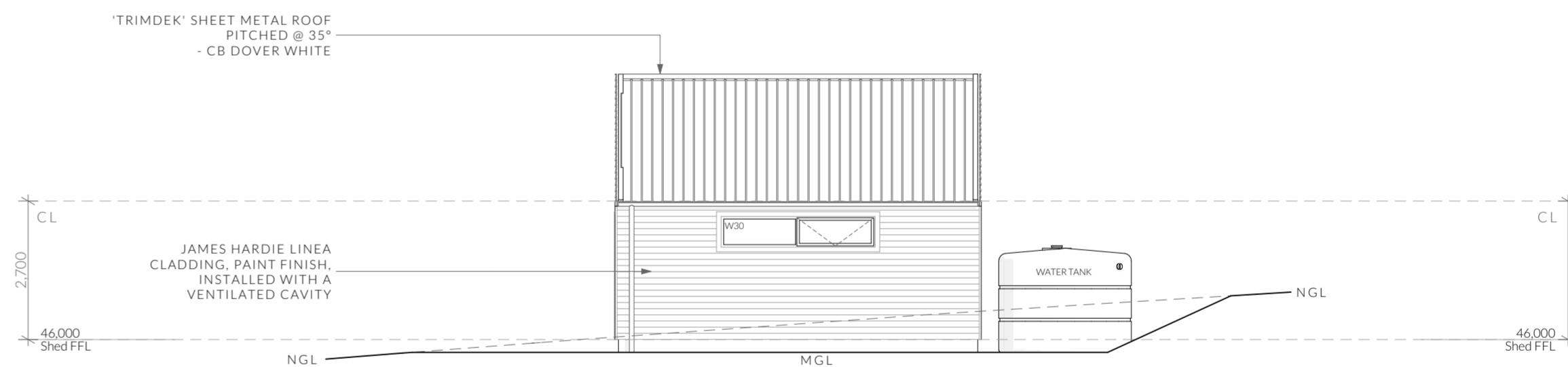
Shed Floor Plan



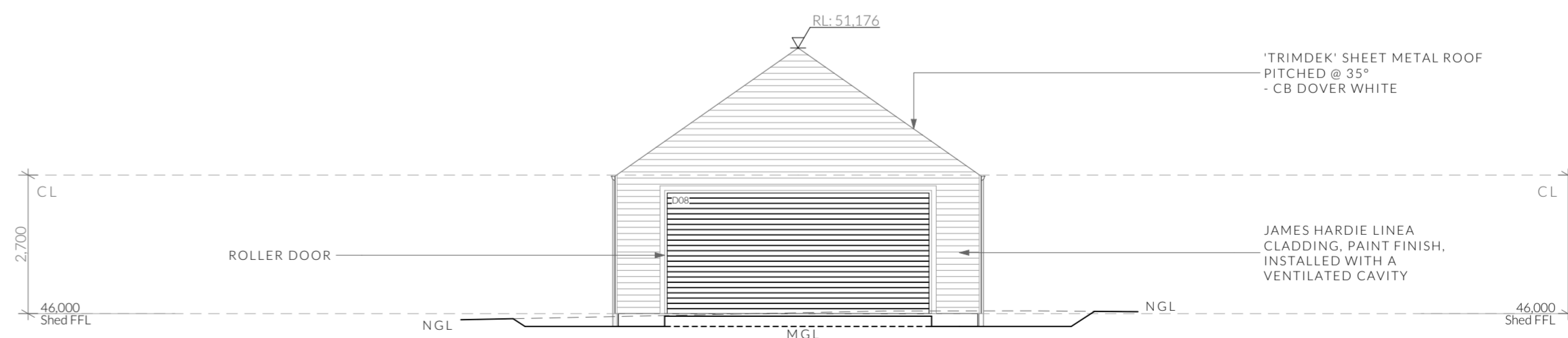
North East Shed Elevation



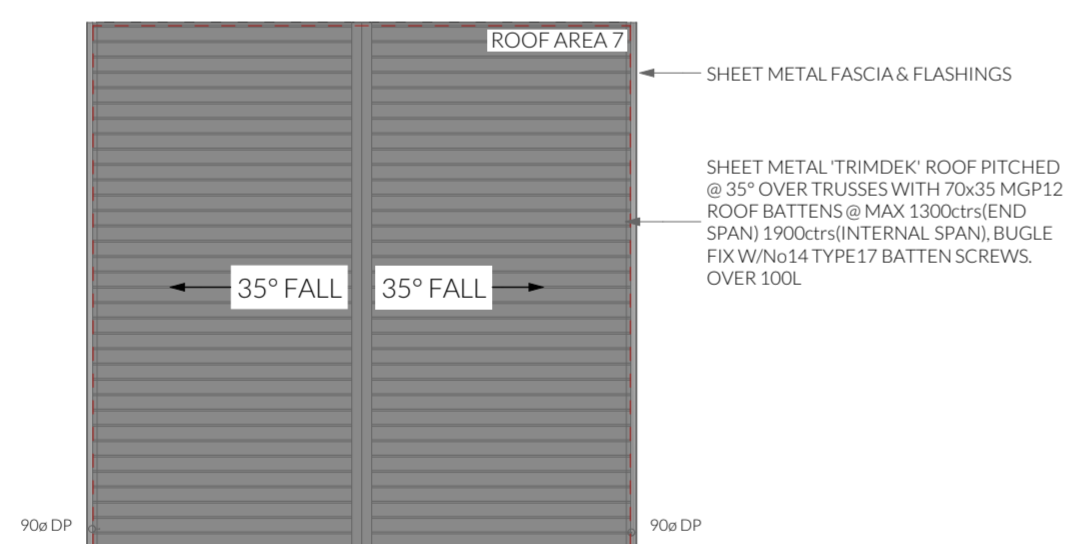
South East Shed Elevation



South West Shed Elevation



North West Shed Elevation



Shed Roof Plan

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ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm <sup>2</sup> /m provided at each of two opposing ends
>15° AND <75°	7,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level, plus an additional 18,000 mm <sup>2</sup> /m at the eaves if the roof has a cathedral ceiling

(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.  
(2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

**Parapet cappings**  
Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:  
(a) Cappings must-  
(i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and  
(ii) extend not less than 50 mm down the sides of the parapet; and  
(iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and  
(iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.  
(b) The top of the capping must slope a minimum of 5 degrees.  
(c) Joints in cappings must-  
(i) overlap by not less than 50 mm in the direction of flow; and  
(ii) be securely fastened at intervals of not more than 40 mm; and  
(iii) have sealant installed between laps.  
(d) Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.  
(e) Lead cappings must not be used with pre-painted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.  
(f) Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-  
(i) each adjoining sheet or roll being-  
(A) overlapped not less than 150 mm; or  
(B) taped together; and  
sarking fixed to supporting members at not more than 300 mm centres.

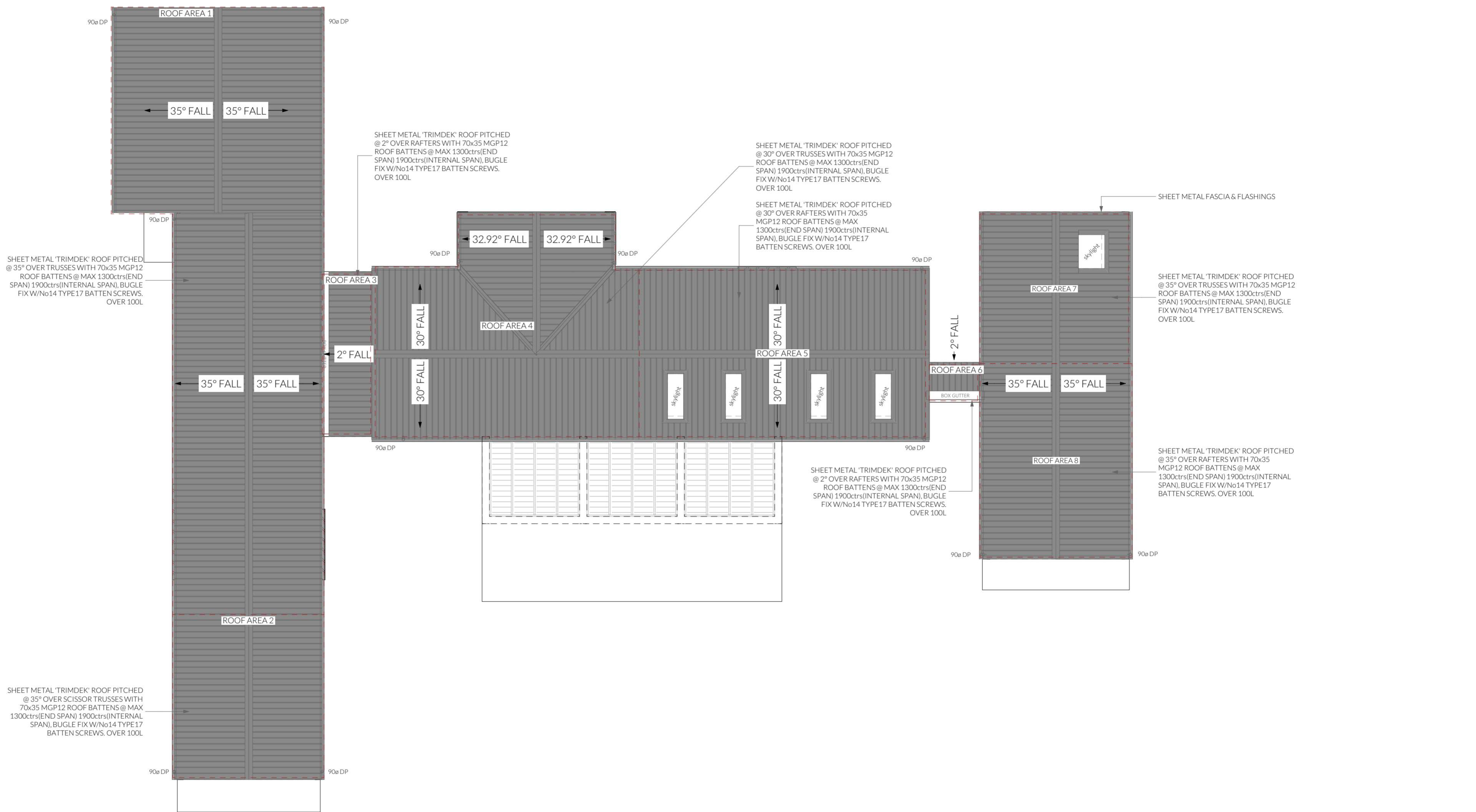
**Ventilation of roof spaces NCC 2022 Part 10.8.3**  
A roof must have a roof space that-  
(a) is located-  
(i) immediately above the primary insulation layer; or  
(ii) immediately above sarking with a vapour permeance of not less than 1.14 μg/N.s, which is immediately above the primary insulation layer; or  
(iii) immediately above ceiling insulation; and  
(b) has a height of not less than 20 mm; and  
(c) is either-  
(i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or  
(ii) located immediately underneath the roof tiles of an unsarked tiled roof.

**Stormwater Notes**  
All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

**Roofing Cladding**  
Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

**Eaves & Soffit Linings**  
To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-  
(a) comply with AS/NZS 2908.2 or ISO 8336; and  
(b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-  
(i) 2.8 x 30 mm fibre-cement nails; or  
(ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or  
(iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.



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**Roof Plan**  
Revision: DA - 03  
Approved by: JD

Scale: 1:100 @ A2  
Pg. No: A.07

Proposal: New Dwelling & Shed  
Client: Liam & Molly Johnston  
Address: 13 Toronto Drive, Acton Park 7170

Date: 21/07/2025  
Drawn by: JD  
Job No: Pinn 051-2025  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Designer
CH - 02	05/11/2025	MM

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**ELECTRICAL LEGEND**

Symbol	Description	Allowance	Quantity
9004	DATA- CAT 6 (RJ45) - 1 GANG		3
9004	DATA- TV CONNECTION		2
9004	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	2
9004	FAN - CEILING - EXHAUST		2
9004	GPO - (2) DOUBLE		28
9004	GPO - WEATHER PROOF DOUBLE		3
9004	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	35
9004	LIGHT - CEILING - LED BATTEN	20W	4
9004	LIGHT - WALL MOUNTED - TYPE 1	10W	8
9004	SWITCH - LIGHT 1 GANG		17

**Notes**

U.N.O ceilings are to be plasterboard.

- o----o Dimmable Circuit
- T----T Timer Circuit(as fan note)

- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

**Smoke Alarms Part 9.5 of NCC 2022**

- Smoke alarms must-
- (a) be located in-
    - (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and
    - (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4; and
  - (b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
  - (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

- (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and
- (b) each other storey not containing bedrooms.

- Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:
- (a) Where a smoke alarm is located on the ceiling it must be-
    - (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
    - (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
  - (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

**Note: Exhaust Fans**

- Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have:
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-
    - (a) 25 L/s for a bathroom or sanitary compartment; and
    - (b) 40 L/s for a kitchen or laundry.
  - Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
  - Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
  - An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-
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    - (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

**Note: Lighting**

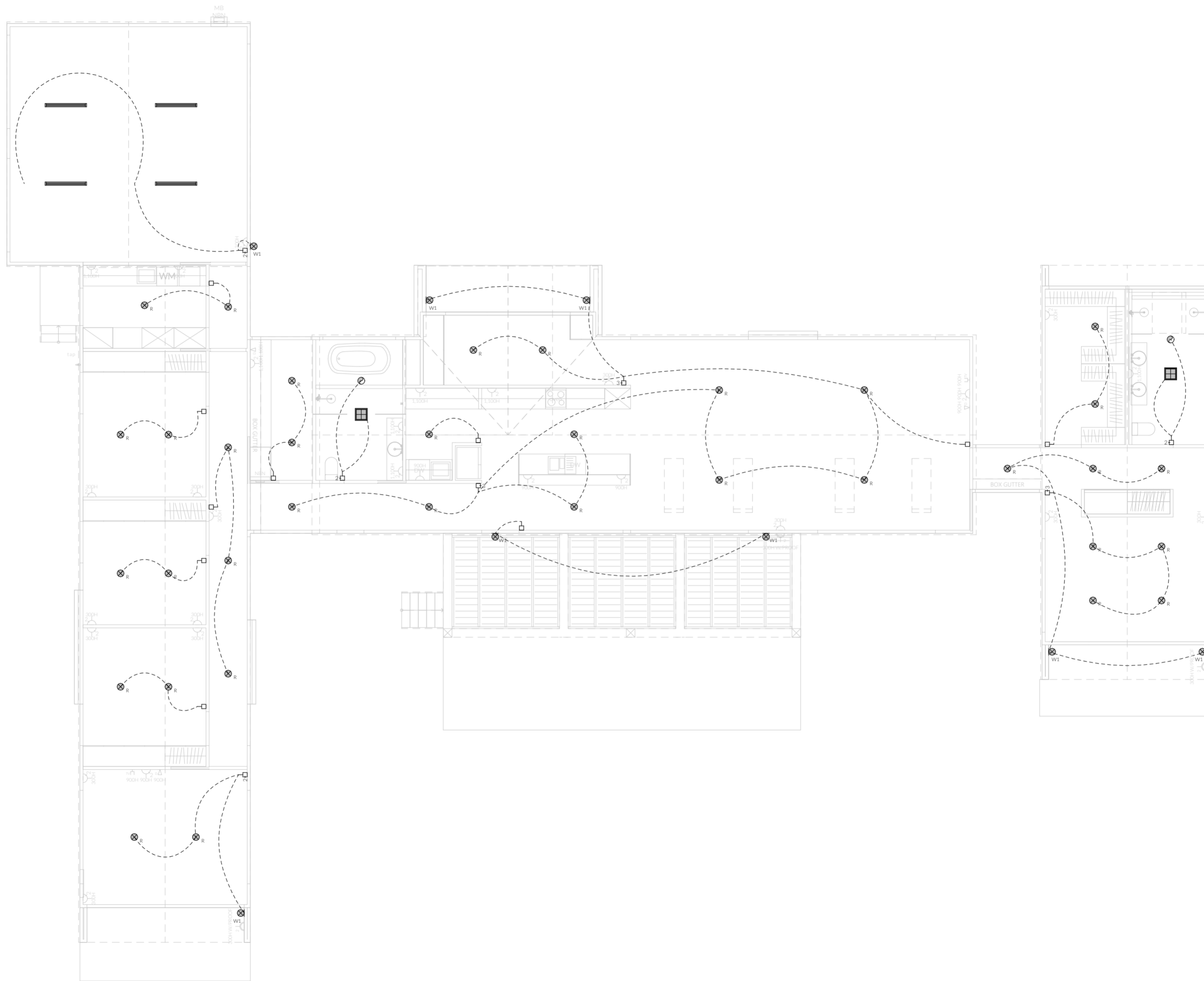
Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m<sup>2</sup> in class 1a dwellings
- 4W/m<sup>2</sup> to veranda, balcony or the like
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U.N.O - All downlights are to be Insulation Contact (IC) rated.

**Preparation for future Solar Installation:**

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.



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CH - 02	05/11/2025	MM													
Document Set ID: 5742413 Version: 1, Version Date: 10/11/2025	NOTE: Refer to cover page for further details on changes.														

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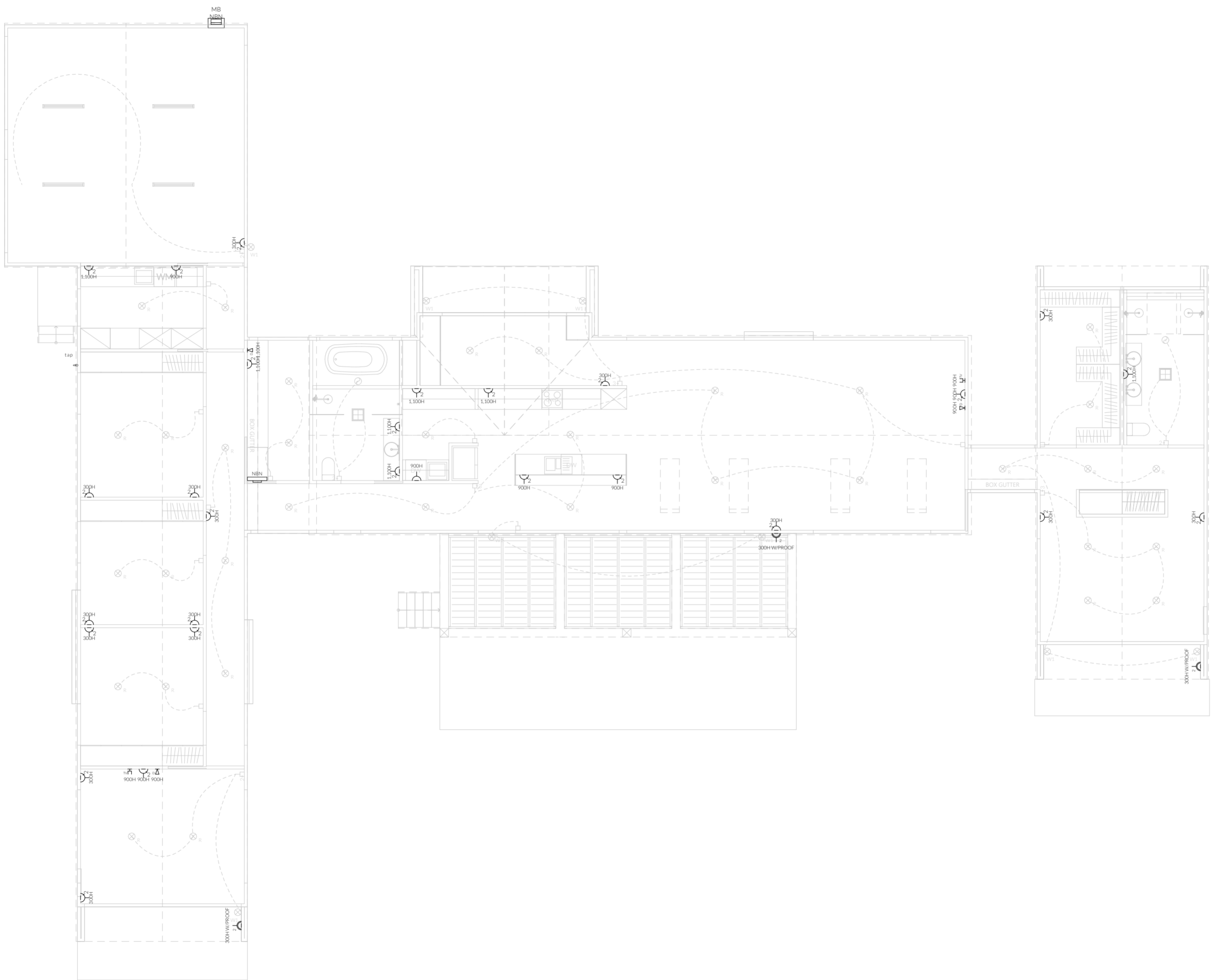
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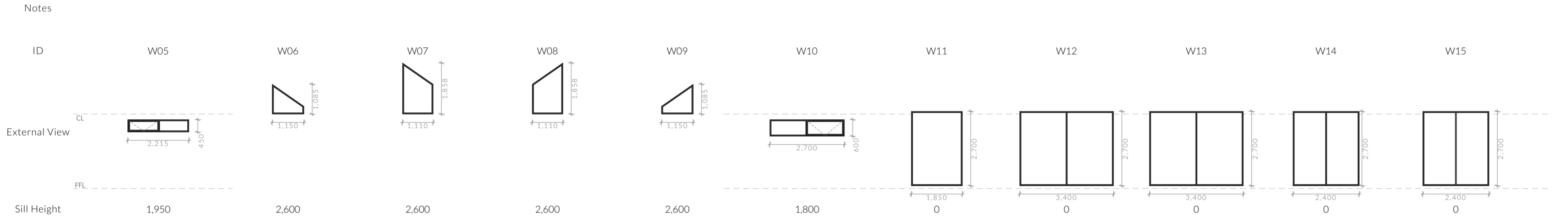
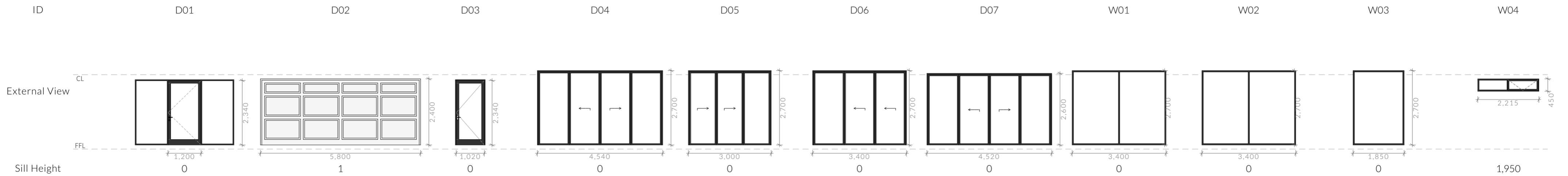
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Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.



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	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacle drafting.com.au www.pinnacle drafting.com.au Licence: CC6073Y	<b>Electrical Plan</b>  Revision: DA - 03 Approved by: JD	Scale: <b>1:100</b> @ A2  Pg. No: <b>A.09</b>	Proposal: New Dwelling & Shed Client: Liam & Molly Johnston Address: 13 Toronto Drive, Acton Park 7170	Date: 21/07/2025 Drawn by: JD Job No: Pinn 051-2025 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="font-size: 6px;">Issue</th> <th style="font-size: 6px;">Date</th> <th style="font-size: 6px;">Designer</th> </tr> </thead> <tbody> <tr> <td style="font-size: 6px;">CH - 02</td> <td style="font-size: 6px;">05/11/2025</td> <td style="font-size: 6px;">MM</td> </tr> </tbody> </table>	Issue	Date	Designer	CH - 02	05/11/2025	MM	<div style="text-align: center;"> <p style="font-size: 6px;">N</p> </div>	<div style="font-size: 6px;">                 These drawings are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set, as well as any Certificate of Licensure and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any works or requesting building steps.                  <b>ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE.</b> This document must be printed in colour. Pinnacle Drafting Design is not responsible for any errors, omissions or omissions caused by contractors and builders not following colour printed plans.             </div>	<p style="font-size: 6px;">BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</p>
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CH - 02	05/11/2025	MM													
Document Set ID: 5742413 Version: 1, Version Date: 10/11/2025 NOTE: Refer to cover page for further details on changes.															



**Glazing**

All glazing must comply with Section 8 of NCC Vol II 2022.

Windows must be installed in accordance with the following:

- (a) Structural building loads must not be transferred to the window assembly.
- (b) A minimum 10 mm gap must be provided between the top of the window assembly and any loadbearing framing or masonry wall element.
- (c) The requirements of (b) may be increased where necessary to allow for frame settlement over wide openings.
- (d) Packing, if provided between each window assembly and the frame, must be:
  - (i) located along each side and bottom; and
  - (ii) fixed to ensure the sides and bottom of the window assembly remain straight; and
  - (iii) clear of any flashing material.

If a door, side panel or panel is capable of being mistaken for a doorway or opening, the glass must be marked to make it readily visible with an opaque band not less than 20 mm in height located so that-

- (a) the upper edge is not less than 700 mm above the floor; and
- (b) the lower edge is not more than 1.2 m above the floor.

Refer to Part 8.4.7 for exemptions.

**Glazing - 52mm Thermally Broken Double Glazed (low-E)**  
All windows & doors to be glazed with the minimum following values:

Window Type	U-Value	SHGC
Awning	2.3	0.46
Fixed	2.0	0.55

Values based on products from Clark Windows. Where Argon Gas is specified the U-Value is reduced by 0.1 across all products.

**Important note**

All windows to be in compliance with BAL TBA requirements. Refer to Bushfire Protection Plan.

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