



Devonport City Council

PUBLIC NOTICE

APPLICATION FOR PLANNING PERMIT

Section 57(3) Land Use Planning Approvals Act 1993

An application for a planning permit has been made which may affect you.

Application Details

| | |
|------------------------------|--------------------------------------|
| Application Number: | PA2026.0013 |
| Proposed Use or Development: | Residential (single dwelling) |
| Address of the Land: | 75 Skyline Drive, Ambleside |
| Date of Notice: | 28/03/2026 |

You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranaple centre at 137 Rooke Street, Devonport or on Council's website www.devonport.tas.gov.au

Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.

Your representation must:

- be received by close of business on **16/04/2026**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
 - P.O. Box 604, Devonport, Tasmania, 7310; or
 - townplanning@devonport.tas.gov.au

If you make a representation then Council must consider your submission before making its decision on the application.

DA

TASMANIAN PLANNING SCHEME

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TOTAL FLOOR AREAS

| MAIN DWELLING, GROUND FLOOR | |
|-----------------------------|----------------------------|
| GARAGE | 24.77 |
| LIVING | 47.72 |
| PORCH | 1.85 |
| TOTAL | 74.34 m² |

| MAIN DWELLING, FIRST FLOOR | |
|----------------------------|-----------------------------|
| BALCONY | 5.07 |
| LIVING | 73.11 |
| TOTAL | 78.18 m² |
| GRAND TOTAL | 152.52 m² |

PRELIMINARY PLAN SET

| No. | AMENDMENT | SHEET | DATE | DRAWN | CHECK |
|-----|---|-------|------------|---------|-------|
| 6 | PRELIMINARY PLAN SET - HOUSE RESITING & SHADOW DIAGRAMS | ALL | 2026.02.27 | JII/CLG | - |
| 5 | PRELIMINARY PLAN SET - COLOUR UPDATE - HOUSE RE-SITING | ALL | 2026.02.26 | KPH | - |
| 4 | PRELIMINARY PLAN SET - PLAN CORRECTIONS | ALL | 2026.02.10 | TNG | - |

AS & NCC COMPLIANCE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.

- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
- BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
- ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR ASINZS 4600-2018.
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
- TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
- GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
- SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
- INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
- EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
- WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
- CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
- BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
- SERVICES IN ACCORDANCE WITH NCC 2022.
- EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
- EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
- EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

| CONTROL | DETAILS |
|-----------------------------|-------------------------|
| ACID SULPHATE SOIL | NO |
| BIODIVERSITY | NO |
| BUILDING ENVELOPE | YES |
| BUSHFIRE | NO |
| CLIMATE ZONE (NCC) | ZONE 7 - COOL TEMPERATE |
| DESIGN WIND CLASSIFICATION | N3 (EXPOSED) |
| ESTATE/DEVELOPER GUIDELINES | NO |
| FLOOD OVERLAY | NO |
| HERITAGE | NO |
| LANDSLIP HAZARD | NO |
| MINIMUM FLOOR LEVEL | NO |
| NATURAL ASSET CODE | NO |
| NOISE ATTENUATION | NO |
| SALINE SOIL | NO |
| SHIELDING FACTOR | PS - PARTIAL SHIELDING |
| SITE CLASSIFICATION | M |
| SPECIFIC AREA PLAN OVERLAY | NO |
| TERRAIN CATEGORY | TC2 |
| TOPOGRAPHIC CLASSIFICATION | T3 |
| WATERWAY & COASTAL OVERLAY | NO |
| WIND REGION | A - NORMAL |
| WITHIN 1km CALM SALT WATER | 400m |
| WITHIN 50km BREAKING SURF | 4.00km |
| ZONING | GENERAL RESIDENTIAL |
| ELECTRICITY TRANSMISSION | YES |
| AIRPORT OBSTACLE LIMITATION | YES |

BUILDING CONTROLS & COMPLIANCE

| CONTROL | REQUIRED | PROPOSED |
|-----------------------------|------------------------|------------------|
| SETBACKS | | |
| FRONT | MIN. 4,500mm | 6,395mm |
| GARAGE TO BOUNDARY | MIN. 5,500mm | 7,000mm |
| SIDE A | MIN. 1,500mm | 2,500mm |
| SIDE B | MIN. 1,500mm | 4,500mm |
| REAR | MIN. 1,500mm | 54,300mm |
| BULK & SCALE | | |
| SITE AREA | 1,166.89m ² | |
| SITE COVERAGE | MAX. 50% | 6.81% |
| BUILDING HEIGHT | MAX. 8,500mm | 7,800mm |
| LANDSCAPE | | |
| NO APPLICABLE CONTROLS | | |
| EARTHWORKS | | |
| CUT DEPTH | MAX. 2,000mm | 384mm |
| FILL DEPTH | MAX. 1,000mm | 694mm |
| ACCESS & AMENITY | | |
| PARKING SPACES | MIN. 2 SPACES | 2 SPACES |
| PRIVATE OPEN SPACE | MIN. 24m ² | 24m ² |

3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:-
 Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved
 subdivision plans providing crossover locations and service connection points, power and communications connection point
 information, Geotechnical Site Investigation, Contour Survey. Dial Before You Dig Information, Planning Approval.

BUILDING INFORMATION

| | |
|--|-----------------------|
| GROUND FLOOR TOP OF WALL HEIGHT(S) | 2455mm |
| FIRST FLOOR TOP OF WALL HEIGHT(S) | 2605mm |
| NOTE: CEILING HEIGHT 45mm LOWER THAN TOP OF WALL | |
| ROOF PITCH (U.N.O.) | 23.0° |
| ELECTRICITY SUPPLY | SINGLE PHASE |
| GAS SUPPLY | NONE |
| ROOF MATERIAL | SHEET METAL |
| ROOF COLOUR | DARK |
| WALL MATERIAL | BRICK VENEER CLADDING |
| SLAB CLASSIFICATION | TBC |

INSULATION

| | |
|------------|--|
| ROOF | SARKING UNDER ROOFING |
| CEILING | R4.1 BATTS (EXCL. GARAGE, ALFRESCO) |
| EXT. WALLS | R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE |
| INT. WALLS | R2.0 BATTS ADJACENT TO GARAGE AND AS PER PLAN |
| FLOOR | BIAX SLAB R0.60 AND AIRCELL FOR B&J |

ROOF SPACE VENTILATION

REFER TO ROOF PLAN FOR VENTILATION LOCATIONS

| FIRST FLOOR 23.0° ROOF | |
|------------------------------------|--|
| LONGEST HORIZONTAL ROOF LENGTH | 10.900m |
| ROOF PITCH | 23.00° |
| HIGH LEVEL VENTILATION | REQUIRED 54,495mm ² (5,000 x 10.900m) |
| | PROVIDED 70,310mm ² |
| LOW LEVEL VENTILATION | REQUIRED 76,293mm ² (7,000 x 10.900m) |
| | PROVIDED 75,900mm ² |
| MINIMUM REQUIRED SOFT (EAVE) VENTS | EAVE VENT PROVIDED - 3 |

NCC 2022 LIVABLE HOUSING COMPLIANCE

ACCESSIBLE SANITARY COMPARTMENT: ENS
ACCESSIBLE SHOWER LOCATION: ENS

GENERAL NOTES:

- THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM
- 1 EXTERIOR DOOR NOMINATED AS 870 OR GREATER TO ACHIEVE MIN 820MM CLEAR OPENING
- REFER TO APPLICABLE WET AREA PLANS AND INTERIOR ELEVATIONS OR LOCATIONS OF REQUIRED WALL REINFORCEMENT FOR FUTURE GRAB RAIL INSTALLATION.

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PLAN ACCEPTANCE BY OWNER

| | |
|--|-------------|
| SIGNATURE: _____ | DATE: _____ |
| SIGNATURE: _____ | DATE: _____ |
| PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED | |

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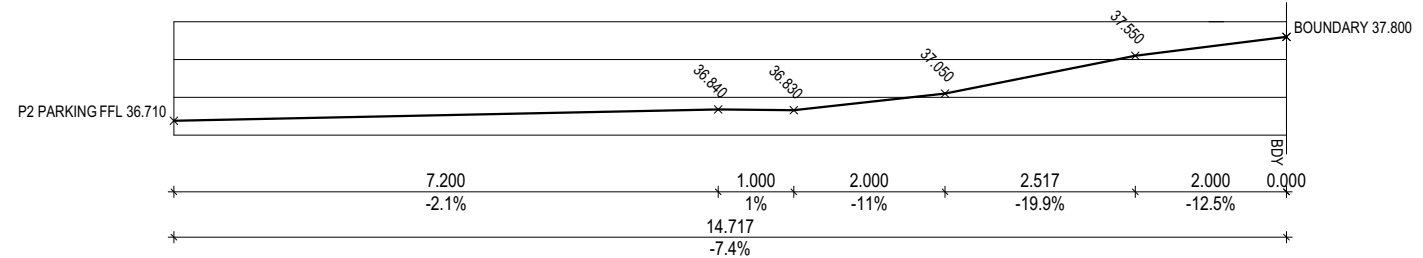
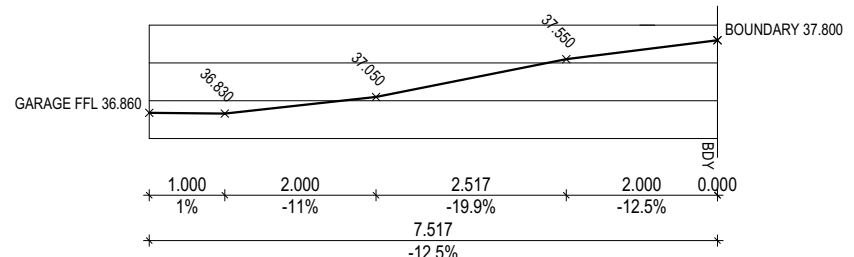
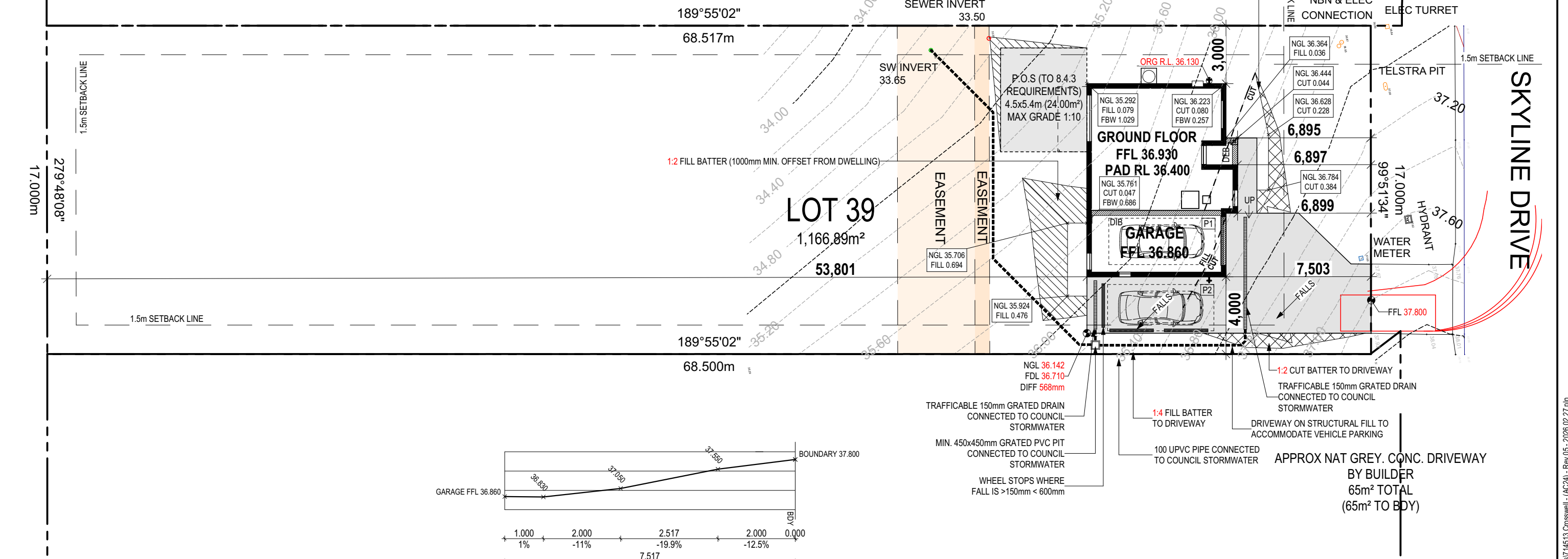
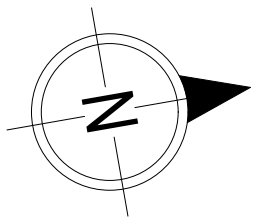
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| | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | H-WDCLGN10DA | |
| | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | |
| | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | MONTROSE | F-WDCLGN10MTSEA | |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | 39 / - / NYR | COVER SHEET | 1 / 26 | |
| | | | COUNCIL: | SCALES: | | |
| | | | DEVONPORT | | | |

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

| APPROX. CUT/FILL | | |
|------------------|---------------------|--------|
| CUT | 7.09m ³ | 15.95t |
| FILL | 19.96m ³ | 44.91t |
| DIFFERENCE | 12.87m ³ | 28.96t |

29 TONNES OF IMPORT FILL

LOT SIZE: **1166.89m²**
 HOUSE COVERED AREA: **74.34m²**
 SITE COVERAGE: **6.37%**



**SUBJECT TO NCC 2022
 (1 MAY 2023)
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| DISCOVERY | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | H-WDCLGN10DA | |
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| | | | COUNCIL: | | SCALES: | 714513 |
| | | | DEVONPORT | | 1:200 | |

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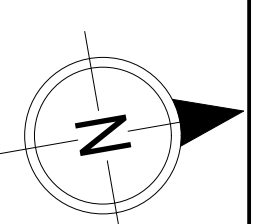
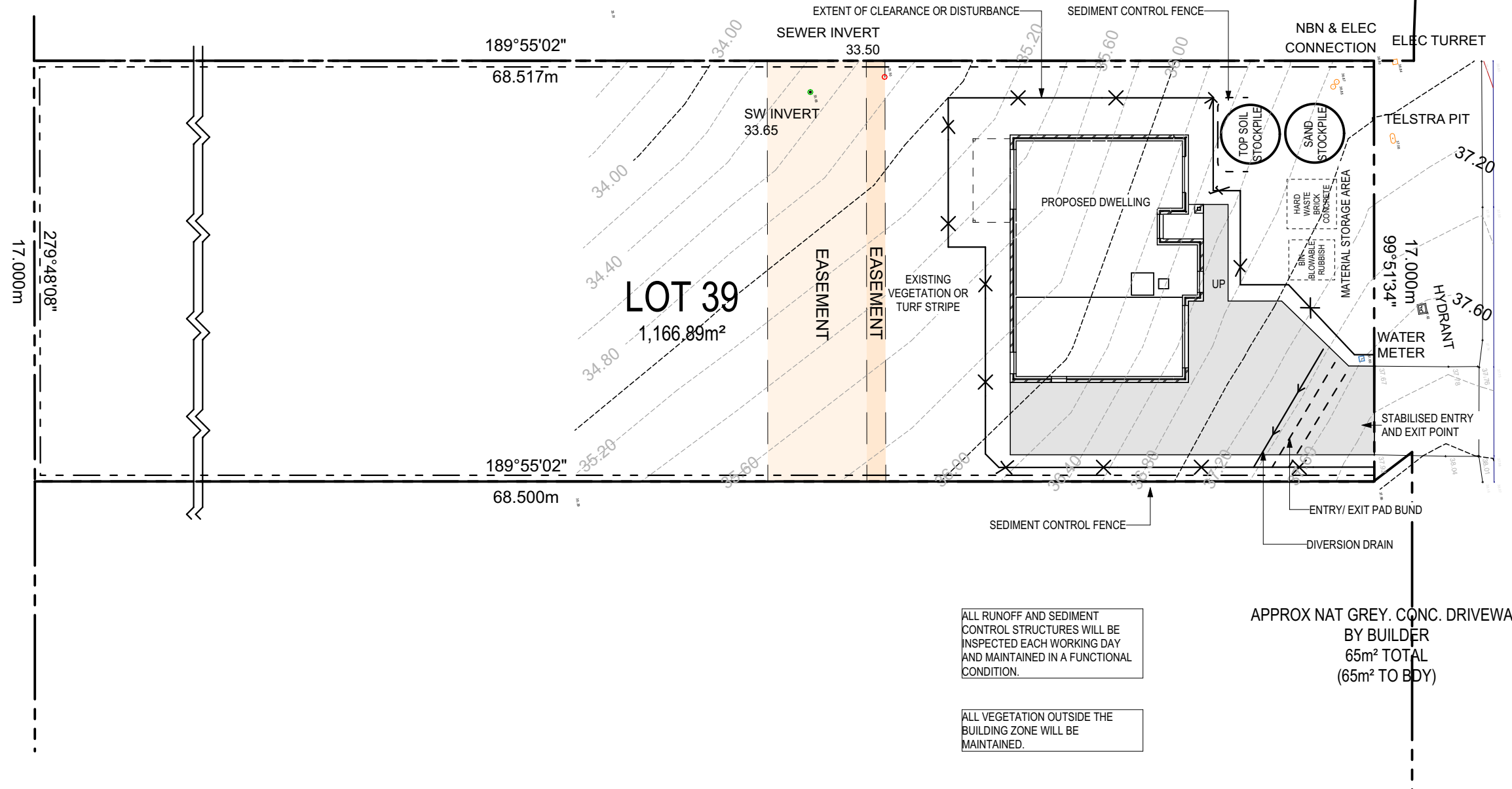
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.

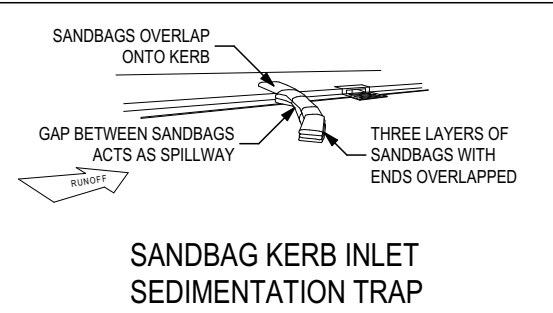
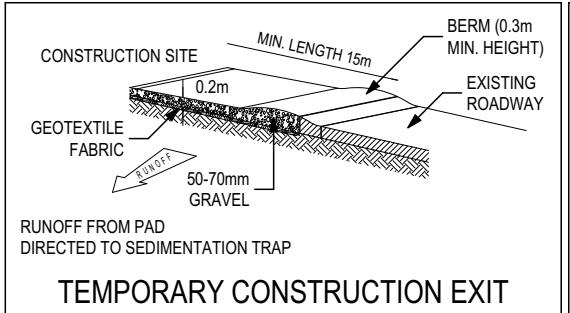
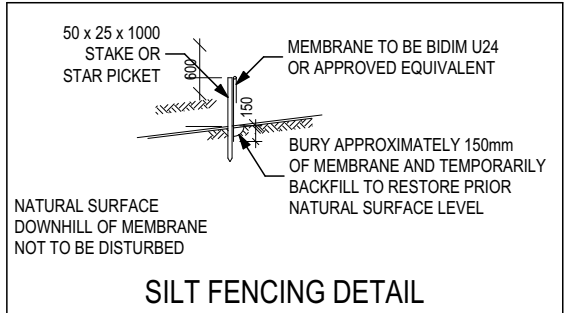


SKYLINE DRIVE

ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

APPROX NAT GREY. CONC. DRIVEWAY BY BUILDER
65m² TOTAL
(65m² TO BODY)



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

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| | | | | | | | | |
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| | | | | DEVONPORT | | 1:200 | | |

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 - SITE CLASSIFICATION
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ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

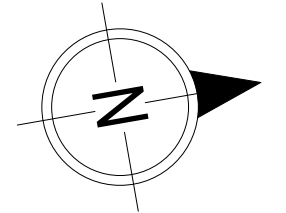
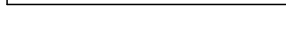
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

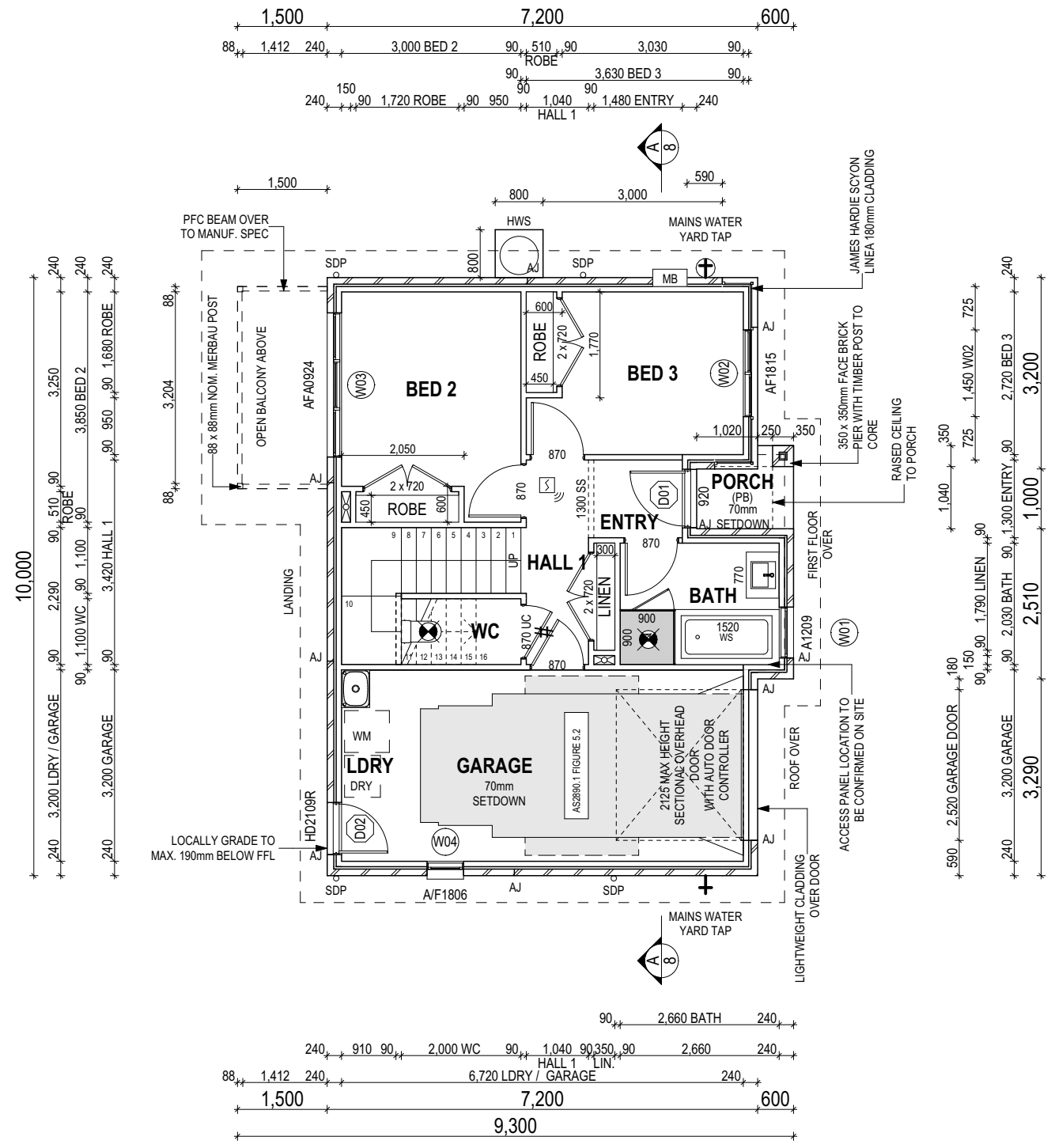
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



| LEGEND | |
|---------|---------------------------|
| HS / WS | HOB SPOUT / WALL SPOUT |
| | FACE BRICK / COMMON BRICK |
| | RENDER |
| | SOUND INSULATION |
| AJ | BRICK ARTICULATION JOINT |
| SDP | STANDARD DOWNPIPE |
| CDP | CHARGED DOWNPIPE |
| | DENOTES DRAWER SIDE |
| | MECHANICAL VENTILATION |
| L.B.W | LOAD BEARING WALL |
| PB | PLASTERBOARD |
| FC | FIBRE CEMENT |
| | THIS DOOR OPENS FIRST |
| | SMOKE ALARM |
| # | LIFT OFF HINGE |
| + | WATER POINT |
| | FLOOR WASTE |
| | GAS BAYONET |

| MAIN DWELLING, GROUND FLOOR | |
|-----------------------------|-----------------------------|
| GARAGE | 24.77 |
| LIVING | 47.72 |
| PORCH | 1.85 |
| | 74.34 m² |
| MAIN DWELLING, FIRST FLOOR | |
| BALCONY | 5.07 |
| LIVING | 73.11 |
| | 78.18 m² |
| | 152.52 m² |



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ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

| PLAN ACCEPTANCE BY OWNER | |
|---|-------------|
| SIGNATURE: _____ | DATE: _____ |
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|----------------|--|----------------|--|-------------------|-----------------|--|
| DISCOVERY | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | H-WDCLGN10DA | |
| COPYRIGHT: | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | |
| © 2026 | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | MONTROSE | F-WDCLGN10MTSEA | |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | 39 / - / NYR | GROUND FLOOR PLAN | 4 / 26 | |
| | | | COUNCIL: | DEVONPORT | 1:100 | 714513 |

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
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 - GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY CUSTOMER UNLESS NOTED OTHERWISE

ALL FIRST FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 2022 REQUIREMENTS

FIRST FLOOR WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY THE NCC 2022

PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES WHERE APPLICABLE AS PER:
 - G-FACA-BALC02 (PFC/BRICKWORK)
 - G-FRAM-BALC01 (LIGHTWEIGHT CLADDING)

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

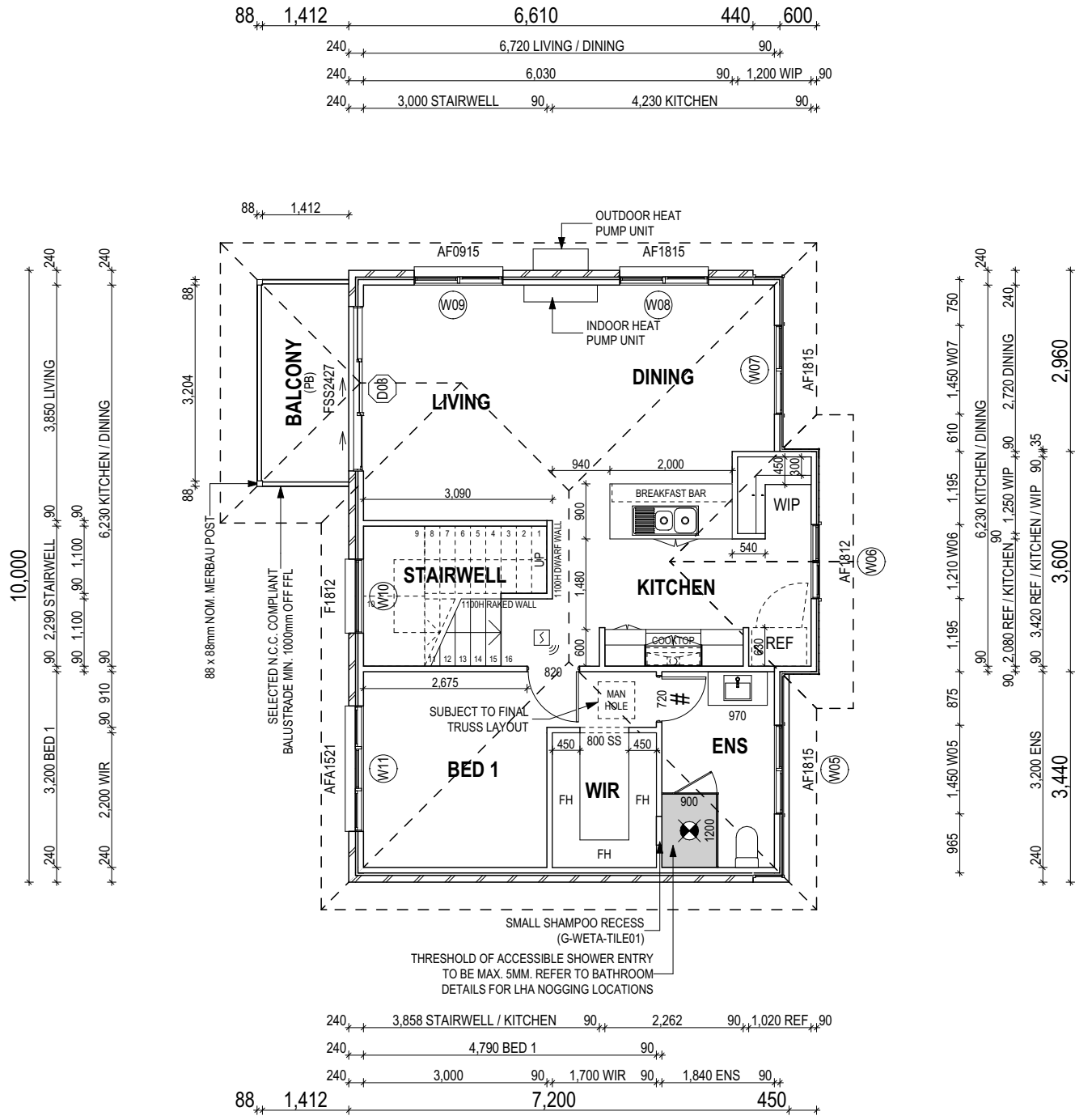


ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- HEBEL
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- SDP STANDARD DOWNPIPE
- CDP CHARGED DOWNPIPE
- EXHAUST FAN
- L.B.W LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- INTERCONNECTED SMOKE ALARM
- # UC LIFT OFF HINGE / UNDERCUT
- † WATER POINT
- WP FRIDGE WATER POINT
- GAS BAYONET



ALL DIMENSIONS ARE FRAME DIMENSIONS

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(1 MAY 2023)
WATERPROOFING & PLUMBING**

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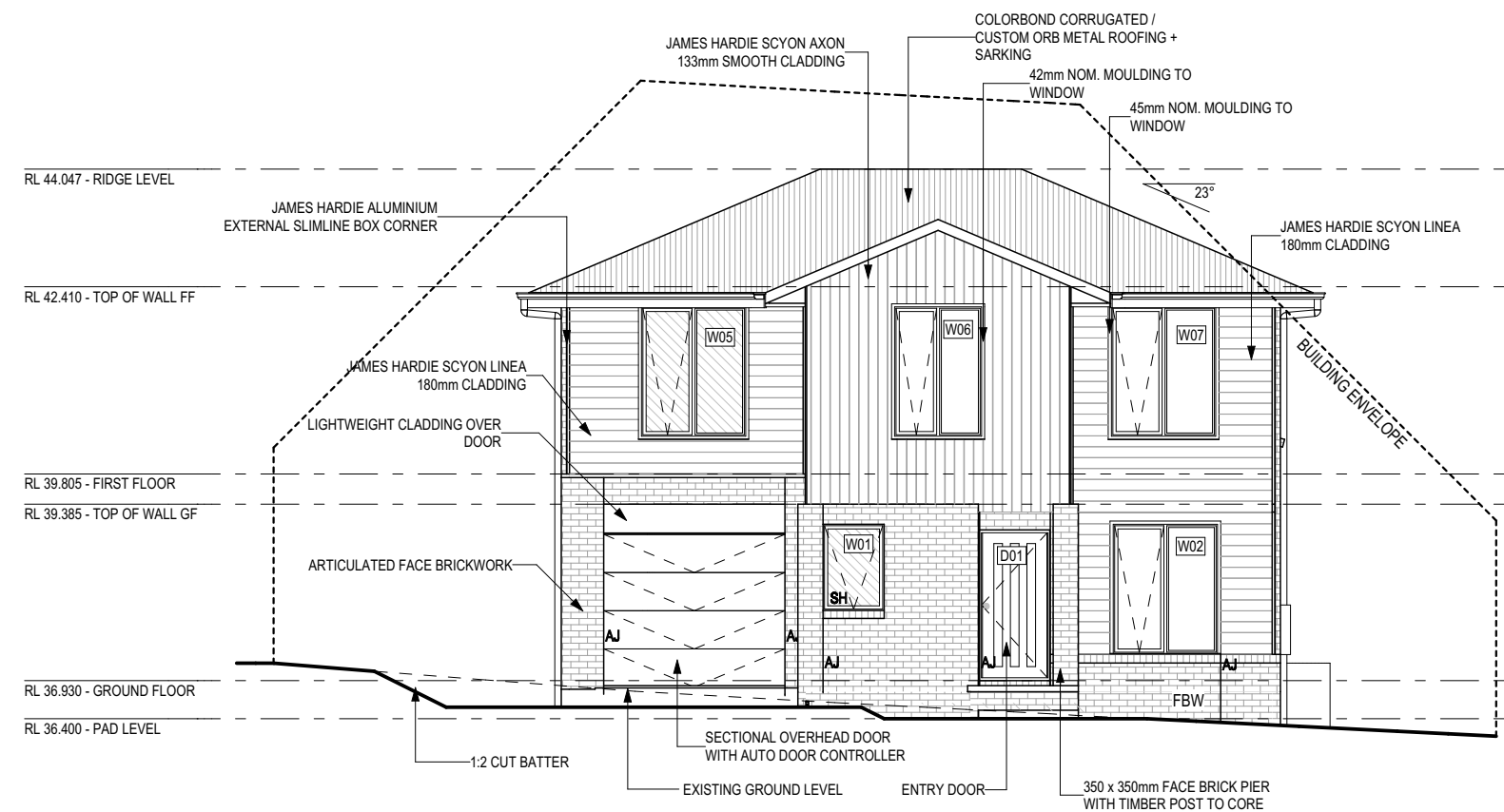
SH = SNAP HEADER SILL

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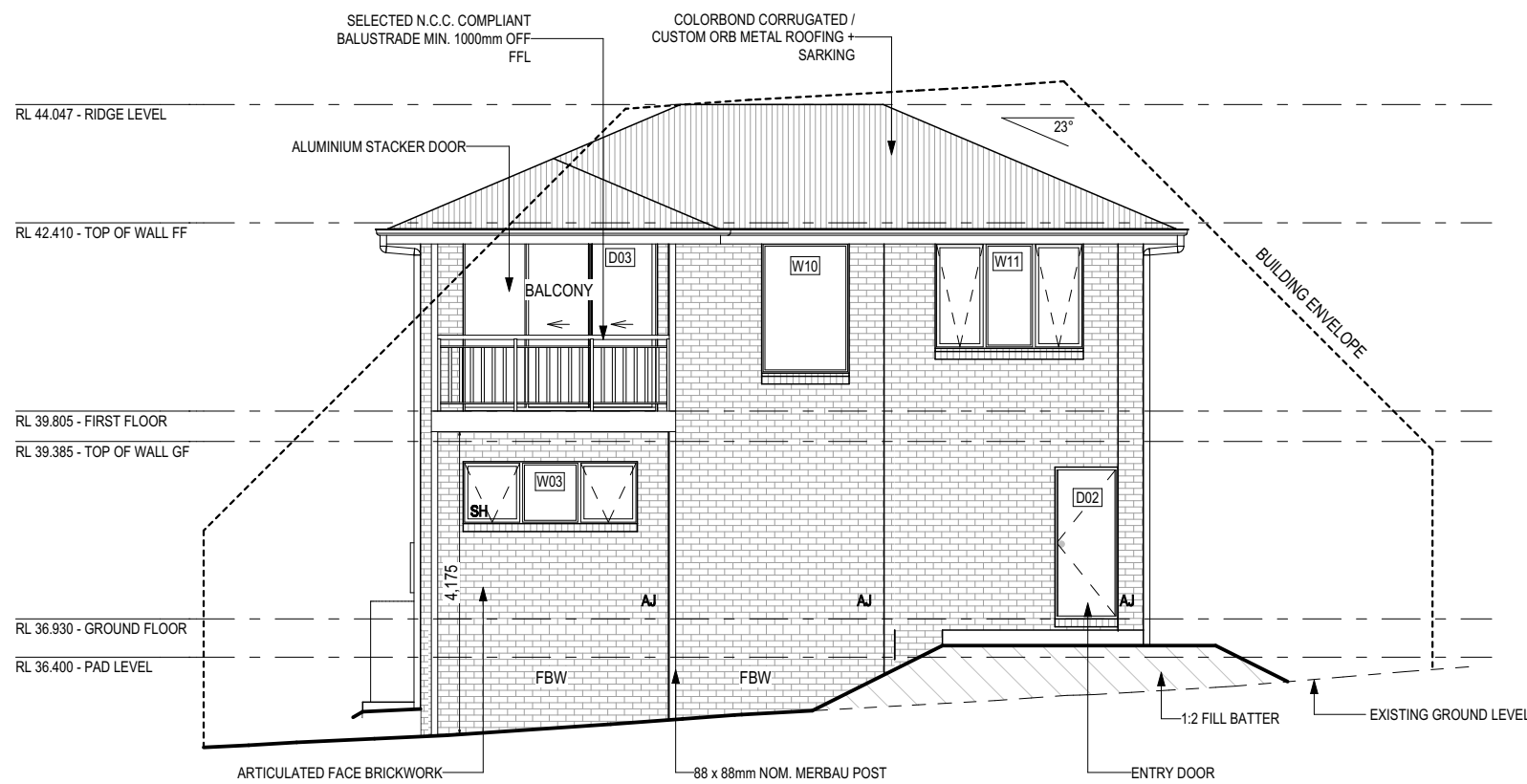
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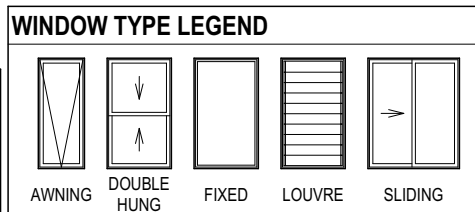
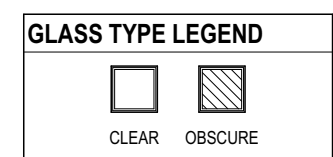
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NORTH ELEVATION
 SCALE: 1:100



SOUTH ELEVATION
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| | |
|----------------|------------|
| HOUSE DESIGN: | LAGANA 15 |
| FACADE DESIGN: | MONTROSE |
| SHEET TITLE: | ELEVATIONS |
| COUNCIL: | DEVONPORT |

| | |
|--------------|-----------------|
| HOUSE CODE: | H-WDCLGN10DA |
| FACADE CODE: | F-WDCLGN10MTSEA |
| SHEET No.: | 6 / 26 |
| SCALES: | 1:100 |

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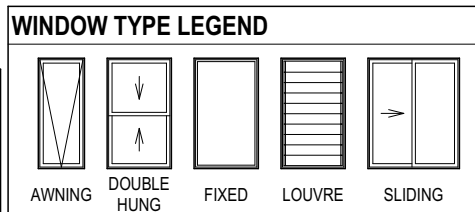
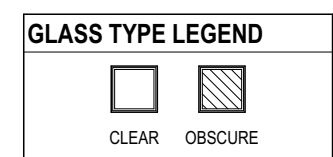
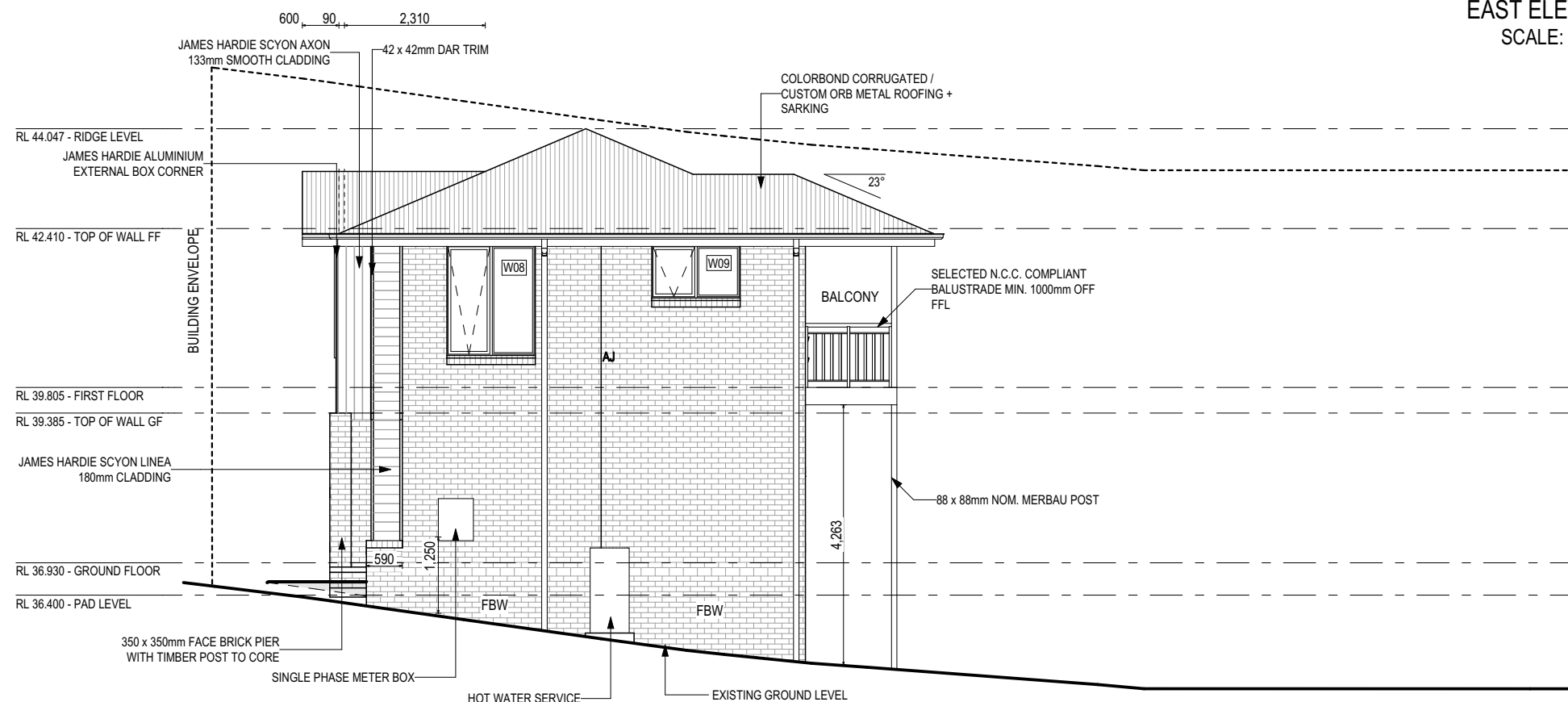
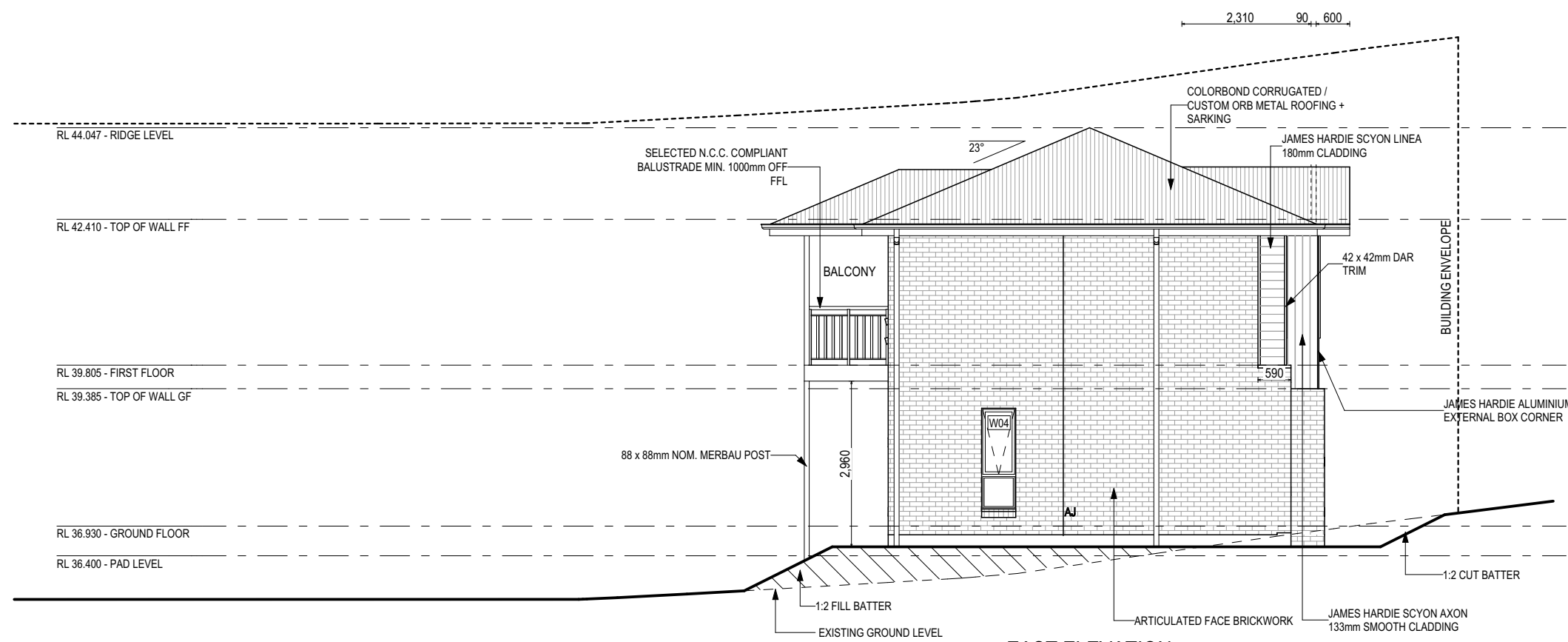
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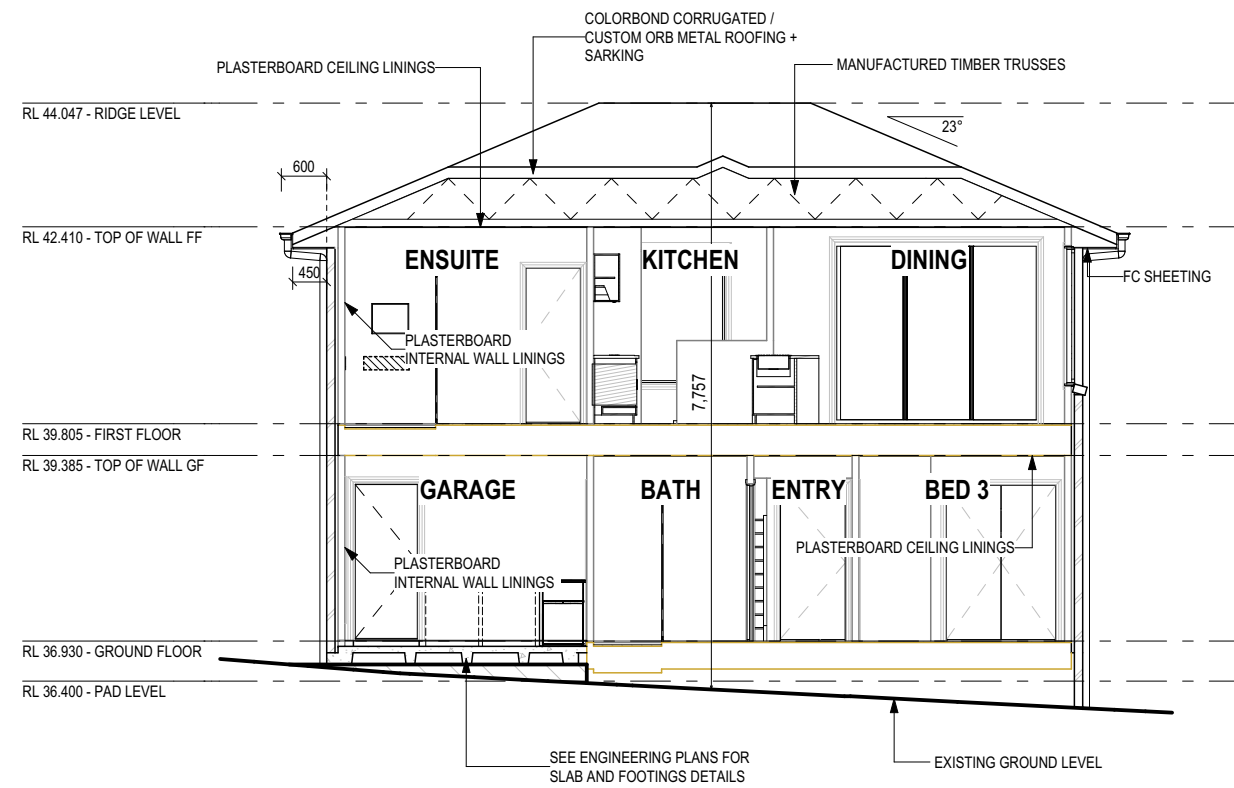
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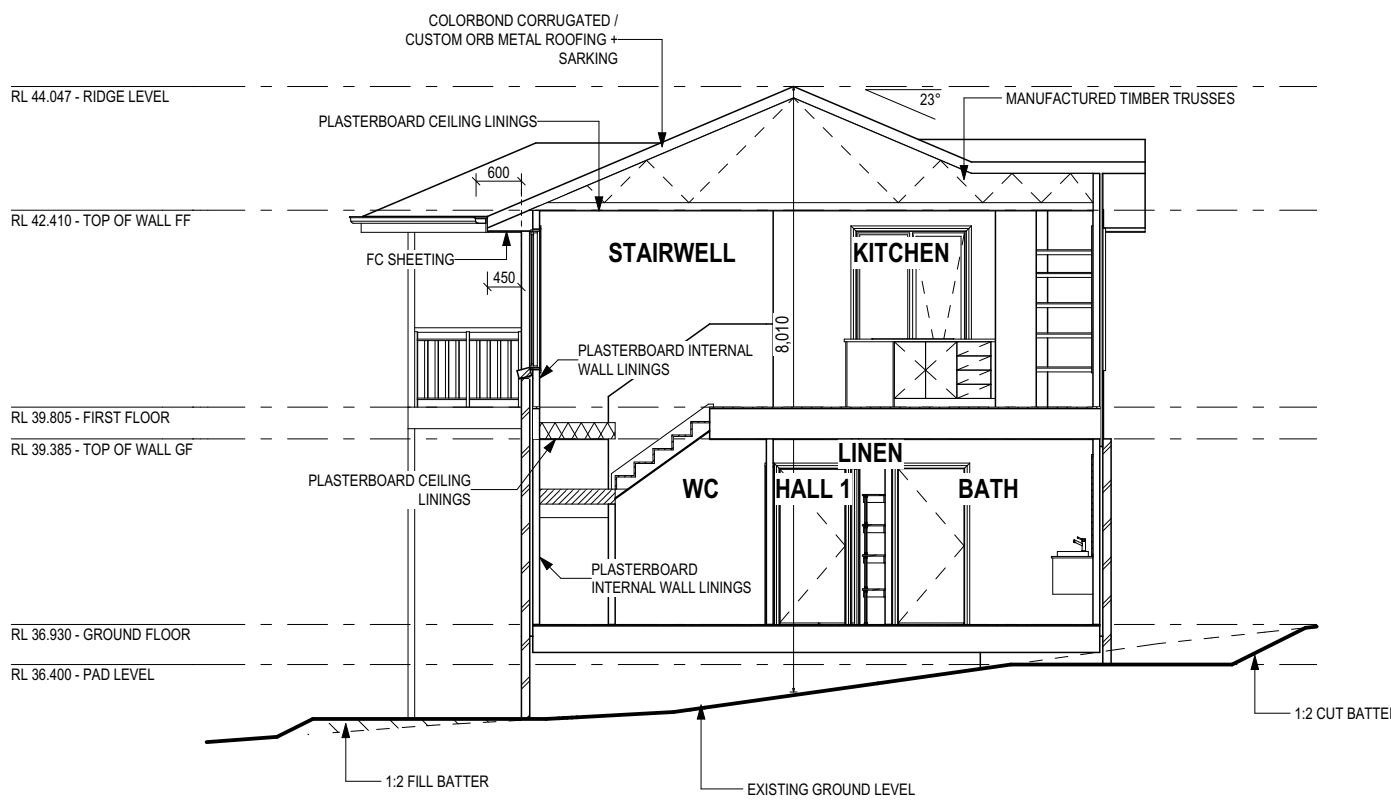
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| | | | COUNCIL: | SCALES: | 1:100 | |
| | | | DEVONPORT | | | |



SECTION A-A
SCALE: 1:100



SECTION B-B
SCALE: 1:100

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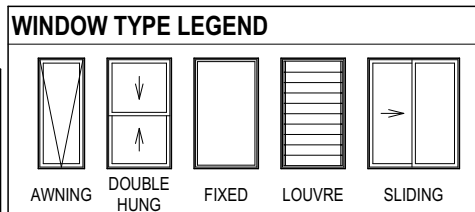
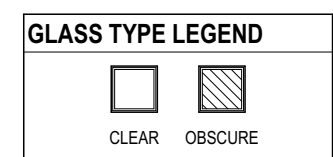
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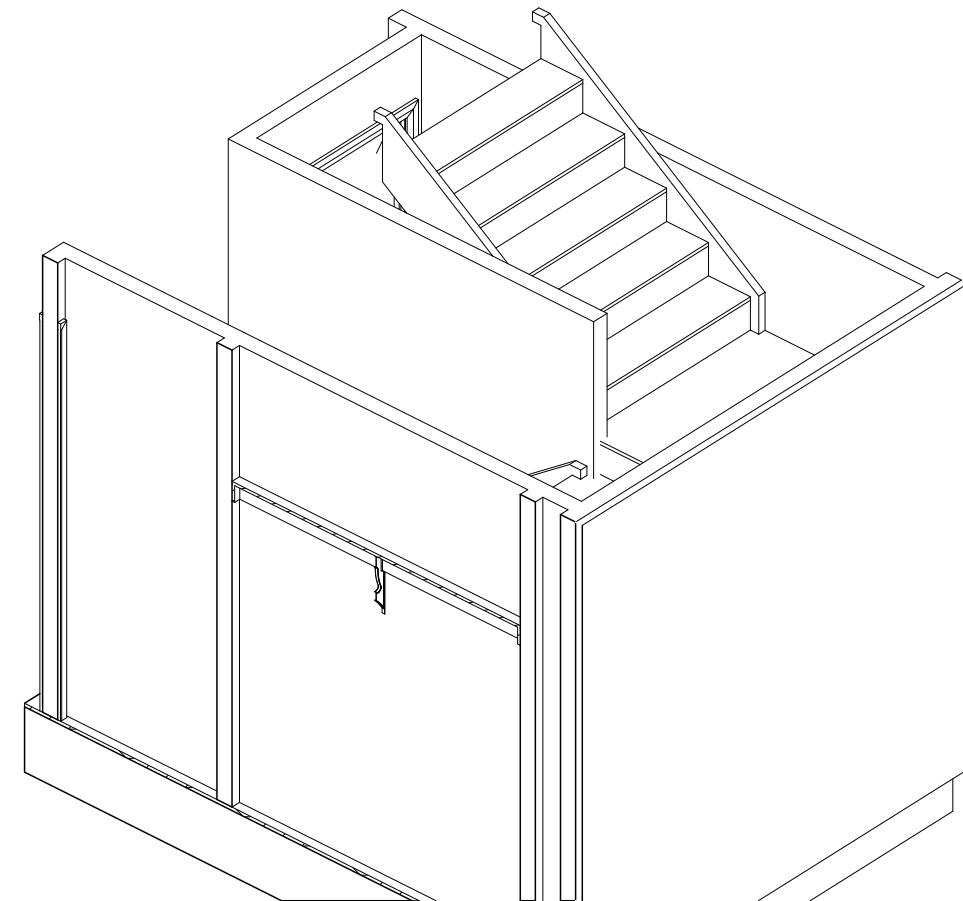
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| LOT / SECTION / CT: | 39 / - / NYR |
| COUNCIL: | DEVONPORT |

| | |
|----------------|-----------|
| HOUSE DESIGN: | LAGANA 15 |
| FACADE DESIGN: | MONTROSE |
| SHEET TITLE: | SECTION |
| SHEET No.: | 8 / 26 |

| | |
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| | |
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| FACADE DESIGN: | MONTROSE |
| SHEET TITLE: | STAIRCASE 3D VIEWS |
| SHEET No.: | 9 / 26 |

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| FACADE CODE: | F-WDCLGN10MTSEA |
| SCALES: | |

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EXTERIOR WINDOW & DOOR SCHEDULE 1,2 ASSUME LOOKING FROM OUTSIDE

| STOREY | ID | CODE ¹ | TYPE | ROOM | HEIGHT | WIDTH | PERIMETER | AREA (m ²) | FRAME TYPE | BAL RATING | SILL TYPE | ORIENT. | GLAZING AREA (m ²) | GLAZING TYPE (SINGLE GLAZING U.N.O.) | ADDITIONAL INFORMATION ² | |
|---------------|-----|-------------------|----------|-----------|--------|-------|------------------|------------------------|------------|------------|-------------|--------------|--------------------------------|--------------------------------------|-------------------------------------|--|
| WINDOW | | | | | | | | | | | | | | | | |
| GROUND FLOOR | W01 | A1209 | AWNING | BATH | 1,200 | 850 | 4,100 | 1.02 | ALUMINIUM | N/A | SNAP HEADER | N | 0.78 | OBSCURE, DOUBLE GLAZED, TOUGHENED | | |
| GROUND FLOOR | W02 | AF1815 | AWNING | BED 3 | 1,800 | 1,450 | 6,500 | 2.61 | ALUMINIUM | N/A | NONE | N | 2.13 | CLEAR, DOUBLE GLAZED | MP 725 | |
| GROUND FLOOR | W03 | AFA0924 | AWNING | BED 2 | 857 | 2,410 | 6,534 | 2.07 | ALUMINIUM | N/A | SNAP HEADER | S | 1.56 | CLEAR, DOUBLE GLAZED | MP 803-803 | |
| GROUND FLOOR | W04 | A/F1806 | AWNING | GARAGE | 1,800 | 610 | 4,820 | 1.10 | ALUMINIUM | N/A | ANGLED | E | 0.80 | CLEAR, TOUGHENED | BP 600 | |
| FIRST FLOOR | W05 | AF1815 | AWNING | ENS | 1,800 | 1,450 | 6,500 | 2.61 | ALUMINIUM | N/A | NONE | N | 2.13 | OBSCURE, DOUBLE GLAZED, TOUGHENED | MP 725 | |
| FIRST FLOOR | W06 | AF1812 | AWNING | KITCHEN | 1,800 | 1,210 | 6,020 | 2.18 | ALUMINIUM | N/A | NONE | N | 1.72 | CLEAR, DOUBLE GLAZED | MP 605 | |
| FIRST FLOOR | W07 | AF1815 | AWNING | DINING | 1,800 | 1,450 | 6,500 | 2.61 | ALUMINIUM | N/A | NONE | N | 2.13 | CLEAR, DOUBLE GLAZED | MP 725 | |
| FIRST FLOOR | W08 | AF1815 | AWNING | DINING | 1,800 | 1,450 | 6,500 | 2.61 | ALUMINIUM | N/A | ANGLED | W | 2.13 | CLEAR, DOUBLE GLAZED | MP 725 | |
| FIRST FLOOR | W09 | AF0915 | AWNING | LIVING | 857 | 1,450 | 4,614 | 1.24 | ALUMINIUM | N/A | ANGLED | W | 0.95 | CLEAR, DOUBLE GLAZED | MP 725 | |
| FIRST FLOOR | W10 | F1812 | FIXED | STAIRWELL | 1,800 | 1,210 | 6,020 | 2.18 | ALUMINIUM | N/A | ANGLED | S | 1.97 | CLEAR, DOUBLE GLAZED | | |
| FIRST FLOOR | W11 | AFA1521 | AWNING | BED 1 | 1,457 | 2,050 | 7,014 | 2.99 | ALUMINIUM | N/A | ANGLED | S | 2.33 | CLEAR, DOUBLE GLAZED | MP 683-683 | |
| | | | | | | | 65,122 mm | 23.21 | | | | 18.62 | | | | |
| DOOR | | | | | | | | | | | | | | | | |
| GROUND FLOOR | D01 | 920 | SWINGING | ENTRY | 2,097 | 976 | 6,146 | 2.05 | ALUMINIUM | N/A | SNAP HEADER | N | 1.41 | CLEAR | | |
| GROUND FLOOR | D02 | HD2109R | SWINGING | GARAGE | 2,100 | 870 | 5,940 | 1.83 | ALUMINIUM | N/A | SNAP HEADER | S | 1.22 | NA | | |
| FIRST FLOOR | D03 | FSS2427 | STACKER | LIVING | 2,400 | 2,688 | 10,176 | 6.45 | ALUMINIUM | N/A | SNAP HEADER | S | 5.70 | CLEAR, DOUBLE GLAZED, TOUGHENED | | |
| | | | | | | | 22,262 mm | 10.32 | | | | 8.33 | | | | |
| | | | | | | | 87,384 mm | 33.53 | | | | 26.95 | | | | |

Window Manufacturer: Dowell Windows

| No BAL / BAL 12.5 | WERS Code | U Value | SHGC |
|-----------------------|-------------|---------|------|
| Window Type | | | |
| Sliding Window | DOW-022-003 | 2.9 | 0.64 |
| Awning Window | DOW-005-001 | 3.9 | 0.58 |
| Fixed External Window | DOW-038-001 | 3.03 | 0.71 |
| Sliding Door | DAR-034-001 | 3.97 | 0.63 |
| Stacking Door | DAR-034-001 | 3.97 | 0.63 |
| Hinged Door | DOW-017-001 | 4.1 | 0.55 |
| Bi-Fold Door | DOW-020-001 | 4.1 | 0.54 |
| BAL 19 | | | |
| Window Type | | | |
| Sliding Window | TND-034-001 | 3.1 | 0.61 |
| Awning Window | STG-001-066 | 3.91 | 0.54 |
| Fixed External Window | DOW-038-005 | 3.02 | 0.66 |
| Sliding Door | AUW-009-009 | 4.03 | 0.58 |
| Stacking Door | AUW-009-009 | 4.03 | 0.58 |
| Hinged Door | GRN-009-001 | 4.25 | 0.53 |
| Bi-Fold Door | DOW-020-001 | 4.1 | 0.54 |
| BAL 29 | | | |
| Window Type | | | |
| Sliding Window | TND-034-001 | 3.1 | 0.61 |
| Awning Window | STG-001-066 | 3.91 | 0.54 |
| Fixed External Window | DOW-038-005 | 3.02 | 0.66 |
| Sliding Door | AMJ-007-005 | 4.03 | 0.59 |
| Stacking Door | AMJ-007-005 | 4.03 | 0.59 |
| Hinged Door | GRN-009-001 | 4.29 | 0.53 |

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

| PICTURE, TV RECESS AND SS WINDOW OPENINGS | | | | |
|---|------|--------|-------|------------------------|
| QTY | TYPE | HEIGHT | WIDTH | AREA (m ²) |
| | | | | |

INTERIOR WINDOW & DOOR SCHEDULE

| STOREY | QTY | CODE | TYPE | HEIGHT | WIDTH | GLAZING TYPE | ADDITIONAL INFORMATION |
|--------------|-----|---------|--------------------|--------|-------|--------------|--------------------------------|
| DOOR | | | | | | | |
| GROUND FLOOR | 1 | 1300 SS | SQUARE SET OPENING | 2,155 | 1,300 | N/A | |
| GROUND FLOOR | 3 | 2 x 720 | SWINGING | 2,040 | 1,440 | N/A | |
| GROUND FLOOR | 4 | 870 | SWINGING | 2,040 | 870 | N/A | |
| GROUND FLOOR | 1 | 870 UC | SWINGING | 2,040 | 870 | N/A | 20mm UNDERCUT, LIFT-OFF HINGES |
| FIRST FLOOR | 1 | 720 | SWINGING | 2,040 | 720 | N/A | LIFT-OFF HINGES |
| FIRST FLOOR | 1 | 800 SS | SQUARE SET OPENING | 2,155 | 800 | N/A | |
| FIRST FLOOR | 1 | 820 | SWINGING | 2,040 | 820 | N/A | |

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

| | | | | | | | |
|--|----------------|--|----------------|--|-------------------------|-----------------|--|
|  | SPECIFICATION: | REVISION | DRAWN | CLIENT: | HOUSE DESIGN: | HOUSE CODE: | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. |
| | DISCOVERY | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | H-WDCLGN10DA | |
| | COPYRIGHT: | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | |
| | © 2026 | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | MONTROSE | F-WDCLGN10MTSEA | |
| | | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | |
| | | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | 39 / - / NYR | WINDOW & DOOR SCHEDULES | 10 / 26 | |
| | | | COUNCIL: | DEVONPORT | SCALES: | 714513 | |

NATURAL LIGHT AND VENTILATION

| ROOM | AREA (m2) | WINDOW ID | LIGHT REQUIRED (m2) | LIGHT ACHIEVED (m2) | VENTILATION REQ'D (m2) | VENTILATION ACH'D (m2) |
|-----------------------------|----------------------|-------------------------|---------------------|----------------------|------------------------|------------------------|
| OPEN KITCHEN/DINING /LIVING | 35.58 m ² | D03, W06, W07, W08, W09 | 3.56 m ² | 12.63 m ² | 1.78 m ² | 7.99 m ² |
| BED 1 | 11.23 m ² | W11 | 1.12 m ² | 2.33 m ² | 0.56 m ² | 1.82 m ² |
| BED 2 | 11.20 m ² | W03 | 1.12 m ² | 1.56 m ² | 0.56 m ² | 1.24 m ² |
| BED 3 | 9.67 m ² | W02 | 0.97 m ² | 2.13 m ² | 0.48 m ² | 1.21 m ² |

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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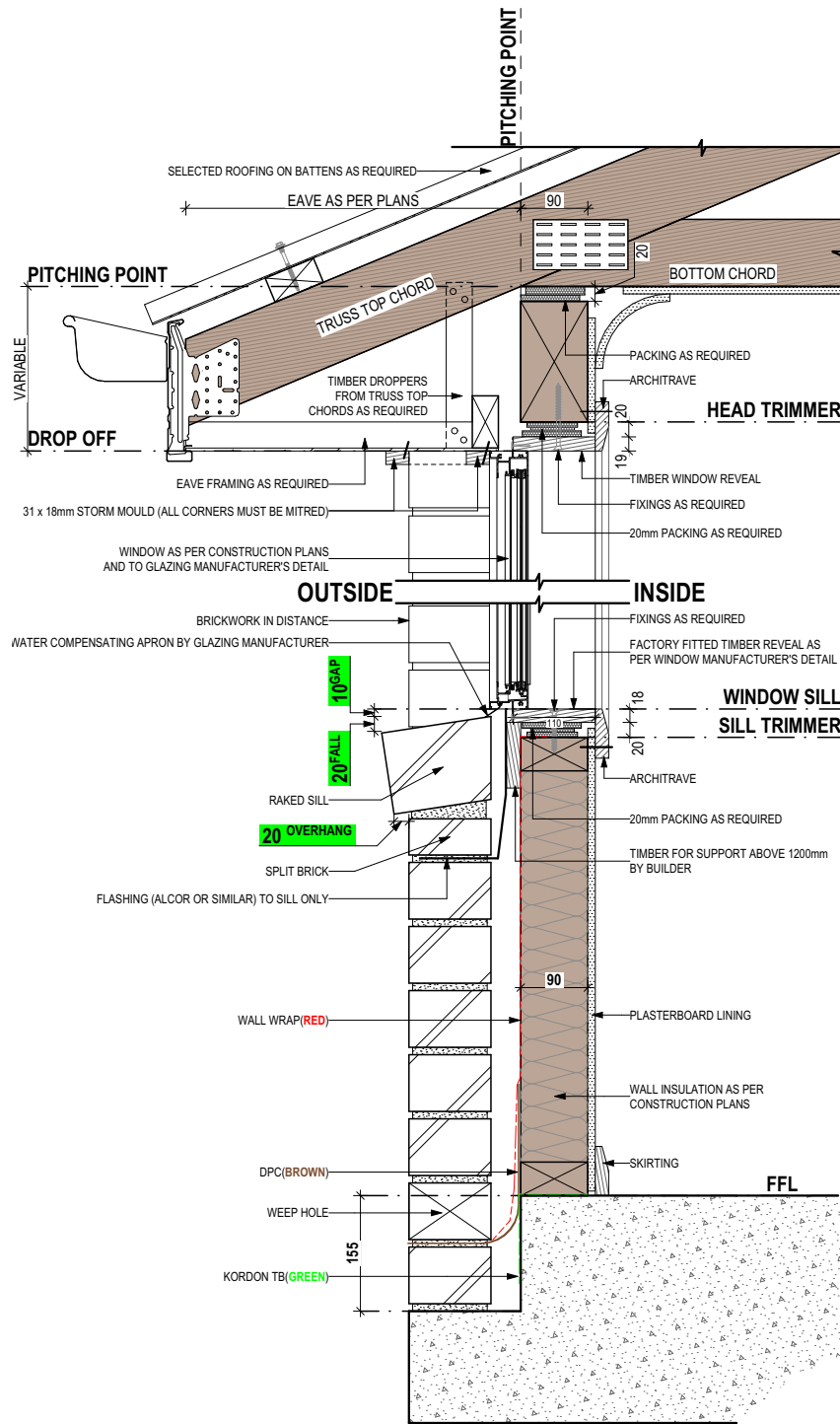
SIGNATURE: _____ DATE: _____

PLEASE NOTE THAT VARIATIONS WILL NOT BE ACCEPTED AFTER THIS PLAN ACCEPTANCE HAS BEEN SIGNED

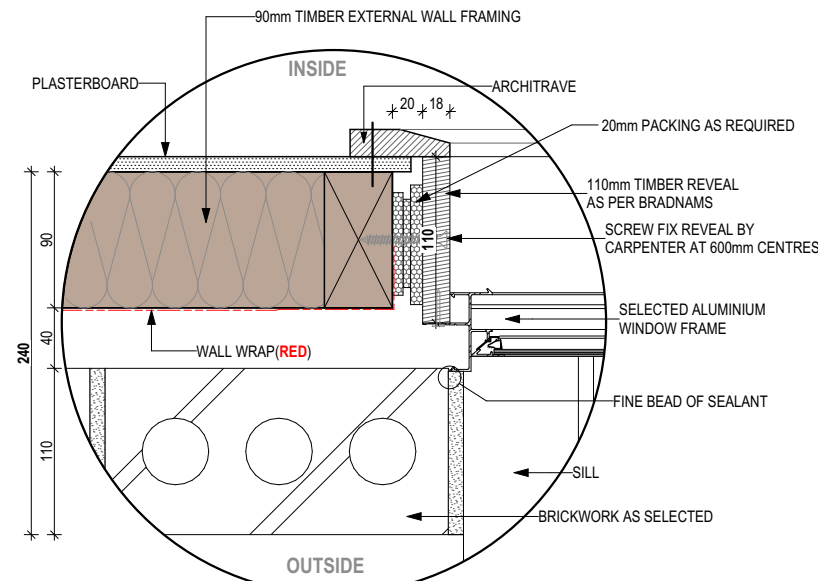
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| | | | | | | | | |
|--|------------------------------------|--|----------------|--|----------------------------|---------------------------------|--|--------|
| | SPECIFICATION: DISCOVERY | REVISION | DRAWN | CLIENT: KEELEY ELIZABETH ANN CROSSWELL | HOUSE DESIGN: LAGANA 15 | HOUSE CODE: H-WDCLGN10DA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. | |
| | COPYRIGHT: © 2026 | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | FACADE DESIGN: MONTROSE | FACADE CODE: F-WDCLGN10MTSEA | | |
| | | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | LOT / SECTION / CT: 39 / - / NYR | COUNCIL: DEVONPORT | SHEET No.: 11 / 26 | | 714513 |
| | | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | | | | | |
| | | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | | | |
| | | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | | |



SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

| STANDARD BRICK | | | | | | | | STANDARD BRICK | | | | | | | | | | | | | | | |
|----------------------|--------|---------------------|--------|--|--------|--------------|--------|----------------------|--------|--------------------|--------|----------------------|--------|---------------------|--------|--|--------|---------|--------|----------------------|--|--|--|
| BRICKWORK DIMENSIONS | | | | Bricks per m ² in wall = 48.5 approx. | | | | all dimensions in mm | | | | BRICKWORK DIMENSIONS | | | | Bricks per m ² in wall = 48.5 approx. | | | | all dimensions in mm | | | |
| FORMAT SIZE: | | MANUFACTURING SIZE: | | VERTICAL GAUGE: | | FORMAT SIZE: | | MANUFACTURING SIZE: | | VERTICAL GAUGE: | | FORMAT SIZE: | | MANUFACTURING SIZE: | | VERTICAL GAUGE: | | | | | | | |
| 240x120x86mm | | 230x110x76mm | | 7 Courses to 600mm | | 240x120x86mm | | 230x110x76mm | | 7 Courses to 600mm | | 240x120x86mm | | 230x110x76mm | | 7 Courses to 600mm | | | | | | | |
| NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | | | | |
| 1 | 230 | 250 | 86 | 26 | 6230 | 6250 | 2229 | 11 | 2630 | 2650 | 943 | 36' 2 | 8630 | | | | | | 3086 | | | | |
| 1 1/2 | 350 | 370 | | 26 1/2 | 6350 | 6370 | | 11 1/2 | 2750 | 2770 | | 36 1/2 | 8750 | | | | | | 3172 | | | | |
| 2 | 470 | 490 | 172 | 27 | 6470 | 6490 | 2314 | 12 | 2870 | 2890 | 1029 | 37 | 8870 | | | | | | 3257 | | | | |
| 2 1/2 | 590 | 610 | | 27 1/2 | 6590 | 6610 | | 12 1/2 | 2990 | 3010 | | 37 1/2 | 8990 | | | | | | 3343 | | | | |
| 3 | 710 | 730 | 257 | 28 | 6710 | 6730 | 2400 | 13 | 3110 | 3130 | 1114 | 38 | 9110 | | | | | | 3429 | | | | |
| 3 1/2 | 830 | 850 | | 28 1/2 | 6830 | 6850 | | 13 1/2 | 3230 | 3250 | | 38 1/2 | 9230 | | | | | | 3514 | | | | |
| 4 | 950 | 970 | 343 | 29 | 6950 | 6970 | 2486 | 14 | 3350 | 3370 | 1200 | 39 | 9350 | | | | | | 3600 | | | | |
| 4 1/2 | 1070 | 1090 | | 29 1/2 | 7070 | 7090 | | 14 1/2 | 3470 | 3490 | | 39 1/2 | 9470 | | | | | | 3686 | | | | |
| 5 | 1190 | 1210 | 429 | 30 | 7190 | 7210 | 2572 | 15 | 3590 | 3610 | 1286 | 40 | 9590 | | | | | | 3772 | | | | |
| 5 1/2 | 1310 | 1330 | | 30 1/2 | 7310 | 7330 | | 15 1/2 | 3710 | 3730 | | 40 1/2 | 9710 | | | | | | 3857 | | | | |
| 6 | 1430 | 1450 | 514 | 31 | 7430 | 7450 | 2657 | 16 | 3830 | 3850 | 1372 | 41 | 9830 | | | | | | 3943 | | | | |
| 6 1/2 | 1550 | 1570 | | 31 1/2 | 7550 | 7570 | | 16 1/2 | 3950 | 3970 | | 41 1/2 | 9950 | | | | | | 4029 | | | | |
| 7 | 1670 | 1690 | 600 | 32 | 7670 | 7690 | 2743 | 17 | 4070 | 4090 | 1457 | 42 | 10070 | | | | | | 4114 | | | | |
| 7 1/2 | 1790 | 1810 | | 32 1/2 | 7790 | 7810 | | 17 1/2 | 4190 | 4210 | | 42 1/2 | 10190 | | | | | | 4200 | | | | |
| 8 | 1910 | 1930 | 686 | 33 | 7910 | 7930 | 2829 | 18 | 4310 | 4330 | 1543 | 43 | 10310 | | | | | | 4286 | | | | |
| 8 1/2 | 2030 | 2050 | | 33 1/2 | 8030 | 8050 | | 18 1/2 | 4430 | 4450 | | 43 1/2 | 10430 | | | | | | 4372 | | | | |
| 9 | 2150 | 2170 | 772 | 34 | 8150 | 8170 | 2914 | 19 | 4550 | 4570 | 1629 | 44 | 10550 | | | | | | 4457 | | | | |
| 9 1/2 | 2270 | 2290 | | 34 1/2 | 8270 | 8290 | | 19 1/2 | 4670 | 4690 | | 44 1/2 | 10670 | | | | | | 4543 | | | | |
| 10 | 2390 | 2410 | 857 | 35 | 8390 | 8400 | 3000 | 20 | 4790 | 4810 | 1714 | 45 | 10790 | | | | | | 4629 | | | | |
| | | | | | | | | | 20 1/2 | 4910 | 4930 | | 45 1/2 | 10910 | | | | | 4714 | | | | |
| | | | | | | | | | 21 | 5030 | 5050 | 1800 | 46 | 11030 | | | | | 4800 | | | | |
| | | | | | | | | | 21 1/2 | 5150 | 5170 | | 46 1/2 | 11150 | | | | | 4886 | | | | |
| | | | | | | | | | 22 | 5270 | 5290 | 1886 | 47 | 11270 | | | | | 4972 | | | | |
| | | | | | | | | | 22 1/2 | 5390 | 5410 | | 47 1/2 | 11390 | | | | | 5057 | | | | |
| | | | | | | | | | 23 | 5510 | 5530 | 1972 | 48 | 11510 | | | | | 5143 | | | | |
| | | | | | | | | | 23 1/2 | 5630 | 5650 | | 48 1/2 | 11630 | | | | | 5229 | | | | |
| | | | | | | | | | 24 | 5750 | 5770 | 2057 | 49 | 11750 | | | | | 5314 | | | | |
| | | | | | | | | | 24 1/2 | 5870 | 5890 | | 49 1/2 | 11870 | | | | | 5400 | | | | |
| | | | | | | | | | 25 | 5990 | 6010 | 2143 | 50 | 11990 | | | | | 5486 | | | | |
| | | | | | | | | | 25 1/2 | 6110 | 6130 | | 50 | 12110 | | | | | 5572 | | | | |

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

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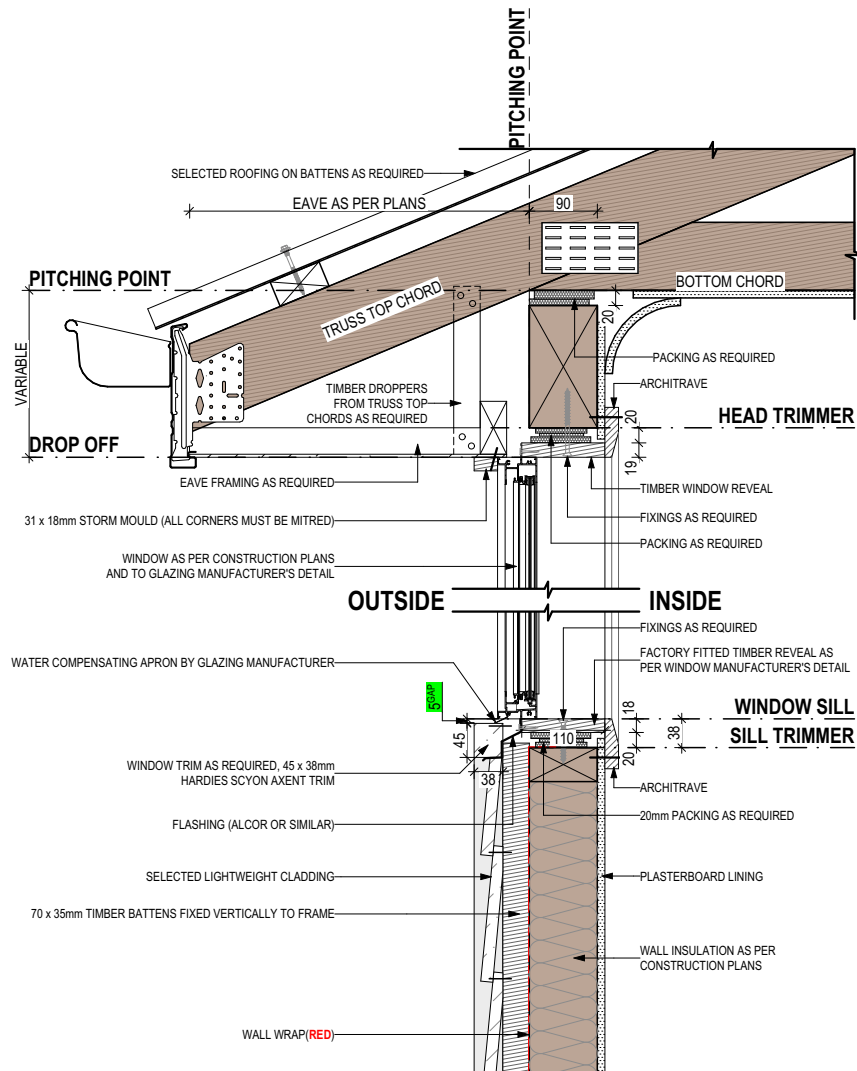
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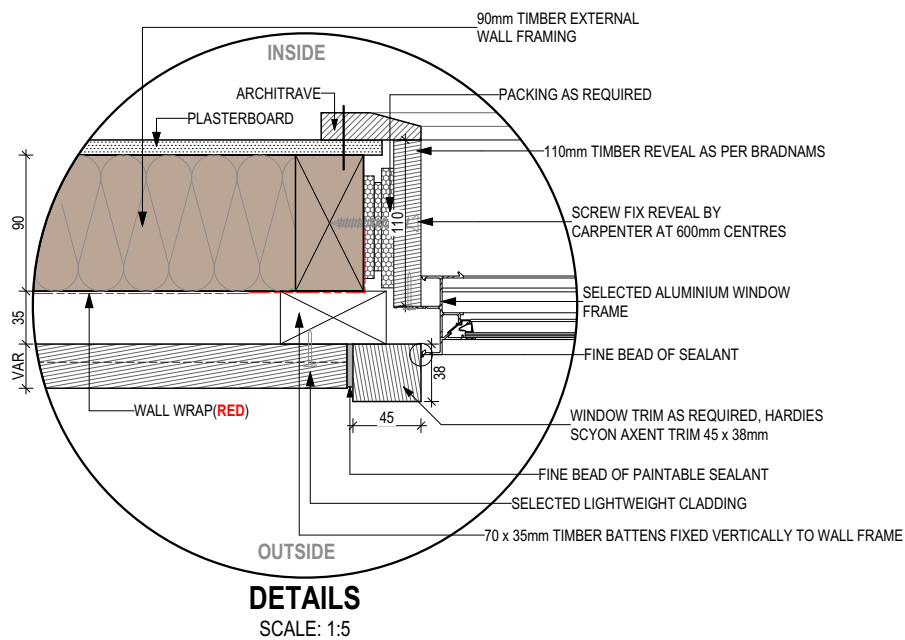
| | | | | | | | | |
|--|------------------------------------|--|----------------|---|-----------------------------------|---|--|------------------------------|
| | SPECIFICATION: DISCOVERY | REVISION | DRAWN | CLIENT: KEELEY ELIZABETH ANN CROSSWELL | HOUSE DESIGN: LAGANA 15 | HOUSE CODE: H-WDCLGN10DA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. | |
| | COPYRIGHT: © 2026 | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | FACADE DESIGN: MONTROSE | FACADE CODE: F-WDCLGN10MTSEA | | |
| | | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | LOT / SECTION / CT: 39 / - / NYR | COUNCIL: DEVONPORT | SHEET TITLE: DETAILS (FACE BRICKWORK) | | SHEET No.: 12 / 26 |
| | | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | | | | | SCALES: |
| | | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | | | |
| | | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | | |

714513

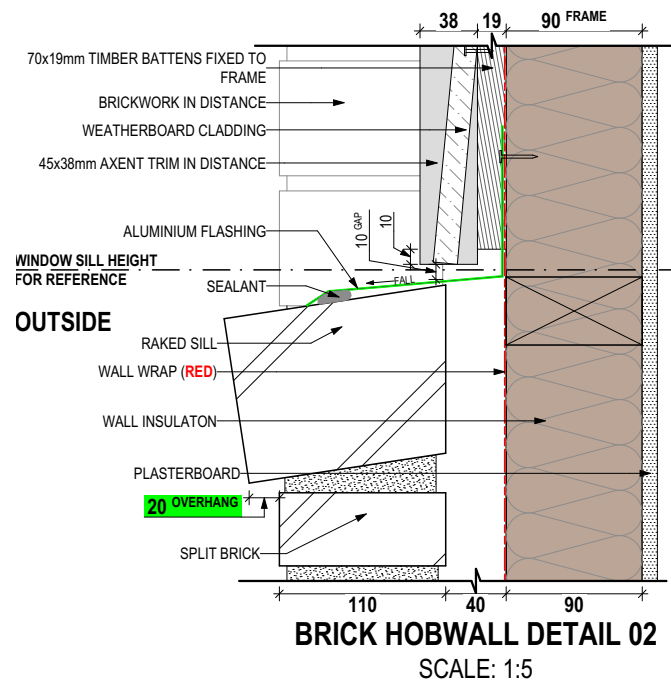
REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL



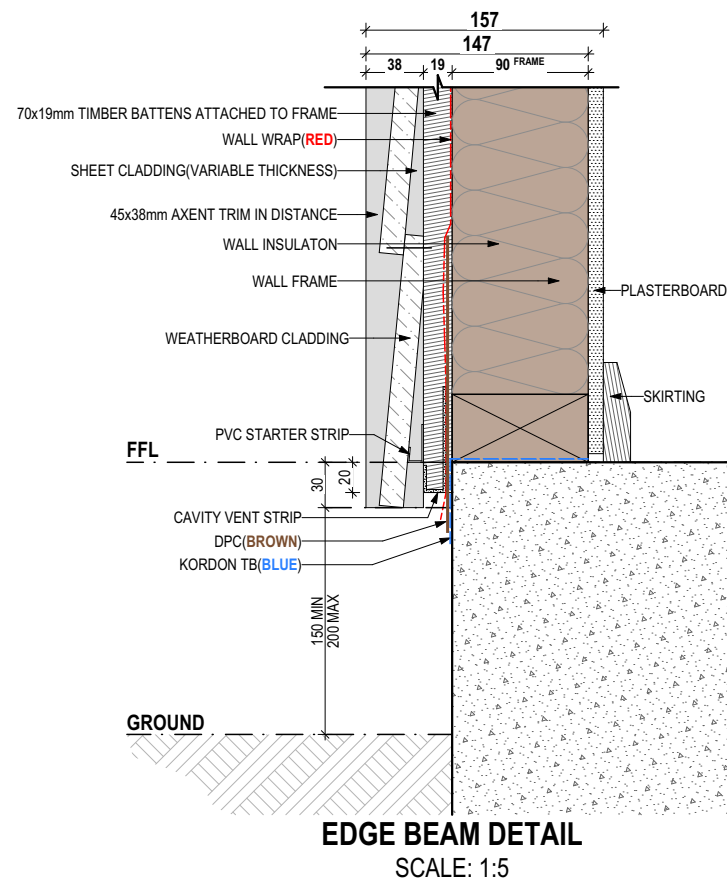
SECTIONS
SCALE: 1:10



DETAILS
SCALE: 1:5

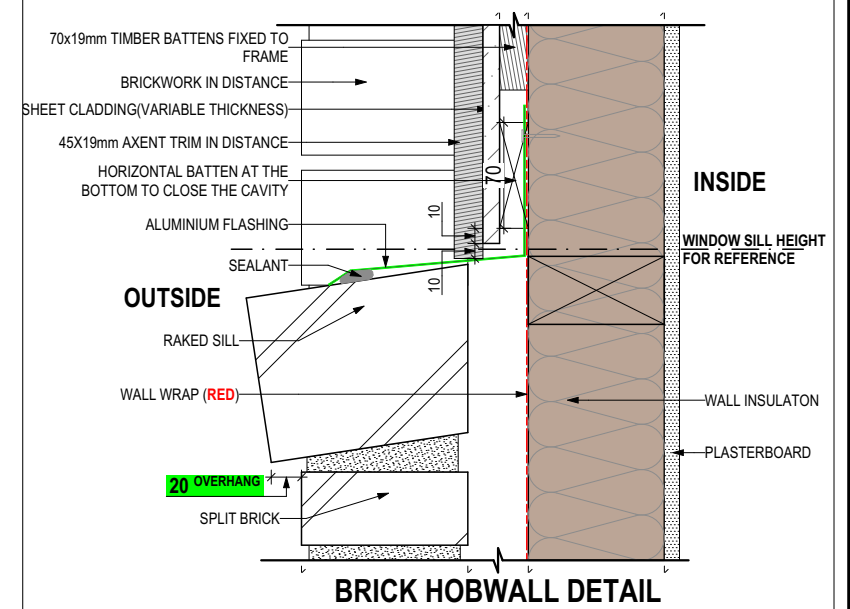


BRICK HOBWALL DETAIL 02
SCALE: 1:5

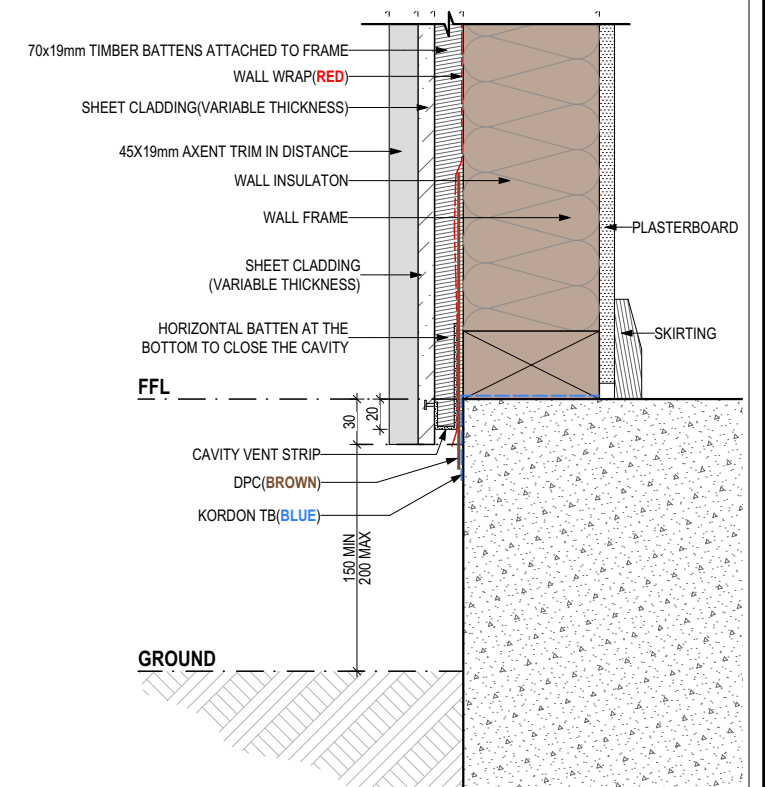


EDGE BEAM DETAIL
SCALE: 1:5

SHEET CLADDING



BRICK HOBWALL DETAIL



EDGE BEAM DETAIL

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(1 MAY 2023)
WATERPROOFING & PLUMBING

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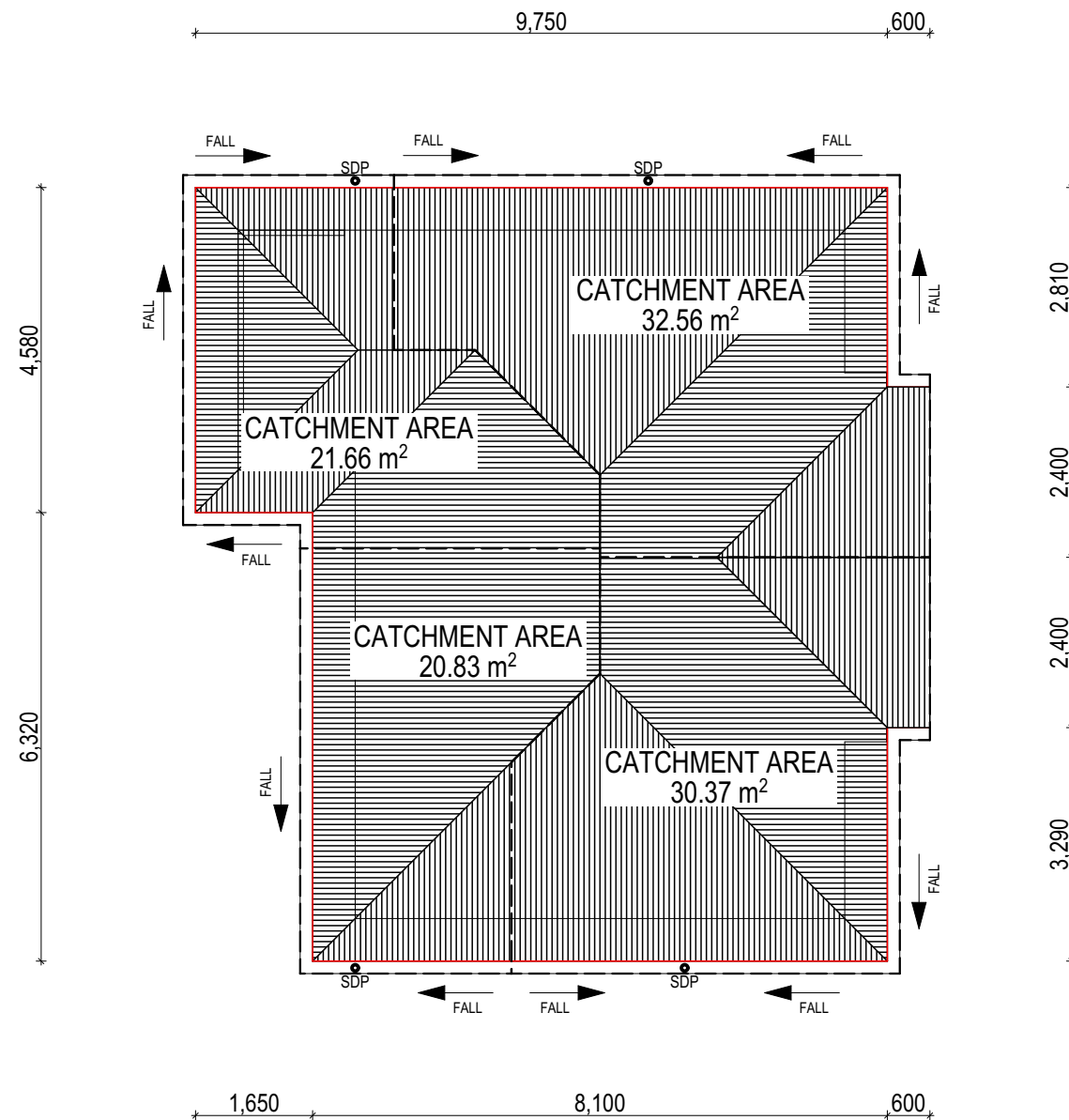
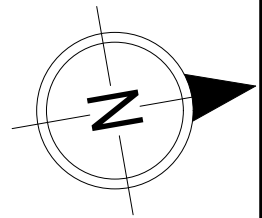
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| | | | | | | | | | | | |
|--|------------------------|--|---------------------|------------|--|-----------|-----------------------------|--|---------------------------|---------|--|
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| | 2 | DRAFT SALES PLAN - CP2 | MLG | 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | | LAGANA 15 | | H-WDCLGN10DA | | |
| | 3 | PRELIM PLANS - INITIAL ISSUE | NVO | 08/12/2025 | ADDRESS: | | FACADE DESIGN: | | FACADE CODE: | | |
| | 4 | PRELIM PLANS - PLAN CORRECTIONS | TNG | 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | | MONTROSE | | F-WDCLGN10MTSEA | | |
| | 5 | PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH | 26/02/2026 | LOT / SECTION / CT: | COUNCIL: | SHEET TITLE: | | SHEET No.: | SCALES: | |
| | 6 | PRELIM PLANS - HOUSE RE-SITING | CLG | 27.02.2026 | 39 / - / NYR | DEVONPORT | DETAILS (CLADDING) | | 13 / 26 | | |

Last Published: Friday, 27 February 2026 7:41 PM
File Location: G:\Wilson\8_Drafting\Job Files\714500\714513 - Crosswell (AC24)\Plans\714513 Crosswell - (AC24) - Rev.05 - 2026.02.27.pln
Template Version: 24.041



WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREAS SHOWN ARE SURFACE AREAS/CATCHMENT AREAS, NOT PLAN AREAS

| Roofing Data | | |
|---|--------|---|
| | 98.73 | Flat Roof Area (excluding gutter and slope factor) (m ²) |
| | 107.25 | Roof Surface Area (includes slope factor, excludes gutter) (m ²) |
| Downpipe roof calculations (as per AS/NZA3500.3:2021) | | |
| Ah | 105.42 | Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²) |
| Ac | 127.56 | Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021) (1.21 for 23° pitch) (m ²) |
| Ae | 6300 | Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²) |
| DRI | 119 | Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021) |
| Acdp | 64 | Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²) |
| Required Downpipes | 1.99 | Ac / Acdp |
| Downpipes Provided | 4 | |

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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| | |
|----------------|-----------|
| SPECIFICATION: | DISCOVERY |
| COPYRIGHT: | © 2026 |

| REVISION | DRAWN |
|--|----------------|
| 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 |
| 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 |
| 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 |
| 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 |
| 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 |

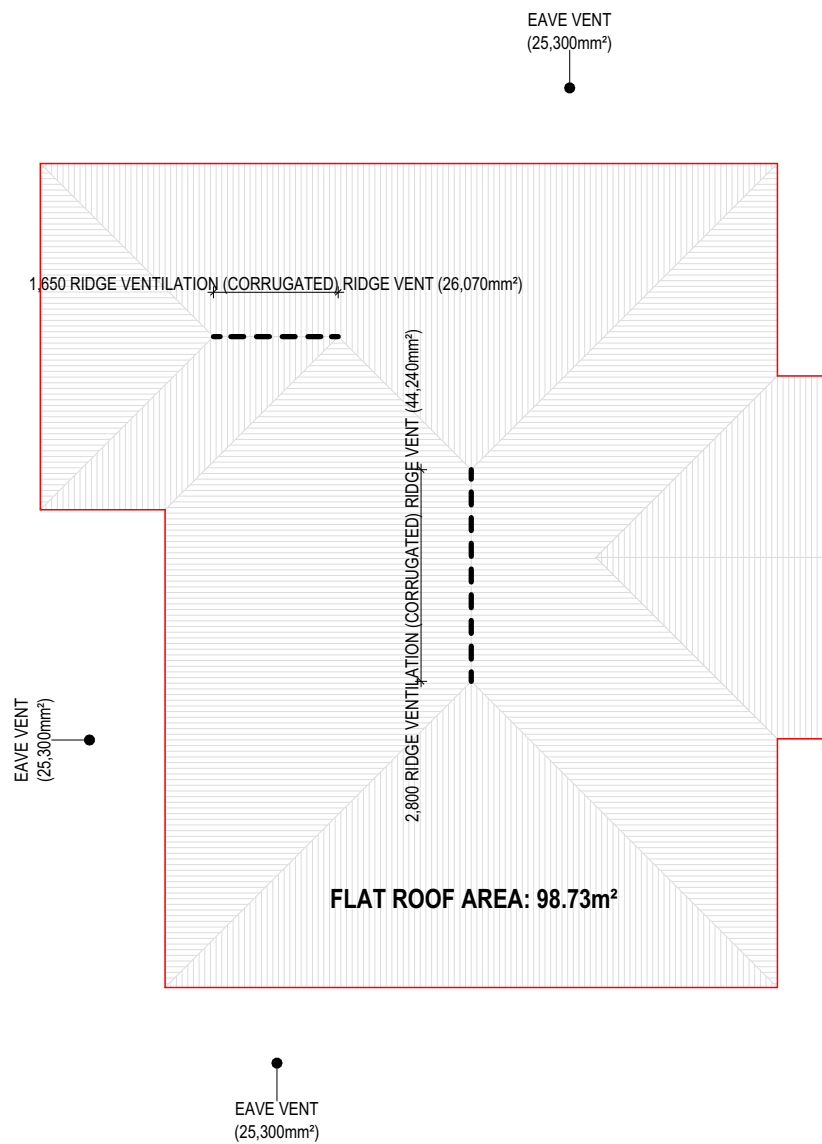
| | |
|---------------------|--|
| CLIENT: | KEELEY ELIZABETH ANN CROSSWELL |
| ADDRESS: | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 |
| LOT / SECTION / CT: | 39 / - / NYR |
| COUNCIL: | DEVONPORT |

| | |
|----------------|--------------------|
| HOUSE DESIGN: | LAGANA 15 |
| FACADE DESIGN: | MONTROSE |
| SHEET TITLE: | ROOF DRAINAGE PLAN |

| | |
|--------------|-----------------|
| HOUSE CODE: | H-WDCLGN10DA |
| FACADE CODE: | F-WDCLGN10MTSEA |
| SHEET No.: | 14 / 26 |
| SCALES: | 1:100 |

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714513



FIRST FLOOR 23° ROOF (ID 1)
 ROOF LENGTH: 10.900m
 ROOF PITCH: 23.0°
 CEILING: FLAT
 HIGH LEVEL VENTILATION REQUIRED: 54,495mm²
 LOW LEVEL VENTILATION REQUIRED: 76,293mm²

| ROOF SPACE VENTILATION | | | |
|--|------------------------|-----------------------------|--|
| REFER TO ROOF PLAN FOR VENTILATION LOCATIONS | | | |
| FIRST FLOOR 23° ROOF | | | |
| LONGEST HORIZONTAL ROOF LENGTH | | 10.900m | |
| ROOF PITCH | | 23.00° | |
| HIGH LEVEL VENTILATION | REQUIRED | 54,495mm² (5,000 x 10.900m) | |
| | PROVIDED | 70,310mm² | |
| LOW LEVEL VENTILATION | REQUIRED | 76,293mm² (7,000 x 10.900m) | |
| | PROVIDED | 75,900mm² | |
| MINIMUM REQUIRED SOFIT (EAVE) VENTS | EAVE VENT PROVIDED - 3 | | |

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| 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 |
| 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 |
| 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 |
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| 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 |

| | |
|---------------------|--|
| CLIENT: | KEELEY ELIZABETH ANN CROSSWELL |
| ADDRESS: | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 |
| LOT / SECTION / CT: | 39 / - / NYR |
| COUNCIL: | DEVONPORT |

| | |
|----------------|-----------------------|
| HOUSE DESIGN: | LAGANA 15 |
| FACADE DESIGN: | MONTROSE |
| SHEET TITLE: | ROOF VENTILATION PLAN |
| SHEET No.: | 15 / 26 |

| | |
|--------------|-----------------|
| HOUSE CODE: | H-WDCLGN10DA |
| FACADE CODE: | F-WDCLGN10MTSEA |
| SCALES: | 1:100 |

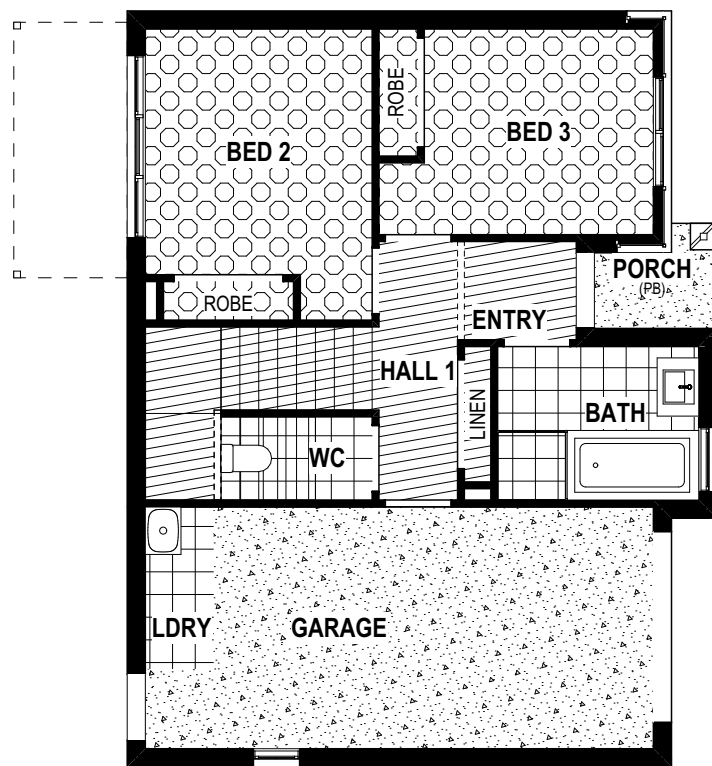
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

| | |
|--|---------------------------|
| | NO COVERING |
| | COVER GRADE CONCRETE |
| | CARPET |
| | LAMINATE |
| | TILE (STANDARD WET AREAS) |
| | TILE (UPGRADED AREAS) |
| | DECKING |



**SUBJECT TO NCC 2022
 (1 MAY 2023)
 WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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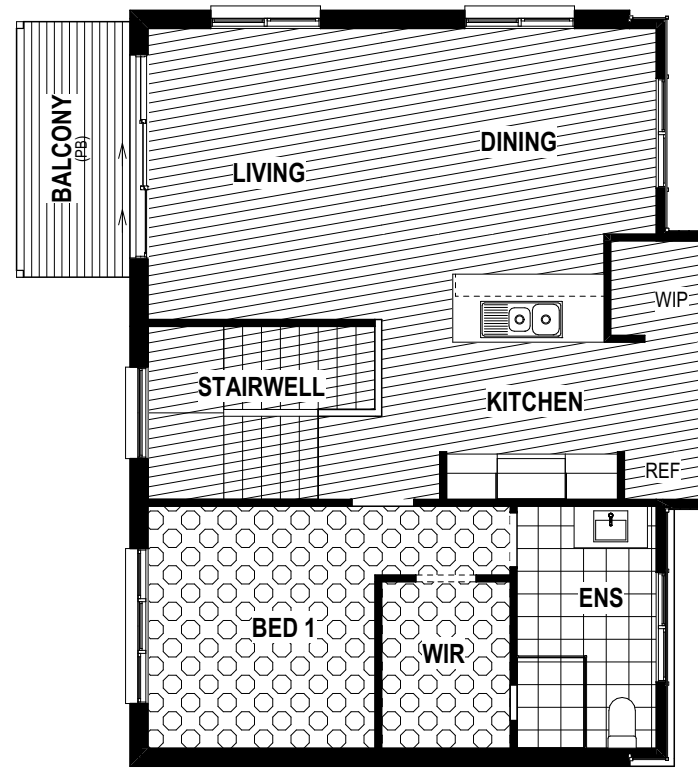
| | | | | | | | |
|--|----------|--|----------------|--|-----------------|---|-----------------|
| SPECIFICATION: DISCOVERY COPYRIGHT: © 2026 | REVISION | DRAWN | CLIENT: | HOUSE DESIGN: | HOUSE CODE: | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714513 | |
| | 2 | DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | | H-WDCLGN10DA |
| | 3 | PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: | FACADE DESIGN: | | FACADE CODE: |
| | 4 | PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | MONTROSE | | F-WDCLGN10MTSEA |
| | 5 | PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | LOT / SECTION / CT: | SHEET TITLE: | | SHEET No.: |
| | 6 | PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | 39 / - / NYR | FLOOR COVERINGS | | 16 / 26 |
| | | | COUNCIL: | DEVONPORT | SCALES: | 1:100 | |

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 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

| | |
|--|---------------------------|
| | NO COVERING |
| | COVER GRADE CONCRETE |
| | CARPET |
| | LAMINATE |
| | TILE (STANDARD WET AREAS) |
| | TILE (UPGRADED AREAS) |
| | DECKING |



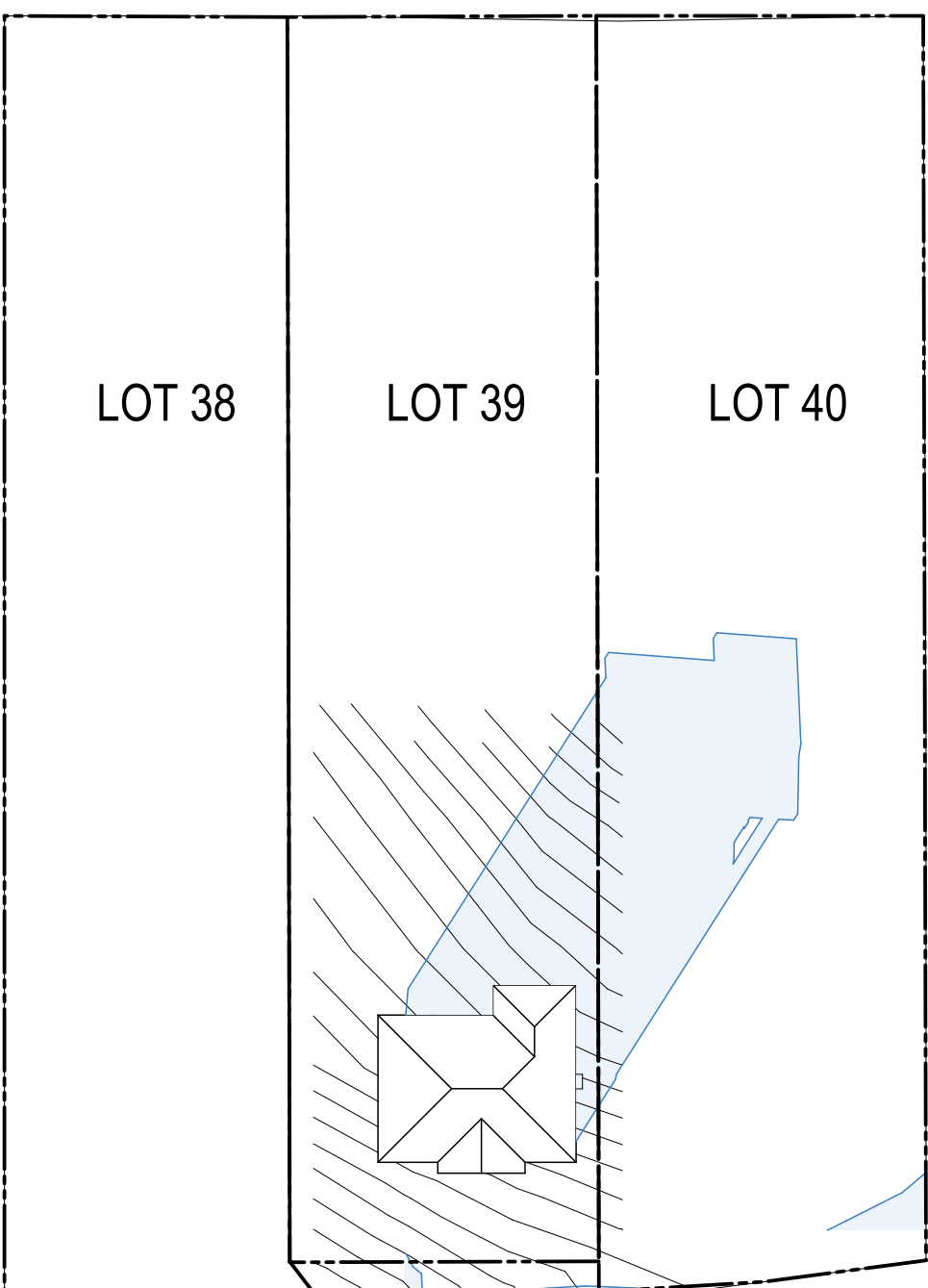
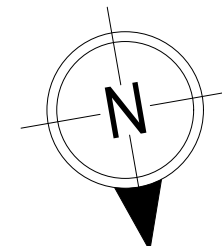
**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

| PLAN ACCEPTANCE BY OWNER | |
|---|-------------|
| SIGNATURE: _____ | DATE: _____ |
| SIGNATURE: _____ | DATE: _____ |
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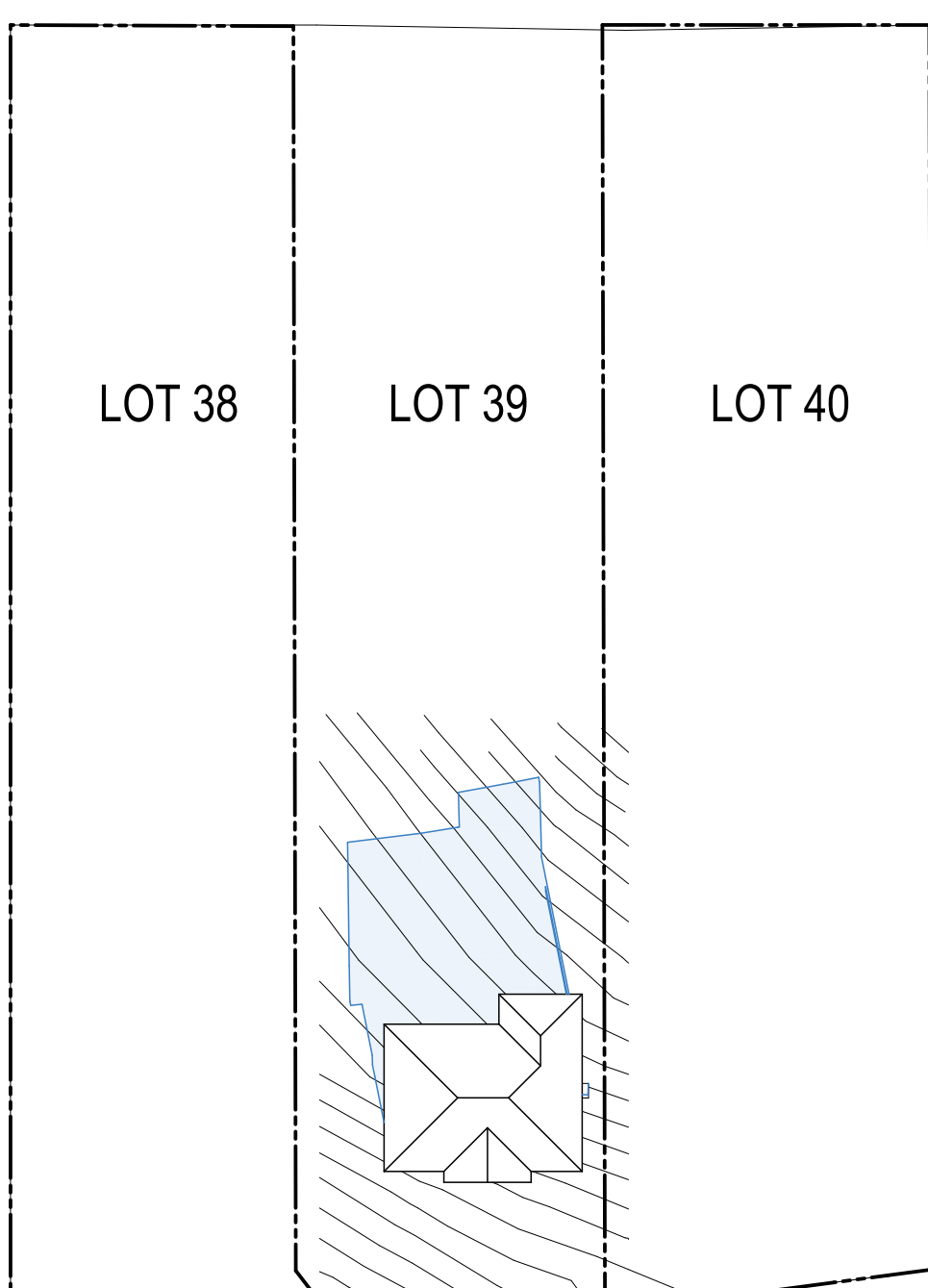


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|------------------------------------|--|----------------|--|-------------------|-----------------|--|
| SPECIFICATION: DISCOVERY | REVISION | DRAWN | CLIENT: | HOUSE DESIGN: | HOUSE CODE: | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. |
| COPYRIGHT: © 2026 | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | H-WDCLGN10DA | |
| | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: | FACADE DESIGN: | FACADE CODE: | |
| | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | MONTROSE | F-WDCLGN10MTSEA | |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | LOT / SECTION / CT: | SHEET TITLE: | SHEET No.: | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | 39 / - / NYR | FLOOR COVERINGS 2 | 17 / 26 | |
| | | | COUNCIL: | | SCALES: | 714513 |
| | | | DEVONPORT | | 1:100 | |



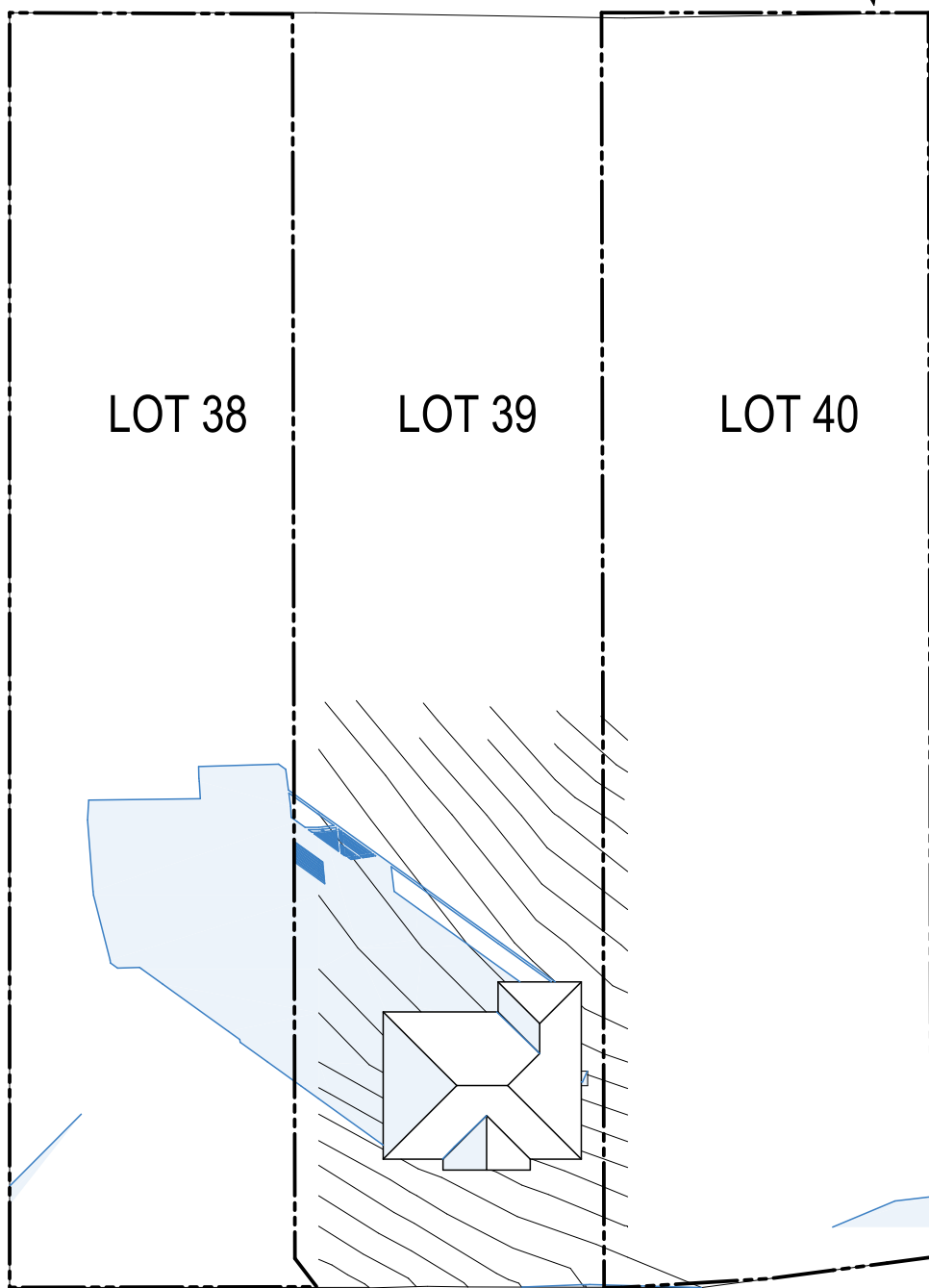
JUNE 21 - 0900

SKYLINE DRIVE



JUNE 21 - 1200

SKYLINE DRIVE



JUNE 21 - 1500

SKYLINE DRIVE

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| REVISION | DRAWN |
|--|----------------|
| 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 |
| 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 |
| 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 |
| 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 |
| 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 |

| | |
|---------------------|--|
| CLIENT: | KEELEY ELIZABETH ANN CROSSWELL |
| ADDRESS: | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 |
| LOT / SECTION / CT: | 39 / - / NYR |
| COUNCIL: | DEVONPORT |

| | |
|----------------|---------------------------|
| HOUSE DESIGN: | LAGANA 15 |
| FACADE DESIGN: | MONTROSE |
| SHEET TITLE: | SHADOW DIAGRAMS - JUNE 21 |
| SHEET No.: | 18 / 26 |

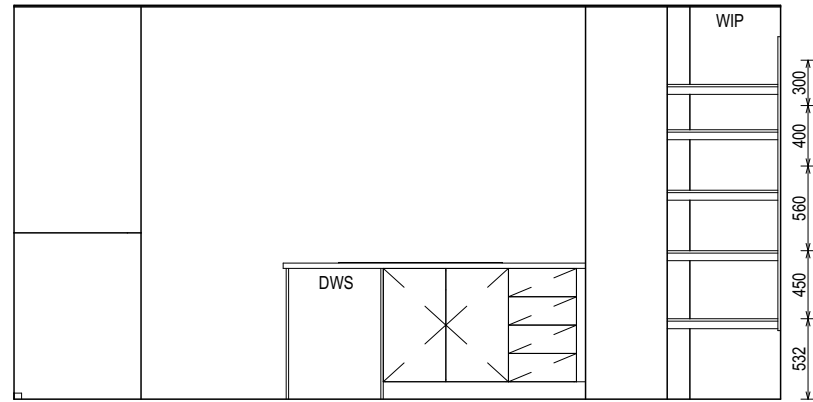
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| HOUSE CODE: | H-WDCLGN10DA |
| FACADE CODE: | F-WDCLGN10MTSEA |
| SCALES: | 1:400 |

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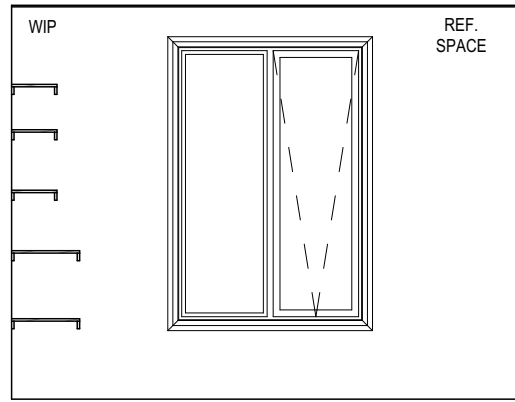
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 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

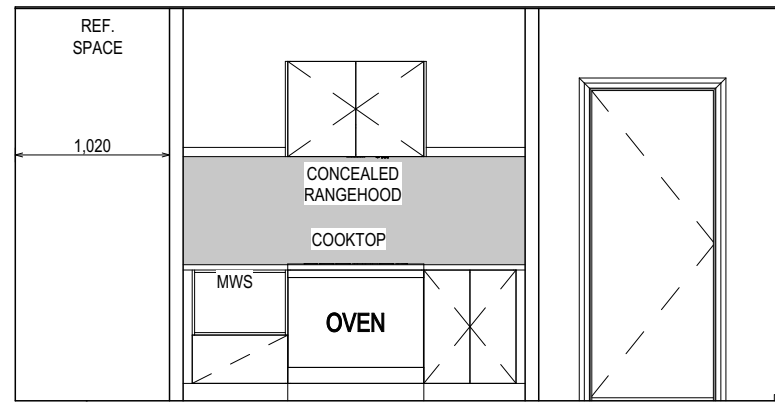
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETS AS REQUIRED.



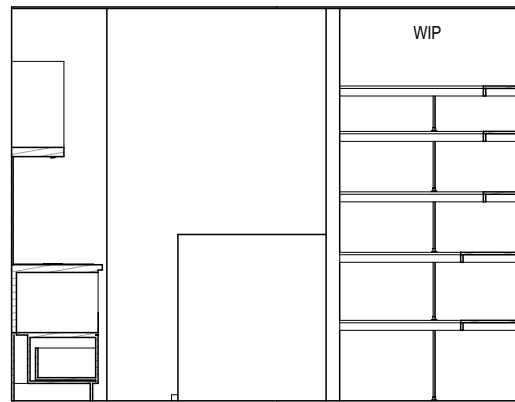
ELEVATION A
SCALE: 1:50



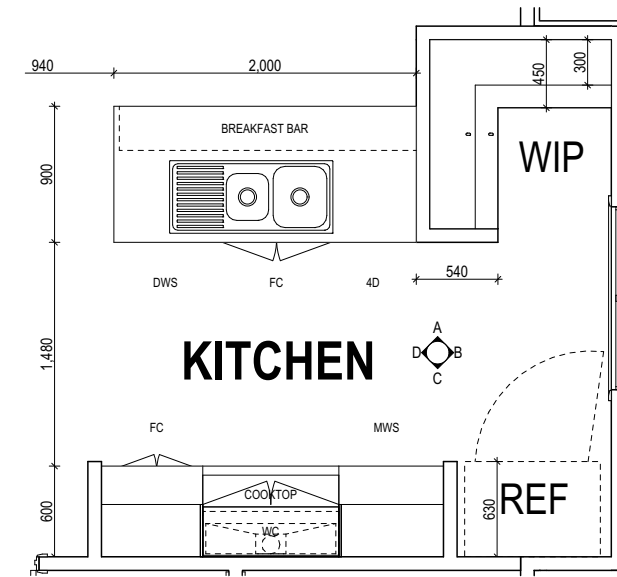
ELEVATION B
SCALE: 1:50



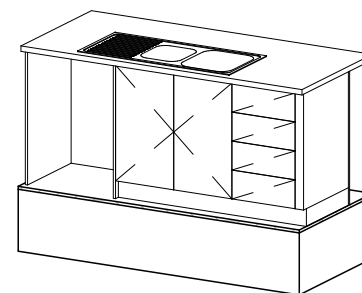
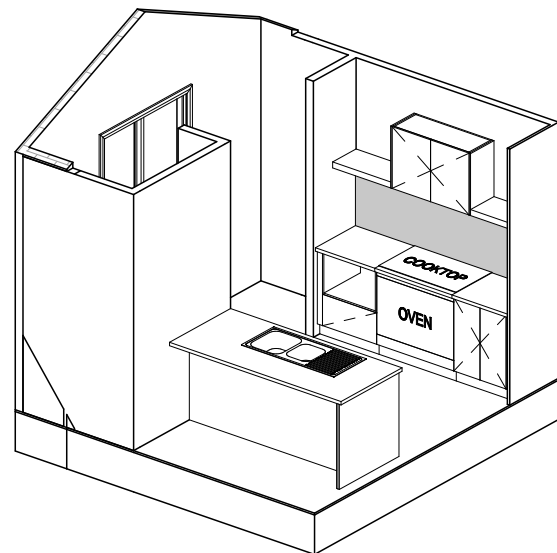
ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



KITCHEN PLAN
SCALE: 1:50



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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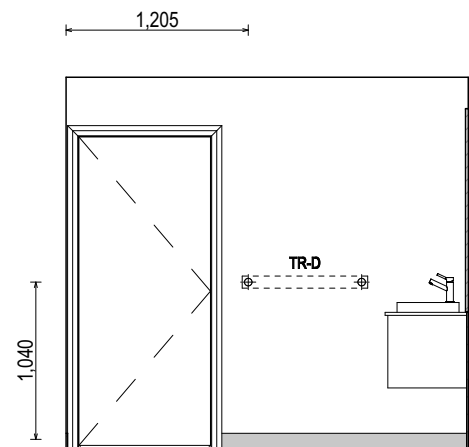
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|--|--|-------------------------|--|----------------------------|---------------------------------|---|-----------------------|
| SPECIFICATION: DISCOVERY COPYRIGHT: © 2026 | REVISION 2 DRAFT SALES PLAN - CP2 | DRAWN MLG 17/11/2025 | CLIENT: KEELEY ELIZABETH ANN CROSSWELL | HOUSE DESIGN: LAGANA 15 | HOUSE CODE: H-WDCLGN10DA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714513 | |
| | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | FACADE DESIGN: MONTROSE | FACADE CODE: F-WDCLGN10MTSEA | | |
| | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | LOT / SECTION / CT: 39 / - / NYR | COUNCIL: DEVONPORT | SHEET TITLE: KITCHEN DETAILS | | SHEET No.: 19 / 26 |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | SCALES: 1:50 | | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | | |
| | | | | | | | |

REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

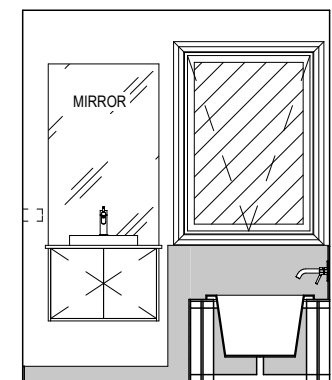
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

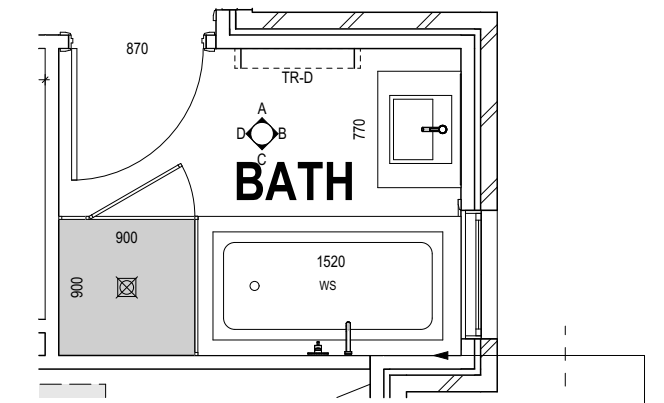
| LEGEND | |
|--------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |



ELEVATION A
SCALE: 1:50

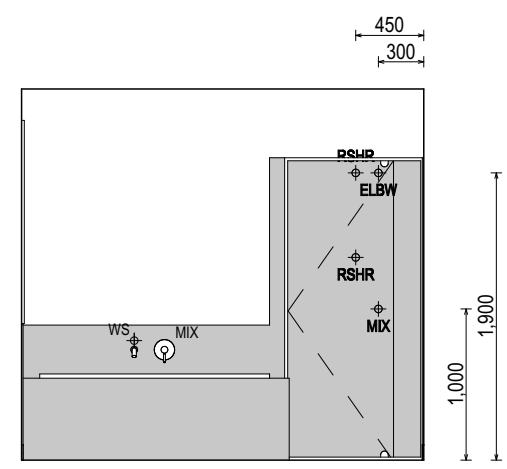


ELEVATION B
SCALE: 1:50

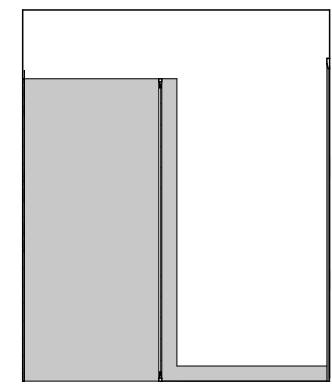


BATHROOM PLAN
SCALE: 1:50

ACCESS PANEL LOCATION TO BE CONFIRMED ON SITE



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

| PLAN ACCEPTANCE BY OWNER | |
|---|-------------|
| SIGNATURE: _____ | DATE: _____ |
| SIGNATURE: _____ | DATE: _____ |
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| | | | | | | | |
|--|--|-------------------------|--|-----------------------|----------------------------------|---------------------------------|--|
| SPECIFICATION: DISCOVERY COPYRIGHT: © 2026 | REVISION 2 DRAFT SALES PLAN - CP2 | DRAWN MLG 17/11/2025 | CLIENT: KEELEY ELIZABETH ANN CROSSWELL | | HOUSE DESIGN: LAGANA 15 | HOUSE CODE: H-WDCLGN10DA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. |
| | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | | FACADE DESIGN: MONTROSE | FACADE CODE: F-WDCLGN10MTSEA | |
| | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | LOT / SECTION / CT: 39 / - / NYR | COUNCIL: DEVONPORT | SHEET TITLE: BATHROOM DETAILS | SHEET No.: 20 / 26 | |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | SCALES: 1:50 | | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | | |
| | | | | | | | |

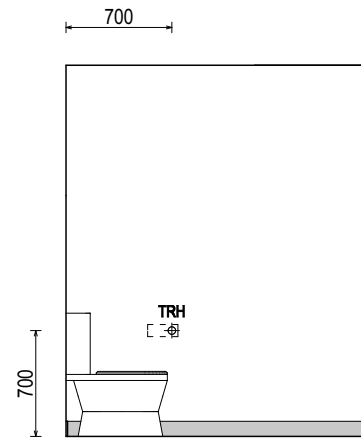
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

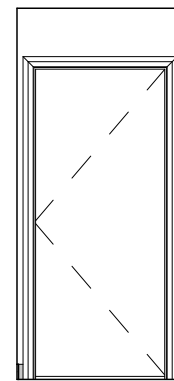
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LEGEND

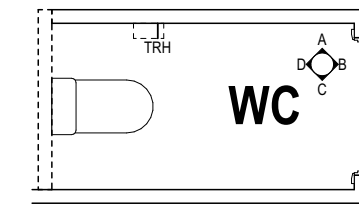
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



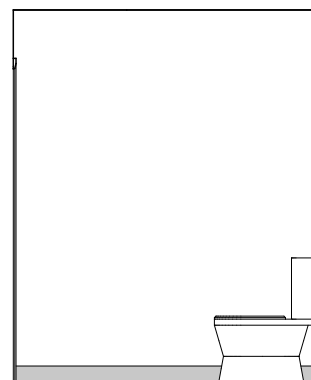
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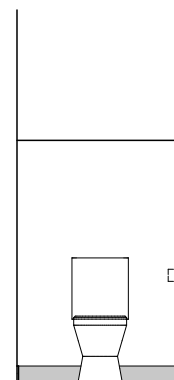
ELEVATION B
SCALE: 1:50



WC PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

PRELIMINARY

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

| PLAN ACCEPTANCE BY OWNER | |
|---|-------------|
| SIGNATURE: _____ | DATE: _____ |
| SIGNATURE: _____ | DATE: _____ |
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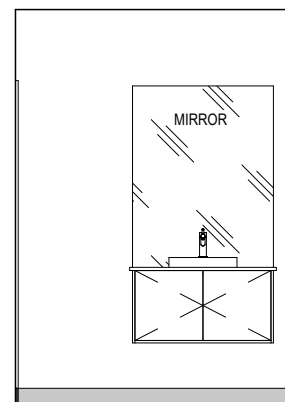
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|---------------|------------------------------------|--|----------------|--|----------------------------|---------------------------------|--|-----------------|
| | SPECIFICATION: DISCOVERY | REVISION | DRAWN | CLIENT: KEELEY ELIZABETH ANN CROSSWELL | HOUSE DESIGN: LAGANA 15 | HOUSE CODE: H-WDCLGN10DA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. | |
| | COPYRIGHT: © 2026 | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | FACADE DESIGN: MONTROSE | FACADE CODE: F-WDCLGN10MTSEA | | |
| | | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | LOT / SECTION / CT: 39 / - / NYR | COUNCIL: DEVONPORT | SHEET No.: 21 / 26 | | SCALES: 1:50 |
| | | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | | | | | |
| | | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | | | |
| | | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | | |
| 714513 | | | | | | | | |

REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA

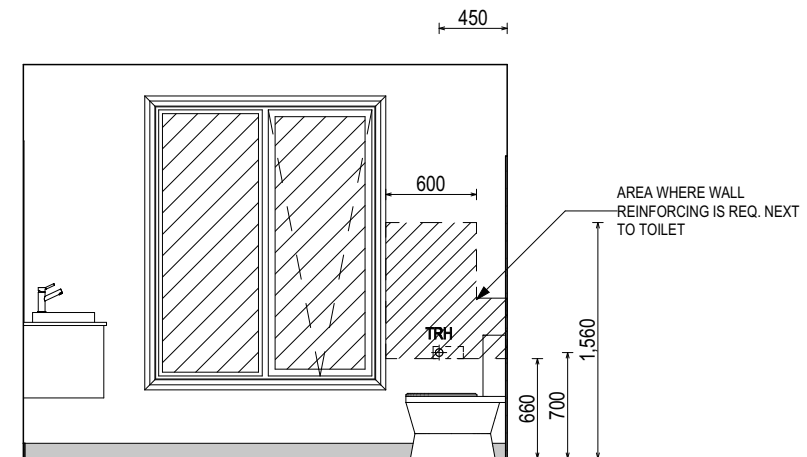
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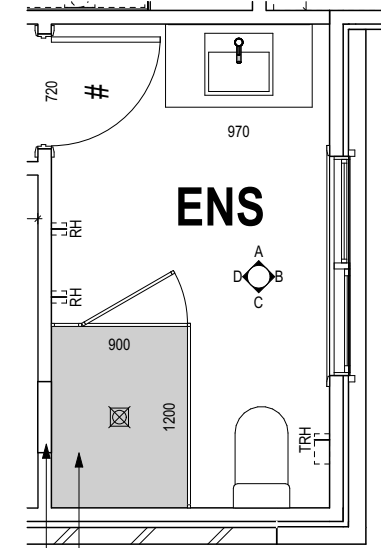
| LEGEND | |
|--------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
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| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
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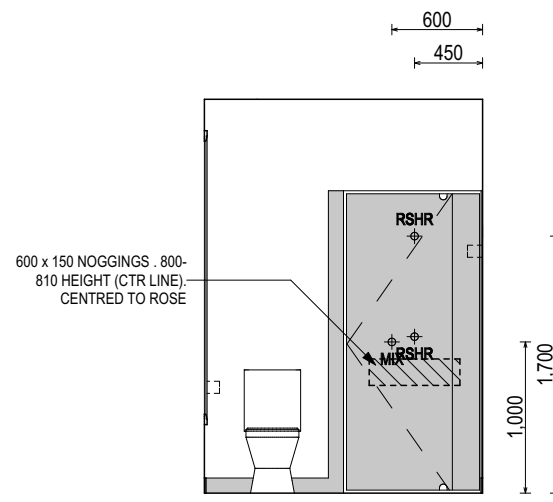
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SCALE: 1:50



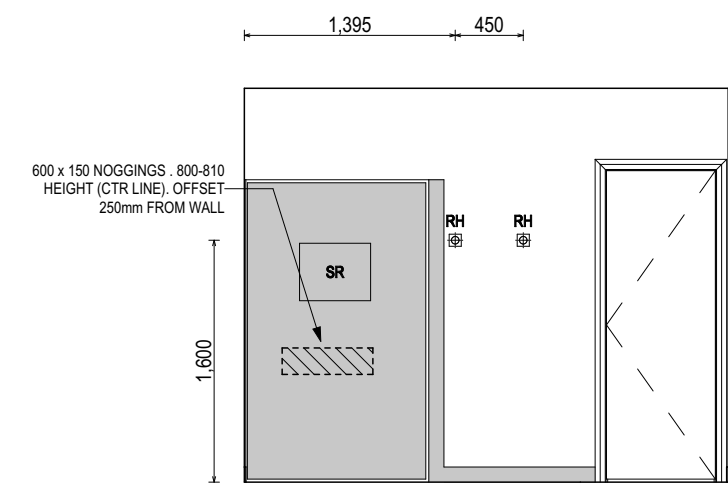
ELEVATION B
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SMALL SHAMPOO RECESS (G-WETA-TILE01)

THRESHOLD OF ACCESSIBLE SHOWER ENTRY TO BE MAX. 5MM. REFER TO BATHROOM DETAILS FOR LHA NOGGING LOCATIONS

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

| PLAN ACCEPTANCE BY OWNER | |
|---|-------------|
| SIGNATURE: _____ | DATE: _____ |
| SIGNATURE: _____ | DATE: _____ |
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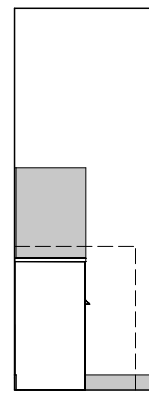
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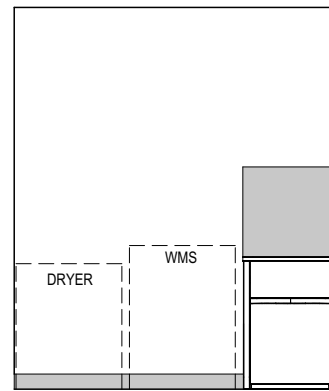
| SPECIFICATION: | REVISION | DRAWN | CLIENT: | HOUSE DESIGN: | HOUSE CODE: | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. |
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| DISCOVERY | 2 DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | LAGANA 15 | H-WDCLGN10DA | 714513 |
| COPYRIGHT: © 2026 | 3 PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | FACADE DESIGN: MONTROSE | FACADE CODE: F-WDCLGN10MTSEA | |
| | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | LOT / SECTION / CT: 39 / - / NYR | SHEET TITLE: ENSUITE DETAILS | SHEET No.: 22 / 26 | |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | COUNCIL: DEVONPORT | SCALES: 1:50 | | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | |
| | | | | | | |

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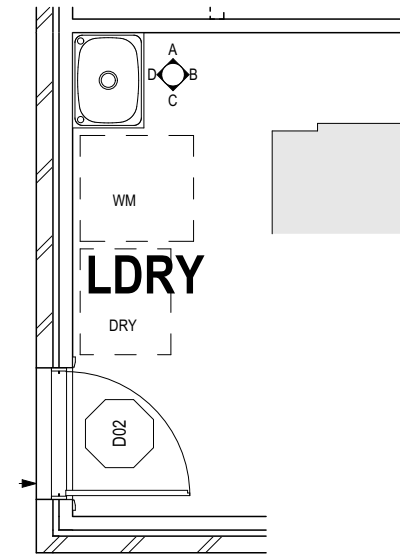
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



ELEVATION A
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

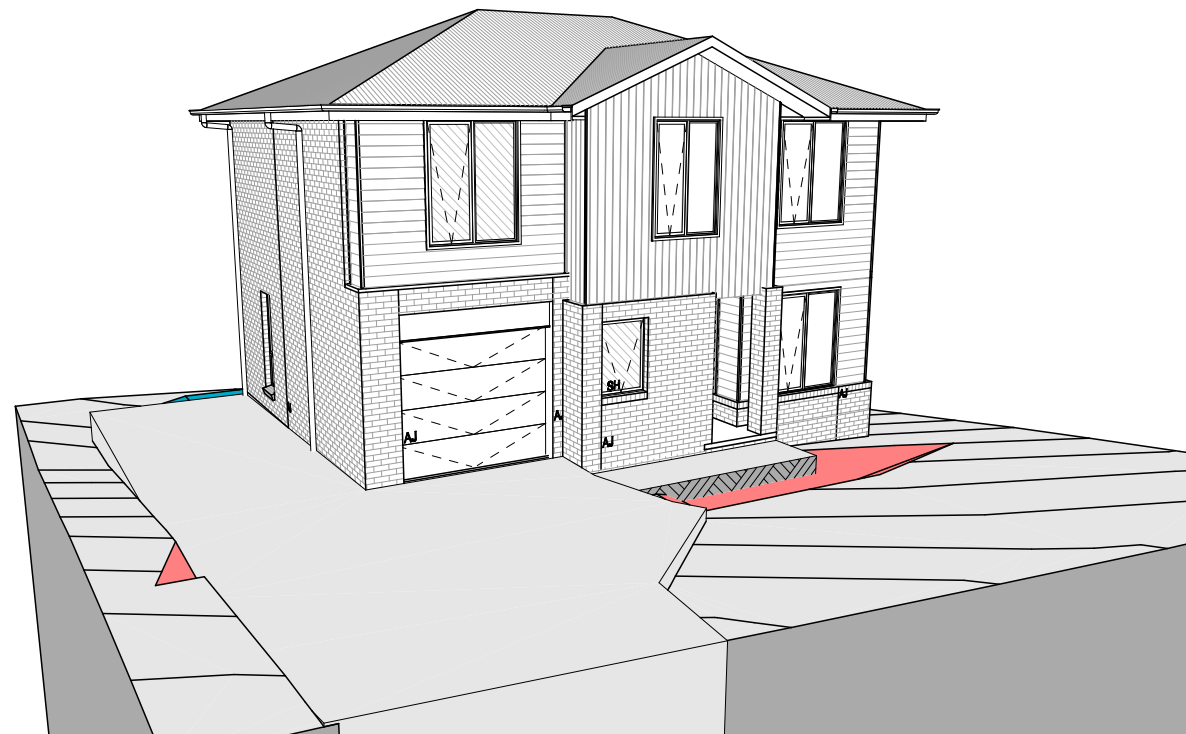
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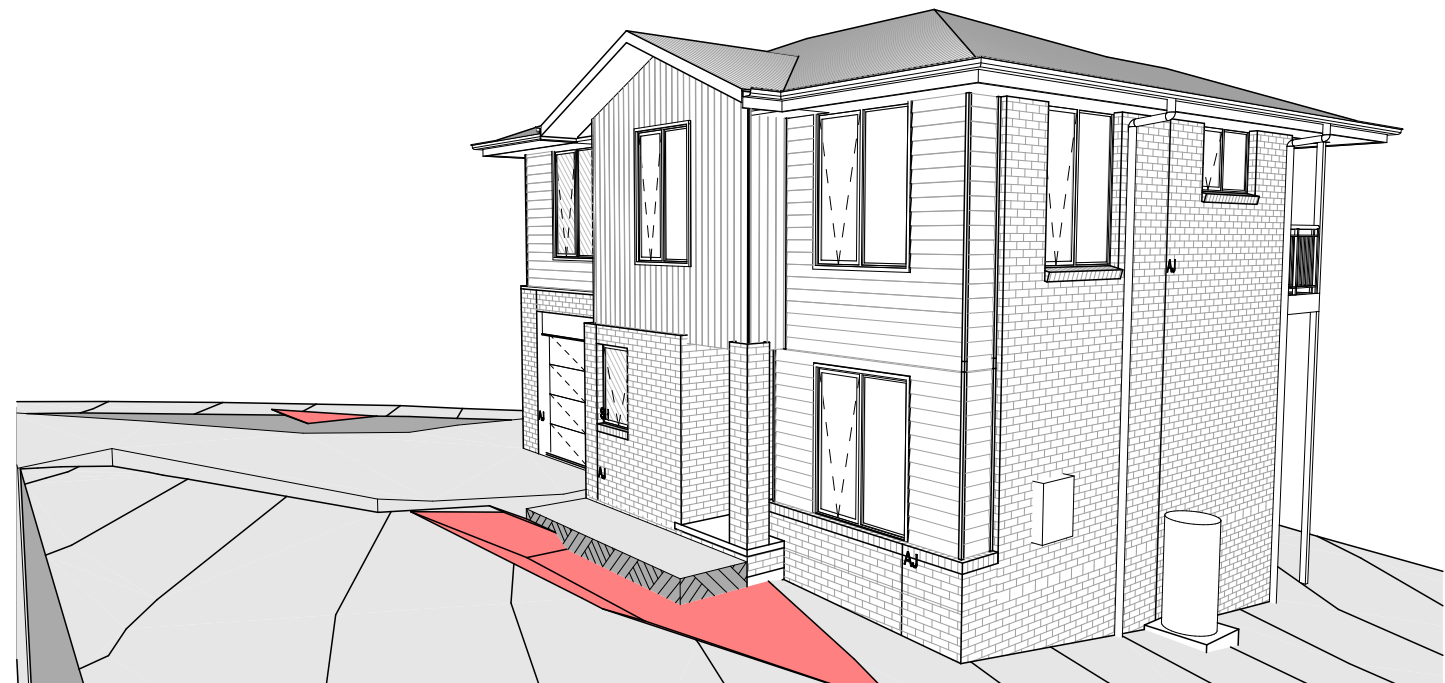
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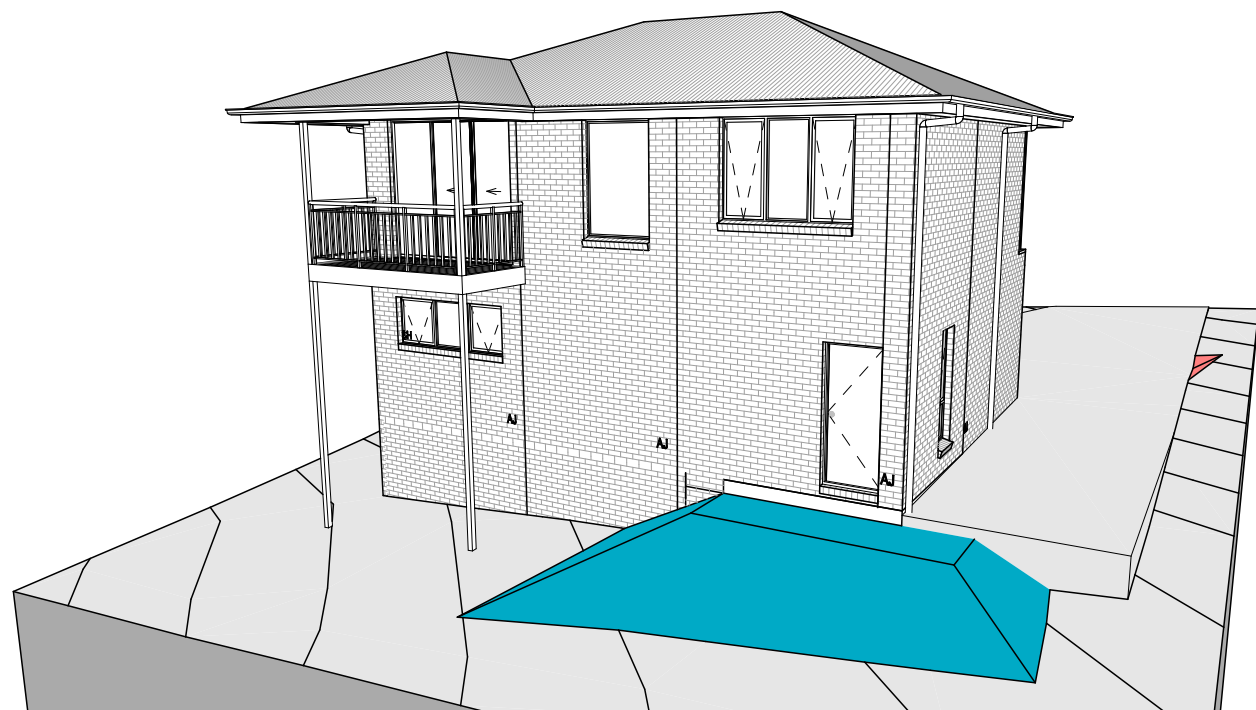
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| | SPECIFICATION: | REVISION | | DRAWN | | CLIENT: | | HOUSE DESIGN: | | HOUSE CODE: | | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714513 |
| | DISCOVERY | 2 | DRAFT SALES PLAN - CP2 | MLG | 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | | LAGANA 15 | | H-WDCLGN10DA | | |
| | COPYRIGHT: | 3 | PRELIM PLANS - INITIAL ISSUE | NVO | 08/12/2025 | ADDRESS: | | FACADE DESIGN: | | FACADE CODE: | | |
| | © 2026 | 4 | PRELIM PLANS - PLAN CORRECTIONS | TNG | 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | | MONTROSE | | F-WDCLGN10MTSEA | | |
| | | 5 | PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH | 26/02/2026 | LOT / SECTION / CT: | COUNCIL: | SHEET TITLE: | | SHEET No.: | SCALES: | |
| | | 6 | PRELIM PLANS - HOUSE RE-SITING | CLG | 27.02.2026 | 39 / - / NYR | DEVONPORT | LAUNDRY DETAILS | | 23 / 26 | 1:50 | |



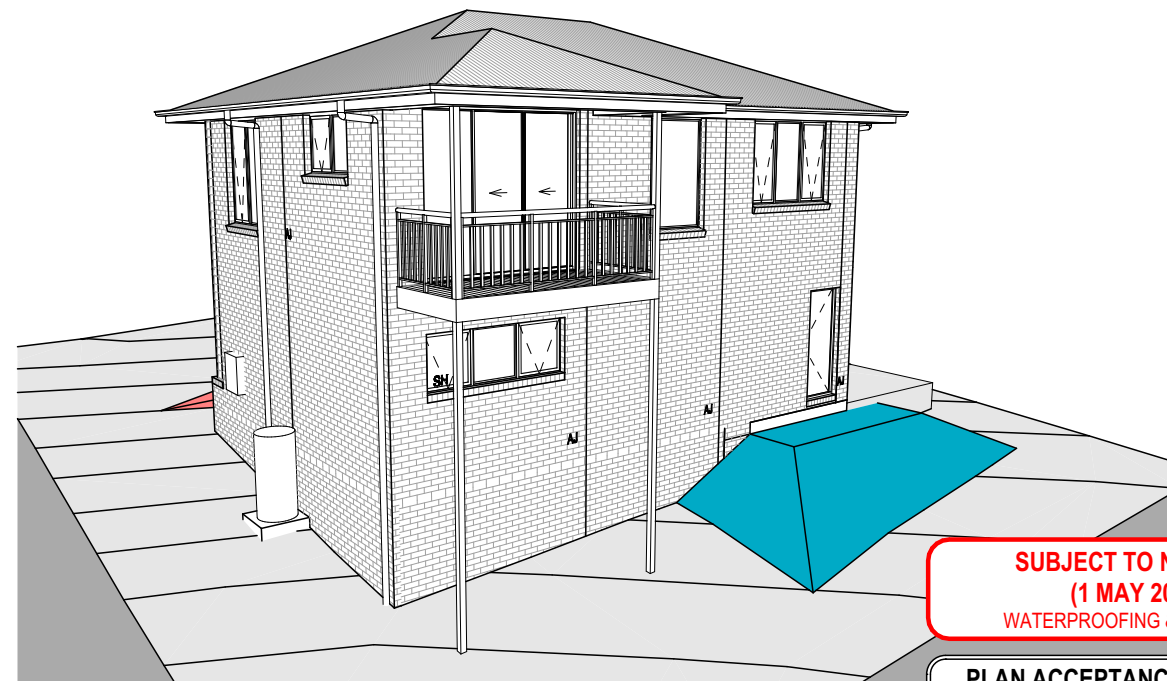
FRONT LEFT



FRONT RIGHT



REAR LEFT



REAR RIGHT

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PLAN ACCEPTANCE BY OWNER

SIGNATURE: _____ DATE: _____

SIGNATURE: _____ DATE: _____

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NOTE: SITE LEVELS AND SETBACKS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO A FINAL CONTOUR SURVEY AND REGISTERED REPORTS BEING COMPLETED. 3D IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

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| SPECIFICATION: DISCOVERY COPYRIGHT: © 2026 | REVISION 2 DRAFT SALES PLAN - CP2 | DRAWN MLG 17/11/2025 | CLIENT: KEELEY ELIZABETH ANN CROSSWELL | HOUSE DESIGN: LAGANA 15 | HOUSE CODE: H-WDCLGN10DA | DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 714513 | |
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| | 4 PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | LOT / SECTION / CT: 39 / - / NYR | COUNCIL: DEVONPORT | SHEET TITLE: 3D VIEWS | | SCALES: SHEET No.: 24 / 26 |
| | 5 PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | | | |
| | 6 PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | | |
| | | | | | | | |

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE NCC TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE NCC

| SOIL TYPE / CLASSIFICATION | EMBANKMENT OF SLOPE | |
|----------------------------|---------------------|--------------|
| | COMPACTED FILL | CUT |
| STABLE ROCK (A) | 3 : 3 | 8 : 1 |
| SAND (A) | 1 : 2 | 1 : 2 |
| SILT (P) | 1 : 4 | 1 : 4 |
| FIRM CLAY | 1 : 2 | 1 : 1 |
| SOFT CLAY | NOT SUITABLE | 2 : 3 |
| SOFT SOILS (P) | NOT SUITABLE | NOT SUITABLE |

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONARY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT NCC
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684 TABLE 8.18 (H) METHOD B. 900 WIDE SHEET PLY BRACING PANELS (6mm THICK F11 OR 4mm THICK F14) TO BE FIXED TO STUD FRAME WITH 2.8mm DIA x 30mm LONG MIN. FLAT HEAD NAILS.
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

| | |
|-------------|----------|
| 0 - 1500 | 120 x 35 |
| 1500 - 2400 | 140 x 35 |
| 2400 - 2700 | 190 x 35 |

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

| | |
|-------------|------------------|
| 0 - 2700 | 90 x 90 x 6 EA |
| 2700 - 3200 | 100 x 100 x 8 EA |
| 3200 - 4000 | 150 x 90 x 8 EA |

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MpA (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH NCC 8 REQUIREMENTS
- AS PER NCC 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANANTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH NCC PART 8.4

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT NCC TABLE 3.1.1.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

STAIRCASES / BALUSTRADES / HANDRAILS

- STAIR TREADS 240mm MIN. - 355mm MAX.
- STAIR RISERS 115mm MIN. - 190mm MAX.
- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT NCC 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH NCC 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.
- GLAZED BALUSTRADE AND HANDRAILS TO COMPLY WITH NCC PART 8.4, 11.3 AND AS1288 REQUIREMENTS

ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.
- EXHAUST FAN TO COMPLY WITH CURRENT NCC PART 10.6.2 SECTION C
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NCC VOLUME 2, PARTS 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL GPO'S IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS - ALL GPO'S TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH NCC PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECCOMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND NCC PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER NCC 9.5.
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**


PLAN ACCEPTANCE BY OWNER

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| | DISCOVERY | 2 | DRAFT SALES PLAN - CP2 | MLG | 17/11/2025 | KEELEY ELIZABETH ANN CROSSWELL | | LAGANA 15 | | H-WDCLGN10DA | | |
| | COPYRIGHT: | 3 | PRELIM PLANS - INITIAL ISSUE | NVO | 08/12/2025 | ADDRESS: | | FACADE DESIGN: | | FACADE CODE: | | |
| | © 2026 | 4 | PRELIM PLANS - PLAN CORRECTIONS | TNG | 10/02/2026 | SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | | MONTROSE | | F-WDCLGN10MTSEA | | |
| | | 5 | PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH | 26/02/2026 | LOT / SECTION / CT: | COUNCIL: | SHEET TITLE: | SHEET No.: | SCALES: | | |
| | | 6 | PRELIM PLANS - HOUSE RE-SITING | CLG | 27.02.2026 | 39 / - / NYR | DEVONPORT | GENERAL NOTES | 25 / 26 | | 714513 | |

WET AREA NOTES

| VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED | FLOORS AND HORIZONTAL SURFACES | WALLS | WALL JUNCTIONS AND JOINTS | PENETRATIONS |
|---|---|---|--|---|
| ENCLOSED SHOWER WITH HOB | WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| ENCLOSED SHOWER WITHOUT HOB | WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| ENCLOSED SHOWER WITH STEPDOWN | WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE | N/A | WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| UNENCLOSED SHOWERS | WATERPROOF ENTIRE UNCLOSED SHOWER AREA. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING | WATER RESISTANT TO ENTIRE FLOOR. | N/A | WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm. | N/A |
| AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS | WATERPROOF ENTIRE FLOOR. | N/A | WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm. | N/A |
| AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING. | WATER RESISTANT TO ENTIRE FLOOR. | WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL. | WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS. | WATERPROOF ENTIRE FLOOR. | WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL. | WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| INSERTED BATHS | N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP. | N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH. | N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS) | N/A | WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL. | WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| LAUNDRIES AND WCS | WATER RESISTANT TO ENTIRE FLOOR. | WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR. | WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm. | N/A |

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

WAFFLE POD ALLOWANCES:

- R0.6 - 175mm DEEP
- R0.7 - 225mm DEEP
- R0.8 - 300mm DEEP
- R0.9 - 375mm DEEP

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS

TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION

BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION

REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE

(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.

(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF NCC

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION

FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING

3.12.3.1 - CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS

(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:

- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8

(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:

- (i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
- (ii) A WATERPROOF SEAL; OR
- (iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT.

3.12.0.1 - EXTERNAL WINDOWS AND DOORS

(a) A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH OF AN EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:

- (i) WHEN SERVING A CONDITIONED SPACE; OR
- (ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8, WHEN SERVING A HABITABLE ROOM.

(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a).

(c) A SEAL REQUIRED BY (a)

- (i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE; AND
- (ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

3.12.3.4 - EXHAUST FANS

AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSE DAMPER, FILTER OR THE LIKE WHEN SERVING:

- (a) A CONDITIONED SPACE; OR
- (b) A HABITABLE ROOM IN THE CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.3.5 - CONSTRUCTION OF ROOF, WALLS AND FLOORS

(a) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND AN OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (b) WHEN FORMING PART OF THE EXTERNAL FABRIC OF:

- (i) A CONDITIONED SPACE; OR
- (ii) A HABITABLE ROOM IN CLIMATE ZONE 4, 5, 6, 7 OR 8.

(b) CONSTRUCTION REQUIRED BY (a) MUST BE:

- (i) ENCLOSED BY AN INTERNAL LINING SYSTEM THAT ARE CLOSE FITTING AT CEILING, WALL AND FLOOR JUNCTIONS; OR
- (ii) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

3.12.3.6 - EVAPORATIVE COOLERS

AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING:

- (a) A HEATED SPACE; OR
- (b) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8.

3.12.5.5 - ARTIFICIAL LIGHTING

(a) LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF AN ARTIFICIAL LIGHT, EXCLUDING HEATING THAT EMITS LIGHT, MUST NOT EXCEED THE ALLOWANCE OF:

- (i) 5W/m² IN A CLASS 1 BUILDING
- (ii) 4W/m² ON A VERANDAH, BALCONY OR THE LIKE ATTACHED TO A CLASS 1 BUILDING (NOT EXCLUDING EAVE PERIMETER LIGHTS);
- (iii) 3W/m² IN A CLASS 10A BUILDING ASSOCIATED WITH A CLASS 1 BUILDING.

(b) THE ILLUMINATION POWER DENSITY ALLOWANCE IN (a) MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR FOR A CONTROL DEVICE AS PER N.C.C TABLE 3.12.5.3.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

| PLAN ACCEPTANCE BY OWNER | |
|---|-------------|
| SIGNATURE: _____ | DATE: _____ |
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| | COPYRIGHT: © 2026 | 2 | DRAFT SALES PLAN - CP2 | MLG 17/11/2025 | ADDRESS: SKYLINE DRIVE, EAST DEVONPORT TAS 7310 | FACADE DESIGN: MONTROSE | | FACADE CODE: F-WDCLGN10MTSEA |
| | | 3 | PRELIM PLANS - INITIAL ISSUE | NVO 08/12/2025 | | SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES | | SHEET No.: 26 / 26 |
| | | 4 | PRELIM PLANS - PLAN CORRECTIONS | TNG 10/02/2026 | COUNCIL: DEVONPORT | SCALES: | | |
| | | 5 | PRELIM PLANS - COLOUR UPDATE - HOUSE RE-SITING | KPH 26/02/2026 | | | | |
| | | 6 | PRELIM PLANS - HOUSE RE-SITING | CLG 27.02.2026 | | | | |