



Devonport City Council

# PUBLIC NOTICE

## APPLICATION FOR PLANNING PERMIT

*Section 57(3) Land Use Planning Approvals Act 1993*

An application for a planning permit has been made which may affect you.

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### Application Details

Application Number:	<b>PA2025.0145</b>
Proposed Use or Development:	<b>Residential (outbuilding alterations and additions)</b>
Address of the Land:	<b>61 Sorell Street, Devonport</b>
Date of Notice:	<b>05/11/2025</b>

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You are invited to view the application and any documents and plans accompanying it on the ground floor of the paranapple centre at 137 Rooke Street, Devonport or on Council's website [www.devonport.tas.gov.au](http://www.devonport.tas.gov.au)

**Any person may make a representation relating to the application in accordance with section 57(5) of the *Land Use Planning Approvals Act 1993*, during a period of 14 days commencing on the date of this notice.**

Your representation must:

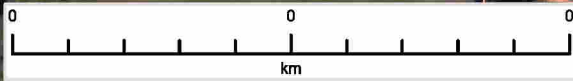
- be received by close of business on **18/11/2025**;
- be in writing; and
- addressed to the Chief Executive Officer, Devonport City Council:
  - P.O. Box 604, Devonport, Tasmania, 7310; or
  - [townplanning@devonport.tas.gov.au](mailto:townplanning@devonport.tas.gov.au)

If you make a representation then Council must consider your submission before making its decision on the application.

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**61 Sorell Street, Devonport**



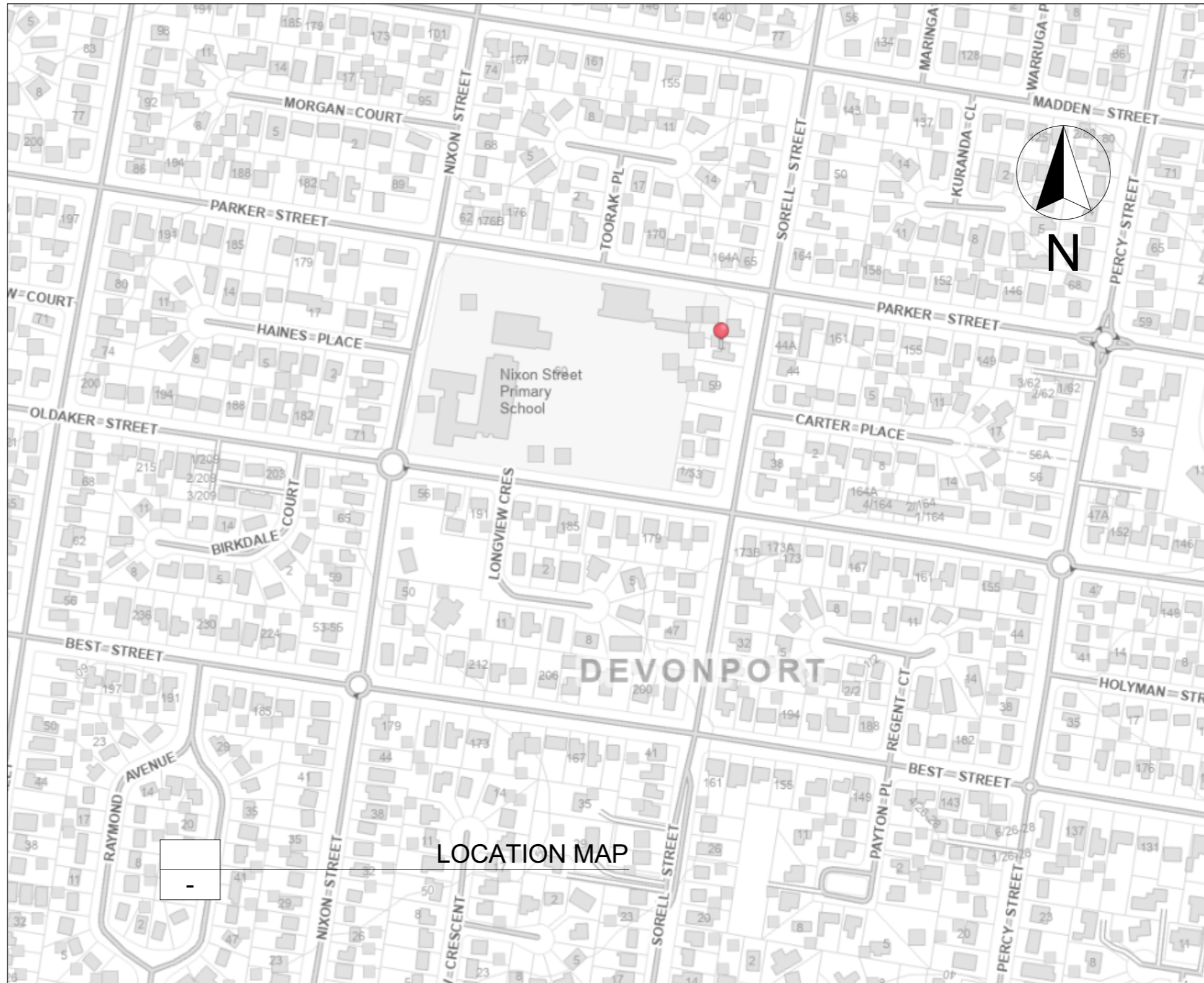
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 Created: 29-10-2025 09:37:58



# DEVELOPMENT APPLICATION

**PROPOSED GARAGE ALTERATIONS & EXTENSION**  
 CLIENT: LUIZA MARINA STOLL  
 ADDRESS: 61 SORELL STREET, DEVONPORT, TAS, 7307  
 TITLE REFERENCE: 214997/3 PROPERTY ID: 6313956



### SITE DESCRIPTION

CLIMATE ZONE: 7  
 REGION: A  
 TERRAIN CATEGORY: TC3.0  
 TOPOGRAPHY: T1  
 SHIELDING: FS  
 WIND RATING: N2  
 SOIL CLASS: **TO BE DETERMINED**  
 BAL: N/A  
 ZONE: GENERAL RESIDENTIAL  
 MUNICIPALITY: DEVONPORT CITY COUNCIL  
 OVERLAYS: N/A  
 CORROSION LEVEL: C3

### AREAS

EXTG SHED	39.41 M2
PROPOSED BATH	7.20 M2
<b>TOTAL</b>	<b>46.61 M2</b>

### SITE COVERAGE

LOT	736.00m <sup>2</sup>
EXTG DWELLING	147.18m <sup>2</sup>
EXTG DECK	39.55m <sup>2</sup>
EXTG CARPORT	17.92m <sup>2</sup>
EXTG SHED	39.41m <sup>2</sup>
PROPOSED BATH	7.20m <sup>2</sup>
<b>TOTAL</b>	<b>251.26m<sup>2</sup></b>
<b>SITE COVER (%)</b>	<b>34.13%</b>
<b>IMPERVIOUS (%)</b>	<b>251.26m<sup>2</sup>/34.13%</b>

### DRAWING INDEX

PAGE	TITLE
01	COVER PAGE
02	3D PERSPECTIVES
03	SITE PLAN
04	SWMP GENERAL NOTES
05	SOIL & WATER MANAGEMENT
06	DEMO/PROPOSED PLAN
07	ELEVATIONS

**iDESIGN**  
 RESIDENTIAL  
 'Create your dream home'  
 Building Design Services - Port Sorell, Tasmania  
 M: 0435 090 758 E: darren.idesignresidential@gmail.com  
 ABN: 66 925 623 647 TAS 692360969/VBA: DP-AD 64131/QBCC: 15042468

CLIENT SIGNATURE  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 CLIENT SIGNATURE  
 \_\_\_\_\_ DATE \_\_\_\_\_

REV	AMENDMENTS	DATE	INT
A	DEVELOPMENT APPLICATION	15.10.25	DM
B	ADDED EXTG CARPORT SIZE DIMENSIONS	23.10.25	DM
C			
D			
E			
F			
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PROJECT: DEVELOPMENT APPLICATION  
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 DISCLAIMER: The sketches & authorship for these plans were provided by the client & under the Australian copyright act of 1968 is the moral rights of the client. The client has the right to reproduce or distribute plans at his/her discretion.

SITE ADDRESS:  
**61 SORELL STREET,  
 DEVONPORT, TAS, 7307**

ALTERATION & EXTENSION		
COVER PAGE		
DRAWN: DM	DATE: 23.10.25	REV: B
CHECKED: DM	SCALE:	
SHEET: 1 OF 7	JOB NO: 4410	



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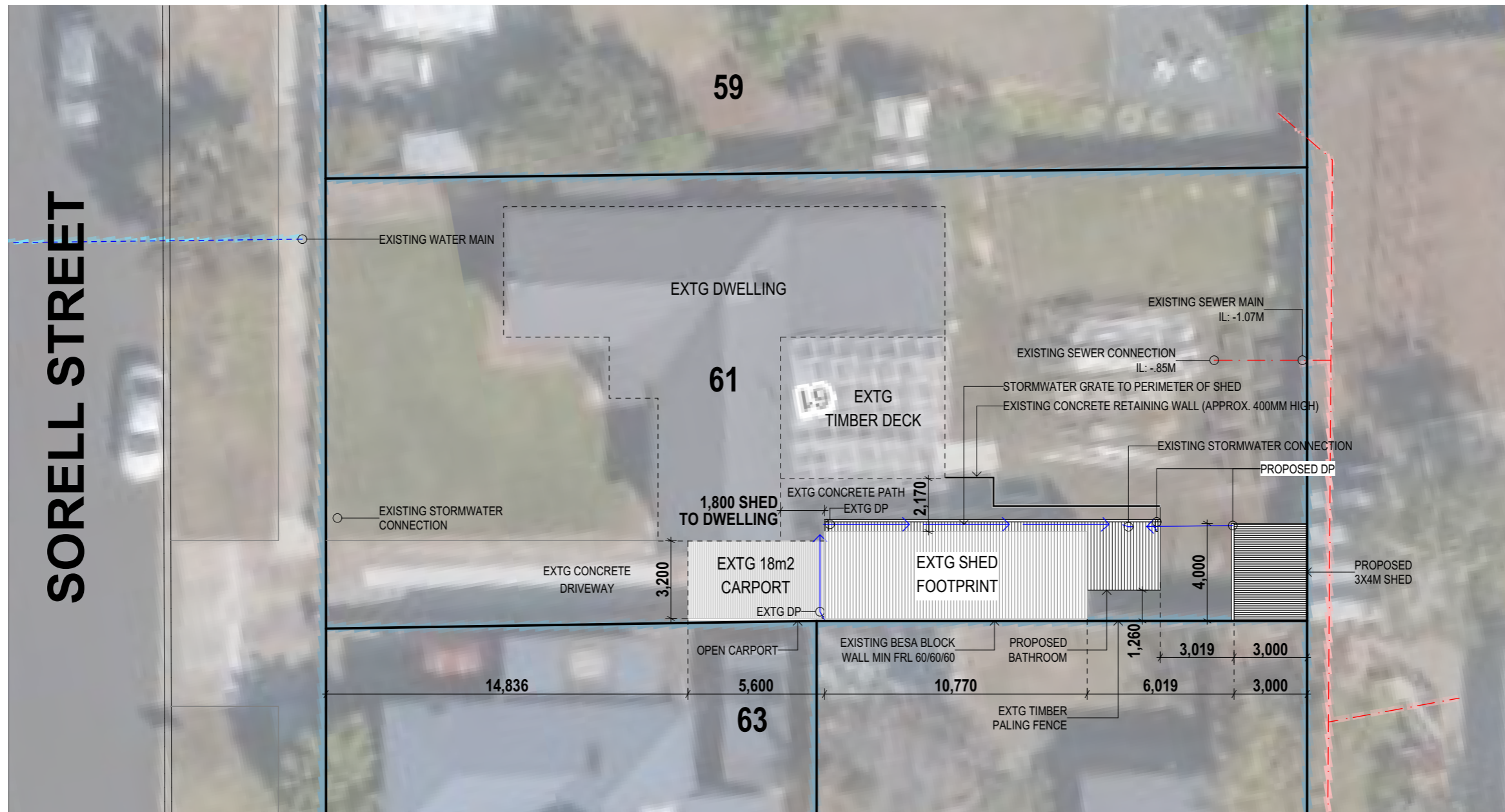
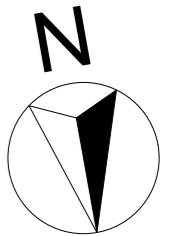
PROJECT:  
**DEVELOPMENT APPLICATION**

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CLIENT:  
**LUIZA MARINA STOLL**

SITE ADDRESS:  
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DEVONPORT, TAS, 7307**

ALTERATION & EXTENSION		
3D PERSPECTIVES		
DRAWN: <b>DM</b>	DATE: <b>23.10.25</b>	REV: <b>B</b>
CHECKED: <b>DM</b>	SCALE:	
SHEET: <b>2 OF 7</b>	JOB NO: <b>4410</b>	



SITE COVERAGE	
LOT	736.00m <sup>2</sup>
EXTG DWELLING	147.18m <sup>2</sup>
EXTG DECK	39.55m <sup>2</sup>
EXTG CARPORT	17.92m <sup>2</sup>
EXTG SHED	39.41m <sup>2</sup>
PROPOSED BATH	7.20m <sup>2</sup>
<b>TOTAL</b>	<b>258.15m<sup>2</sup></b>
<b>SITE COVER (%)</b>	<b>35.07%</b>
<b>IMPERVIOUS (%)</b>	<b>258.15m<sup>2</sup>/35.07%</b>

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PROJECT: DEVELOPMENT APPLICATION

CLIENT: LUIZA MARINA STOLL

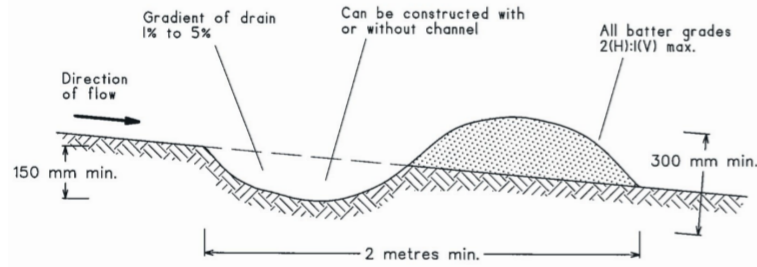
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ALTERATION & EXTENSION		
SITE PLAN		
DRAWN: DM	DATE: 23.10.25	REV: B
CHECKED: DM	SCALE: 1:200	
SHEET: 3 OF 7	JOB NO: 4410	

**DIVERT UPSLOPE STORMWATER**

Avoid contamination of stormwater with sediment. Use flow diversion devices to reduce the volume of stormwater reaching the disturbed area.



NOTE: Only to be used as temporary bank where maximum upslope length is 80 metres.

**WASTE AND WASHING**

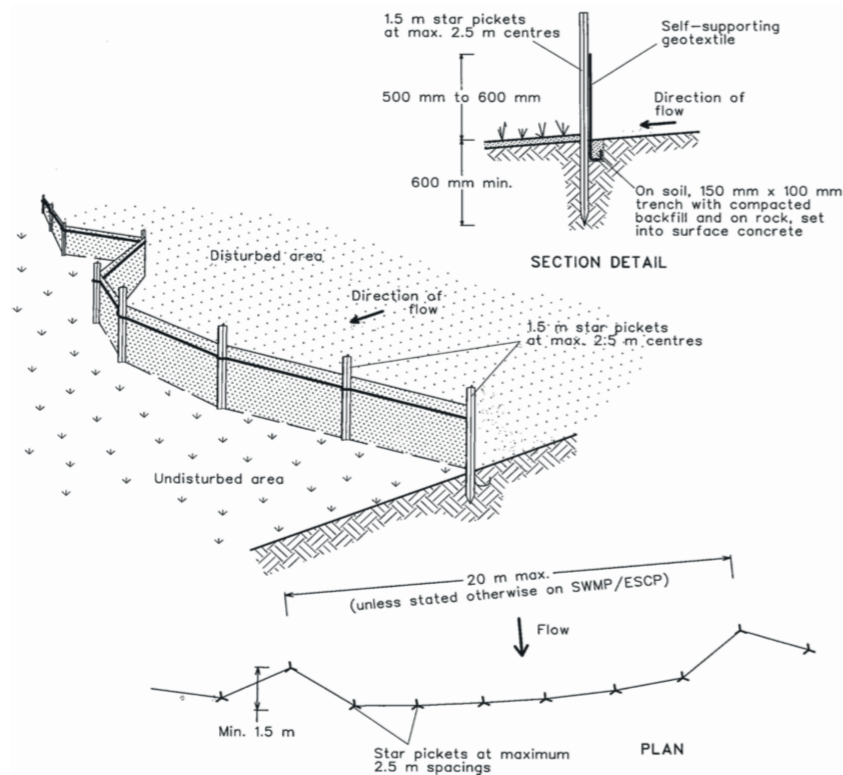
Cut bricks, tiles or masonry and clean equipment on a pervious surface such as grass or loosened soil within the property boundary. Waste concrete, paint and other solutions used on site must not be allowed to wash into the gutters or the street.

**SITE DISTURBANCE**

Delay removing vegetation or beginning earthworks until just before the start of construction. Minimise site disturbance and stabilise disturbed surfaces. Use biodegradable erosion control mats to protect exposed earth. Preserve grassed areas and vegetation where possible.

**SEDIMENT BARRIERS**

Install sediment barriers downslope of the building site to trap sediment.



**CONNECT RAINWATER DRAINAGE**

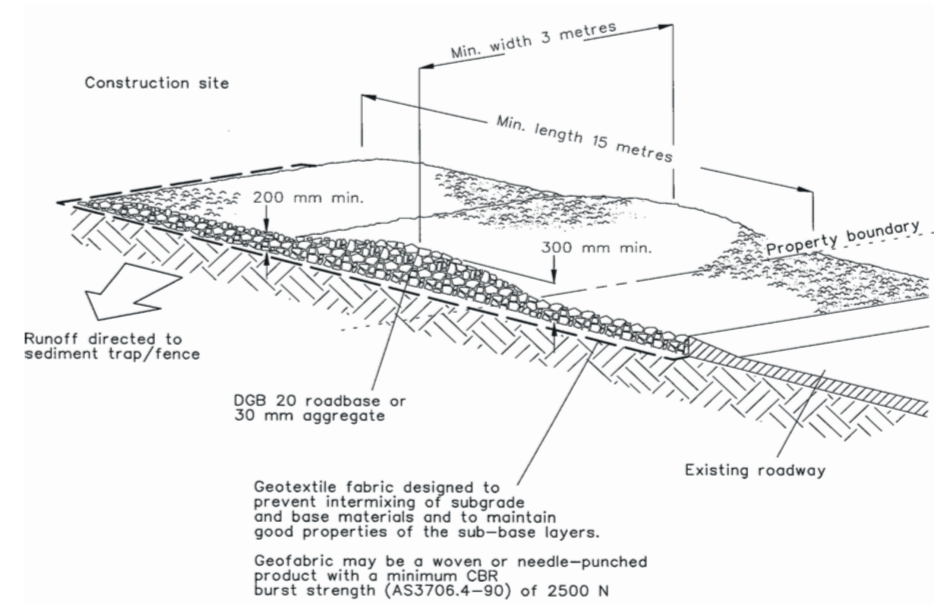
Complete the final stormwater drainage system before the roof is installed. Discharge rainwater to the stormwater system, unless rainwater is being harvested. Connect using temporary or permanent downpipes.

**WASTE COLLECTION**

Contain waste in covered bins or traps made from geotextile. Prevent airborne contamination of neighbouring land.

**SITE ACCESS POINT**

Construct a single vehicle entry/exit pad to minimise tracking of sediment onto roadways. A raised hump across the entry/exit pad to direct stormwater into a sediment trap to the side of the pad.

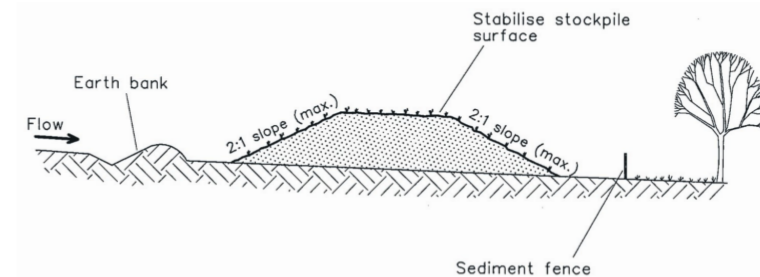


**FOOTPATH PROTECTION**

Protect kerbside vegetation. Do not use nature strips or footpaths for parking or stockpiling unless unavoidable (council permission is required).

**SECURE STOCKPILES**

Prevent material stockpiles from collecting or discharging sediment. Protect materials that may erode, particularly sand and soil, with waterproof coverings. Place stockpiles wholly on the construction site and behind a sediment barrier.



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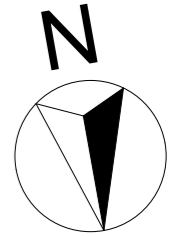
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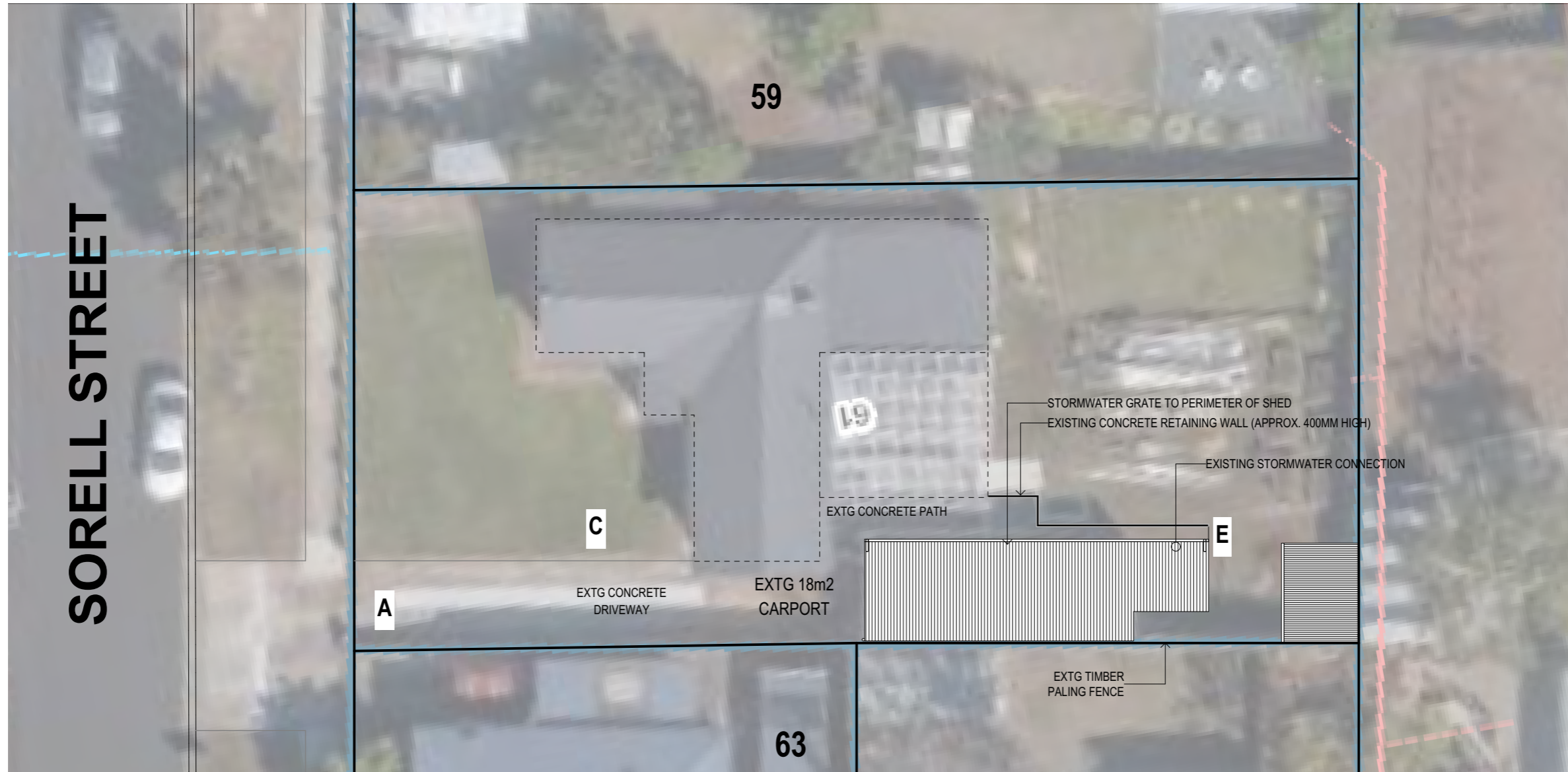
SITE ADDRESS: 61 SORELL STREET, DEVONPORT, TAS, 7307

ALTERATION & EXTENSION		
SWMP GENERAL NOTES		
DRAWN: DM	DATE: 23.10.25	REV: B
CHECKED: DM	SCALE:	
SHEET: 4 OF 7	JOB NO: 4410	



**LEGEND:**

- A= SITE ACCESS
- B= DIVERT UPSLOPE STORMWATER (N/A)
- C= WASTE COLLECTION
- D= SEDIMENT BARRIERS (N/A)
- E= WASTE & WASHING AREA
- \*STOCKPILES TO BE SECURED IN DESIGNATED AREAS



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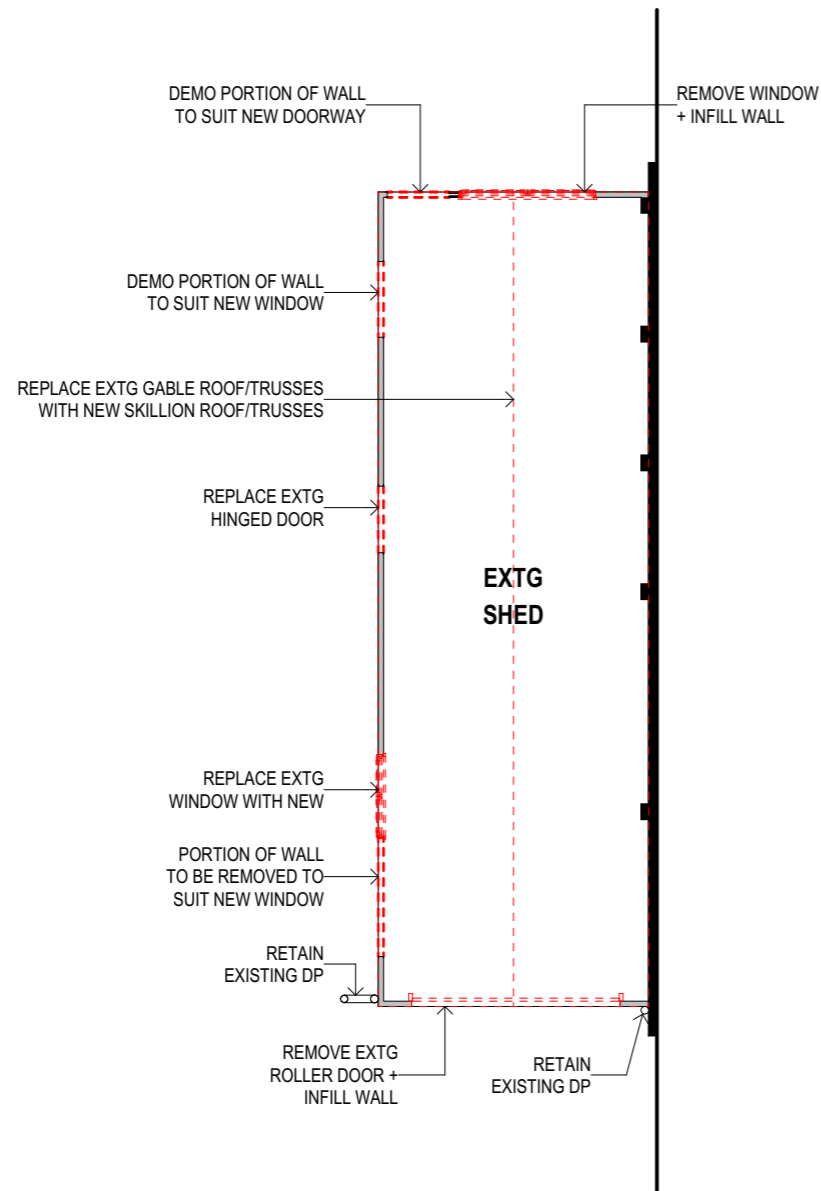
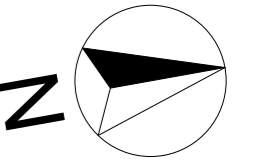
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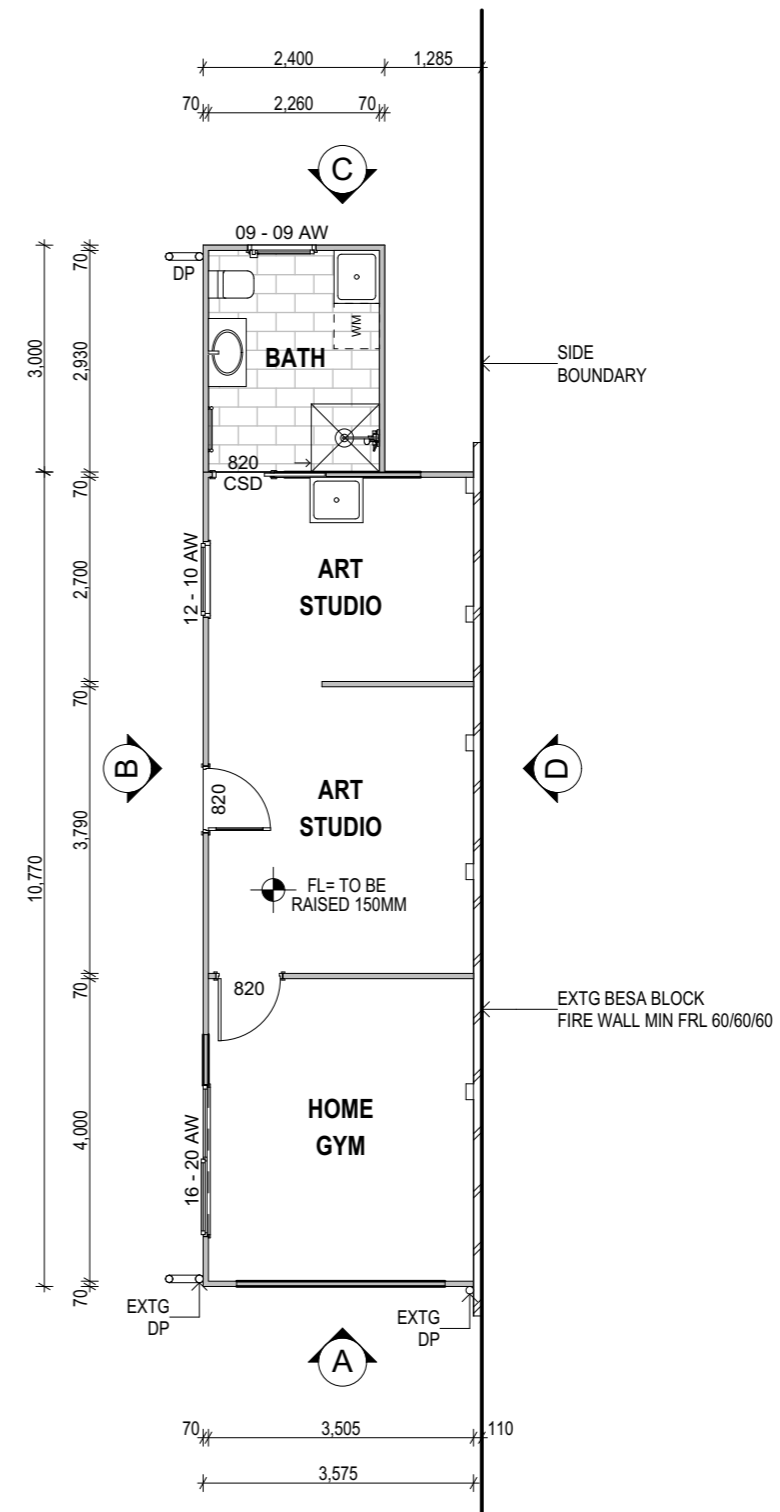
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SWMP		
DRAWN: DM	DATE: 23.10.25	REV: B
CHECKED: DM	SCALE: 1:200	
SHEET: 5 OF 7	JOB NO: 4410	

**NOTE: ASSESSMENT & SAFE REMOVAL OF ASBESTOS MATERIALS TO BE CONDUCTED BY A LICENSED CONTRACTOR & COMPLY WITH THE ASBESTOS CODE OF PRACTICE**



**DEMO FLOOR PLAN**



**PROPOSED FLOOR PLAN**

**LEGEND:**

- WINDOW SIZES= HEIGHT/WIDTH/TYPE e.g 18-24 TH
- AW= AWNING WINDOW
- CSD= CAVITY SLIDING DOOR
- WM= WASHING MACHINE SPACE
- DR= DRYER SPACE
- DP= DOWNPIPE
- F.L.= FLOOR LEVEL

AREAS	
EXTG SHED	39.69 M2
PROPOSED BATH	7.20 M2
<b>TOTAL</b>	<b>46.89 M2</b>

**TIMBER FRAME**

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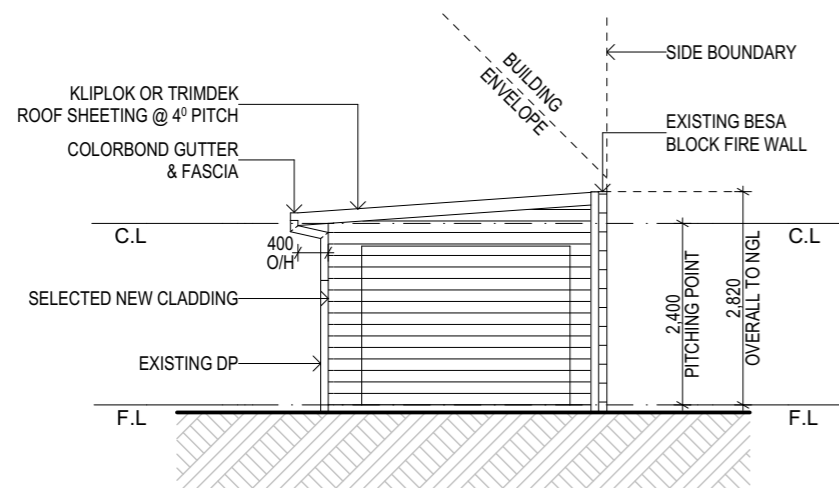
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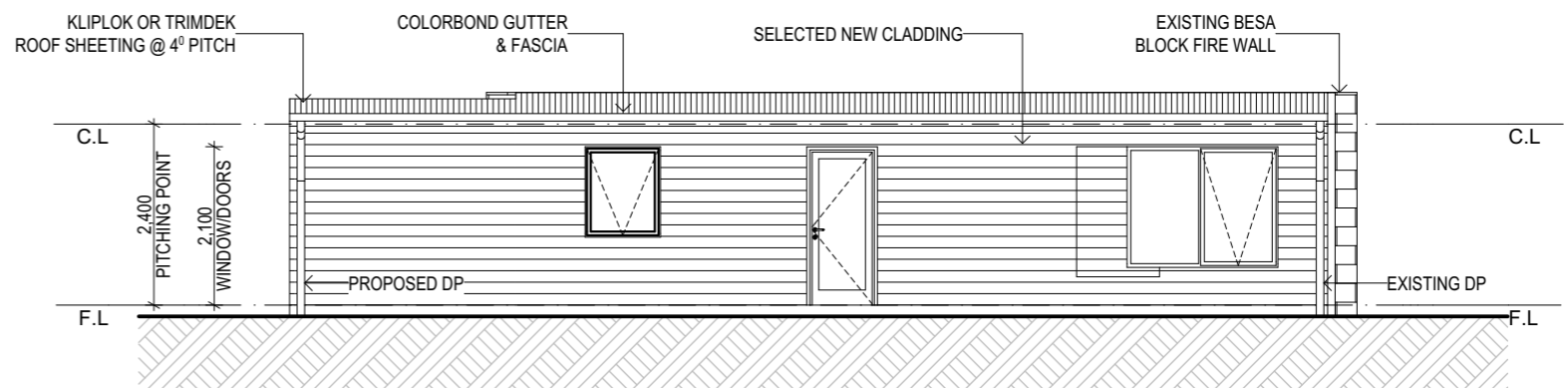
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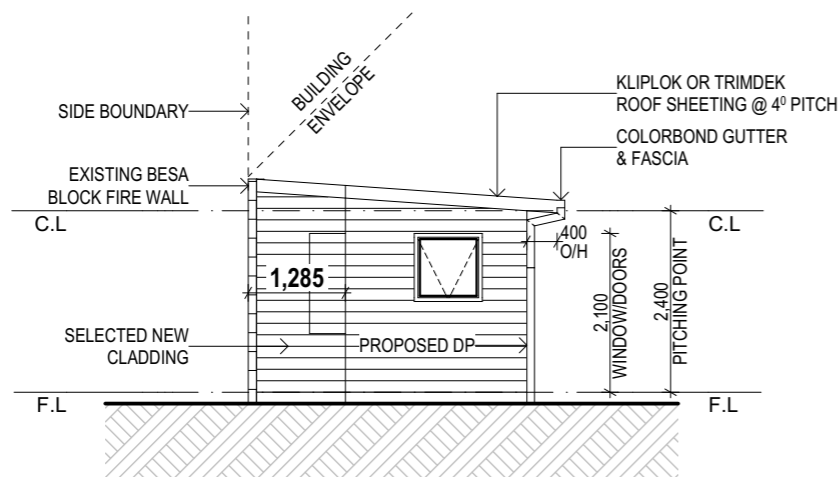
ALTERATION & EXTENSION		
DEMO/PROPOSED PLAN		
DRAWN: <b>DM</b>	DATE: <b>23.10.25</b>	REV: <b>B</b>
CHECKED: <b>DM</b>	SCALE: <b>1:100</b>	
SHEET: <b>6 OF 7</b>	JOB NO: <b>4410</b>	



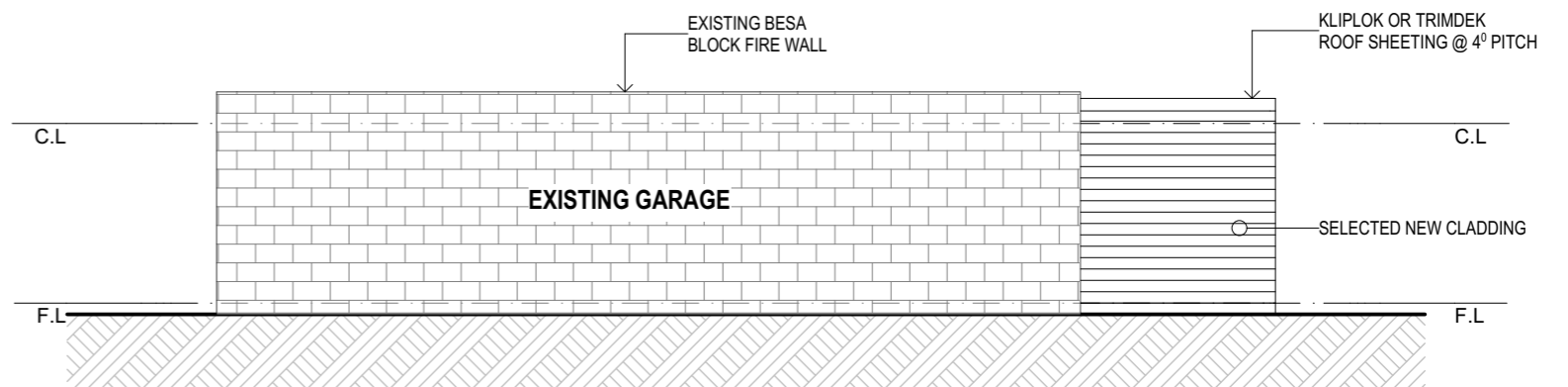
**A** ELEVATION  
-



**B** ELEVATION  
-



**C** ELEVATION  
-



**D** ELEVATION  
-

**LEGEND:**

FGL ----- NATURAL GROUND LINE  
NGL ——— FINISHED GROUND LINE

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