



DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056063

PROPOSAL: Secondary Residence (Single Dwelling)

LOCATION: 14 Leyden Avenue, Seven Mile Beach

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 03 December 2025

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 03 December 2025. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 03 December 2025.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Application for Development / Use or Subdivision

Use this form to obtain planning approval for developing or using land, including subdividing it into smaller lots or lot consolidation.

Proposal: **PROPOSED NEW SECONDARY DWELLING**

Location: **14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170**

Personal Information Removed

Estimated cost of development: **\$120,000**



Is the property on the Tasmanian Heritage Register? Yes No

If yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal.

If you had pre-application discussions with City of Clarence, please provide planner's name:

NA

Current use of site: **Single Dwelling**

Does the proposal involve land administered or owned by the Crown or Council? Yes No

Declaration

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's signature

**Personal
Information
Removed**

Date:

Please refer to the development/use and subdivision checklist on the following pages to determine what documentation must be submitted with your application.



Development/use or subdivision checklist

Mandatory Documents

This information is required for the application to be valid. We are unable to proceed with an application without these documents.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation. May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the City of Clarence.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

Additional Documents

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis and site plan, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
-



- Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.
- Where it is proposed to erect buildings, detailed plans with dimensions at a scale of 1:100 or 1:200 showing:
- Internal layout of each building on the site.
 - Private open space for each dwelling.
 - External storage spaces.
 - Car parking space location and layout.
 - Major elevations of every building to be erected.
 - Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.
 - Relationship of the elevations to natural ground level, showing any proposed cut or fill.
 - Materials and colours to be used on rooves and external walls.
- Where it is proposed to erect buildings, a plan of the proposed landscaping showing:
- Planting concepts.
 - Paving materials and drainage treatments and lighting for vehicle areas and footpaths.
 - Plantings proposed for screening from adjacent sites or public places.
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact City of Clarence Planning team on (03) 6217 9550.



SEARCH OF TORRENS TITLE

VOLUME 55755	FOLIO 54
EDITION 7	DATE OF ISSUE 08-Apr-2011

SEARCH DATE : 20-Aug-2025

SEARCH TIME : 03.50 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 54 on Plan 55755 (formerly being P1083)

Derivation : Part of 94A-0R-17Ps. Gtd. to D.C. Lewis

Prior CT 2896/68

SCHEDULE 1

C902346 TRANSFER to KEVIN WAYNE SHAW and VIKKI MARIE SHAW
Registered 27-Mar-2009 at 12.01 PM

SCHEDULE 2

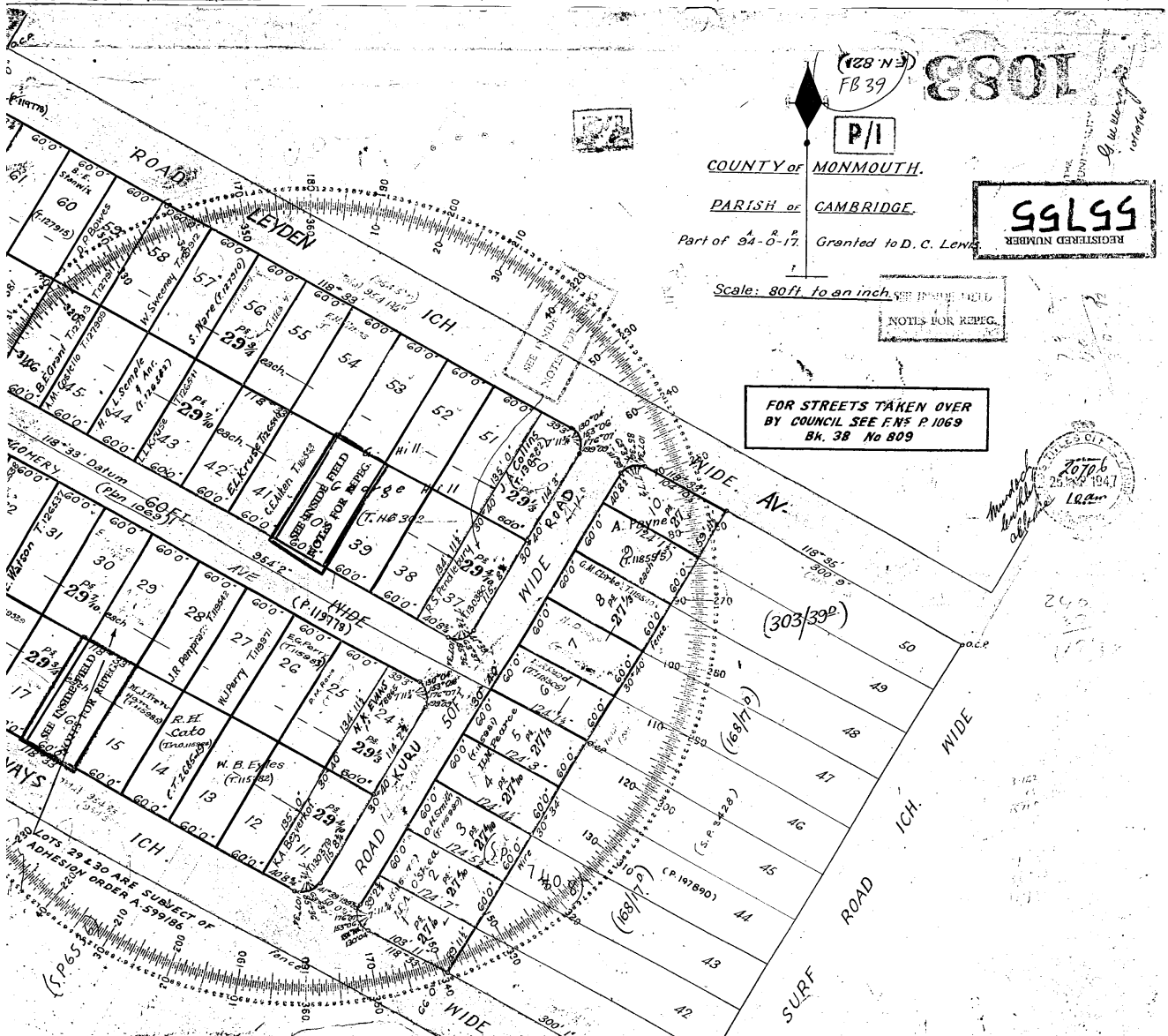
Reservations and conditions in the Crown Grant if any
BENEFITING EASEMENT: a right of way over the roads shown on
Plan No. 55755

118306 BOUNDARY FENCES CONDITION in Transfer

D7891 MORTGAGE to MyState Financial Limited Registered
08-Apr-2011 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

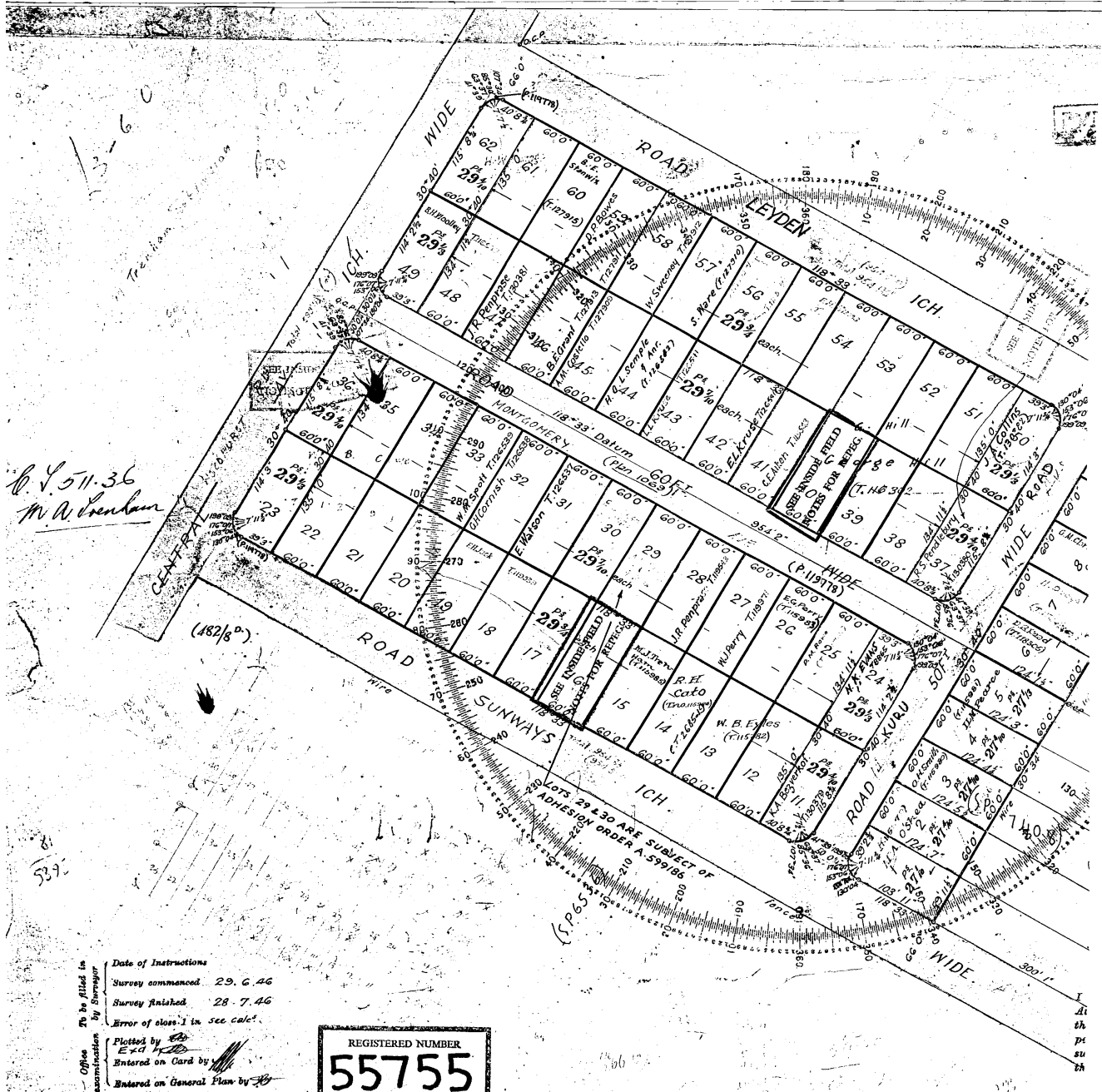


FOR STREETS TAKEN OVER BY COUNCIL SEE F.N'S P.1069 Bk. 38 No 809

Geoffrey Charles Payton of Hobart, Authorised Surveyor, of Tasmania, do solemnly and sincerely declare that this plan has been made from surveys executed by me or under my own personal supervision, inspection, and field check, and that both plan and survey are correct, and have been made in accordance with the by-laws of the Surveyor's Board, dated 1st May, 1913.

And I make this solemn declaration by virtue of Section 132 of "The Evidence Act, 1910."

G. C. Payton
Authorised Surveyor.



To be filled in
by Surveyor

Date of Instructions
Survey commenced 29. 6. 46
Survey finished 28. 7. 46
Error of class. 1 in sec calc.
Plotted by Ed
Entered on Card by
Entered on General Plan by

REGISTERED NUMBER
55755

Declared at
before me,
1083 (F.N 821)
this day of 19
Justice of the Peace.

To whom it may concern

I Kevin Shaw the owner of property
14 Hayden Ave Green Hills BRACKEN
hereby authorize Sebastian Musick and
Marissa Allen to obtain any statutory
records they may require and I
hereby provide my consent for them
to lodge any relevant applications
(development applications) and the
like. Sebastian Musick and Marissa Allen
are purchasing my property.

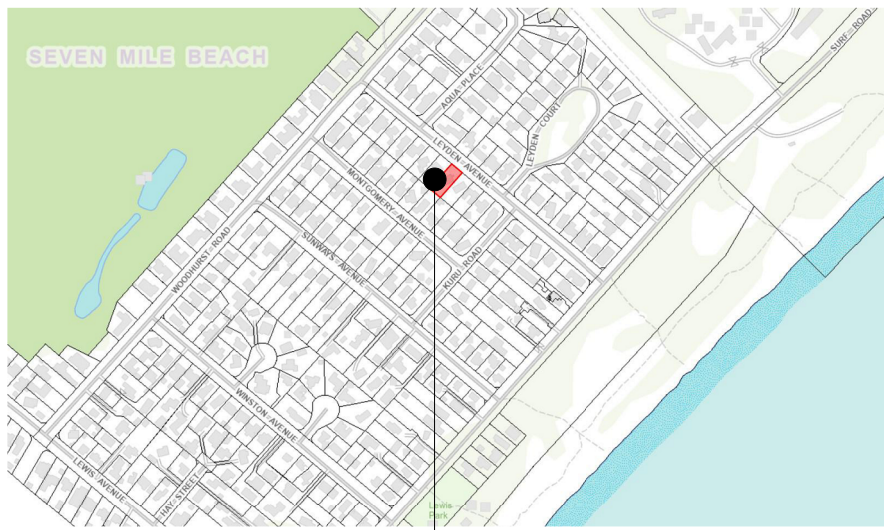
Signed

✓ *Kevin Shaw*

Kevin Shaw. 0410 968 390

Witness: *Joe Mendenhall*
Real Estate Agent

3rd Sept 2025.



LOCALITY GUIDE

NTS
(SOURCE: THE LIST)

ADDRESS: 14 LEYDEN AVE,
SEVEN MILE BEACH, TAS, 7170
PID: 5173314
TITLE REF: 55755/54

DEVELOPMENT APPLICATION

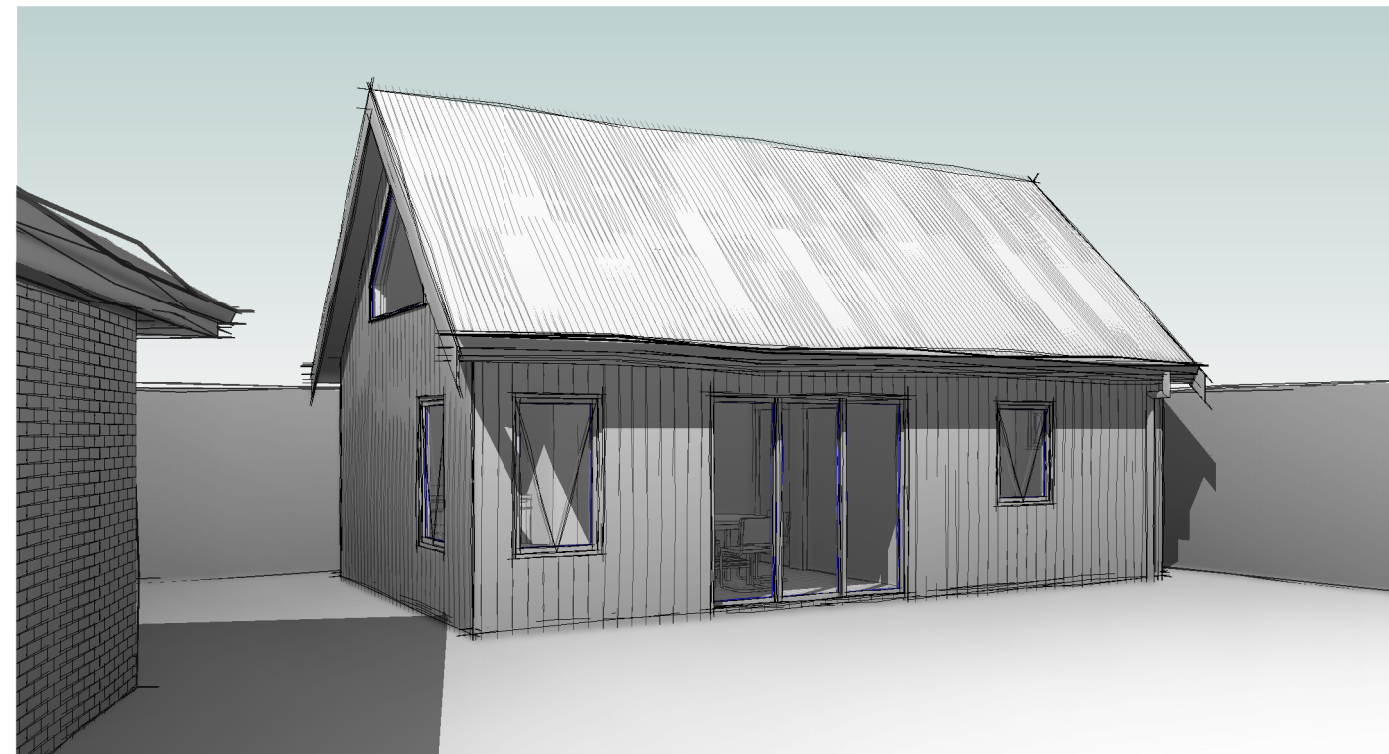
PROPOSED NEW SECONDARY DWELLING

14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170

SEBASTIAN MUSIK

GENERAL NOTES

1. THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF OBTAINING APPROVAL FROM RELEVANT STATUTORY AUTHORITIES AND ARE SUBJECT TO THAT APPROVAL.
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3. ALL BOUNDARIES & ADJACENT OFFSETS ARE SUBJECT TO ON-SITE CONFIRMATION BY A LICENSED SURVEYOR.
4. DO NOT SCALE. WRITTEN DIMENSIONS HAVE PRECEDENCE.
ALL DIMENSERS IN MILLIMETERS UNLESS NOTED OTHERWISE
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 - 5.3. ALL GLAZING TO COMPLY WITH CURRENT AS1288.
 - 5.4. ALL SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH CURRENT NCC HP 9.5
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 - 5.6. ALL EXTERNAL DOORS, WINDOWS & BUILDING PENETRATIONS GENERALLY TO BE SEALED IN ACCORDANCE WITH CURRENT NCC HP 13.4
 - 5.7. ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE NCC HP 10.2 & CURRENT AS3740.
 - 5.8 ALL WORK TO COMPLY WITH CURRENT AS3959.
6. CONTRACTORS TO CONFIRM ALL AREAS, DIMENSIONS & LEVELS WITH DESIGNER PRIOR TO COMMENCING ANY WORK.
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8. ALL PROPRIETARY ITEMS ARE TO BE INSTALLED TO MANUFACTURERS INSTRUCTION.
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SHEET NUMBER	REVISION	SHEET NAME
A-00		TITLE
A-01		SITE PLAN
A-02		PROPOSED FLOOR PLAN
A-03		PROPOSED ELEVATIONS

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATION, CERTIFICATE OF LIKELY COMPLIANCE AND ASSOCIATED DOCUMENTATION

DRAWINGS TO BE PRINTED & READ IN FULL COLOUR

No.	Description	Date
PS-02		30/09/25
DA		02/10/25

MICHAEL KINSELLA
INTEGRAL DESIGN & DRAFTING SERVICES
ACCREDITED BUILDING PRACTITIONER
ACCREDITATION: CC5699V
ACCREDITED BUSHFIRE PRACTITIONER
ACCREDITATION: BFP-133



SEBASTIAN MUSIK
PROPOSED SHED
14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170

TITLE		A-00
Project number	MUSI-S-03	
Date	03/09/25	
Designed by	Michael Kinsella	
Drawn by	MK	Scale 1 : 100 @ A3

NOMINAL SITE INFORMATION

Title Reference Number: 55755/54
 Wind Classification: N2 Site Classification to AS 4055-202 by GES
 Soil Classification: A Site Classification to AS 2870-201 by GES
 Climate Zone: 7
 BAL RATING: N/A
 Alpine Area: N/A
 Corrosion Environment: Moderate >200m from Calm Marine / C3 Medium
 Other Hazards: Nil Observed
 Energy Efficiency: N/A
 Geo - Tech Report: F55 CoQP
 Structural Form 55: F55 CoQP

PLANNING INFORMATION

Title Reference Number: 55755/54
 Planning Scheme: TPS - Clarence Tasmanian Planning Scheme - Clarence
 Zone: 10.0 Low Density Residential
 Overlays: CLPS-11 Coastal Inundation Hazard Cose - Low
 CLPS-11 Coastal Inundation Hazard Cose - Low

DRAINAGE

ALL STORMWATER FROM NEW SURFACES TO GRAVITY FEED TO EXISTING SITE STORMWATER SYSTEM.
 ALL STORMWATER TO BE RETAINED ON SITE.

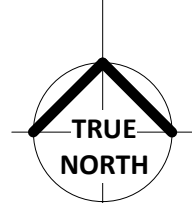
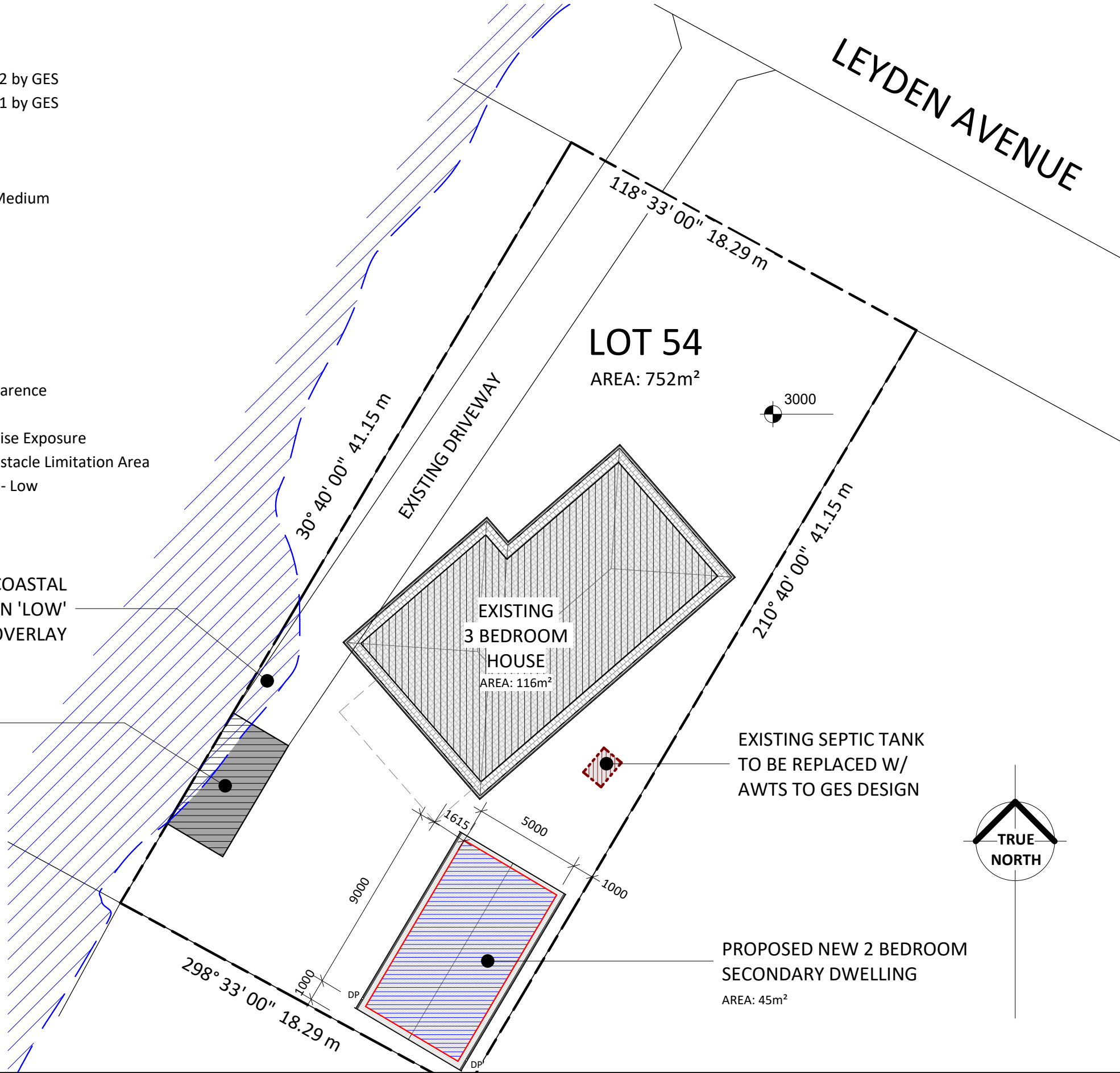
LOT AREA: 752.00m²
 EXISTING HOUSE AREA: 116.00m²
 EXISTING SHED: 19.00m²
 PROPOSED NEW SHED (GFA): 45.00m²
 SITE COVERAGE: 180.00m²
 PLOT RATIO: 23.94%

CLPS-11 COASTAL INUNDATION 'LOW' OVERLAY

EXISTING GARDEN SHED/STORAGE
 AREA: 19m²

EXISTING SEPTIC TANK TO BE REPLACED W/ AWTS TO GES DESIGN

PROPOSED NEW 2 BEDROOM SECONDARY DWELLING
 AREA: 45m²



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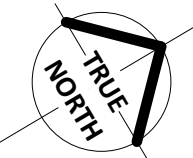
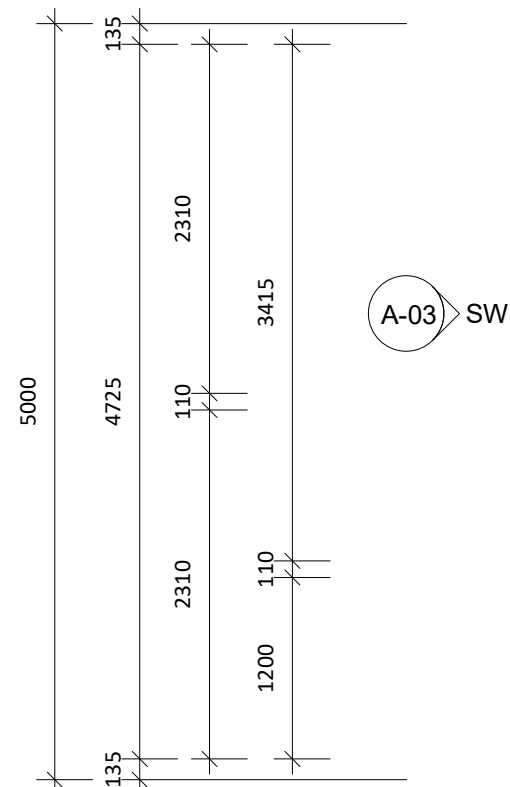



SEBASTIAN MUSIK
PROPOSED SHED
 14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170

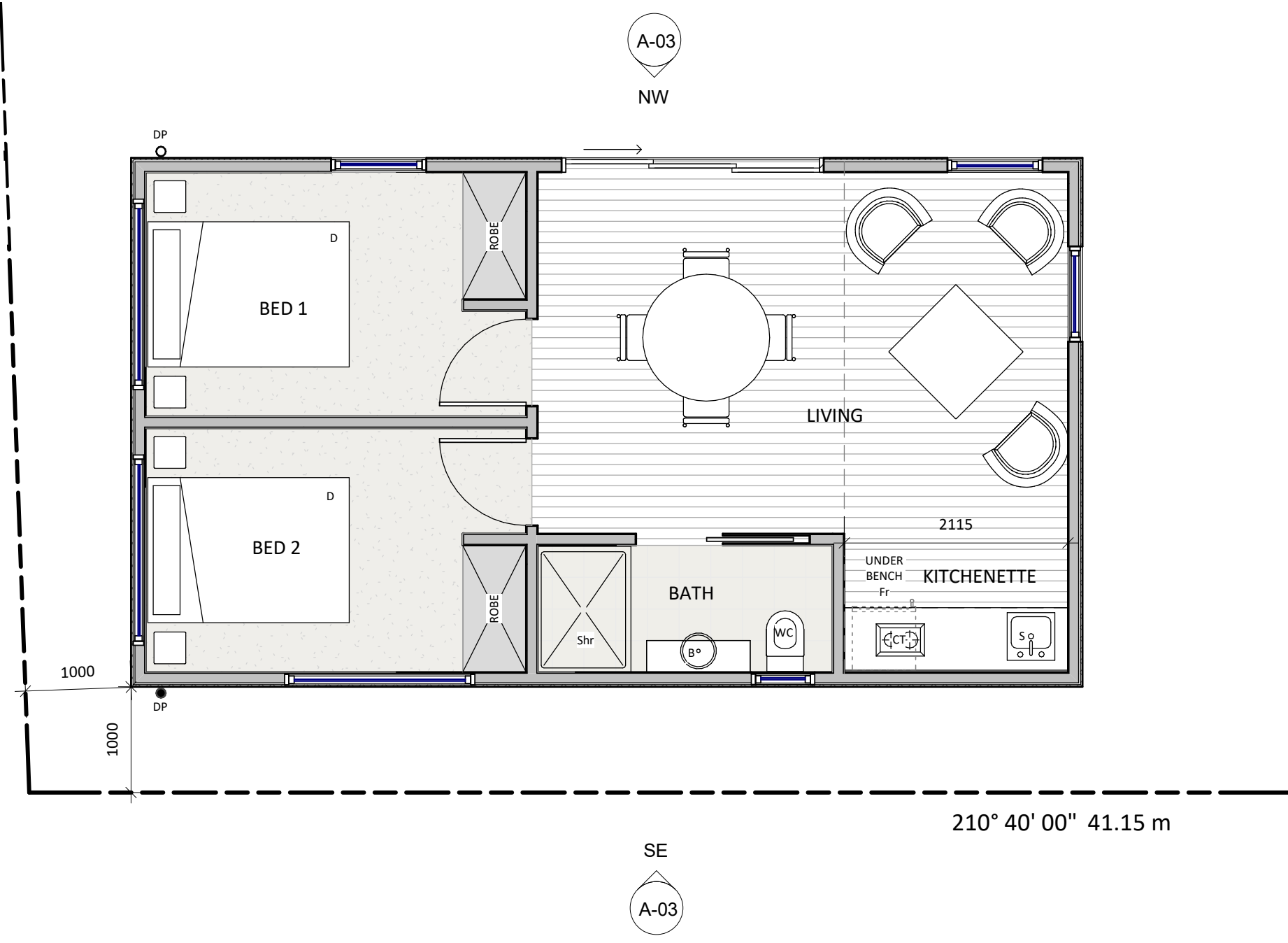
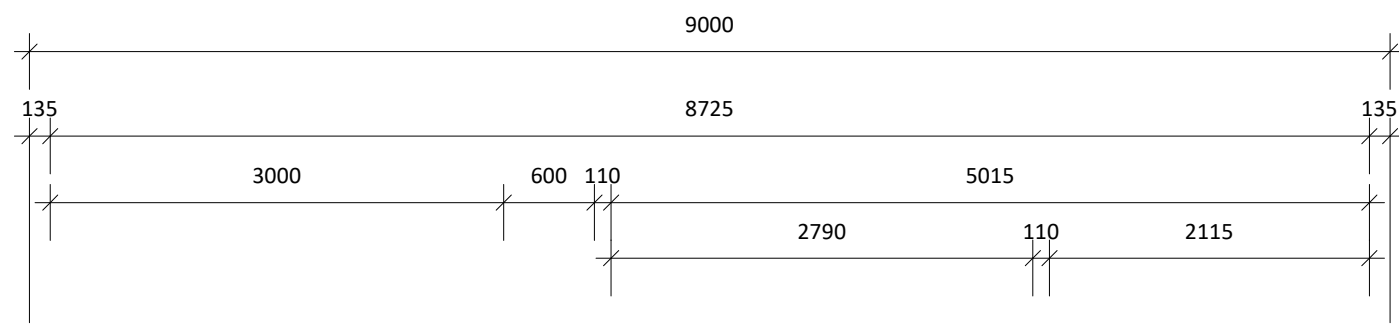
SITE PLAN		A-01
Project number	MUSI-S-03	
Date	03/09/25	
Designed by	Michael Kinsella	
Drawn by	MK	Scale 1 : 200 @ A3

FIXTURES LEGEND

- B ... BASIN
- CT ... COOK TOP
- DP ... DOWN PIPE
- DW ... DISHWASHER
- Fr ... REFRIGERATOR
- HWC ... HOT WATER CYLINDER
- ORG... OVERFLOW RELIEF GULLY
- RH ... RANGE OR CANOPY HOOD
- Shr ... SHOWER
- S ... SINK, DOMESTIC
- WC ... WATER CLOSET PAN



298° 33' 00" 18.29 m



210° 40' 00" 41.15 m

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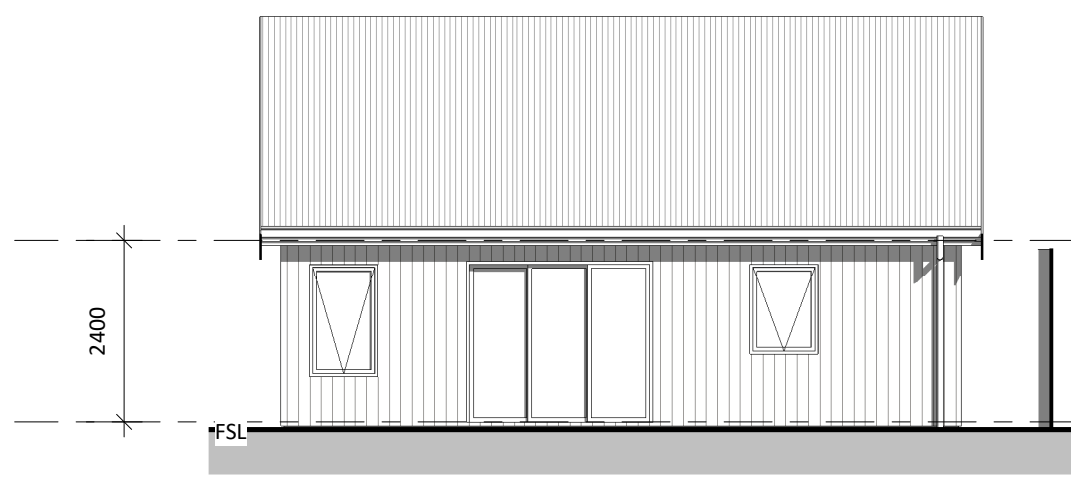

SEBASTIAN MUSIK
PROPOSED SHED
 14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170

PROPOSED FLOOR PLAN	
Project number	MUSI-S-03
Date	03/09/25
Designed by	Michael Kinsella
Drawn by	MK
Scale	As indicated @ A3

A-02

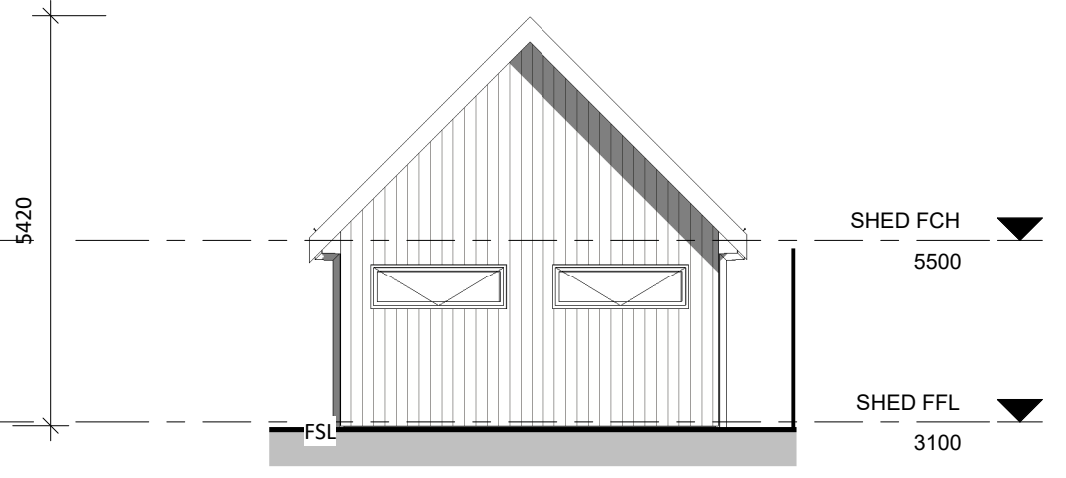
MATERIALS SCHEDULE

- EXTERNAL CLADDING**
VERTICAL BOARD MACROCARPA CLADDING
COLOUR: NATURAL FINISH TO GREY OFF
- WINDOW FRAMES**
ALUMINIUM
COLOUR: POWDERCOATED 'MONUMENT'
- ROOFING**
COLORBOND CUSTOM ORB
INSTALL TO MANUFACTURERS INSTRUCTION
COLOUR: 'MONUMENT'
- ROOF FLASHINGS**
COLORBOND FLAT SHEET
COLOUR TO MATCH ROOF SHEETING
- GUTTERS**
INTERNAL COLORBOND QUAD
COLOUR TO MATCH ROOFING
- FASCIA**
COLORBOND FLAT SHEET
COLOUR TO MATCH ROOFING
- DOWNPIPES**
DN90 uPVC.
PAINT TO MATCH WALLS
- SOFFITS**
4.5 FCS
PRIME & PAINT SELECTED GREY



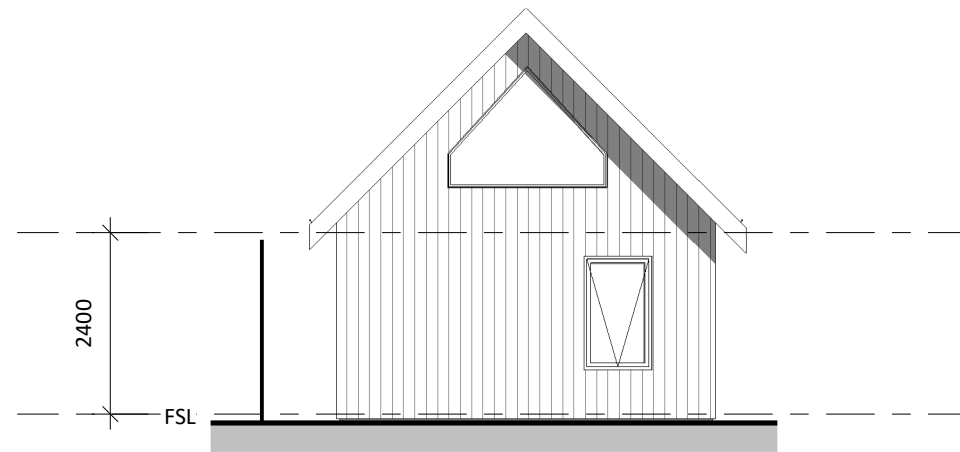
NW ELEVATION

1 : 100



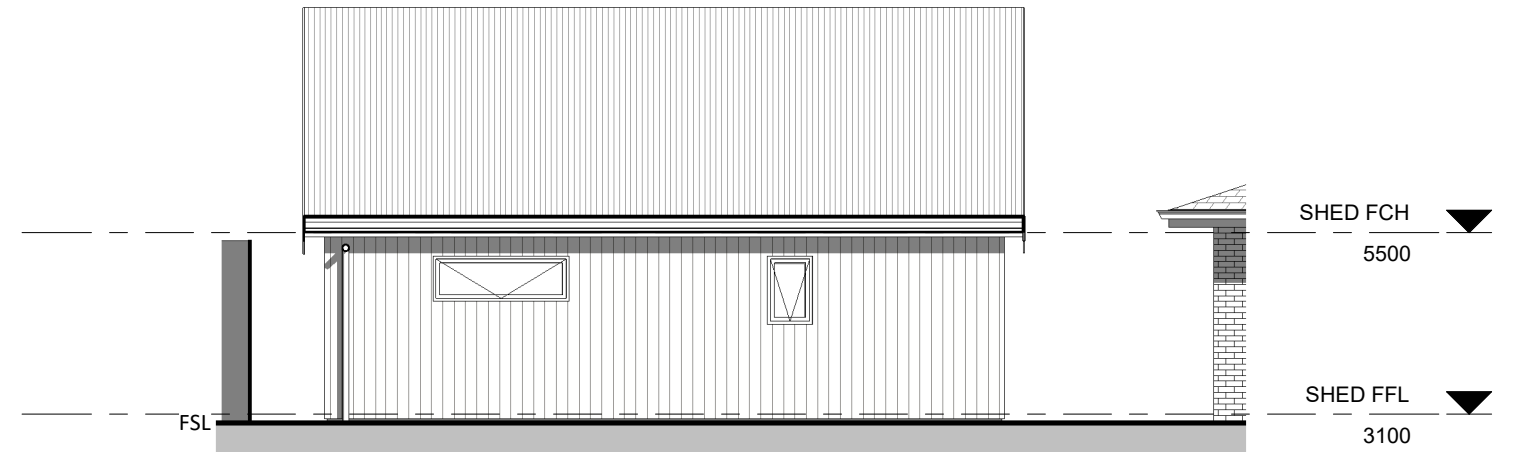
SW ELEVATION

1 : 100



NE ELEVATION

1 : 100



SE ELEVATION

1 : 100

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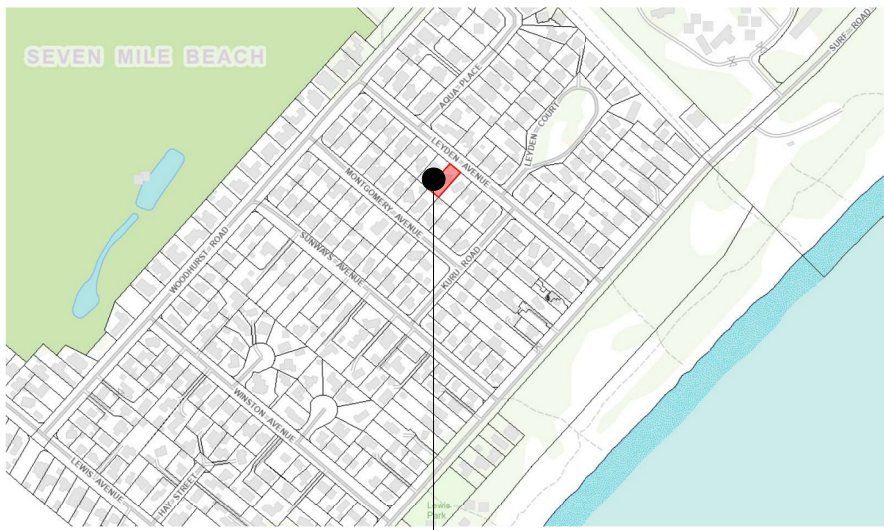
SEBASTIAN MUSIK

PROPOSED SHED

14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170

PROPOSED ELEVATIONS

Project number	MUSI-S-03	A-03
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DEVELOPMENT APPLICATION

PDPLANPMTD-2025/056063 FIR#1

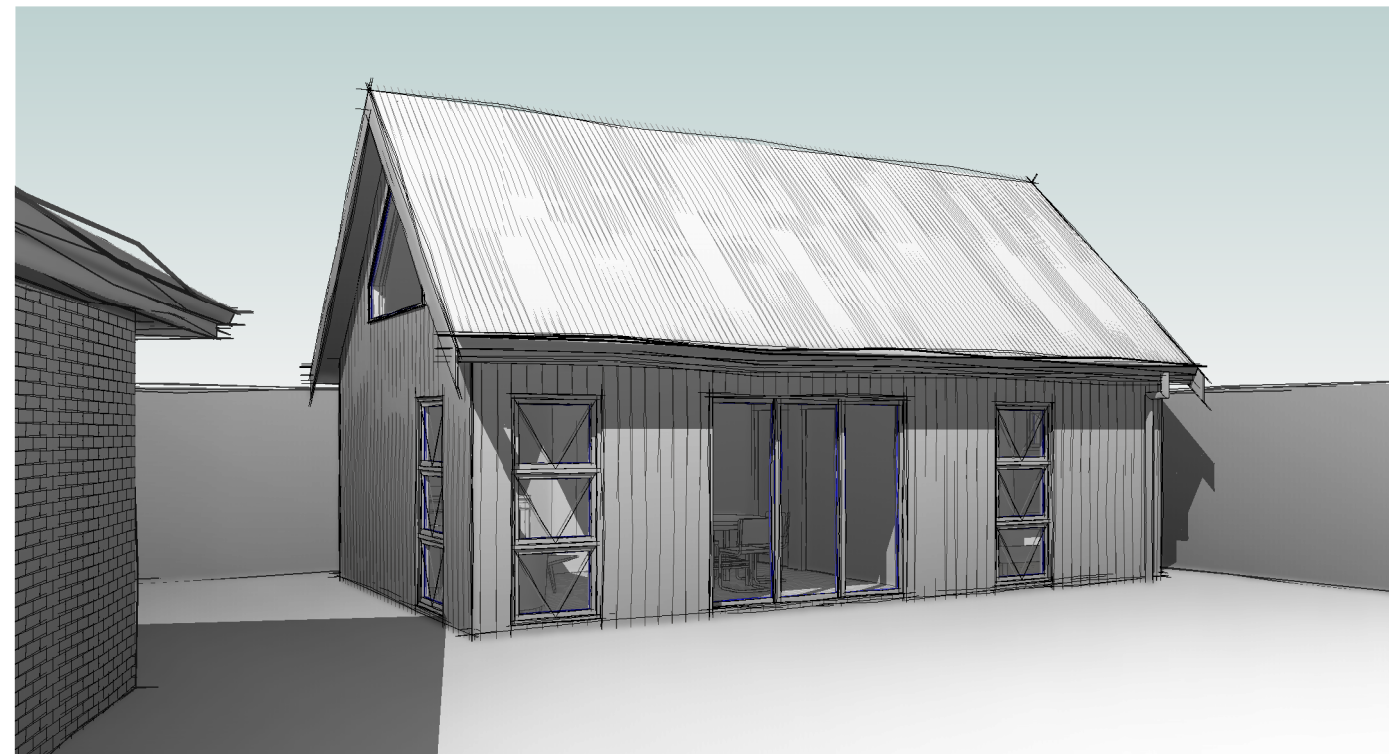
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A-05	A	SUN STUDIES

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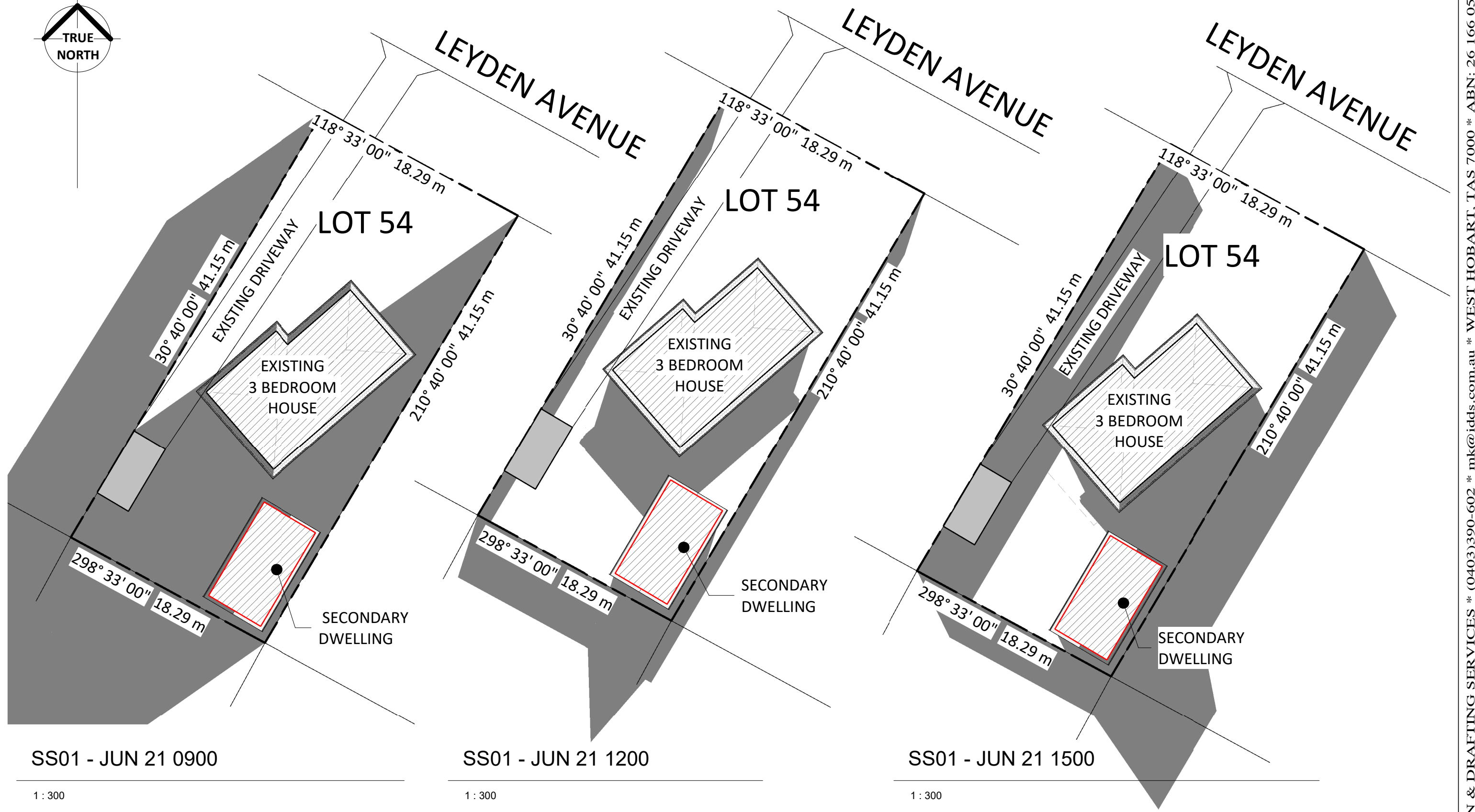
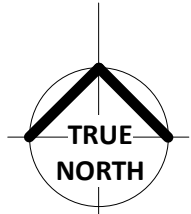
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A	SUN STUDIES	29/10/25

MICHAEL KINSELLA
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SEBASTIAN MUSIK
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14 LEYDEN AVE, SEVEN MILE BEACH, TAS, 7170

TITLE		A-00
Project number	MUSI-S-03	
Date	03/09/25	
Designed by	Michael Kinsella	
Drawn by	MK	Scale 1 : 100 @ A3



SS01 - JUN 21 0900

1 : 300

SS01 - JUN 21 1200

1 : 300

SS01 - JUN 21 1500

1 : 300

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SUN STUDIES		A-05
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